



LOVELAND PLANNING COMMISSION MEETING AGENDA

**Monday, December 09, 2019
500 E. 3rd Street – Council Chambers
Loveland, CO 80537
6:30 PM**

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LOVELAND PLANNING COMMISSIONERS: Patrick McFall (Chair), Michael Bears, Jeff Fleischer, Milo Hovland, Susan Peterson, Deborah Tygesen, Jerico Devlin, Paul Eckman, and Yaron Weinberg.

CALL TO ORDER

I. PLEDGE OF ALLEGIANCE

II. REPORTS:

A. Citizen Comments

This is the opportunity for citizens to address the Commission on matters not on the published agenda.

B. Current Planning Updates

- 1. Monday, December 16, 2019 - Special Meeting Agenda Preview**
 - East Loveland Industrial 23rd – Conditional Use - Public Hearing
 - Connect Loveland - Update

C. City Attorney's Office Updates

D. Committee Reports

E. Commission Comments

III. APPROVAL OF MINUTES

Review and approval of the October 28, 2019 meeting minutes

IV. CONSENT AGENDA

The consent agenda includes items for which no discussion is anticipated. However, any Commissioner, staff member or citizen may request removal of an item from the consent agenda for discussion. Items requested to be removed from the consent agenda will be heard at the beginning of the regular agenda.

Public hearings remaining on the Consent Agenda are considered to have been opened and closed, with the information furnished in connection with these items considered as the only evidence presented. Adoption of the items remaining on the Consent Agenda is considered as adoption by the Planning Commission and acceptance by the Applicant of the staff recommendation for those items.

- [**Does anyone in the audience wish to remove Item 1. from the Consent Agenda?**](#)
- [**Does any staff member wish to remove Item 1. from the Consent Agenda?**](#)
- [**Does any Commissioner wish to add any item from the Regular Agenda to the Consent Agenda or remove Item 1. from the Consent Agenda?**](#)

1. Grace Church – Public Hearing - Rezoning

Presented by Senior Planner Troy Bliss

This is an application to rezone a 0.3-acre property in southeast Loveland from R3 - High Density Residential District to MAC - Mixed Use Activity Center. The subject property is a portion of Tract D of the Hendricks First Addition and is located near the intersection of 19th Street and S. Cleveland Avenue. A rezoning request requires a public hearing by the Planning Commission followed by a recommendation that is forwarded to the City Council for final action.

The subject property has been purchased from the Derby Hill Baptist Church by the Loveland Housing Authority in order to facilitate development of an affordable housing project.

Incorporation of the 0.3-acre property into the larger development site helps to overcome site design challenges associated with grade changes. The purpose of the zone change request is to establish a consistent zoning on the Housing Authority's property and facilitate a development project consisting of single and multi-family homes.

Based on applicable City policies and code provisions, the Commission's role is to conduct a public hearing and determine if the requested zoning is compatible with surrounding zoning and development, and consistent with applicable policies of the Comprehensive Plan ([Create Loveland](#)). Staff supports the requested zone change.

V. REGULAR AGENDA

2. South East Elementary School – Poudre School District – Location and Extent Review

Presented by Principal Planner Kerri Burchett

The Poudre School District (PSD) is proposing to develop a new elementary school on a 15-acre site in northeast Loveland. The site is located near the intersection of Fairgrounds Avenue and County Road 30. The school will serve the southeast portion of their district. State Statutes

require that new school facilities undergo a location and extent review with the local planning commission.

The first portion of the location and extent process occurred in June of 2016 when PSD first acquired the property and provided a presentation to the Planning Commission. The Commission raised no objections to the site location. Now, a site plan has been prepared and PSD will entertain comments from the Planning Commission regarding the development plans. While the Commission has no direct authority over the design of the project, the Commission may request a meeting with the PSD School Board if concerns are identified. Staff has been reviewing the school plans and has not identified any issues of concern.

**3. Ranch Acres Rezoning – Public Hearing
Presented by Senior Planner Troy Bliss**

This is an application to rezone properties within the Ranch Acres First Addition from Planned Unit Development (PUD) zoning to B - Developing Business District. A rezoning request requires a public hearing by the Planning Commission followed by a recommendation that is forwarded to the City Council for final action.

The subject property includes two vacant tracts of land (Tracts DD and EE) comprising 6 acres of developable area along with associated street rights-of-way. The property is located along the west side of North Garfield Avenue to the south of 57th Street and to the immediate north of Ranch Acres Drive. The property was annexed and zoned PUD in 2007 through a serial process that included five associated additions. The PUD process was never fully completed and the PUD has expired and affords no development rights.

The current property owner, JF Capital, is requesting Developing Business District zoning which allows a variety of commercial, office and multifamily uses. Based on applicable City policies and code provisions, the Commission's role is to conduct a public hearing and determine if the requested zoning is compatible with surrounding zoning and development, and consistent with applicable policies of the Comprehensive Plan ([Create Loveland](#)) and the [Highway 287 Strategic Plan](#). Staff supports the requested zone change.

VI. ADJOURNMENT

See page 4 for information on hearing procedures

SUPPLEMENTARY INFORMATION

Public Hearing Procedures

The purpose of a public hearing is for the Planning Commission (PC as used below) to obtain full information as to the matter under consideration. This includes giving all interested parties the opportunity to speak (provide testimony) at the hearing.

The public hearing is a formal process. Below is the typical hearing sequence followed by the Planning Commission.

Annotations have been provided for clarity.

- 1. Agenda item is recognized by the Chair**
- 2. Public hearing is opened***
- 3. Staff presentation**
(May include clarifying questions to staff from Commissioners)
- 4. Applicant presentation**
(May include clarifying questions to applicant from Commissioners)
- 5. Public comment**
(All public comment should be made from the center podium upon direction from the Chair. Citizens should provide their name and mailing address in writing at the podium, and introduce themselves. The PC may ask clarifying questions of the citizens. At a public hearing, the PC does not respond to questions from citizens; questions directed to the applicant or staff should be requested through the Chair.)
- 6. Applicant response**
(The Chair typically requests that applicants respond to comments and questions raised during public comment)
- 7. PC questions to staff, the applicant and possibly to citizens who presented**
(Commissioners may use this step in the process to gain a more detailed understanding of relevant information)
- 8. Close public hearing**
(Unless specifically permitted by the Chair, further testimony is not allowed after the public hearing is closed)
- 9. Motion**
(Motions are made by a PC member with possible conditions)
- 10. Motion is seconded**
(A 2nd is required before the motion can be considered; a motion that fails to obtain a second dies)
- 11. PC discussion**
(The PC discusses the application and whether it satisfies the required criteria as found in adopted City policies and ordinances)
- 12. PC Chair requests that the applicant agrees to any conditions prior to a vote**
(When preparing to vote on a motion for approval, the PC Chair will ask if the applicant is willing to accept the proposed conditions, if any. If the applicant does not accept the conditions as proposed, the PC may deny the application)
- 13. Vote**
(The decisions of the PC must address relevant findings of fact. These findings respond to criteria specified in adopted plans and codes, and serve to guide zoning, annexation and other land use decisions. Relevant criteria and findings are itemized in the Staff Report and referred to in the recommended motion.)

* Note that the Planning Commission may place time limits on presenters. All presenters, including the applicant, staff and citizens, should communicate clearly and concisely, refraining from duplicating detailed information that has been provided by others.

CITY OF LOVELAND
PLANNING COMMISSION MINUTES
October 28, 2019

A meeting of the City of Loveland Planning Commission was held in the City Council Chambers on October 28, 2019 at 6:30 p.m. Members present: Acting Chairman Molloy; and Commissioners Fleischer, Hovland, Peterson, and Devlin. Members absent: Commissioners McFall, Bears and Tygesen. City Staff present: Robert Paulsen, Current Planning; Laurie Stirman, Assistant City Attorney; Lisa Rye, Planning Commission Secretary.

These minutes are a general summary of the meeting. A complete video recording of the meeting is available for two years on the City's web site as follows: <https://loveland.viebit.com/>

CITIZEN REPORTS

There were no citizen reports.

CURRENT PLANNING UPDATES

1. **Robert Paulsen, Current Planning Manager**, announced the resignation of Commissioners Molloy and Hammond. Mr. Paulsen presented a plaque of recognition to Commissioner Molloy, in honor of his hard work and dedication to the Planning Commission since August of 2006. Both Commissioners Fleischer and Hovland added that it has been a pleasure having Commissioner Molloy serve on the Planning Commission and commended him for his great work. Commissioner Hammond, who was unable to attend tonight's meeting, will receive a recognition plaque for his service with the Planning Commission since December of 2017.
2. **Robert Paulsen, Current Planning Manager**, announced that the Planning Commission photo scheduled for this evening has been canceled, as Chairman McFall and Commissioners Bears and Tygesen are absent. Mr. Paulsen shared that staff would like to start a tradition of taking an annual photo of the Commission. A photo will be taken prior to the appreciation dinner, which will be held on Monday, December 9th. The regularly scheduled Planning Commission meeting will follow.

CITY ATTORNEY'S OFFICE UPDATES

Laurie Stirman, Assistant City Attorney, noted that she will be absent from the November 25 Planning Commission meeting, and stated that Moses Garcia, City Attorney, will attend in her place.

COMMITTEE REPORTS

There were no committee reports.

APPROVAL OF THE MINUTES

Commissioner Hovland made a motion to approve the October 14, 2019 minutes; upon a second from Commissioner Fleisher, the minutes were approved unanimously.

REGULAR AGENDA

1. Dakota Glen Outlot J Public Hearing – Rezone and Zoning Document

Project Description: This application requires a public hearing. Upon completion of the public hearing process, the Commission must forward a recommendation to the City Council for final action.

The application requests to rezone a 7.2-acre property located on the west side of South Wilson Boulevard from DR-Developing Resource to Planned Unit Development (PUD). The property is located to the north of 14th SW and is currently vacant. The requested rezoning would allow the development of a 19-lot, single-family subdivision. The homes would all be single-family detached units and would be placed on lots between 5,500 square feet and 7,000 square feet in size. The lot size range is generally smaller than the standard 7,000 square foot minimum allowed in the R1 zone district.

The Development Review Team is supporting the rezoning request based on City codes, standards and policies as specified in the Findings and as stipulated in the recommended Conditions as updated in the recent email to the Planning Commission from staff planner Troy Bliss. One of the Conditions addresses a key issue relating to the provision of a sidewalk to be installed by the developer along a portion of Carlisle Drive to the east of Wilson Avenue.

Mr. Troy Bliss provided a presentation to the Commission on the project, which included Powerpoint slides. A primary exhibit was a conceptual illustration of the layout of the proposed property. He stated that the applicant is proposing a 19-lot, single-family detached home subdivision, with a density of 2.7 units per acre. The proposal complies with the City's comprehensive plan. PUD zoning is being requested for the purpose of flexibility in lot size, as the development proposes smaller lot sizes of 5,500 square feet to under 7,000 square feet, which is smaller than is allowed in the conventional R1 zoning district, which requires Single Family Detached Lots of 7,000 square feet and above. Mr. Bliss stated that home designs include courtyard areas, covered porches and patios, as well as living spaces above the garages, which would apply to houses with garages protruding 10 feet from the front plane of the house. Mr. Bliss also mentioned that some landscape adjustments are being proposed, in order to accommodate the driveways of each lot, the spacing of street trees, and reduction in plant material along Wilson Avenue due to the inclusion of a wall that will be backing towards the

lots. **Mr. Bliss** shared that there are wetlands along the western boundary of the subject property. All lots would be outside of the wetlands boundary in an effort to mitigate any potential impacts on the natural features of the property. **Mr. Bliss** further indicated that the City can adequately serve the development of the property, as utility services are available along Wilson Avenue next to the site, and the traffic impact study did not indicate any issues.

Mr. Bliss discussed a key issue that City staff has been working with the applicant to resolve, which relates to an offsite improvement. A map was displayed, which depicted a sidewalk gap of approximately 340 feet, located between South Wilson Avenue and the southwest corner of Walt Clark Middle School. Mr. Bliss indicated that the City has expressed concern over the safety of children since the sidewalk gap is unsafe for pedestrians. Since the new development will contribute to the need for this sidewalk, a condition is being recommended that the applicant be responsible for the off-site sidewalk installation.

Mr. Bliss explained that staff is recommending conditional approval of the rezoning and zoning document. He spoke of corrected conditions of approval, which were emailed to the Commissioners on Friday, October 25. He stated that the highlighted section of text includes the changes that were made to the previous conditions included within the staff report on page 12. He pointed out that it is important to recognize these changes; and, if the commission is inclined, to make certain the conditions are amended on record.

At this point, **Robert Paulsen** addressed the audience regarding the public hearing process, and stated that on the back of the agenda page, detailed information on the process is listed.

The applicant's representative, **Jason Messaros**, BHA Design, addressed the Commission and shared information on the proposed development, and mentioned that the developer is intending to provide one tree per lot, and landscaping along the arterial buffer yard. **Mr. Messaros** explained that the lots would be deeper and narrower than traditional single family lots. He added that the applicant is in agreement with the conditions, with the exception of the pedestrian connection sidewalk improvements. The developer is interested in entering into an agreement through negotiation to resolve the issue. He added that there are features that will make it difficult to implement a sidewalk. **Mr. Messaros** stated there is a handicap ramp that may not meet ADA requirements, as well as utilities in the area that will need to be considered. He shared that there is a huge difference in the pedestrian use patterns throughout the day; however, during pick up and drop off at school, the area is heavily used and is not a safe situation. The applicant would like to assist in improving the current conditions that exist, but recognize that this is an ongoing existing condition that the City has been aware of should have been fixed already. Finally, he added that the developer does not agree with the amount \$33,000 the City has asked from the applicant to make the sidewalk installation.

Mr. Scott Bray, developer, explained that these 19 lots will be his last development. He shared that he previously did not believe that this land could be developed, as it was an emergency spillway. He worked with the City and reconfigured the nearby pond and spillway, which proved to be a good move as there was a flood in 2013, and the spillway worked perfectly. **Mr. Bray** explained that he reduced the size of the lots from 65 feet wide to 54 feet wide since the market is looking for a smaller patio home. He added that this one of the first developments

since the new Unified Development Code was adopted, which changed his plans for the development. He is attempting to adapt his existing successful house plans to the new Code. **Mr. Bray** stated he is going with a higher standard of construction and reduced maintenance for the buyer. As for the off-site sidewalk issue, he added that he questioned why the City would expect the developer to be responsible for the sidewalk installation. After observing the area during pick up of children from school, he stated he was appalled by the dangerous situation caused by the absence of the sidewalk. **Mr. Bray** shared that this was an existing condition and it would not be completed unless a developer came along. He does not agree with the number that the City provided for the cost to replace the sidewalk.

COMMISSIONER QUESTIONS:

- **Commissioner Devlin** asked Mr. Bray which developments in the area he was responsible for. **Mr. Bray** responded that he was responsible for all of them. He did not build all of the houses, but his family and partners were the developers. He stated he developed all of Wilson with the exception of 1st and Wilson, Mariana Farms and Mariana Glen, and the first portion of the mobile home park. He and his family have been developing in the area since 1960, and knows everything that is going on in the area. He is appalled that this (lack of sidewalk) has been allowed to happen. Commissioner Devlin stated that he toured the area earlier today and observed the conditions. He shared that it is definitely a hazard especially kids in middle school. Mr. Bray added that the kids are walking in the same direction of the traffic with their backs to it. Mr. Devlin asked what is the City expecting to happen with the width of the sidewalk. Mr. Bray responded that there is a driveway with a car that is commonly parked that extends into the sidewalk, and kids are forced to walk into the street. There are a number of Code violations on several properties that the City is aware of, but nothing has been done about it. He shared that there are a number of oversights from various departments and it seems the City has been aware of this situation since 2011. Mr. Bray stated that it was proposed for City funding, but nothing has been done about it. It is written in the Code that the City can require the developer to replace the sidewalk, but because there is a 4 foot sidewalk in the area already, this is what he will use to replace the gap.
- **Commissioner Devlin** asked what his intentions are for the open space to the north, and if there is a bike path through there. Mr. Bray stated he would leave it open as it flows well in that space. He added that the plat shows the existing trail and the trail will remain.
- **Commissioner Fleischer** asked about traffic circulation and if a southbound vehicle on Wilson has a dedicated left turn lane onto Carlisle. **Mr. Bray** responded that there is. **Commissioner Fleischer** asked if there is a dedicated turn lane northbound on Wilson, turning into the proposed development. **Mr. Bray** confirmed that with restriping, there would be a dedicated left turn lane. Finally, **Commissioner Fleischer** asked **Mr. Bray** how to overcome the issue of traffic coming out of the development during busy hours making a left turn to the north with no lane for merging since it is not signaled. **Justin Stone, traffic engineer**, responded that you will be able to cross both lanes and enter the center northbound lane. This will be a stop controlled intersection.

PUBLIC COMMENT:

Acting Chairman Molloy opened the hearing for public comment at 7:48 p.m.

- **Michelle Smith, resident**, stated that she is concerned about noise level because her house backs up to the proposed street, and wishes to see a barrier of some type. She added that she is concerned with traffic when turning right to go south as it is a very short area.

Acting Chairman Molloy closed the public comment portion of the hearing at 7:51 p.m.

- The applicant responded to the public comment by stating that while this is a PUD proposal, it is not fully designed at this juncture; ultimately, a buffer is intended to go on the north side of the drive, in keeping with the existing landscaping by the ditch. **Commissioner Molloy** asked for clarification where the ditch is located. **Mr. Messaros** responded that the ditch is located North of the proposed street and the new houses would be south of the ditch.
- **Commissioner Peterson** asked if the applicant had looked into the location of the entrance to the proposed subdivision. **Mr. Bray** stated he has looked at a few entrance locations and explained that this (the one indicated) was the only feasible entrance from both City and compliance standpoints. **Mr. Stone** stated that he feels comfortable that the entrance will work. It does not technically meet the standards for a new subdivision, but it does not make it any worse than it is.
- **Commissioner Molloy** asked what the timing on the area school zone would be active. **Mr. Stone** answered that they want people to respect the school zone, so it would be active only from one half-hour before and one half-hour after school begins and ends. **Commissioner Molloy** asked if the development will increase traffic much. **Mr. Stone** stated that during peak hours there could be perhaps 12 vehicles leaving the development. In the future there could be a potential signal on Carlisle, but it still works fine and meets all standards without the signal.
- **Commissioner Molloy** asked if parking on the street could be blocked by barriers to make way for a temporary walkway for pedestrians. **Mr. Stone** stated that his department was investigating an incident involving a girl that was injured at the referenced location, and the City has been looking into how they can improve the situation. The City's policy has always been that developers must pay their way. The City is not asking him to fix the previous existing condition, but make it safe for the new residents since the 19 homes will be contributing more to the situation. The City is trying to work with the developer through a partnership, and has offered to invest approximately \$130,000 in the project. The developer is asked to pay for the 4 feet of sidewalk width, and the City will pay the difference of what it would take to bring it up to the new standard of 6 feet and fix some other issues at the same time. **Mr.**

Stone added that the City is willing to work with the developer and hopefully come to an agreement before the project goes before the City Council. He added that parking along the street does actually provide a buffer between the students and the moving vehicles.

- **Commissioner Molloy** asked if language could be changed to require one tree per lot. **Mr. Messaros** responded that they are limited in space and they will come up short by 1 tree with that method. **Mr. Bray** added that the landscaping will be completed by the developer. **Mr. Bliss** added that the local street coming into the subdivision will be in keeping with the intent of the UDC and is being designed with detached walks on both sides and is an important component of the development.

Commissioner Fleischer moved to make the findings listed in this Staff Report dated October 28, 2019, and based on those findings recommend approval to the City Council for rezoning Outlot J – Dakota Glen First Subdivision from DR-Developing Resource to PUD and approving the Zoning Document subject to the conditions provided on page 12 of this report.

Robert Paulsen suggested that Commissioner Fleischer read the list of updated conditions that were emailed on Friday, rather than those listed on page 12. **Mr. Bliss** explained that the main difference included in the updated conditions were regarding to the sidewalk; either the option of installation, or the option of cash in lieu. Other conditions regarding construction activities cannot begin until appropriate permits are attained, and landscaping cannot conflict with the sight distance triangles. There are 3 separate conditions listed in the staff report, but the communication sent to the Commission on Friday contains 7 conditions. The items highlighted on this communication were the additional conditions. **Mr. Paulsen** added that he does not believe the developer has an issue with the new conditions, but cash in lieu has not yet been fully negotiated. If the Commission decides to approve the motion with the updated conditions for City Council, perhaps the negotiation can be worked out prior to the City Council hearing.

Acting Chairman Molloy called for a 10 minute recess to review the updated conditions in hard copy.

Acting Chairman Molloy called the meeting to order at 8:20 p.m.

Commissioner Molloy shared that a condition is being recommended that screening at a minimum of 50% opacity be provided to ensure the car lights do not interfere with the existing houses to the north of the proposed development.

Commissioner Fleischer moved to make the findings listed in this Staff Report dated October 28, 2019, and based on those findings recommend approval to the City Council for rezoning Outlot J – Dakota Glen First Subdivision from DR-Developing Resource to PUD and approving the Zoning Document subject to the conditions provided on page 12 of this report, but those conditions are corrected conditions of approval as revised on

*October 25th, items 1 – 7; and the additional condition just discussed to work with the City to ensure additional landscape screening on the north side of the local street to be 50% opacity if attainable. **Commissioner Peterson** seconded the motion.*

Commissioner Molloy asked the applicant if they accept the conditions. **Mr. Bray** stated that he does.

The motion was unanimously adopted.

Mr. Paulsen addressed the public and stated that this is a recommendation being made to City Council. It will appear before the Council in a public hearing format. There is not a definitive date set yet for the hearing, but it will be sometime in November.

2. Boards and Commissions Handbook Revisions Review

Item Description: This is an informational item. The City Council has recently revised the referenced Handbook. Planning and Legal staff will review the revisions with the Planning Commission and will discuss other portions of the handbook that are particularly relevant to the Commission's operations. Commissioners are encouraged to make ask questions and make comments.

Mr. Paulsen distributed a handout, which contained the redlined version of Boards and Commissions Handbook reflecting recent City Council revisions. He discussed the purpose of the Planning Commission, which includes an advisory role to City Council and authority to make final land use decisions in some circumstances as specified by the Municipal Code. Mr. Paulsen explained that the Planning Commission has several unique attributes as a City board, including authority to make final decisions, requiring Commissioners to be City residents and having two meeting each month.

An attendance record was distributed to each Commissioner, and attendance expectations were discussed. Commissioners are required to be in attendance 70% of the meetings per calendar year. City staff is required to monitor attendance throughout the year. If more than 3 unexcused consecutive absences occur, the Commissioner may be removed from the Commission.

Ms. Stirman, City Legal, discussed conflict of interest. She reminded the Commissioners that if any Commissioners have any financial interest in an item, they should not participate in the item being heard. She added that Commissioners are prohibited from receiving gifts in excess of fifty dollars, including gifts to family members.

Mr. Paulsen discussed the importance of having good and full discussions relative to matters that come before the Planning Commission. Comments captured within the meeting minutes are reviewed by the City Council and can be very helpful to the Council members by narrowing the focus of their discussions.

Terms of office were discussed, along with topic of meetings. **Ms. Stirman** discussed meeting requirements to ensure matters are heard in a fair manner. Meetings by phone are discouraged and a quorum is required to conduct business. She added that quorum requirements have been changed, and are now dependent on the number of seats filled on the Commission. She discussed public notice requirements and stated meetings follow Roberts Rule of Order.

Mr. Paulsen concluded staff comments by indicating appreciation for the time and efforts made by the Commission, adding that the Commission has a great influence on the development of the community.

ADJOURNMENT:

Commissioner Hovland made a motion to adjourn the meeting; with a second made by Commissioner Fleisher, the motion was approved.

The meeting was adjourned at 8:48 p.m.

Approved by: _____
Patrick McFall, Planning Commission Chair

Lisa Rye, Planning Commission Secretary



CURRENT PLANNING DIVISION
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eplan-planning@cityofloveland.org | cityofloveland.org/DC

Planning Commission Staff Report

December 9, 2019

Grace Gardens Community Neighborhood (A Portion of Tract D - Hendricks First Addition) Rezoning

Agenda #: Consent Agenda #1	PZ #19-00207	Rezoning
Location	207 19 th Street SE – West of S. Lincoln Avenue (Highway 287) on the north side of 19 th Street SE (portion of the Derby Hill Baptist Church)	

Development Review Team Recommended Motion

Recommended Motion(s):

Move to make the findings listed in this Staff Report dated December 9, 2019, and based on those findings recommend conditional approval to the City Council for rezoning a portion of Tract D – Hendricks First Addition from R3 – Developing High Density Residential to MAC – Mixed-Use Activity Center.

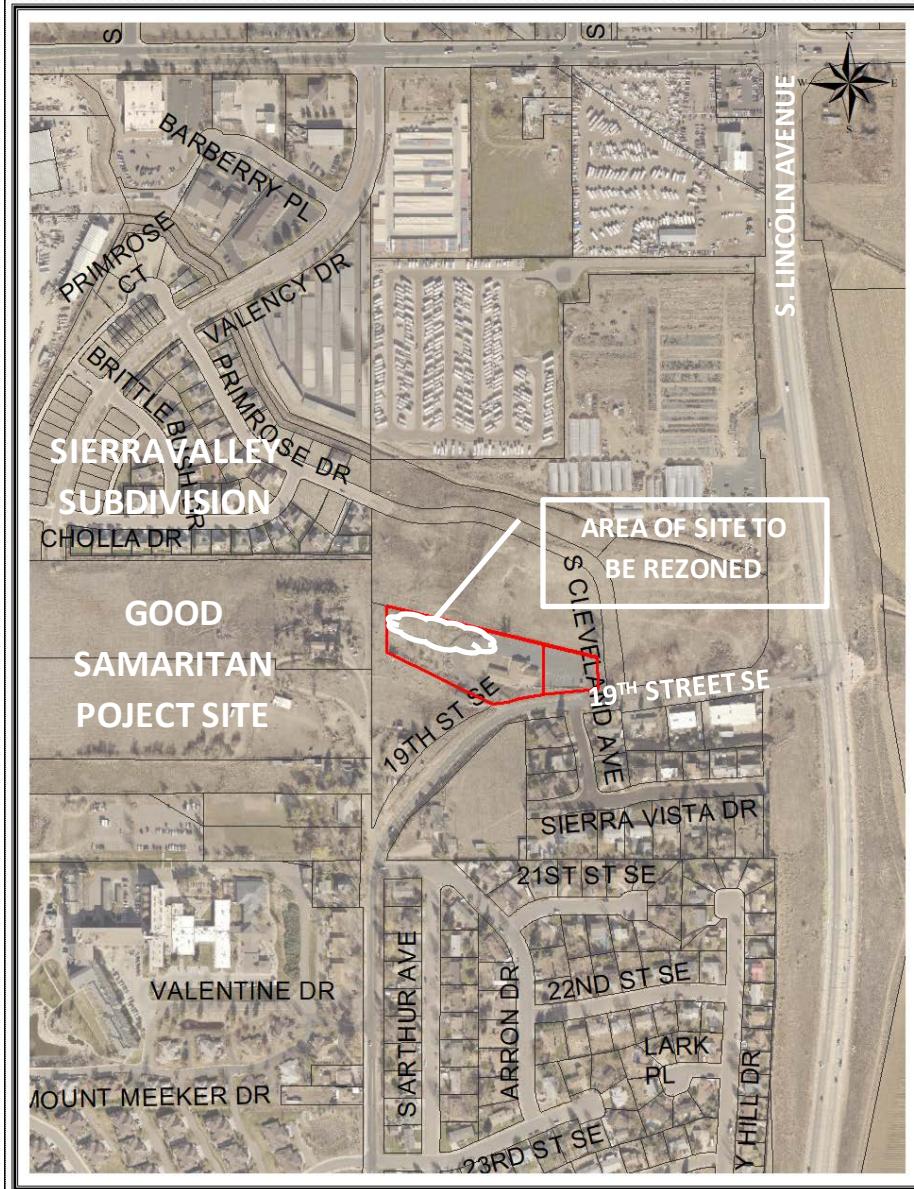
Options	Consequence
Approve the Motion	Approval of the motion would allow the application to proceed onto City Council for consideration of an ordinance to rezone a portion of Tract D – Hendricks First Addition.
Deny the Motion or take no action	Denying the motion would require the applicant to reconsider the application or proceed onto City Council knowing that the request is not supported by Planning Commission. Taking no action on the motion would cause further delay in the applicant's ability to develop the site.
Adopt a Modified Action	As an alternative, additional conditions could be added to the Rezoning (based upon the findings) should the Planning Commission identify findings not being addressed and/or contrary to the City staff analysis.
Refer back to Staff	If the item was referred back to staff, staff requests that Planning Commission provide specific direction in reaching resolution on the requested Rezoning.

Project Summary

Summary

This application proposes to rezone a portion of Tract D – Hendricks First Addition (containing approximately 0.3 acres) (the “Property”) from R3 – High Density Residential to MAC – Mixed-Use Activity Center (see Exhibit A below). The Loveland Housing Authority acquired the 0.3-acre subject property from the Derby Hill Baptist Church, in order to incorporate it into a future subdivision on property they own directly to the north. The property to the north is known as the Grace Community Church First Subdivision. It is planned as an affordable housing development, consisting of single-family detached and multi-family homes. Due to the differences in grade, acquisition of the property has helped alleviate some design challenges. The purpose of the rezone is to have this 0.3 acre portion align with the zoning of the Grace Community Church First Subdivision which is MAC – Mixed-Use Activity Center.

VICINITY MAP



A Portion Of Site Highlighted in Red - 0.3 acres, currently zoned R3 – Developing High Density Residential

Background

The Property was annexed into the City in 2018 as the Hendricks First Addition. Previously the property was owned by the Derby Hill Baptist Church. However, with it being an undeveloped and unutilized portion of the church site, the church was amenable to conveying it to the Loveland Housing Authority to aide in their proposed development. In addition to the proposed rezoning, an amended plat has been submitted to the City for review/approval to change property boundaries, subject to approval of the rezoning.

Key Issues

From a City staff perspective, the proposed rezoning presents no key issues. Following successful rezoning, applications for replatting the property and Site Development Plan approval for detailed on and off-site improvements will be required. These applications are processed administratively. No neighborhood meetings or public hearings would be held beyond the requested rezoning. This only applies based on the future intended development. If the Property and the Grace Community Church First Subdivision does not develop as proposed, neighborhood meetings and public hearings may be required based on use.

EXHIBIT A – Zoning Map Excerpt

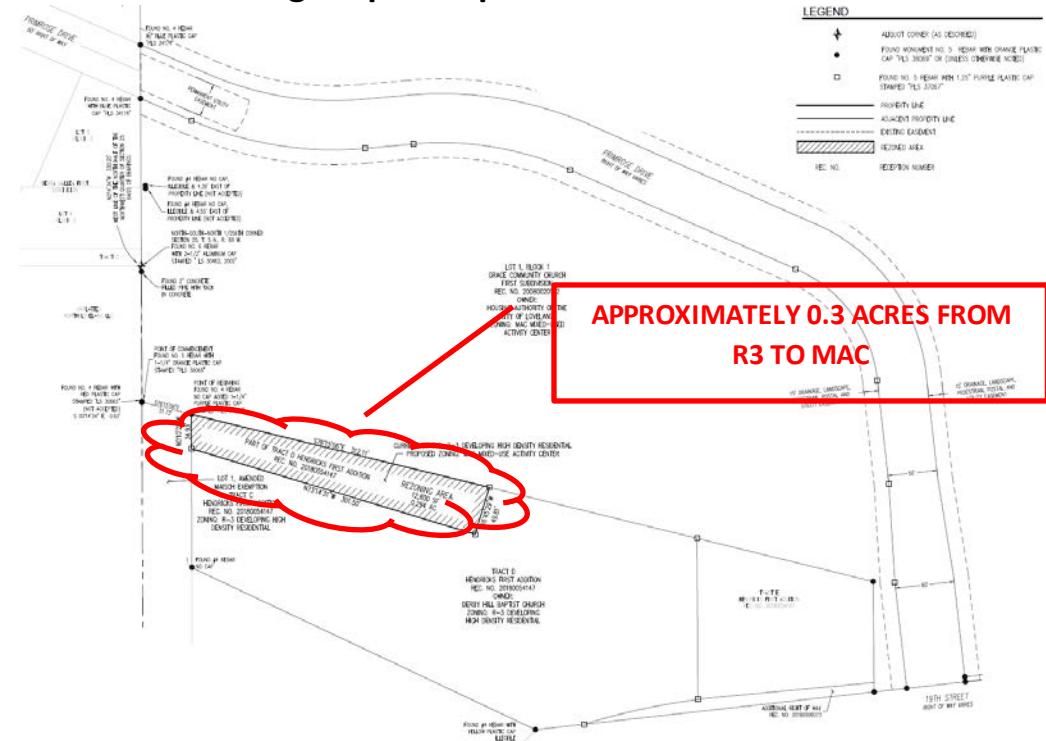
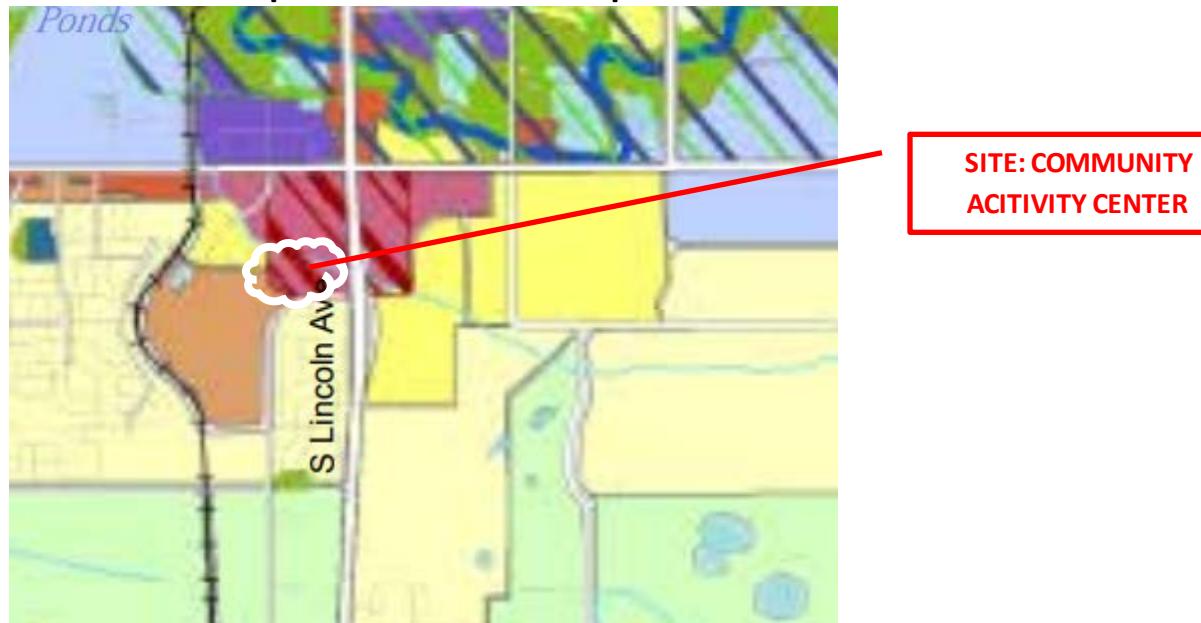


EXHIBIT B – Comprehensive Plan Excerpt



Attachments

Attachment A – Rezoning Resolution

Attachment B – Rezoning Assessment

Attachment C – Applicant’s Community Participation Report (December 2, 2019) & Open House (February 25, 2019)

Attachment D – Rezoning Map

Applicant Information		Development Review Team Contacts
Applicant: Mollie Bredehoft BHA Design		Planner: Troy Bliss
		Traffic Engineer: Randy Maizland
		LFRA: Ingrid McMillan-Ernst
Property Owner: Darcy McClure Loveland Housing Authority		Stormwater: Suzette Schaff
		Power: Mark Warner
		Water/Wastewater: Melissa Morin

Site Data	
Subdivision	Hendricks First Addition
Land Area	Approximately 0.3 acres
Existing Buildings	Vacant portion of church site
Topography	The site is relatively flat, with the exception of an embankment along the north edge of the property.
Access	Entering/existing the site from 19 th Street SE via S. Lincoln Avenue. When developed with the overall Grace Gardens project (directly north) Primrose Drive would be connected from its current termination at the east end of the Sierra Valley Subdivision to 19 th Street SE.
Water Provider	City of Loveland
Wastewater Provider	City of Loveland
Power Provider	City of Loveland

Subject Property and Adjacent Property Designations			
	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	R3 – Developing High Density Residential	Community Activity Center	Church
Adjacent North	MAC – Mixed-Use Activity Center	Community Activity Center	Vacant/undeveloped
Adjacent South	Unincorporated Larimer County	Low Density Residential	Single-family residential
Adjacent East	MAC – Mixed-Use Activity Center	Community Activity Center	Vacant/undeveloped
Adjacent West	R3 – High Density Residential	High Density Residential	Single-family residential/farming

Neighborhood Outreach	
Notification	<p>A neighborhood meeting was held on December 2, 2019, at the Development Center and began at 5:30 p.m. Property owners within a 500-foot radius around the subject site were notified by mail and a sign posted at least 15 days in advance of the meeting.</p> <p>Notice for the Planning Commission hearing on December 9, 2019, was also mailed to property owners within a 500-foot radius of the site, a sign was posted at least 15 days in advance of the hearing, and a notice published in the Reporter Herald.</p> <p>The neighborhood meeting and the public hearing were noticed in advance on the City's website.</p> <p>As an additional form of outreach, the Loveland Housing Authority presented their ideas in developing the Grace Community Church First Subdivision site to surrounding neighbors during an open house held on February 25, 2019. An overview of this meeting is provided by the Loveland Housing Authority for informational purposes only (see Attachment C).</p>
Neighborhood Response	<p>No neighborhood response has been received prior to the December 9, 2019 Planning Commission hearing.</p> <p>At the neighborhood meeting held on December 2, 2019, nine residents including members from the applicant's team and City staff were in attendance. The meeting was held at the Grace Community Church (240 Barberry Place) and began at 6:00 p.m. In general, neighbors did not have much comment regarding the rezoning, other than to confirm that MAC would allow for future residential development. Most of the discussion revolved around future project details. Neighbors expressed concerns with respect to additional traffic created with future development, the amount of units proposed with this project as well as the adjoining Good Samaritan project (43 paired units – 86 total) and, the extension of Primrose Drive from the Sierra Valley Subdivision. The applicant has also prepared a Community Participation Report, outlining further details in regards to the neighborhood meeting (see Attachment C).</p>

Planning Commission Criteria and Findings for Approval or Denial
Pursuant to Section 18.17.09.01.A-D. of the City of Loveland Municipal Code the Planning Commission shall consider and make findings regarding the following criteria for MAC – Mixed-Use Activity zoning. All findings must be met in order to approve the requested rezoning.
Standards for Rezoning
The criteria of Resource Protection Policy & Plan Consistency and Public Benefits, below, are met; and
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: See Resource Protection Policy & Plan Consistency and Public Benefits analysis below.</i>
One or more of the alternatives set out in the Additional Findings, below, are met;
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: See Resource Protection Policy & Plan Consistency and Public Benefits analysis below.</i>
The subject property is a legal lot of record (or group of contiguous legal lots of record); and

Finding: Staff finds that the criteria has been met.

Analysis: The church site is a legal lot of record. The property being rezoned will need to be replatted prior to any ordinance taking effect so that it can be incorporated into the Grace Community Church First Subdivision and avoid the situation of a lot having two distinct zoning districts (i.e. R3 and MAC).

No legal lot of record will contain multiple zones within its boundaries as a result of the rezoning.

Finding: Staff finds that the criteria has been met.

Analysis: Because the rezoning is associated with a portion of Tract D – Hendricks First Addition, an amended plat would need to be approved by the City and recorded before the rezoning ordinance were to take effect. Otherwise, the current platting of the church site would have two separate zoning designations. This requirement is specified as a recommended condition of approval.

Resource Protection Policy

It is the policy of the City not to rezone property in a manner that would create or facilitate the creation of development rights or entitlements that would either:

Reduce the level of protection for significant natural resources that exist on the subject property; or

Expose additional people or personal property to unmitigated natural hazards that are present on the subject property (e.g., fire, flood, or geological hazards).

Finding: Staff finds that the criteria has been met.

Analysis: The Hendricks First Addition does not contain natural/habitat areas.

This policy may be waived upon a finding by the City Council that:

Alternative means have been implemented to achieve a comparable or better level of resource protection (e.g., conservation easements, development agreements, or other comparable mechanisms for resource protection); or

The policy is outweighed by a substantial community interest that is served by approval of the rezoning (see Subsection C.1., below).

Finding: Staff finds that the criteria has been met.

Analysis: Not applicable.

Plan Consistency and Public Benefits

The proposed zone, as applied to the subject property, is consistent with its land use designation in the Comprehensive Plan or an amendment to the Comprehensive Plan is approved in accordance with Section 4 of the Comprehensive Plan prior to the approval of the rezoning application;

Finding: Staff finds that the criteria has been met.

Analysis: The proposed rezoning is consistent with the Community Activity Center land use designation of the Comprehensive Plan.

Rezoning to the proposed zone will provide a benefit to the community or immediate area that cannot be provided under the existing zone, and the balance between the anticipated benefit, if any, and the anticipated burden on the community or immediate area, if any, is either neutral or favors the rezoning;

Finding: Staff finds that the criteria has been met.

Analysis: The proposed MAC zoning is appropriate given the change in ownership and intention to develop this property within the boundaries of the Grace Community Church First Subdivision, directly north.

The proposed zone would not cause an I zone to share a boundary with an ER, R1e, R1, R2, R3e, or R3 zone, unless there is sufficient land area on the subject property to provide a buffer, as set out in [Division 18.08.03, Standards for Bufferyards](#), and a development agreement is approved to mitigate use incompatibilities with fencing, walls, landscaping, noise and lighting restrictions, or other appropriate techniques; and

Finding: Staff finds that the criteria has been met.

Analysis: Not applicable.

Adequate community facilities are available to serve development in the proposed zone in accordance with Section 18.15.02.05, Determination Regarding Adequacy; or the proposed zone would limit demands upon community facilities more than the existing zone; or reasonable assurances are provided that adequate community facilities will be made available to serve new development by the time the new development places demands on the facilities.

Finding: Staff finds that the criteria has been met.

Analysis:

Transportation

Rezoning a parcel or property does not warrant compliance with the City's Adequate Community Facilities (ACF) ordinance. All future development or land application within this property shall be in compliance with the City of Loveland Transportation Plan, the Larimer County Urban Area Street Standards and any updates to either in effect at the time of development application. Moreover, as identified in the City Municipal Code Title 16, a Traffic Impact Study shall be required with all future development or other land use applications. The property will also be required to dedicate, free and clear, all applicable right-of-way to the City, at no cost to the City, at the time of development.

Therefore, pending future proposed development within this property, of which review and approval by the City is required, the Transportation Development Review staff does not object to the proposed rezoning.

Fire

Staff believes that this finding can be met, due to the following:

- *With the proposed rezoning, the development site will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.*
- *The rezoning of the land from PUD to B will not negatively impact fire protection for the subject development or surrounding properties.*

Water/Wastewater

The development is situated within the City's current service area for both water and wastewater. The Department finds that:

- *Reasonable assurances are provided that adequate community facilities will be made available to serve new development by the time the new development places demands on the facilities.*

Stormwater

Staff believes the this finding can be met, due to the following:

- *The proposed development will meet all applicable requirements contained in the City of Loveland Storm Drainage Criteria;*
- *The proposed development will provide for adequate major drainage facilities to convey stormwater flows from a hundred year storm event which will minimize property damage; and,*
- *The proposed development meet all applicable drainage requirements of the City.*

Power

This development is situated within the City's current service area for power. The Department finds that the Development will be compliant to ACF for the following reasons:

- *The proposed development will not negatively impact City power facilities.*
- *The proposed public facilities and services are adequate and consistent with the City's utility planning and provides for efficient and cost-effective delivery of City power.*

Additional Findings

(The City Council may approve an application for rezoning upon a determination that at least one of the following three criteria has been met.)

Alternative #1: Plan Implementation. The proposed zone is more appropriate than the existing zone to implement an adopted or approved current City plan that was developed with public input (e.g., the Comprehensive Plan, the Highway 287 Strategic Plan, etc.).

Finding: Staff finds that the criteria has been met.

Analysis: The proposed MAC zoning is more appropriate in consideration of the City's Comprehensive Plan land use designation of Community Activity Center and considering it is no longer owned by the existing church as it would be developed in conjunction with the property directly north (Grace Community Church First Subdivision).

Alternative #2: Change in Character of the Area. The City Council finds that the proposed zone is more appropriate than the existing zone because:

- a. There has been a change in character or capacity of public infrastructure in the area (e.g., installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.); and
- b. The proposed zone allows for the reasonable development or redevelopment of the subject property in a manner that will be compatible with its existing or planned context.

Finding: Staff finds that the criteria has been met.

Analysis: a) Not applicable.

b) The proposed MAC zone would allow for the reasonable development of property directly north that is under the same owner of the Loveland Housing Authority. No longer is the property envisioned to be used/developed in conjunction with the existing church site.

Alternative #3: Need for Zone in Land Inventory. The City Council finds that the proposed zone is more appropriate than the existing zone because:

- a. There is greater need in the City for land in the proposed zone than the existing zone based on a market study provided by the applicant; and
- b. The proposed zone will promote a balance of land uses in the City that will improve economic opportunity or community mobility in alignment with the Comprehensive Plan.

Finding: Staff finds that the criteria has been met.

Analysis: a) No analysis has been provided in determining whether or not MAC zoning is in greater need compared to R3. Consequently, this finding has not been met. However, it is not required considering Alternative #1 is being addressed.

b) The proposed zone will align with the Comprehensive Plan. Given the scope and size of the proposed rezoning, promoting the balance of land uses or improving economic opportunities/community mobility is not being accomplished.

Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial

In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following goals, and policies within the City of Loveland Comprehensive Plan:

 Create Loveland	<p>Land Use Designation: Corridor Commercial</p> <ul style="list-style-type: none">• Suitable for MAC – Mixed-Use Activity Center zoning.• Suggests building heights of 1 to 4 stories.• Appropriate residential uses including single and multi-family (as permitted by zoning). Mixed-use is preferred.
--	---

Staff Recommendation

Staff is recommending approval of a Portion of Tract D - Hendricks First Addition Rezoning, subject to the following condition:

An amended plat, merging the property being rezoned with Lot 1, Block 1 - Grace Community Church First Subdivision shall be approved/recorded prior to recording of the rezoning ordinance.

Rezoning Assessment

Resource Protection

Protection of Natural Resources

- Rezoning will not reduce the level of protection for significant natural resources existing on the subject property.

Unmitigated Natural Hazards

- The rezoning will not expose additional people or property to unmitigated natural hazards present on the subject property.

Plan Consistency and Public Benefit

Consistency with the Comprehensive Plan

- The subject property is located between two parcels of different zoning types, the subject property will be rezoned to match the zoning of the southern parcel, making a larger parcel for development. Rezoning this parcel will make it possible to move forward with a future residential subdivision that is focused on providing a variety of housing types for families and individuals with lower-income levels. The Comprehensive Plan supports housing equity and development of a mix of housing types for all ages, incomes and family types.

Public Benefit

- Rezoning to the proposed zone will provide a benefit to the community by allowing this project to move forward, which then will be providing more opportunities for low-income housing.

Compatibility with Industrial Zoning Property

- Not applicable.

Adequate Community Facilities

- Adequate community facilities are available to serve development in the proposed zone in accordance with UDC Section 18.15.205

Additional Findings

Plan Implementation

- The proposed zoning changes to this parcel will make it possible to move forward with a future residential subdivision that provides a variety of housing types focused on low-income families and individuals, which is an objective set forth in the Comprehensive Plan.

Change in Character of Area

- The surrounding area is made up of R2, R3, and MAC zoning. Rezoning this parcel will keep it compatible with the surrounding area by matching one of the existing zoning types.

Need for Zone in Land Inventory

- The rezoning of the subject parcel will make it possible to move forward with a future residential development that includes a variety of housing types focused on low-income residence. These types of projects are a necessity to the City as set forth in the Comprehensive plan.

Community Participation Report

Grace Gardens - Rezoning

Loveland Housing Authority, Loveland Habitat for Humanity, Aspen Homes

December 2, 2019

Dave Lingle, LHA Development Project Manager, provided a brief overview of the proposed development. Phase 1 includes 56 single family lots, with Phase 2 adding 120 multi-family apartments. The development is to be 100% affordable. Only Phase 1 is proceeding through the City's planning and entitlement process at this time.

Question: Who is the Housing Authority and what do you do?

- Response: Jeff Feneis, LHA Executive Director, provided an explanation of the Housing Authority's mission, scope and a description of LHA managed properties. He also provided a brief history of the Grace Gardens development and how the development partnership came together.

Question: How will construction access be handled? Will construction traffic be allowed through existing Primrose Drive?

- Response: Construction access for large trucks will most likely access the site via US 287 and 19th St. SE. Limitations can be put on truck access to discourage the use of Primrose Drive; however, individual construction workers' vehicles may use Primrose to access the site.

Comment: A Sierra Valley neighbor expressed concern about the safety of neighborhood children with the anticipated increase in traffic on Primrose Drive from the Grace development.

Question: What is the anticipated construction schedule for Phase 1 (the single family portion of the development)?

- Response: Planning and entitlement approvals are anticipated by late spring/early summer 2020, with grading, utilities and site work to begin in July. Construction duration is anticipated to be approximately 6 months. The Phase 2 multi-family apartments are not anticipated to be developed for about five years.

Question: Who will the residents be?

- Response: Cindi Hammond, Loveland Habitat for Humanity Executive Director, indicated that 28 lots will be developed and sold to Habitat families at 30% - 69% of the Area Median Income (AMI), and 28 lots will be developed and sold by Aspen Homes to families at 70% - 120% AMI.

Question: Will garages be provided?

- Response: Each of the single family homes will have attached garages. Most are 2-car garages with driveway length to allow additional off-street parking, but a few of the 11 lots designated "urban reduced" will have 1-car garages.

Question: What is the status of the traffic report?

- Response: Dave Lingle stated that a Traffic Impact Study has been completed, with additional traffic counts and analysis requested by the City for the intersection of 14th St. SE and Valency/Garfield.

Question: Can a round-about be constructed at the intersection of 19th St. SE and Primrose Drive?

Traffic traveling east on 19th St. SE use excessive speed making the curve west of this intersection.

- Response: Troy Bliss, Sr. Planner with the City of Loveland, indicated that this was unlikely to be approved by the City's transportation engineering department, but he would take the comment back to staff.

Comment: A neighbor who lives south of 19th St. SE expressed concern about the offset intersection of 19th St. SE with Primrose and the intersection of 19th St. SE and S. Cleveland Avenue to the west.

- Response: Troy Bliss said that the City does not like these offset intersections, but unfortunately they do occur in the older parts of the city. Dave Lingle added that the location and alignment of the ROW for Primrose has already been dedicated. The eastern curb cut accessing the church from 19th St. SE will be closed and that access relocated to Primrose Drive, at the request of the City. This will eliminate one conflict point on 19th St. SE.

Comment: A Sierra Valley neighbor expressed concern about the impact on their neighborhood of both the Grace Gardens development and the planned Good Samaritan paired homes development.

Question: What will be the average price of the homes?

- Response: Rob Sabin, Aspen Homes, said that it is difficult to estimate at this time, but thought that his product should be in the range of \$260,000 - \$350,000. Cindi Hammond said that the Habitat homes are constructed differently, utilizing volunteer labor and donated materials, and therefore they do not have comparable "prices".

Question: What are the qualifications for people utilizing Section 8 vouchers?

- Response: Jeff Feneis indicated that Grace Gardens will utilize a different financing sources, and that Section 8 is not anticipated to be used.

Comment: A Sierra Valley neighbor said that she is not pleased with the idea of this project. She said that the need for affordable housing will dictate that the apartments are developed next year instead of the 5-year projection by LHA. She is concerned with the impact on property values by both this development and the Good Samaritan project.

Question: How is the drainage being handled? Concerns were expressed about the amount of storm water runoff that occurs on Cholla Drive (along the southern edge of Sierra Valley) during large storms, and that most residents have had to install sump pumps in their crawlspaces.

- Response: Rob Van Uffelen, civil engineer with Galloway, described the overall grading and drainage design concepts, with the Grace Gardens development constructing two detention ponds to "over-detain" the runoff in order to utilize the existing infrastructure.

Question: How firm is the development plan that is being presented tonight? Earlier site designs had a different mix of units and more apartments.

- Response: Dave Lingle indicated that the site plan shown tonight is what we are moving forward with through the City's planning and entitlement approval processes.

Question: Are the Phase 2 apartments integral to the development proceeding?

- Response: Jeff Feneis said yes.

Comment: The same Sierra Valley neighbor concerned about property values added that LHA and Habitat should "do something" for their neighborhood in response to the impact of the Grace Gardens development, such as build a park in Sierra Valley.

Question: 19th St. SE is in the county --- who determines what requirements should be made?

- Response: Troy Bliss indicated that the City has jurisdiction over 19th St. SE from US 287 to the Hendricks property (west of Grace Gardens), but that the city and county routinely cooperate on development at the fringes of the city limits.

Question: Is any community space planned with the development?

- Response: Dave Lingle indicated that there is common green space within Phase 1 of the development. Phase 2 will include a community building amenity with a playground that will be available to all of the Grace Gardens residents.

Question: Are there other developments in Loveland or Larimer County similar to what is proposed?

- Response: While not exactly the mix of affordable housing partners that are working on the Grace Gardens development, other developments mentioned included Thorn Circle, Boise Village, and Mirasol.

Question: What schools will neighborhood children attend, and has the school district been involved in review of the development?

- Response: It is not known for certain which schools the children will attend, but currently they would be B. F. Kitchen Elementary, Bill Reed Middle School and Thompson Valley High School. Troy Bliss mentioned that the school district will be involved in development review during later project submittals.

Question: Is the site plan being presented tonight available on the City's website?

- Response: Troy Bliss said that a current activities development map is available on the City's website, and that the rezoning parcel map is available on that map. The sketch plat will also be available upon submittal. He encouraged the neighbors to follow the project on the website, and reach out to him for information and updates.

Comment: A Sierra Valley neighbor mentioned that notification to the neighborhood is limited, and their opportunities to provide input are also limited.

- Response: Troy again encouraged people to reach out to him with questions and follow the City's website for updates.

Community Participation Report

1 - Application and Meeting Information:

Project Name:	Grace Gardens Community Neighborhood
Meeting Date and Time:	Monday, February 25, 2019, 6:00 p.m.
Meeting Location:	Grace Community Church 240 Barberry Pl, Loveland, CO 80537
Applicant Name:	Loveland Housing Authority

2 – Sign-in sheet: Please see following pages.

3 – Summary of Comments give at Grace Gardens Open House:

Q: Will there be a new access to 287?

A: No, not likely allowed by City/CDOT

Q: Will there be a traffic signal @ 19th/ Primrose?

A: No, not likely due to spacing from US 287. A traffic study will be developed to review road operations and impacts.

Q: How will maintenance be managed for the new neighborhood?

A: Likely to be managed as overall maintenance led by Loveland Housing Authority (LHA) or a Homeowners' Association structure – not yet determined.

Q: Is this a new subdivision or part of Sierra Valley?

A: This is a new standalone subdivision

Q: Who is responsible if there are issues? How will it remain affordable?

A: LHA to develop and manage. They will retain as 100% affordable with deed restrictions.

Q: How does affordable housing impact standard homes?

A: Home valuation is based on appraised value (sf, # of bedrooms, materials, etc) same as standard homes. We have seen no negative impacts to value of homes due to having affordable homes in the mix.

Q: We are concerned about the multi-family and traffic on Primrose Drive. If EB left turns from Primrose to 19th are difficult, people will take the easier route through Sierra Valley, **AND**

Q: 19th Street will be overloaded, may need improvements with this additional traffic, **AND**

Q: What changes would likely be recommended by traffic study? **(all related questions)**

A: A traffic study will be developed to review road operations and impacts to ensure that standards will be met, and turn lanes and improvements will be made as required by the study. We'll have more information on these details at time of submittal to the City for their review.

Q: What is your timeline?

A: Planning 2019, site infrastructure in 2020 (8-9 months), followed by home construction

Q: Is there a waiting list?

A: Yes, Loveland Housing Authority currently has a wait list for their affordable multi-family units in Loveland. Loveland Habitat for Humanity currently constructs approximately 8 homes per year to meet current demand. Aspen Homes builds a market-rate small home product and have over 50 buyers waiting for supply.

Q: What schools will this neighborhood go to?

A: Not sure, would need to confirm with school district

Q: Who owns property to the east?

A: The property to the east is the CDOT-owned US 287 Right-of-Way

Q: Can you make the detention pond as useful as possible?

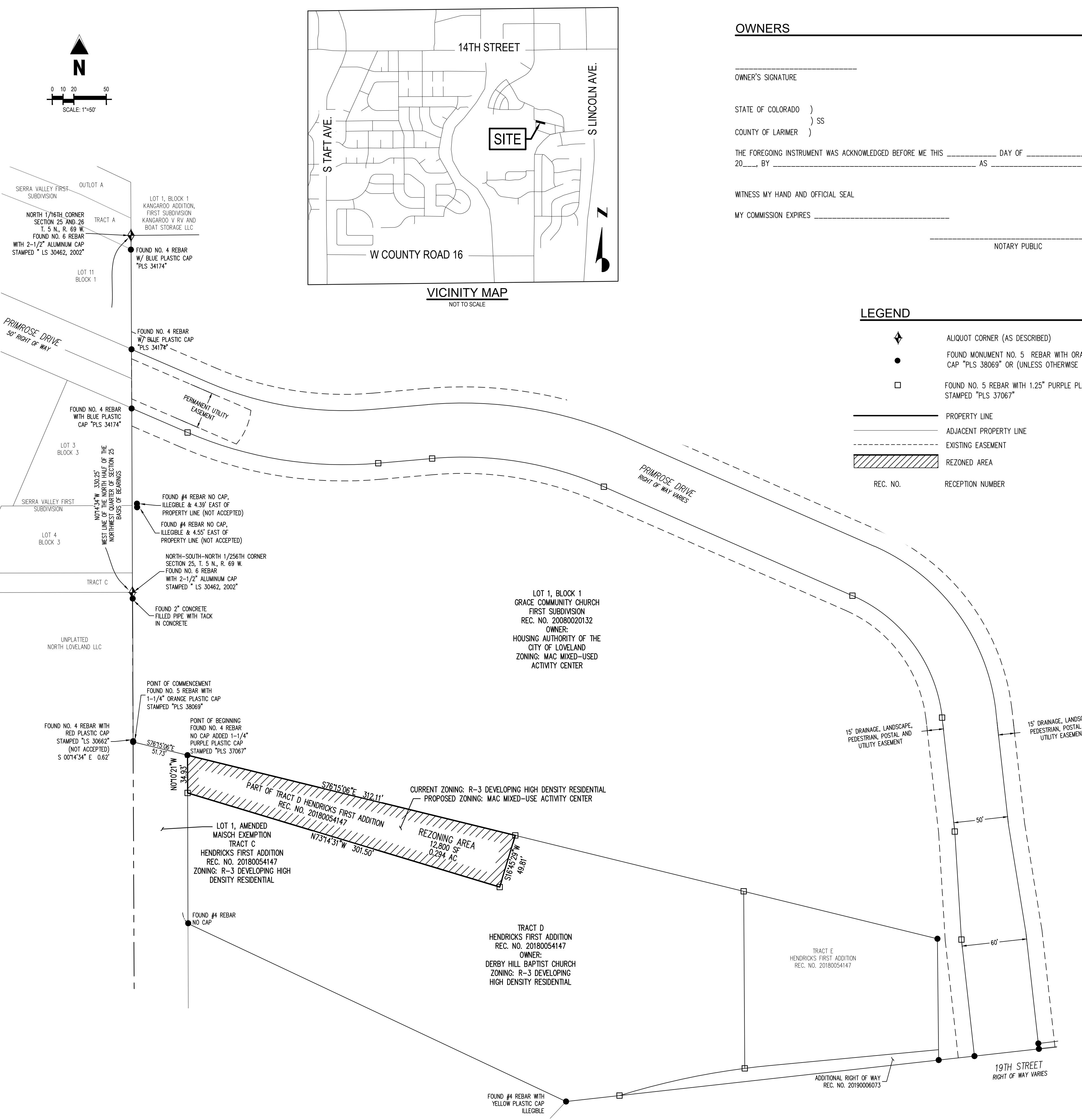
A: Yes, that is the hope. We are working on the requirements for detention, drainage and other engineering requirements so we can prepare plans for the city's review.

4 – Summary of identified issues:

Above is a summary of the questions asked during the open house on 02.25.19, and the responses given by the design team. We have not identified any issues that can be solved as part of this project.

GRACE COMMUNITY CHURCH REZONING MAP

PART OF TRACT D, HENDRICKS FIRST ADDITION
IN THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO



LEGAL DESCRIPTION

GRACE COMMUNITY CHURCH REZONING

BEING A PART OF TRACT D, HENDRICKS FIRST ADDITION RECORDED AT RECESSION NO. 20180054147 OF THE LARIMER COUNTY CLERK AND RECORDER OFFICE LOCATED IN THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN IN THE CITY OF LOVELAND, LARIMER COUNTY, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 1, BLOCK 1, GRACE COMMUNITY CHURCH FIRST SUBDIVISION MONUMENTED WITH A NO. 5 REBAR WITH ORANGE PLASTIC CAP STAMPED PLS 38069, S76°15'06"E, A DISTANCE OF 51.73 FEET ON THE SOUTH LINE OF SAID LOT 1, BLOCK 1 AND POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE, S76°15'06"E, A DISTANCE OF 312.11 FEET;

THENCE S16°45'29"W, A DISTANCE OF 49.81 FEET;

THENCE N73°14'31"W, A DISTANCE OF 301.50 FEET;

THENCE N00°10'21"W, A DISTANCE OF 34.93 FEET;

PARCEL CONTAINS 12,800 SQUARE FEET OR 0.294 ACRES

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983. BASED ON THE WEST LINE OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 25, NORTH 014°34' WEST A DISTANCE OF 330.25 FEET, MONUMENTED ON THE SOUTH BY NO. 6 REBAR WITH 2-1/2" ALUMINUM CAP STAMPED "LS 30462, 2002" AND ON THE NORTH BY NO. 6 REBAR WITH 2-1/2" ALUMINUM CAP STAMPED "LS 30462, 2002".

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GRACE COMMUNITY CHURCH
REZONING

PAR OF TRACT D, HENDRICKS FIRST ADDITION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 25
IN T. 5 N. R. 69 W. OF THE 6TH P.M., CITY OF LOVELAND,
COUNTY OF LARIMER, STATE OF COLORADO

Project No.: LHA00005.10
Drawn By: AN
Checked By: FAK
Date: 10/28/19

1
PC ATTACHMENT D
SHEET 1 OF 1

Planning Commission Staff Report

December 9, 2019

AGENDA ITEM # 2

Project Name	Poudre School District South East Elementary School	PZ # 19-136
Request	Location and Extent Review - statutory review for a new elementary school	
Applicant	Poudre School District, Brendan Willits, Planning Manager	
Staff Planner/Presenter	Kerri Burchett	

Recommended Motion

There is not a motion needed for this item. This is an opportunity for the Planning Commission to provide comments to the school district regarding the location and general design of the school facility. If the Commission identifies concerns over the proposed site plan for the school that cannot be agreed upon at the meeting, the Commission can request a meeting with the Board of Education.

Project Summary

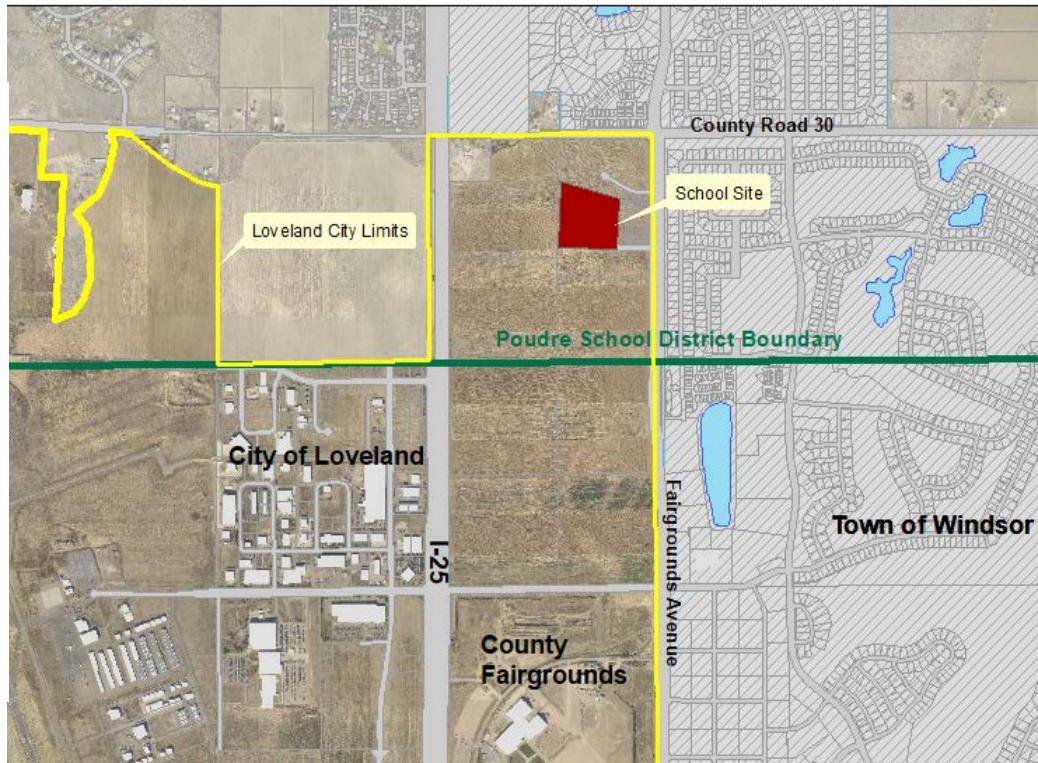
In 2016, the Poudre School District acquired 15 acres of property to construct a new elementary school in the northeast portion of Loveland, near the intersection of Fairgrounds Avenue and County Road 30. In this area, the District's southern boundary extends approximately ½ mile south of County Road 30. With the residential growth occurring in SE Fort Collins, Windsor and Timnath, the District identified the need for a new elementary school in this area. In June of 2016, the District discussed the purchase of the property with the Planning Commission as the first part of a location and extent review. State Statutes require that the school district advise the Planning Commission prior to acquisition of land. The Planning Commission did not identify concerns with the location for the school.

The School District is now moving forward with development plans for the school. The new school is PreK-5th grade and has a targeted opening date of Fall of 2021. While the review and permitting of a school building is primarily a function of the State, the Planning Commission's review of the site plan is a requirement in the Location and Extent process. City staff has not identified concerns with the site development plan, which is currently undergoing staff review. The District has scheduled public outreach efforts with the neighborhood on December 5th, 2019.

Location

- North of Crossroads Boulevard
- West of Fairgrounds Avenue
- South of County Road 30
- East of I-25

The Poudre School District Boundary is identified in **green**.



Attachments

1. Colored Site Plan
2. Site Development Plan
3. Special Review Site Plan for Surrounding Residential Development

Development Review Team Contacts

Traffic Engineer:	Randy Maizland
Fire:	Ingrid McMillan-Ernst
Stormwater:	Kevin Gingery
Power:	Mark Warner
Water/Wastewater:	Chris Pletcher, Fort Collins-Loveland Water District/South Fort Collins Sanitation

Site Data

Address/Location	6055 Travers Stakes Street
Subdivision	Lot 2, Block 1 Thornburg-Hamilton Third Subdivision
Land Area	14.2 acres
Existing Buildings	None
Topography	Generally flat
Access	Off of Travers Stakes Street (to be constructed)
Water/Wastewater Provider	Fort Collins-Loveland Water District & South Fort Collins Sanitation District

Zoning and Existing Land Uses

	Existing Zoning	Existing Land Use(s)
Subject Property	B – Developing Business	Vacant
Adjacent North	B – Developing Business	Vacant, 160 unit apartment complex approved
Adjacent South	B – Developing Business	Vacant, 97 unit condominiums approved
Adjacent East	B – Developing Business	Vacant, 38 townhome units approved
Adjacent West	B – Developing Business	Vacant, no use approval

Project Description

The Poudre School District owns approximately 15 acres of property near the intersection of Fairgrounds Avenue and County Road 30 with plans to construct a new elementary school. While the Poudre School District boundaries are predominately located in Fort Collins, there is a small portion of their district that lies within Loveland's city limits, as shown below. The school district is experiencing significant growth in SE Fort Collins, Windsor, and Timnath and has identified the need for a new elementary school in this area.

The elementary school is proposed to serve pre-kindergarten through 5th grade with a designed enrollment of 600 students. The school is approximately 75,000 square feet and will be situated adjacent to a future master planned residential development consisting of apartments, townhomes, and condominiums. The residential development was approved in 2018 but has not currently been constructed (see site plan to the right and **Attachment 3**). The infrastructure necessary to accommodate the school was master planned with this residential subdivision and includes new roadways, sidewalks, crosswalks and utilities.

Pedestrian safety is a critical element in designing and developing a new school, particularly a school located near a major arterial road such as Fairgrounds Avenue. The City worked closely with the residential developer and the school district to maximize the safety of the pedestrian routes to the new school. The District has also indicated that all students will have access to bussing.

In terms of roadway improvements, a new traffic signal will be installed at the intersection of Fairgrounds Avenue and County Road 30 and detached sidewalks will be provided along Fairgrounds Avenue, County Road 30 and internal subdivision streets. Pedestrian neck-downs and crosswalk improvements will be installed at Travers Stakes Drive, which is the primary access to the school. A decorative wrought iron fence will be installed along both the east and west sides of Fairgrounds Avenue within the treelawn between the sidewalk and the curb. The fencing will direct pedestrians to cross Fairgrounds Avenue at the signalized intersections and prevent them from crossing elsewhere along the road.



Groundbreaking for the school is anticipated in February of 2020 with an opening date of Fall of 2021.

State Statutes require the school board to consult with the city's Planning Commission on the development of new schools in ensure that the proposed location conforms to the City's comprehensive plan. In June of 2016, representatives from the Poudre School District discussed the location of the school site with the Planning Commission. The Commission did not voice concerns with the District's purchase of the property for an elementary school.

A site development plan for the school is included as **Attachments 2** to this report. As a second part to the location and extent review, State Statutes require the Board of Education to provide a site development plan for review and comment by the Planning Commission prior to construction of the school. If the Planning Commission identifies concerns with the site plan, the Commission may request a public hearing before the PSD Board of Education.

Project History

The property was annexed into the City of Loveland in 1987 as part of a large, 302-acre tract. The property was originally zoned Industrial, but was subsequently rezoned to Developing Business in 2002. A special review and subdivision plat for the residential development was approved in November of 2017.

Planning Commission considered the School District's purchase of the site as part of a Location and Extent review on June 13, 2016. At that meeting, the Commission did not voice any objections to the District's purchase and future development of an elementary school.

Neighborhood Outreach

Notification	The location and extent review is not a public hearing and therefore notification is not required. The letters notifying the neighborhood of an outreach meeting, however did identify the Planning Commission date.
Neighborhood Response	A neighborhood meeting is not required as part of the City's location and extent review. The School District conducts neighborhood meetings and outreach efforts as part of their development process. The first outreach meeting with the neighborhood is scheduled for December 5, 2019. The District will be able to provide an update to the Planning Commission regarding neighborhood feedback from that meeting.

Planning Commission Review

Pursuant to Colorado State Statute CRS 22-32-104 (1.5), the Planning Commission has the opportunity to review and comment on school locations and infrastructure plans. City staff is currently reviewing a site development plan for the elementary school in light of applicable City policies, codes and standards. The City routinely holds school districts to applicable code requirements related to stormwater, water/wastewater, power, transportation, and fire, while encouraging compliance with adopted policy plans and zoning standards. The building code requirements and permits for the school structure are reviewed by the State rather than by City staff. In addition, the City has generally sought to encourage land use and design compatibility between school district projects and surrounding neighborhoods.

As previously indicated, the infrastructure to accommodate the school was planned and included in the review of the surrounding residential development. A traffic impact study was reviewed and a determination of compliance with the Larimer County Urban Area Street Standards was made. The school will meet the

criteria for level of service as outlined in the City's Adequate Community Facilities requirements. A positive determination of compliance has been made by the City's Transportation, Fire, Power, and Stormwater Divisions. The school district has also worked closely with the Fort Collins-Loveland Water and South Sanitation District to ensure compliance with the District's infrastructure requirements.

The school is not located within a 5 minute response from the City's nearest fire station (Station 6), however the Fire Association has an auto-aid agreement with Windsor/ Severance Fire, and the 5 minute response time from their Station 3 will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.

Conditions of Approval

The following are conditions are associated with the City's review of the site development plan and will be incorporated into a development agreement with the school district.

1. Prior to the City's acceptance of roadway and access improvements and any occupancy or use of the proposed school, pursuant to the provisions in the Unified Development Code of the Loveland Municipal Code, the School District shall design and construct the following public improvements unless constructed by others:
 - a. All school access and public sidewalk improvements as shown on the Site Development Plan and any associated Public Improvement Construction Plans.
 - b. All school zone signing and striping as shown on the Site Development Plan and any associated Public Improvement Construction Plans.
 - c. All pedestrian neckdown and crosswalk improvements on Travers Stake Drive as shown on the Site Development Plan and any associated Public Improvement Construction Plans.
 - d. All public improvements associated with the Thornburg Hamilton Subdivision as shown on the Thornburg Hamilton Public Improvement Construction Plans.

Staff Recommendation

City staff has determined that the site development plan complies with the City's standards for public utilities, stormwater conveyance and roadway connections. The Planning Commission does not approve the location and extent review, however if the Commission identifies concerns with the site plan, the Commission can request a meeting with the Poudre School District Board of Education.

SOUTHEAST ELEMENTARY SCHOOL



SITE PLAN | 10.18.2019
SCALE : 1" = 60' - 0"



ATTACHMENT 1

THORNBURG HAMILTON 3RD SUBDIVISION, BLOCK 1, LOT 2

SOUTHEAST ELEMENTARY SCHOOL POUDRE SCHOOL DISTRICT LOVELAND, COLORADO

SDP

Vicinity Map:



OWNER'S REP / APPLICANT

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(970) 532-5891

LEGAL DESCRIPTION:

THORNBURG HAMILTON 3RD SUBDIVISION, BLOCK 1, LOT 2

CITY APPROVAL

APPROVED THIS ____ DAY OF ____ A.D. 20____ BY THE
CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, COLORADO.

CURRENT PLANNING MANAGER

GENERAL NOTES

- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, STREET IMPROVEMENTS AND PROPOSED GRADING.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
- FIRE HYDRANTS MUST MEET OR EXCEED FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF LOVELAND STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

CONDITIONS OF APPROVAL

PW-TRANSPORTATION

- ALL PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS).
- PRIOR TO THE CITY'S ACCEPTANCE OF ROADWAY AND ACCESS IMPROVEMENTS AND ANY OCCUPANCY OR USE OF THE PROPOSED SCHOOL, PURSUANT TO THE PROVISIONS IN THE UNIFIED DEVELOPMENT CODE OF THE LOVELAND MUNICIPAL CODE, THE SCHOOL DISTRICT SHALL DESIGN AND CONSTRUCT THE FOLLOWING PUBLIC IMPROVEMENTS UNLESS CONSTRUCTED BY OTHERS:
 - ALL SCHOOL ACCESS AND PUBLIC SIDEWALK IMPROVEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN AND ANY ASSOCIATED PUBLIC IMPROVEMENT CONSTRUCTION PLANS.
 - ALL SCHOOL ZONE SIGNING AND STRIPING AS SHOWN ON THE SITE DEVELOPMENT PLAN AND ANY ASSOCIATED PUBLIC IMPROVEMENT CONSTRUCTION PLANS.
 - THE PEDESTRIAN ACTIVATED RECTANGULAR RAPID FLASHING BEACON (RRFB) PEDESTRIAN CROSSING SYSTEM ON TRAVERS STAKE DRIVE AS SHOWN ON THE SITE DEVELOPMENT PLAN AND ANY ASSOCIATED PUBLIC IMPROVEMENT CONSTRUCTION PLANS. THE INSTALLATION OF THIS SYSTEM MUST BE COMPLETED BY A CONTRACTOR APPROVED BY THE CITY TRAFFIC OPERATIONS DIVISION AND UNDER SUPERVISION OF THE CITY TRAFFIC OPERATIONS DIVISION STAFF.
 - ALL PUBLIC IMPROVEMENTS ASSOCIATED WITH THE THORNBURG HAMILTON SUBDIVISION AS SHOWN ON THE THORNBURG HAMILTON PUBLIC IMPROVEMENT CONSTRUCTION PLANS.
- A ROW WORK PERMIT MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN THE CITY ROW.

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1	SP 00	-	COVER SHEET	9	LS 100	-	OVERALL TREE / GROUND COVER PLAN	19	A 200	-	ELEVATIONS
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3	SP 101	-	SITE PLAN - NORTH HALF	11	LS 102	-	LANDSCAPE PLAN	21	A 202	-	ELEVATIONS
4	SP 102	-	SITE PLAN - SOUTH HALF	12	LS 103	-	LANDSCAPE PLAN	22	A 203	-	PERSPECTIVES
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8	SP 106	-	SITE DETAILS	16	LS 107	-	PLANT LISTS				
				17	LS 108	-	LANDSCAPE NOTES AND DETAILS				
				18	LS 109	-	LANDSCAPE DETAILS				

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POUDRE SCHOOL DISTRICT

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01 07/25/19 SDP SUBMITTAL 01
02 10/16/19 SDP SUBMITTAL 02
03 12/02/19 SDP SUBMITTAL - FINAL

5 no. date revision

Project Number

219002

Project

SOUTHEAST ELEMENTARY

Phase

CITY OF LOVELAND
SITE DEVELOPMENT PLAN

2019/07/25

Scale

Drawing

SDP Cover Sheet

No

SP 00

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A

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ATTACHMENT 2

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Phase

CITY OF LOVELAND SITE DEVELOPMENT PLAN

2019/07/25

Drawing

No

SP 100

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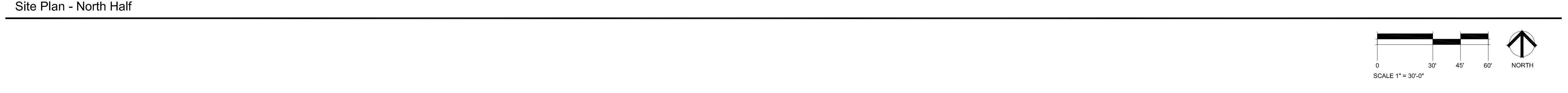
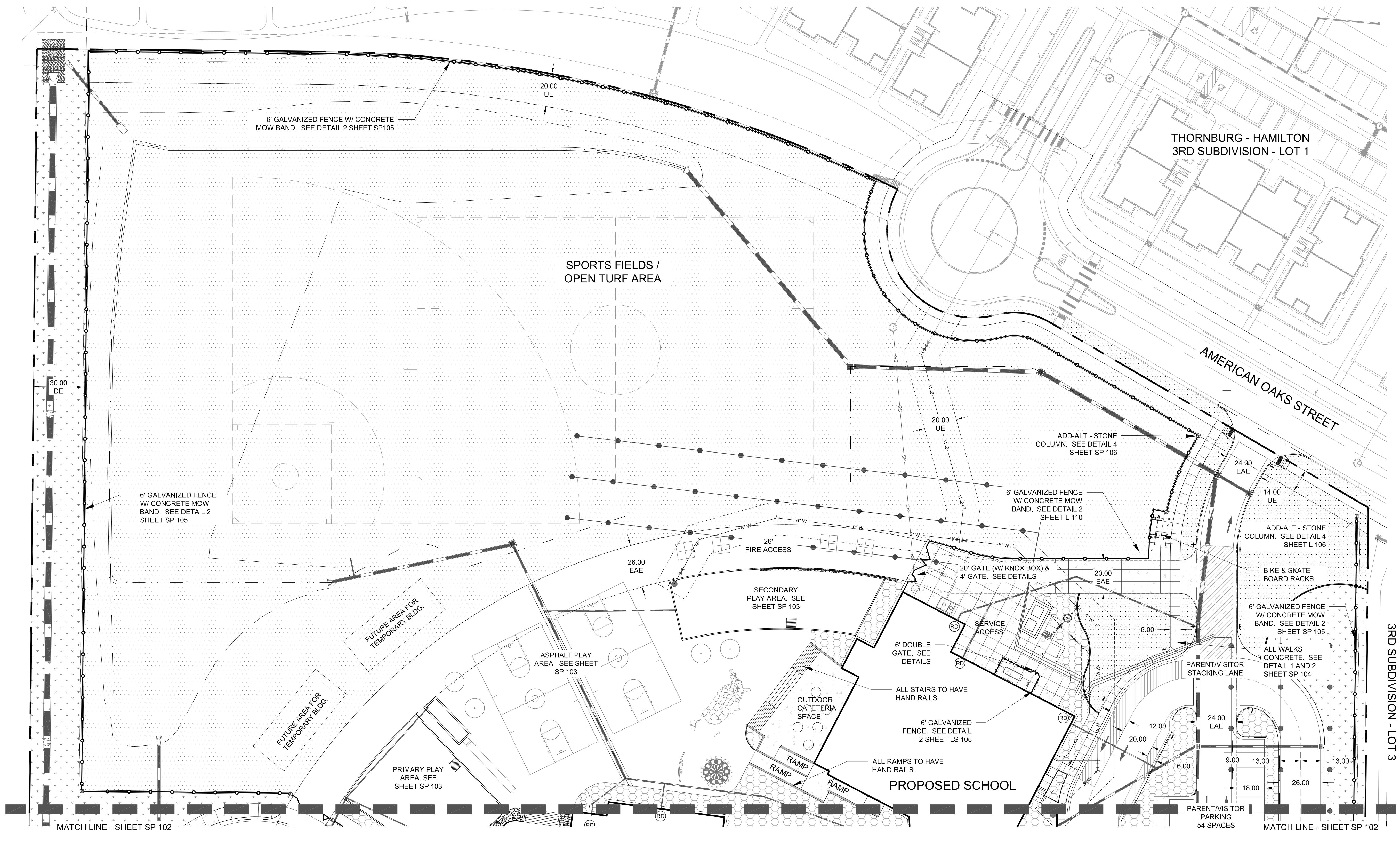
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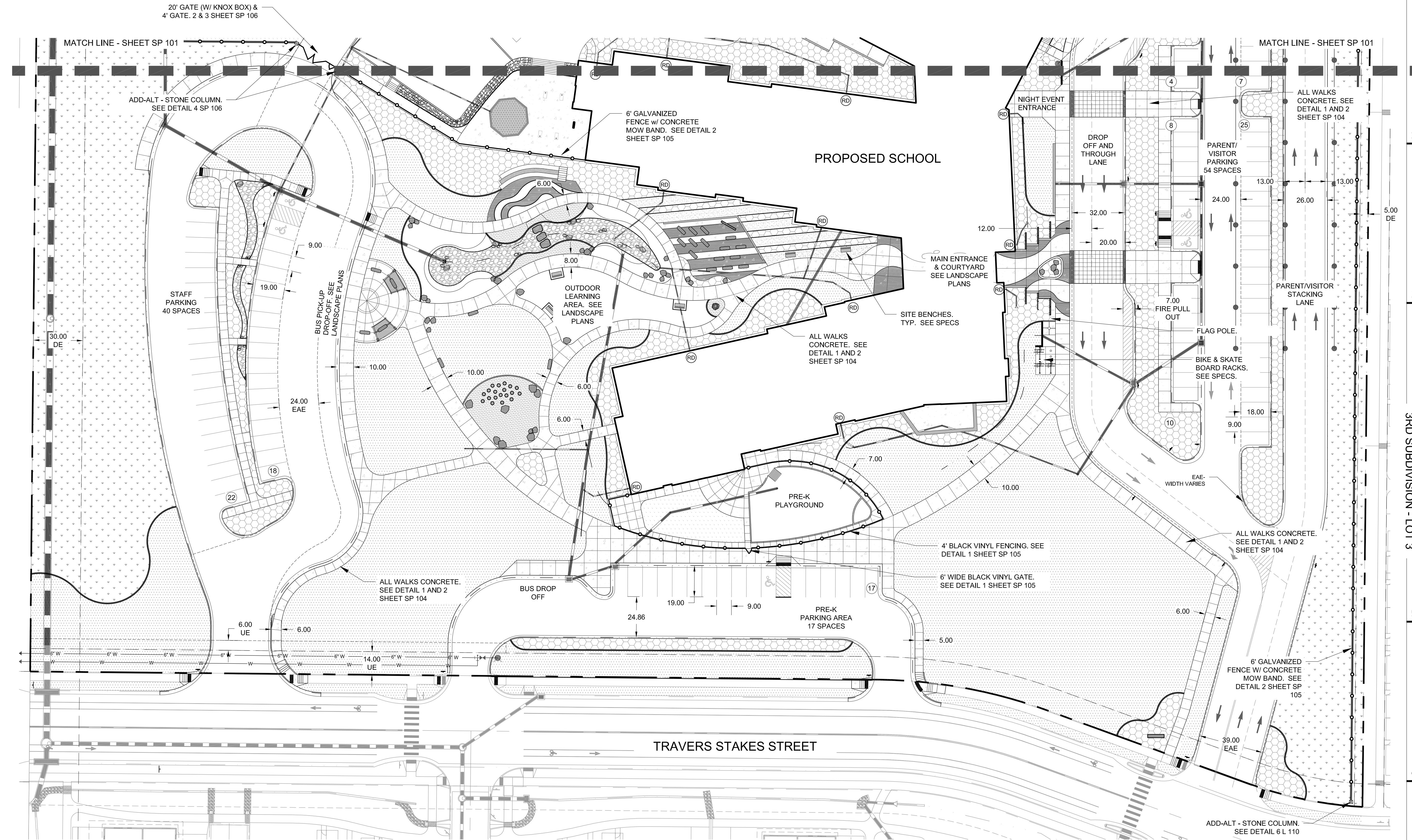


Overall Site Plan

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ATTACHMENT 2

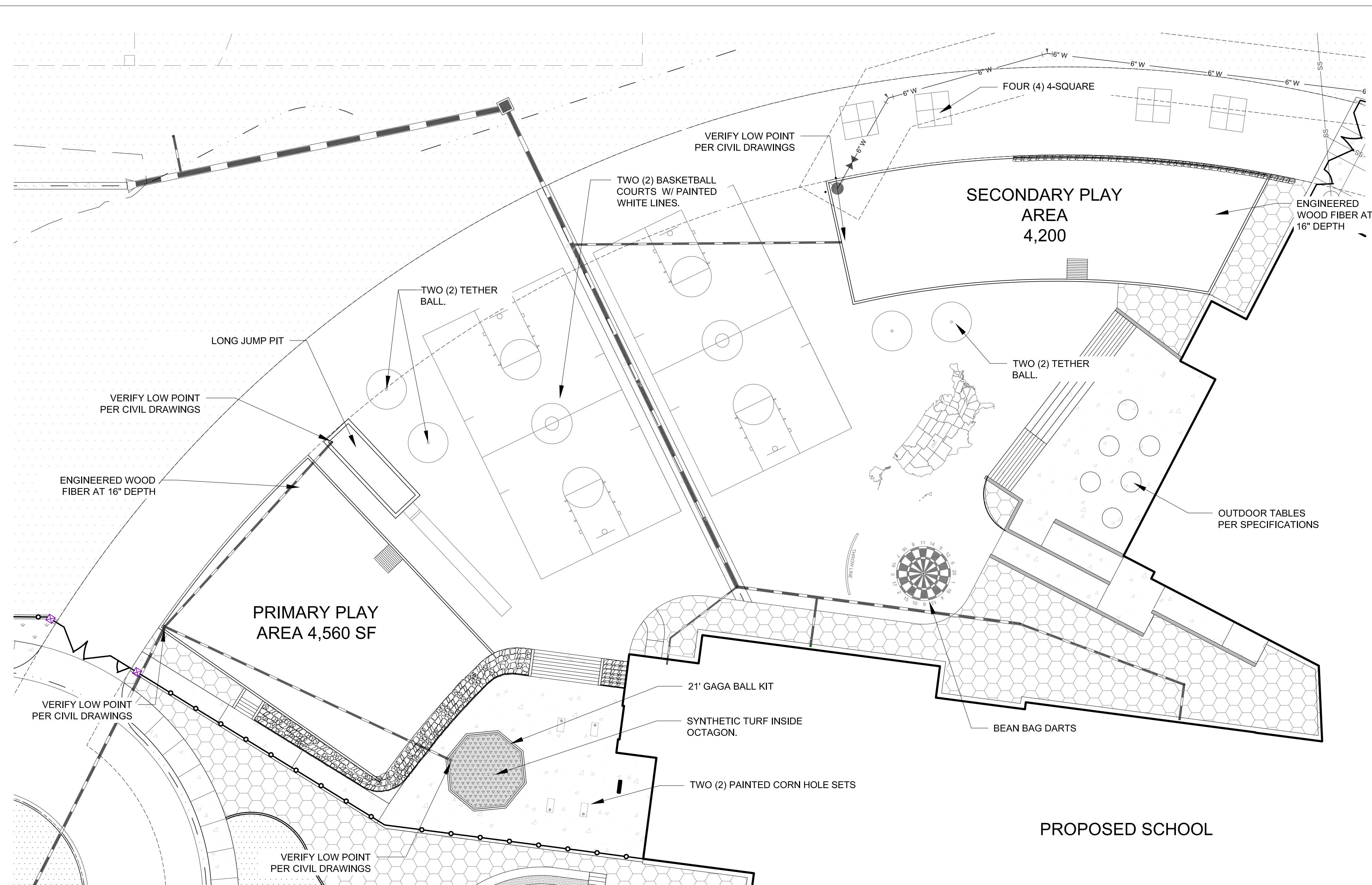




Site Plan - South Half

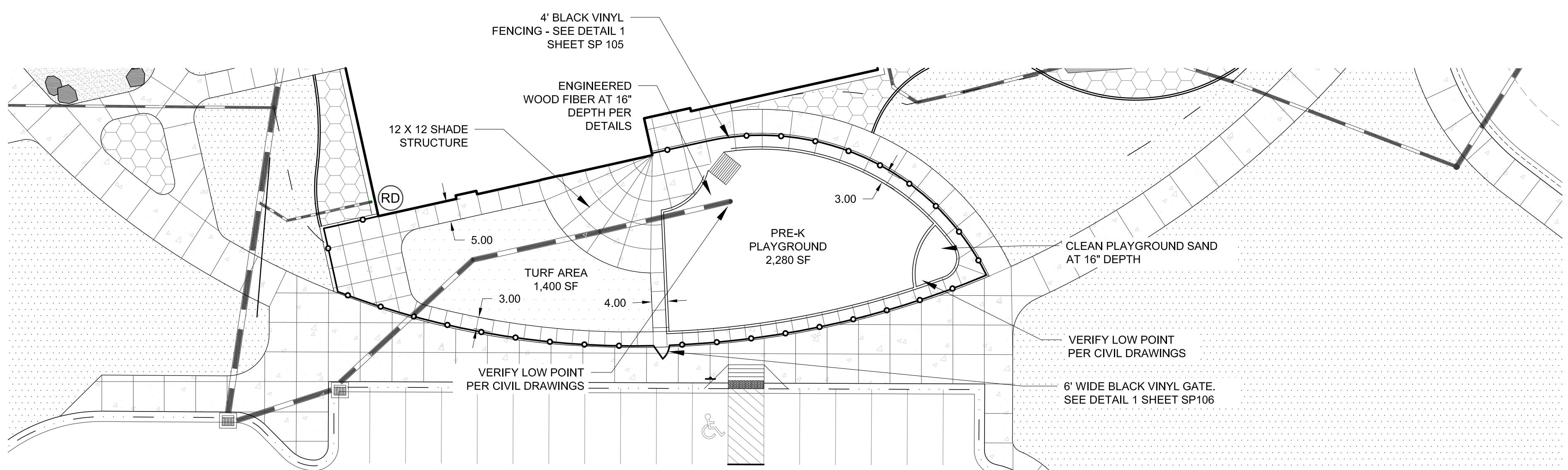
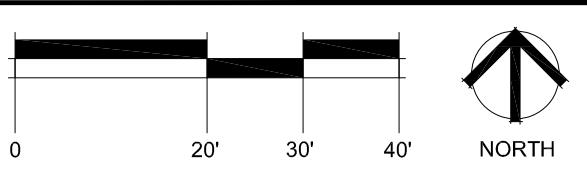
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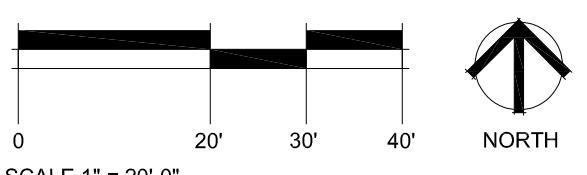
Primary & Secondary Playground Area

PLAYGROUND NOTES:
 1. ALL PLAYGROUNDS, GAGA PIT AND LONG JUMP PIT TO HAVE SUB-SURFACE FIBER DRAINAGE SYSTEM OR SIMILAR SUB-SURFACE PERIMETER DRAIN.
 2. SEE CIVIL PLANS FOR SUB GRADE SLOPES AND LOW POINT OF PLAYGROUND / PIT AND DRAIN INLET. FINE GRADE AND TIE SUB SURFACE DRAINAGE SYSTEM TO THESE POINTS.



Landscape Plan - Pre-K Play Area

PLAYGROUND NOTES:
 1. ALL PLAYGROUNDS TO HAVE SUB-SURFACE FIBER DRAINAGE SYSTEM OR SIMILAR SUB-SURFACE PERIMETER DRAIN.
 2. SEE CIVIL PLANS FOR LOW POINT OF PLAYGROUND SUB-BASE AND DRAIN INLET. FINE GRADE AND TIE SUB SURFACE DRAINAGE SYSTEM TO THIS POINT.



Primary Playground



Secondary Playground

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 02 10/16/19 SDP SUBMITTAL 02
 03 12/02/19 SDP SUBMITTAL - FINAL

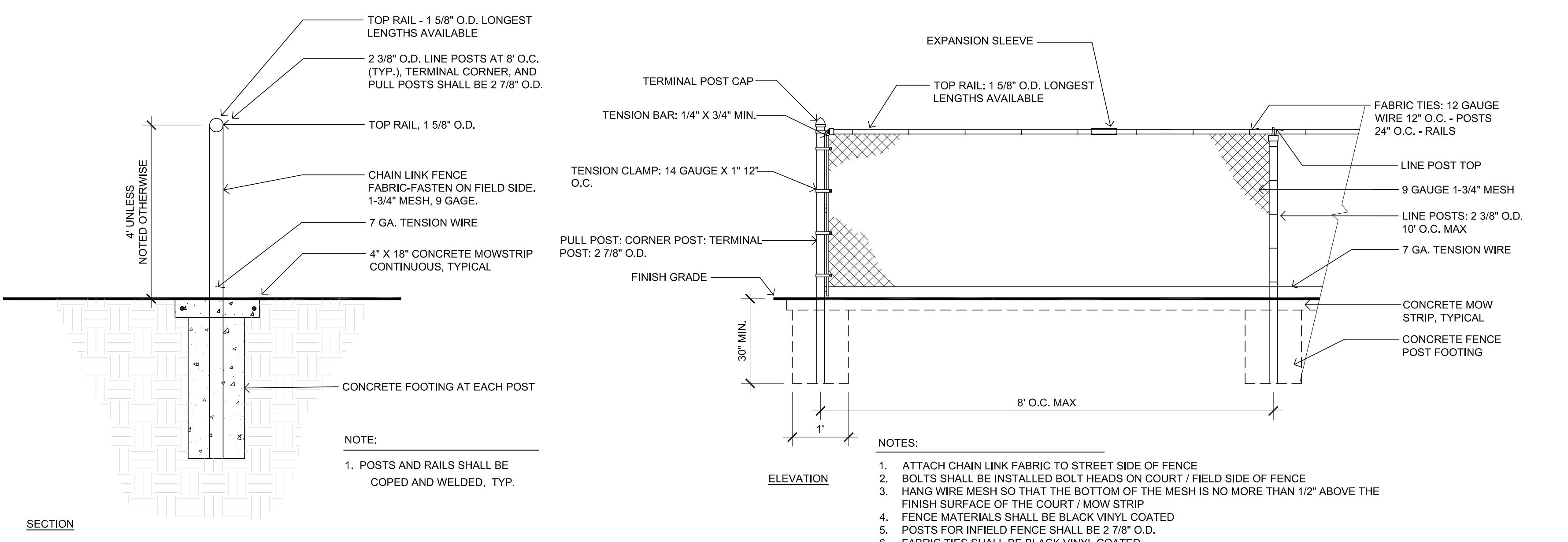
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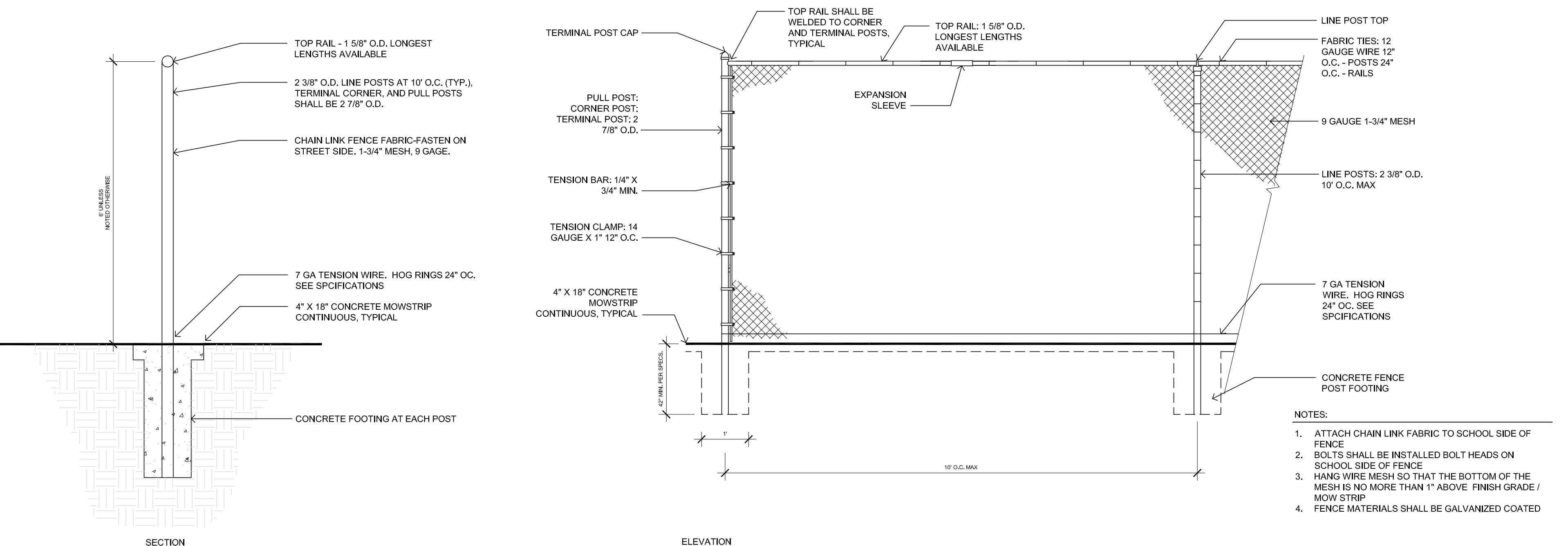
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 2019/07/25
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Playground Plans

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1 4' / 6' BLACK VINYL CHAIN LINK FENCE WITH CONCRETE MOW STRIP



2 6' GALVANIZED CHAIN LINK FENCE WITH CONCRETE MOW STRIP

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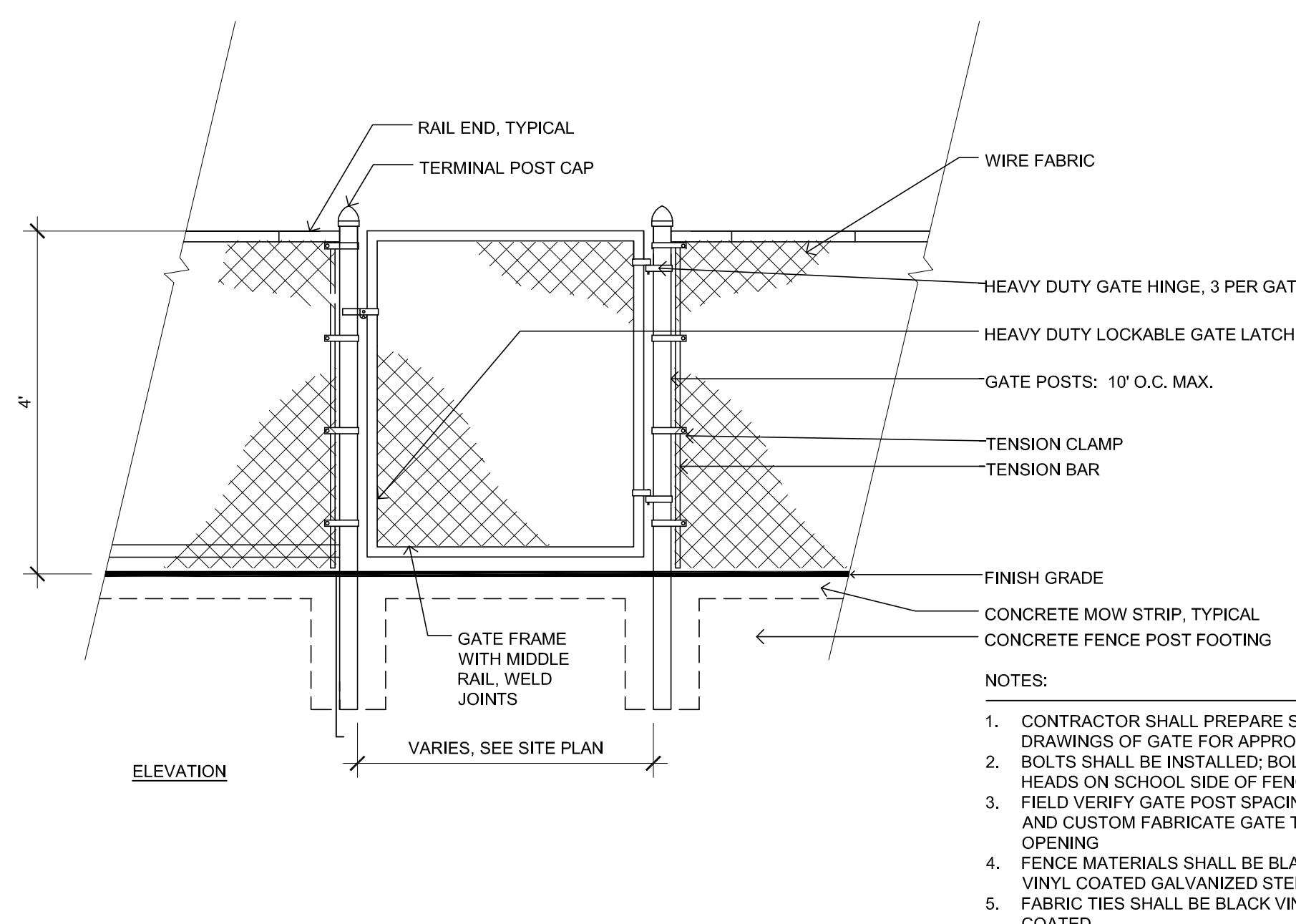
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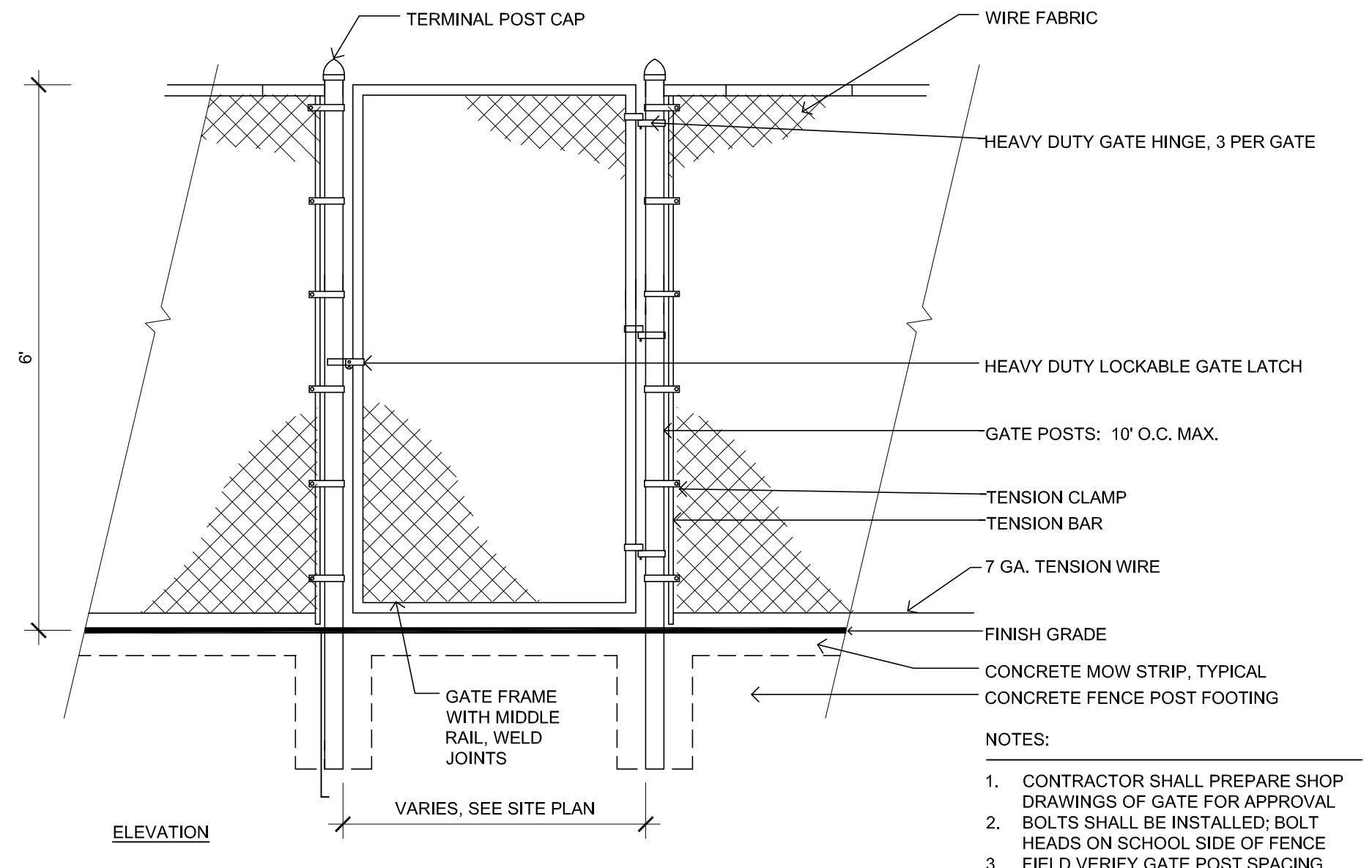
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POUDRE SCHOOL DISTRICT



1 6' WIDE MAN GATE - BLACK VINYL

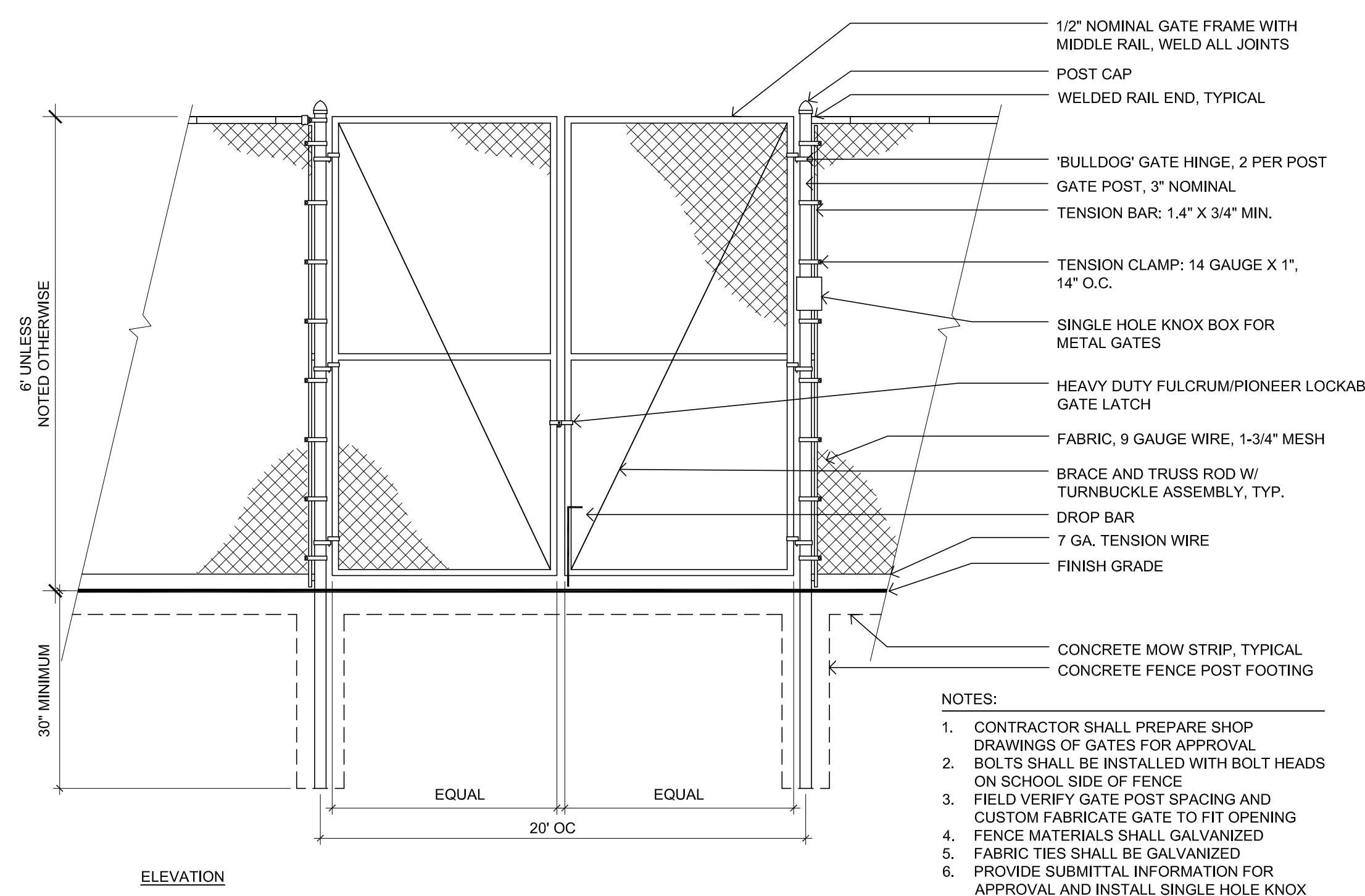
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2 4' WIDE MAN GATE - GALVANIZED

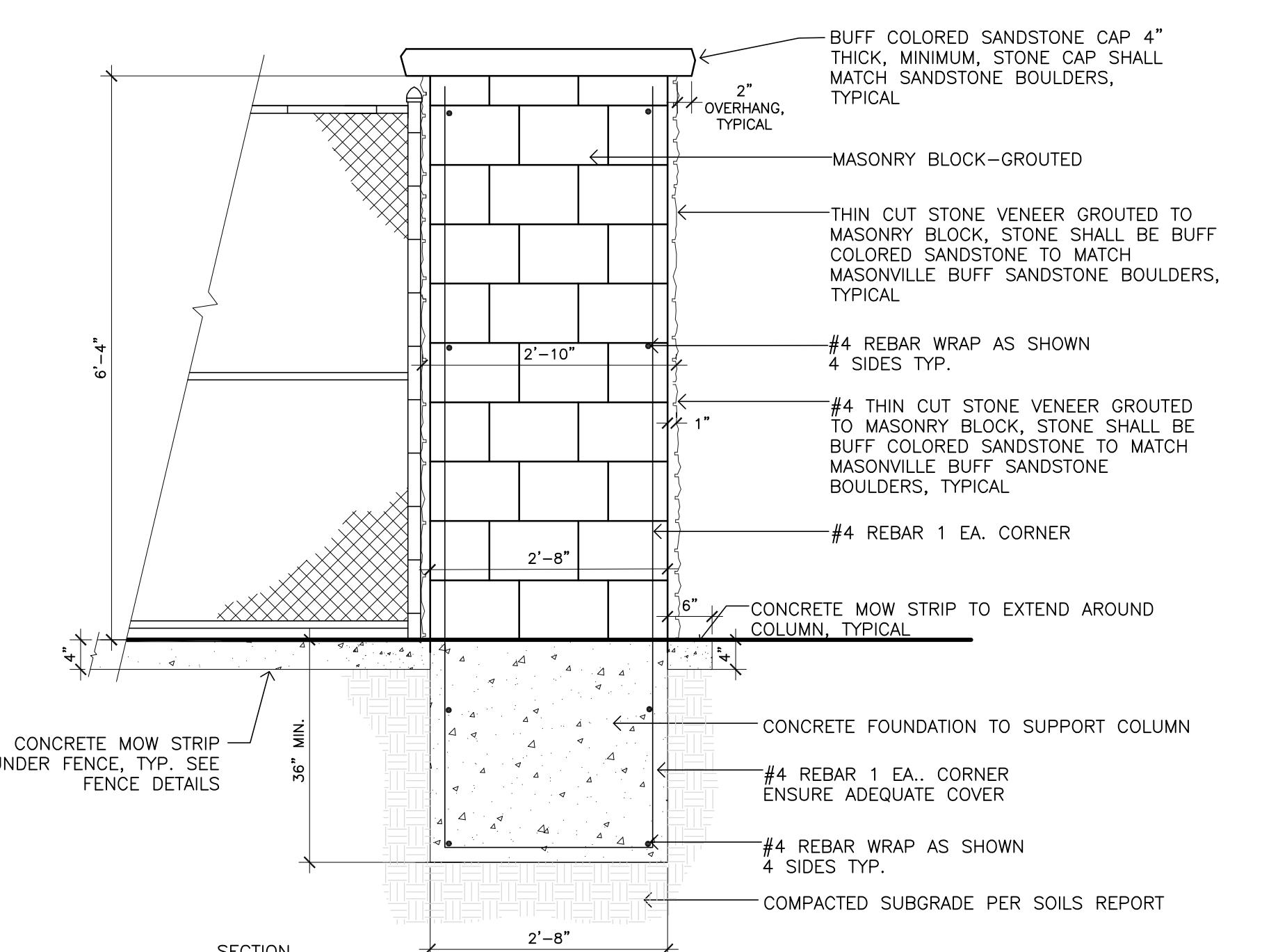
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3 20' WIDE MAINTANCE GATE - GALVANIZED

SP106



4 ADD-ALTERNATIVE - STONE VENEER COLUMN FOR 6' FENCE

SP106

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2019/07/25
Scale
Drawing

Site Details

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SP 106
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ATTACHMENT 2



Overall Site and Landscape Plan

Southeast Elementary School

Loveland, Colorado

Landscape Plans

VICINITY MAP:



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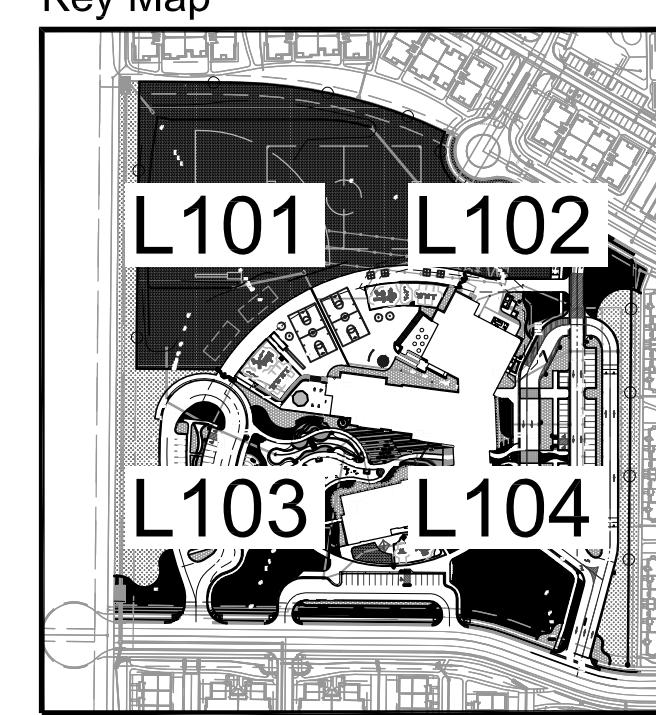
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Key Map



SCALE 1" = 50'-0"

0 50' 75' 100' NORTH

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POUDRE SCHOOL DISTRICT

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2019/07/25

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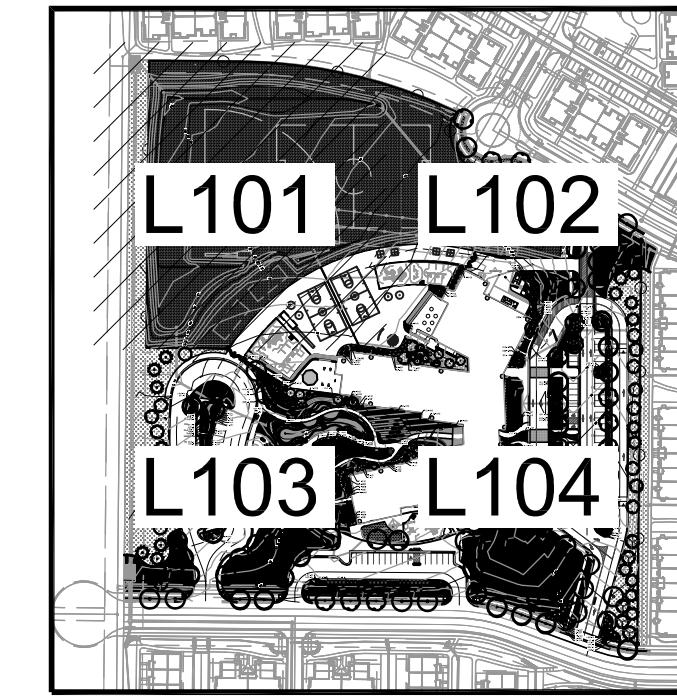
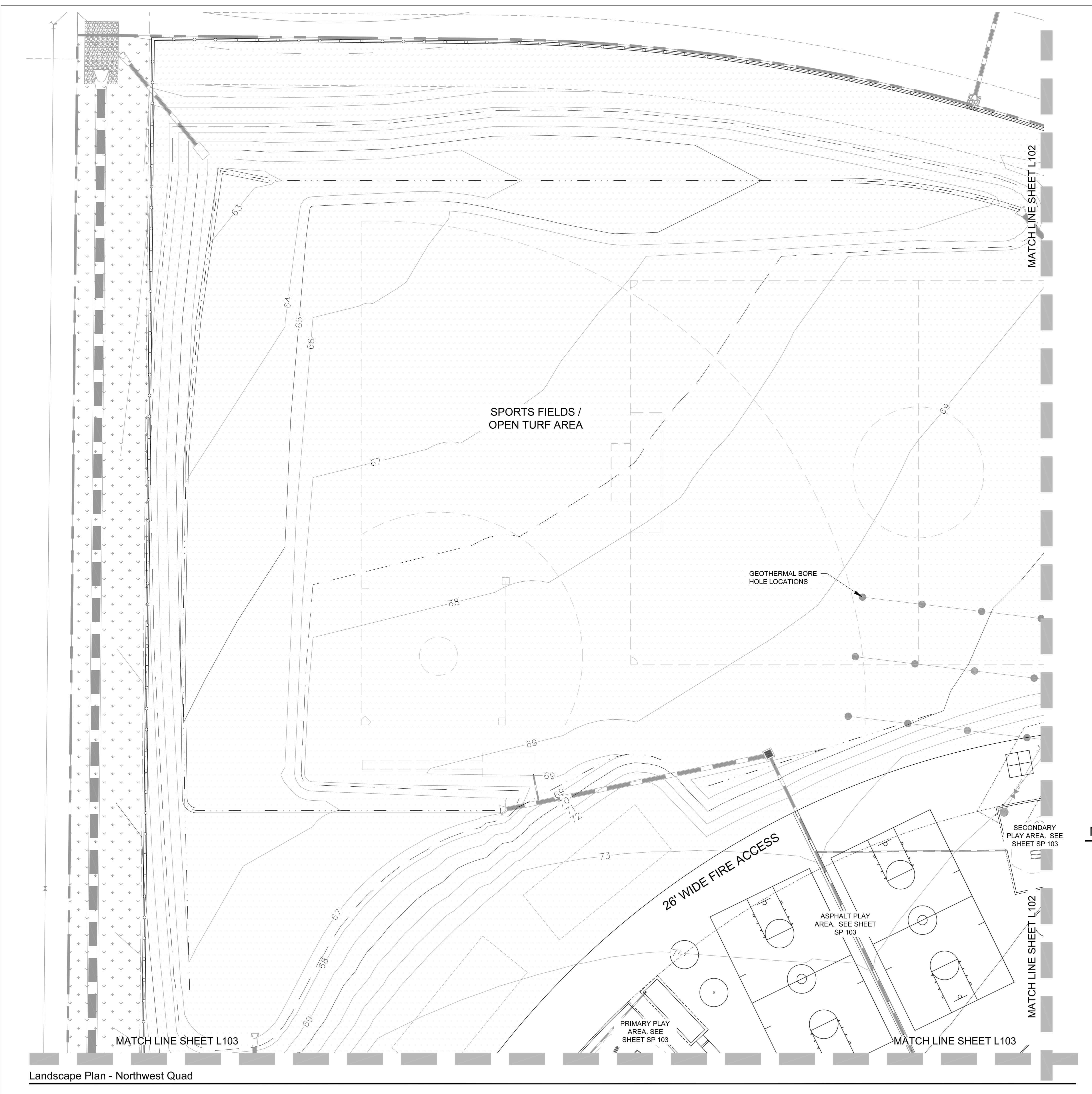
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Overall Landscape Plan

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POUDRE SCHOOL DISTRICT

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Phase

CITY OF LOVELAND

SITE DEVELOPMENT PLAN

2019/07/25

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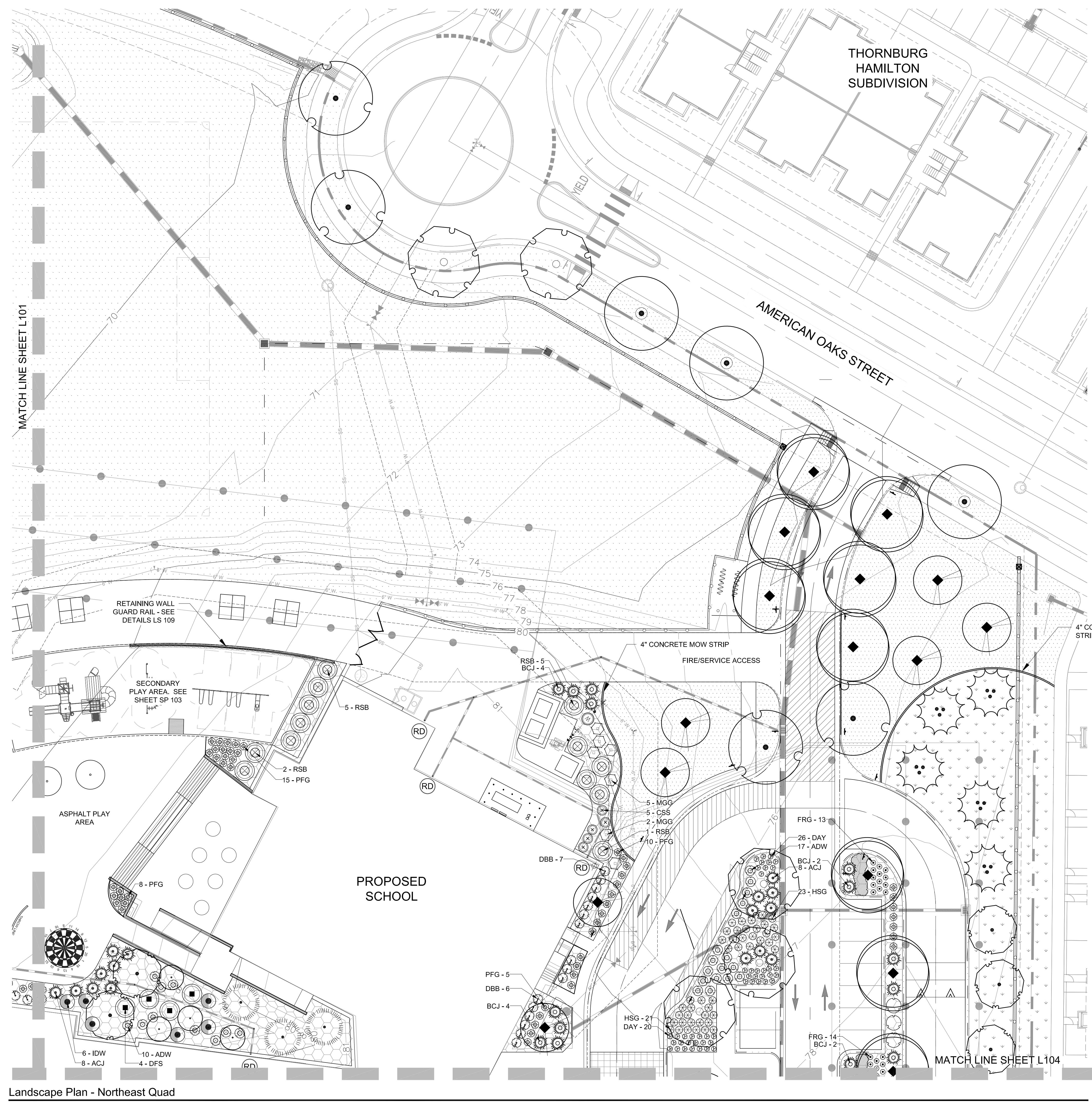
Landscape Plan - NW Quad

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LS 101

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ATTACHMENT 2



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1 POU DRE SCHOOL DISTRICT

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01 07/25/19 SDP SUBMITTAL 01
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Project Number

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Project

SOUTHEAST ELEMENTARY

Phase

CITY OF LOVELAND
SITE DEVELOPMENT PLAN

2019/07/25

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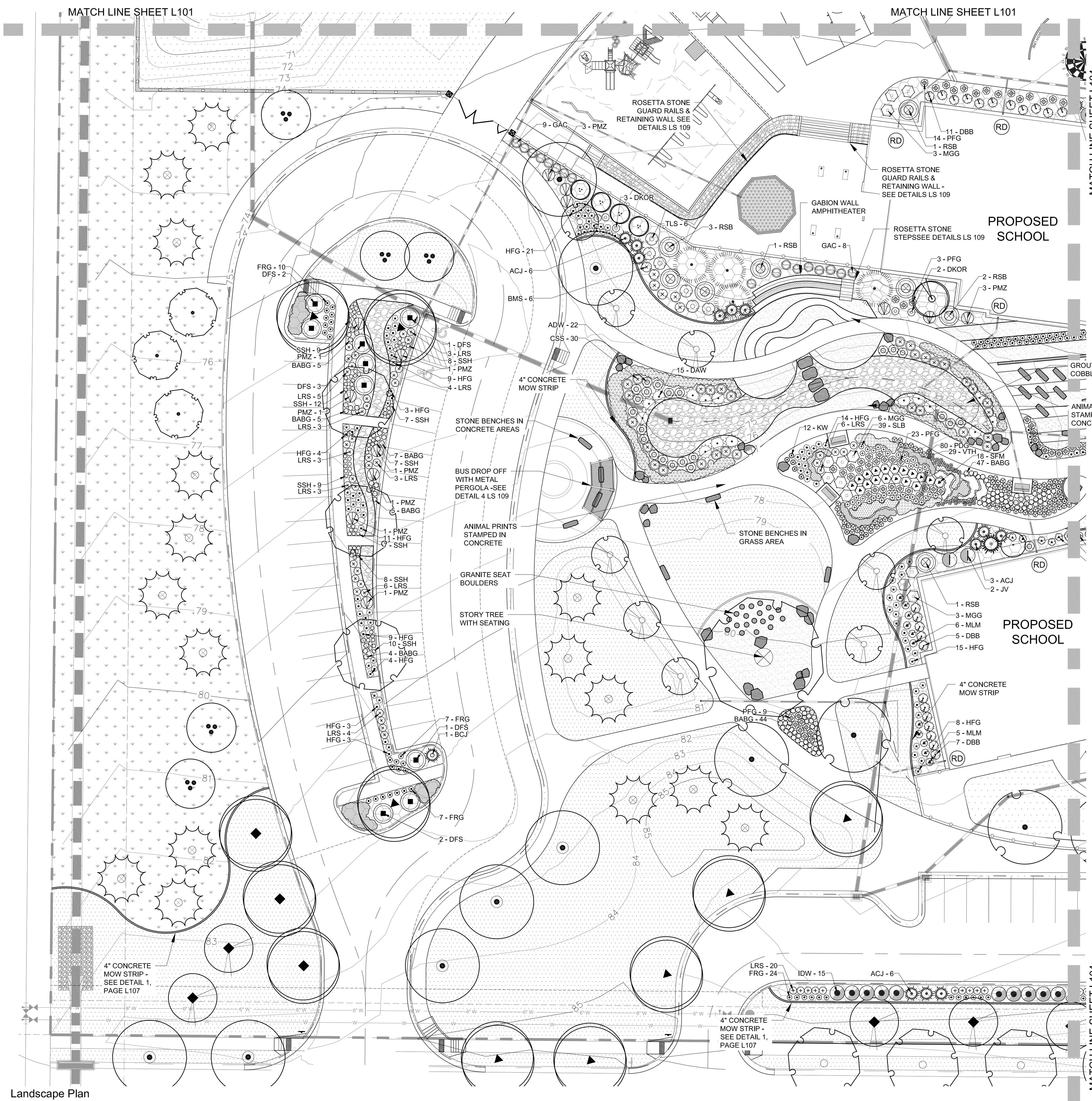
Landscape Plan - NE Quad

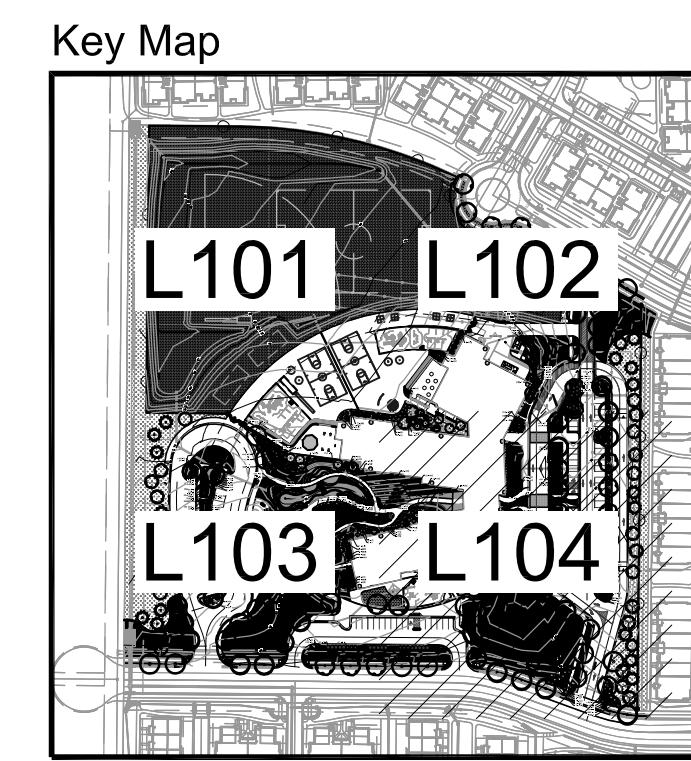
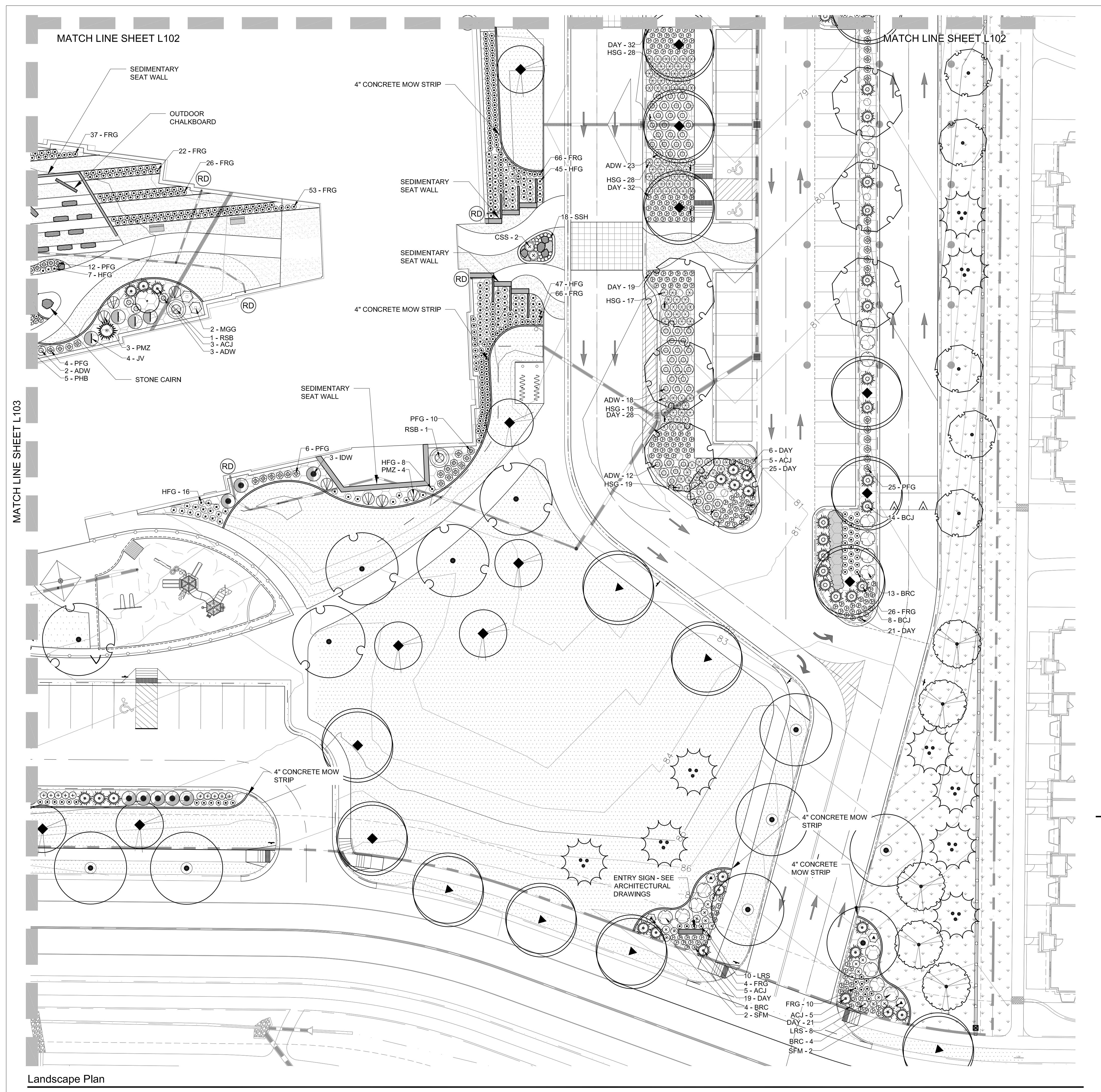
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POUDRE SCHOOL DISTRICT

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Project Number
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Project

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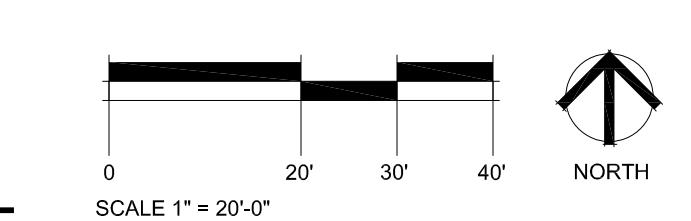
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2019/07/25

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Drawing
Landscape Plan - SE Quad

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ATTACHMENT 2

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1 POU DRE SCHOOL DISTRICT

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Project

SOUTHEAST ELEMENTARY

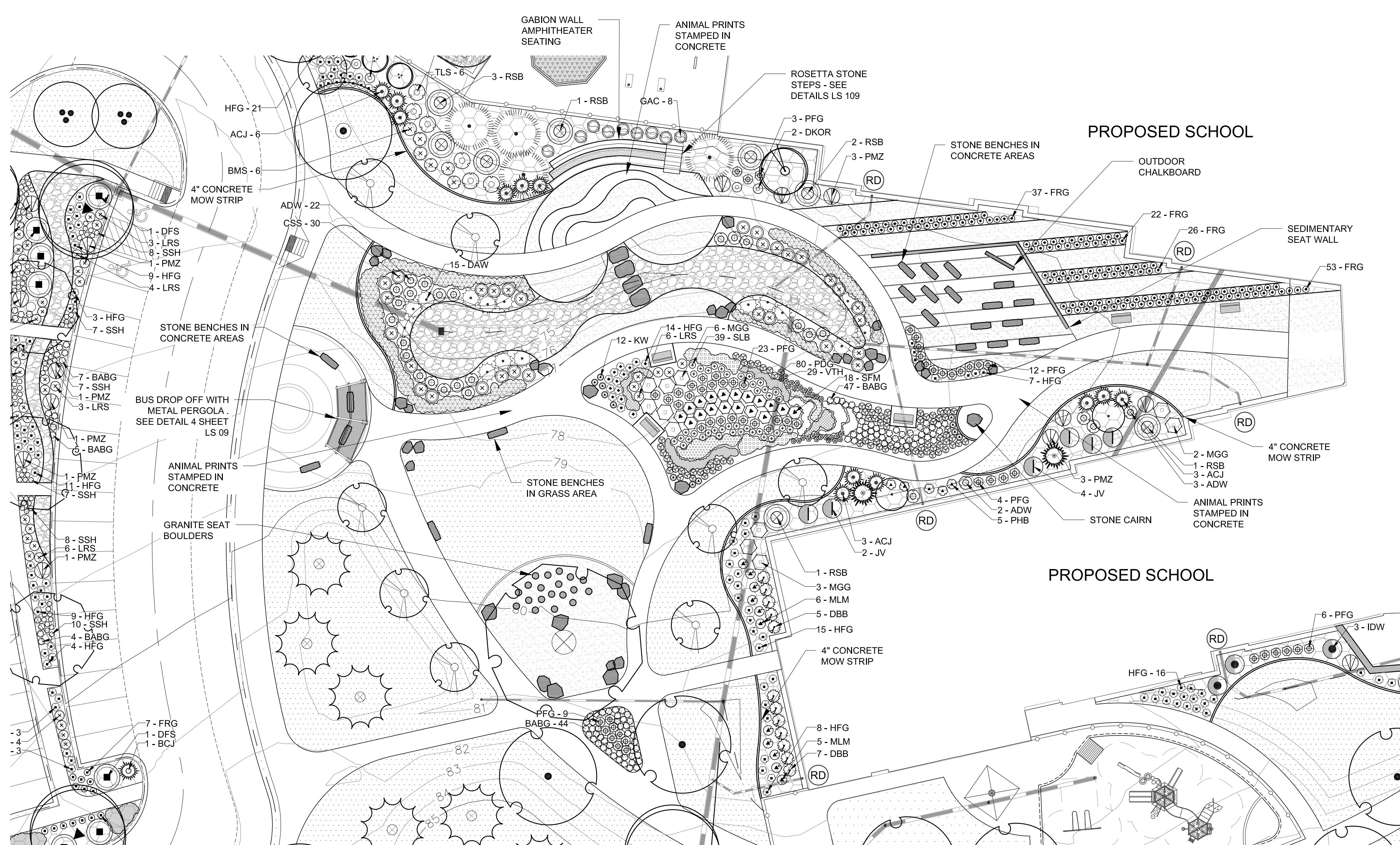
Phase
CITY OF LOVELAND
SITE DEVELOPMENT PLAN
2019/07/25

Scale
Drawing

Landscape Plan - Outdoor Learning Courtyard

No

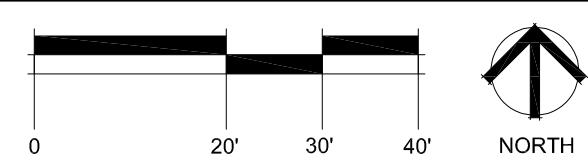
LS 105



Detailed Site / Landscape Plan - Learning Courtyard

Materials Legend

	<u>FESCUE TURF</u>		<u>DRY STREAM BED/INTERMITTENT STREAM</u> • CONSISTS OF LARGE RIVER BOULDERS • VARYING SIZES OF RIVER COBBLE TO REPLICATE A STREAM BED
	<u>IRRIGATED TURF</u> DURA-TURF FESCUE BLEND - SOD		<u>CRUSHER FINE SURFACE</u>
	<u>NON-IRRIGATED NATIVE GRASS MIX</u> SEED MIX - SEE NOTES LS 11 OR APPROVED EQUAL		<u>WASHED RIVER ROCK - GRAY</u> MINIMUM 4" DEPTH OF 2" - 4" WASHED RIVER ROCK OVER WEED BARRIER FABRIC



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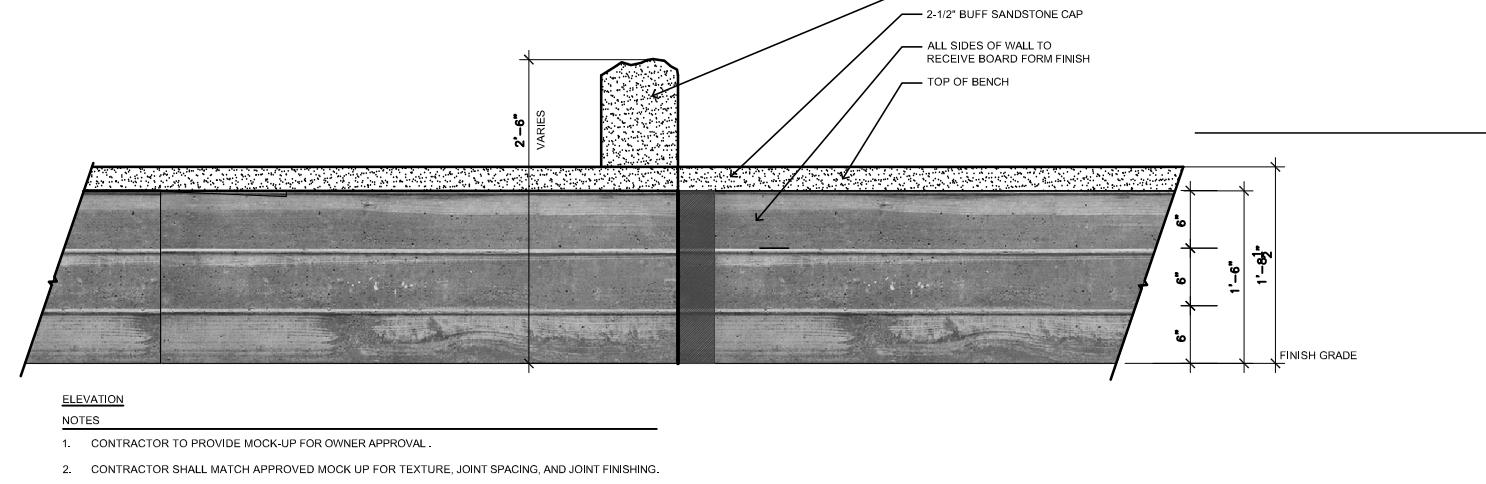
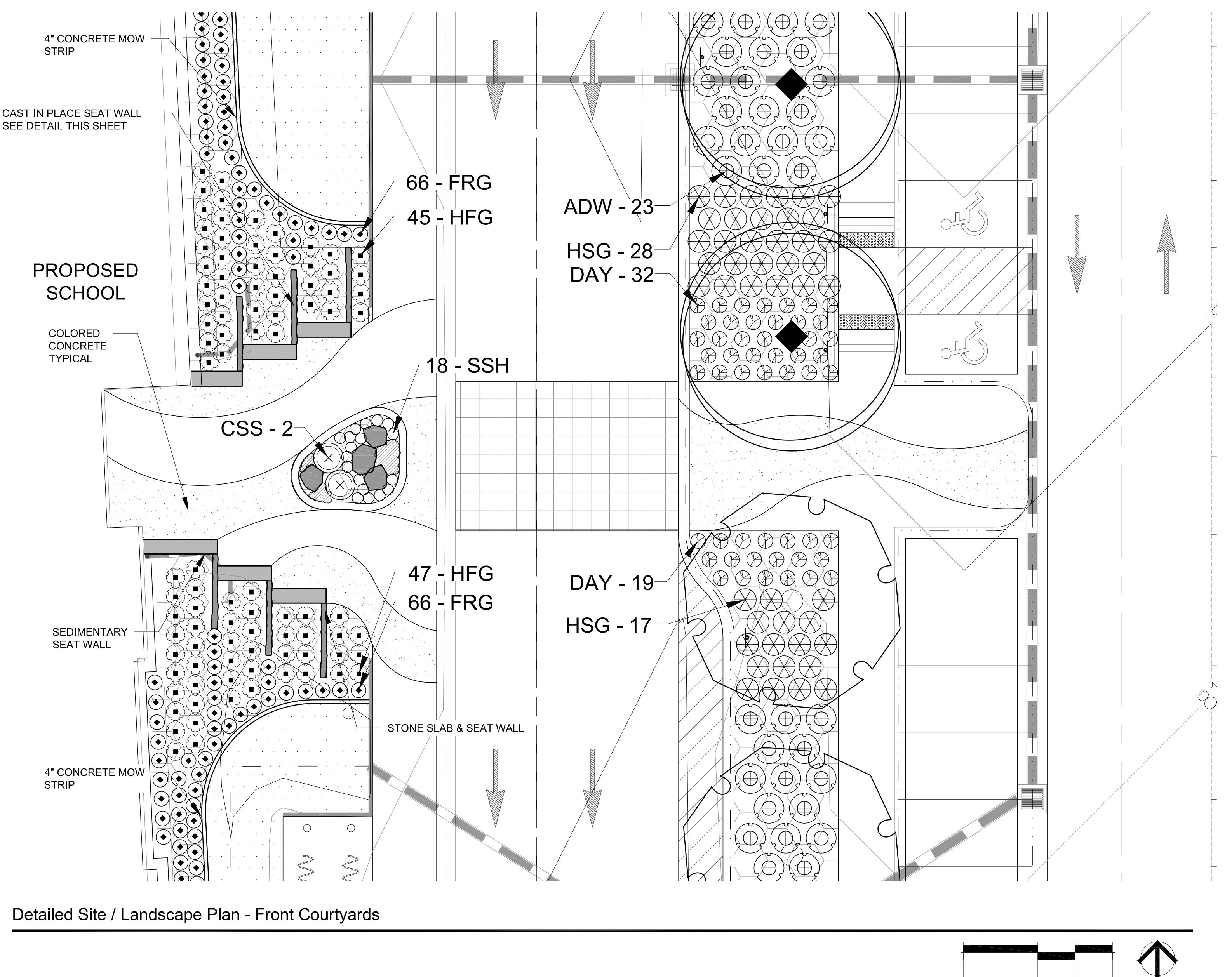
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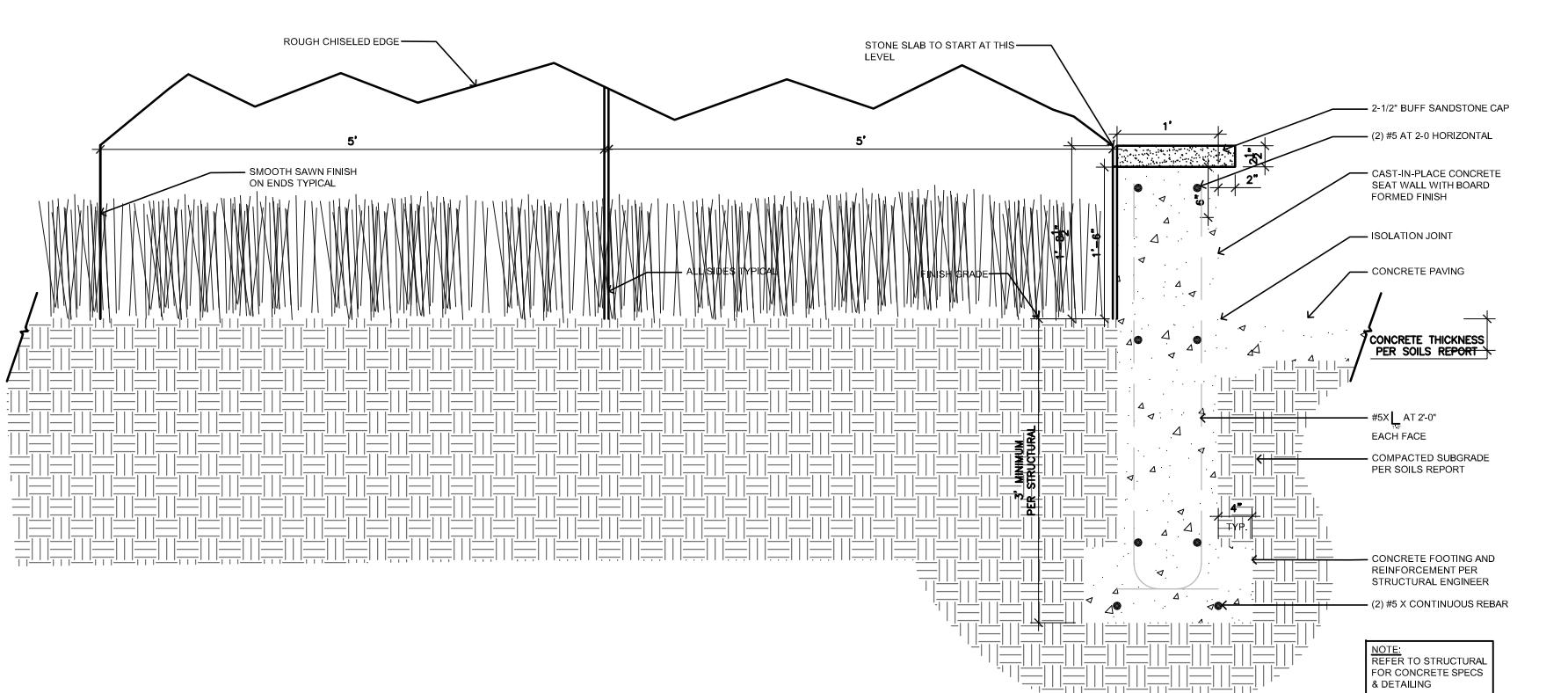
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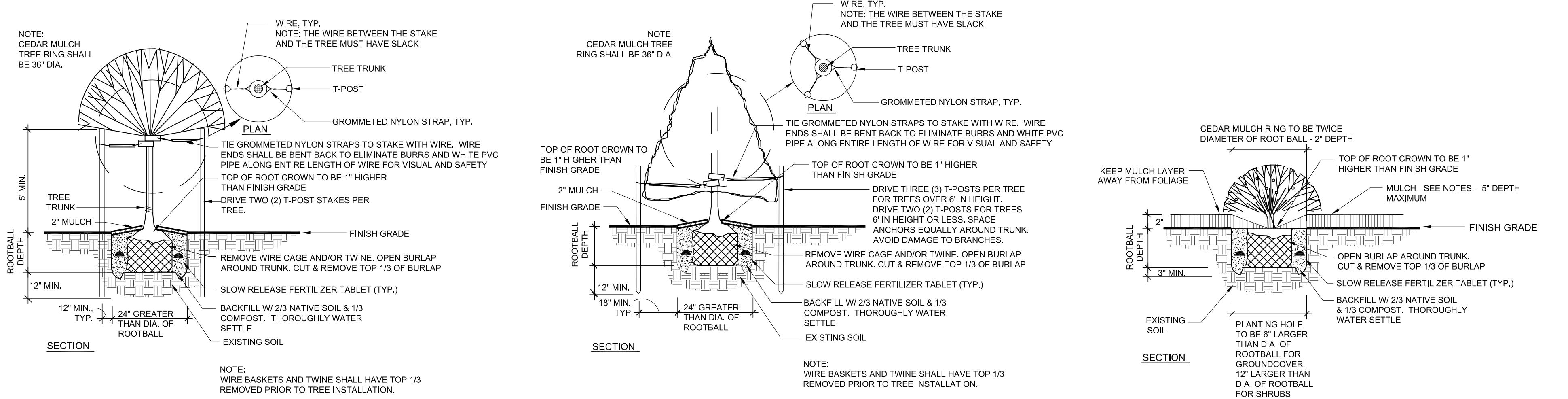


CAST IN PLACE SEATWALL DETAIL



STONE SLAB & SEATWALL DETAIL

Planting Details



DECIDUOUS TREE PLANTING DETAIL

CONIFER TREE PLANTING DETAIL

GROUND COVER & SHRUB PLANTING DETAIL

Landscape Notes

- LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE.
- ANY DISCREPANCIES WITH THE DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HRS. PRIOR TO ANY EXCAVATION OR PLANTING.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS. 1 - NO TREES OR SHRUBS SHALL BE PLANTED WITHIN 10' FROM WATER AND SEWER LINES, 4' FROM GAS, TELEPHONE AND ELECTRIC UTILITY LINES.
- NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN 3' IN HEIGHT SHALL BE PLANTED WITHIN WATER AND SEWER EASEMENTS (2.05.01.01)
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN TEN (10) FEET OF POTABLE AND NON-POTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, POTABLE WATER, SANITARY SEWER, STORM SEWER, OR NON-POTABLE IRRIGATION MAINS AND SERVICES.
- MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- TREES SHALL BE LIMBED TO A HEIGHT OF NOT LESS THAN EIGHT (8) FEET ABOVE ANY PUBLIC STREET OR SIDEWALK. SHRUBS AND OTHER PLANT MATERIALS SHALL BE MAINTAINED AT A HEIGHT OF NOT MORE THAN THIRTY (30) INCHES, AND SAID MAINTENANCE SHALL BE CONDUCTED IN PERPETUITY.
- IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, AND VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES.
- PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS SHALL BE THOROUGHLY LOOSEND AND TILLED TO A 6" DEPTH. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. AFTER THAT TIME ORGANIC AMENDMENTS SHALL THEN BE THOROUGHLY TILLED AND INCORPORATED TO A MINIMUM 6" DEPTH IN THESE AREAS AT THE MINIMUM OF RATE OF 3 CU. YDS. / 1,000 SQ.FT.
- UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- ONCE COMPACTED AND FINE GRADED, ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
- SOD TO BE 100% COLORADO GROWN DURA-TURF TALL FESCUE BLEND SPECIFICALLY GROWN FOR LOW WATER LAWNS APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HIGHLY VIGOROUS ROOT SYSTEM. ONCE TURF IS Laid IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT FOR NUMBER ONE GRADE.
- IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS MUST BE REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE CITY.
- CHANGES IN PLANT SPECIES OR PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE CITY PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- ALL PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BiodeGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH OR NATURAL COLOR AND/OR WASHED SMOOTH RIVER ROCK. A CONTINUOUS LAYER OF TYPICAL LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4 STAPLES #4 G.C. IN ALL DIRECTIONS.
- EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE AND CRUSHER FINES SHALL BE 14 GA HEAVY DUTY STEEL EDGER MIN. 1" x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD.

General Notes:

- THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 7:00 A.M. AND 6:00 P.M. ON NORMAL CITY OF LOVELAND BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.
- ALL SIGNS SHALL BE REQUIRED TO APPLY FOR A SIGN PERMIT.
- PROPOSED GRADES SHALL MATCH OR IMPROVE EXISTING GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING WHILE PROVIDING A SMOOTH TRANSITION BETWEEN ALL ADJACENT UNDISTURBED GRADES AND PROPOSED GRADES.
- JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.
- PROTECT EXISTING SURFACES AND SOILS, BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE CITY OF LOVELAND IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.

Irrigation Notes

- IRRIGATION CONTRACTOR SHALL VERIFY AVAILABLE P.S.I. AND G.P.M. THIS SYSTEM SHALL THEN BE VERIFIED TO MEET THE AVAILABLE P.S.I. AND G.P.M. AND THE PROPOSED IRRIGATION SYSTEM, IF NECESSARY CONTACT THE WATER DEPARTMENT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES.
- ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS, AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE OVERSPRAY.
- ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF IRRIGATED SOD AREAS ARE TO BE IRRIGATED WITH A PERMANENT Drip IRRIGATION SYSTEM. IRRIGATION SYSTEMS SHALL BE DESIGNED TO AVOID OVERSPRAY ONTO NON-PLANTED AND IMPERVIOUS SURFACES. IRRIGATION SYSTEMS SHALL BE MAINTAINED IN GOOD WORKING ORDER AND CHECKED TO ENSURE THAT OVERSPRAY DOES NOT OCCUR.
- IRRIGATION SYSTEM WITH RAIN SENSOR WILL BE ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTION TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Native Grass Seed Mix

NON IRRIGATED NATIVE GRASS -
LOW GROW NATIVE GRASS MIX: SEED SHALL BE A MIXTURE THAT MATCHES THE FOLLOWING:

COMMON NAME	%
EPHRAM CRESTED WHEATGRASS	30%
SHEEP FESCUE	25%
PERENNIAL RYE	20%
CHEWINGS FESCUE	15%
CANADA BLUEGRASS	10%

- SEED SHALL BE AS MANUFACTURED BY ARKANSAS VALLEY SEED SOLUTIONS, 4625 COLORADO BOULEVARD, DENVER, CO 80216, (877) 957-3337. REFER TO LOW GROW MIX TECH SHEET FOR ALL NECESSARY INFORMATION.
- DRILLED IN TWO PERPENDICULAR DIRECTIONS WITH AN APPLICATION RATE: 25.0 LBS (PLS) PER ACRE (0.57 LBS / 1000 SF)
- ADEQUATE TEMPORARY IRRIGATION OR BY WATER TRUCK, OR BY OTHER ACCEPTABLE MEANS, WILL BE PROVIDED BY CONTRACTOR FOR THE WATERING, ESTABLISHMENT AND MAINTENANCE OF THESE SEEDED AREAS AND TREES WITHIN SPECIFIED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS, TRASH AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.

MULCH IN ALL NATIVE SEED AREAS:

- IMMEDIATELY FOLLOWING THE RAKING / SEEDING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- APPLY STRAW MULCH AT A MINIMUM OF 1.5 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER / CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10 MPH.
- WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL, PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER, WITH A FLAT SERRATED DISC AT LEAS 1/4 INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE.

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Revision
01 07/25/19 SDP SUBMITAL 01
02 10/18/19 SDP SUBMITAL 02

5 no. date revision
Project Number
219002
Project

SOUTHEAST
ELEMENTARY

Phase
CITY OF LOVELAND
SITE DEVELOPMENT PLAN

6 2019/07/25
Scale

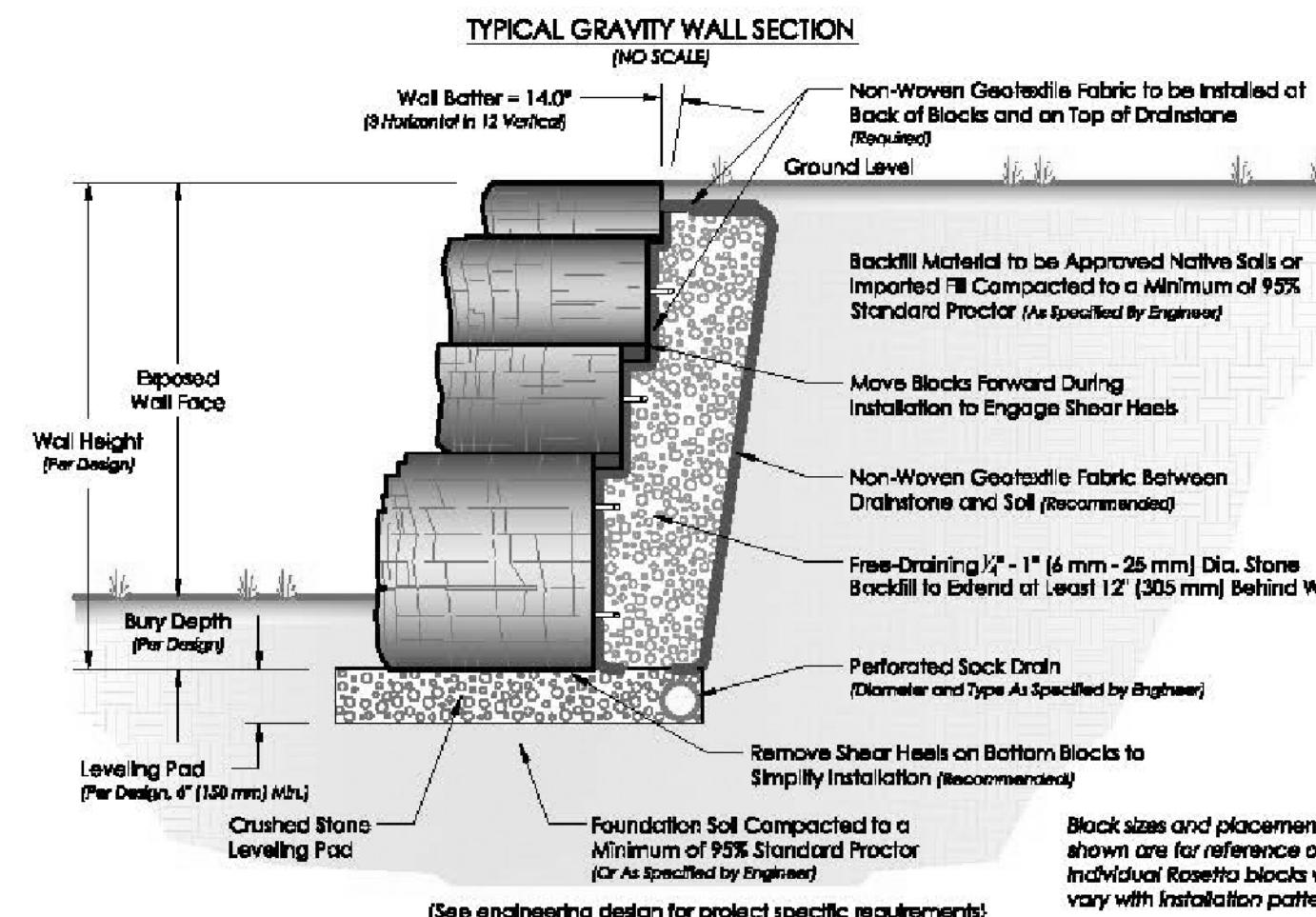
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Landscape Notes and Details

No

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ATTACHMENT 2

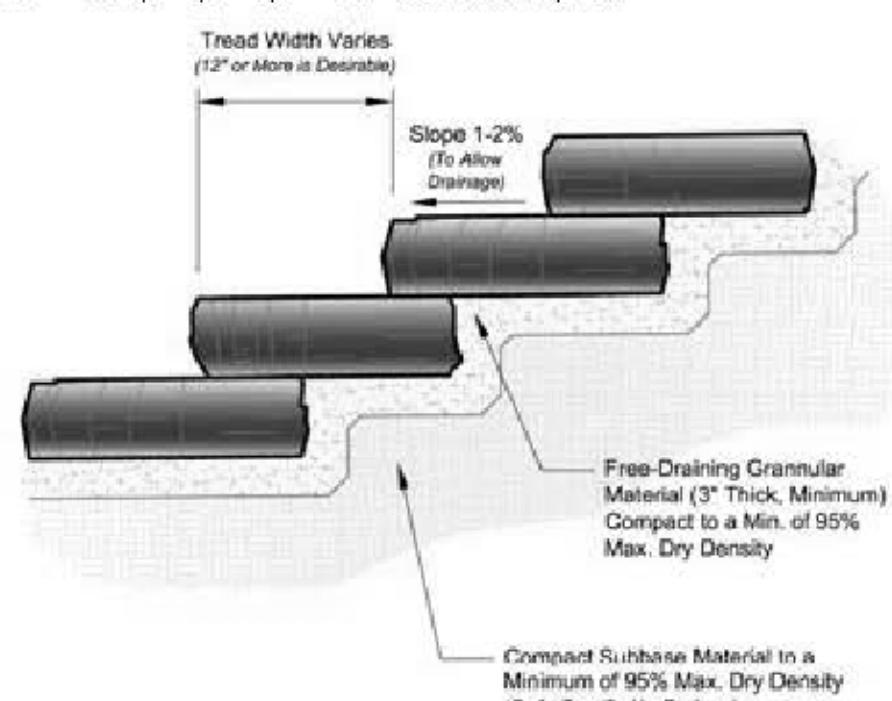


4 ROSETTA STONE RETAINING WALL
N.T.S.

Begin the step installation process by measuring the total rise required and calculating the number of steps to be used. Each step has a 5½" or 7" rise, but should be sloped approximately ¼" such that the back of the step is higher than the front of the step. This sloping will facilitate surface water drainage. With appropriate sloping, the net rise of each step is 6" or 7½". Divide the total rise by 6" or 7½" to get the number of steps required.

Next, **calculate the tread width**. Generally, when the grade allows, a 12" or wider tread is desirable. To calculate the tread width, divide the total allowable horizontal run minus the width of the top step, by the number of steps minus one. The one less will account for the top step.

Consider the following example:
Total rise = 42", Total horizontal run = 108", Width of top step = 24", Rise of steps = 5½", Number of steps = $42" \div 6\frac{1}{2}" = 6.5$ Step = 7 Steps
Tread Depth = $(108" - 24") \div (7-1) = 14"$ Tread Depth



Excavate and grade the area for first step. Steps should be placed on at least 3" of free draining soil, such as sand or pea-stone. Compact soil to a minimum of 95% Standard Proctor.

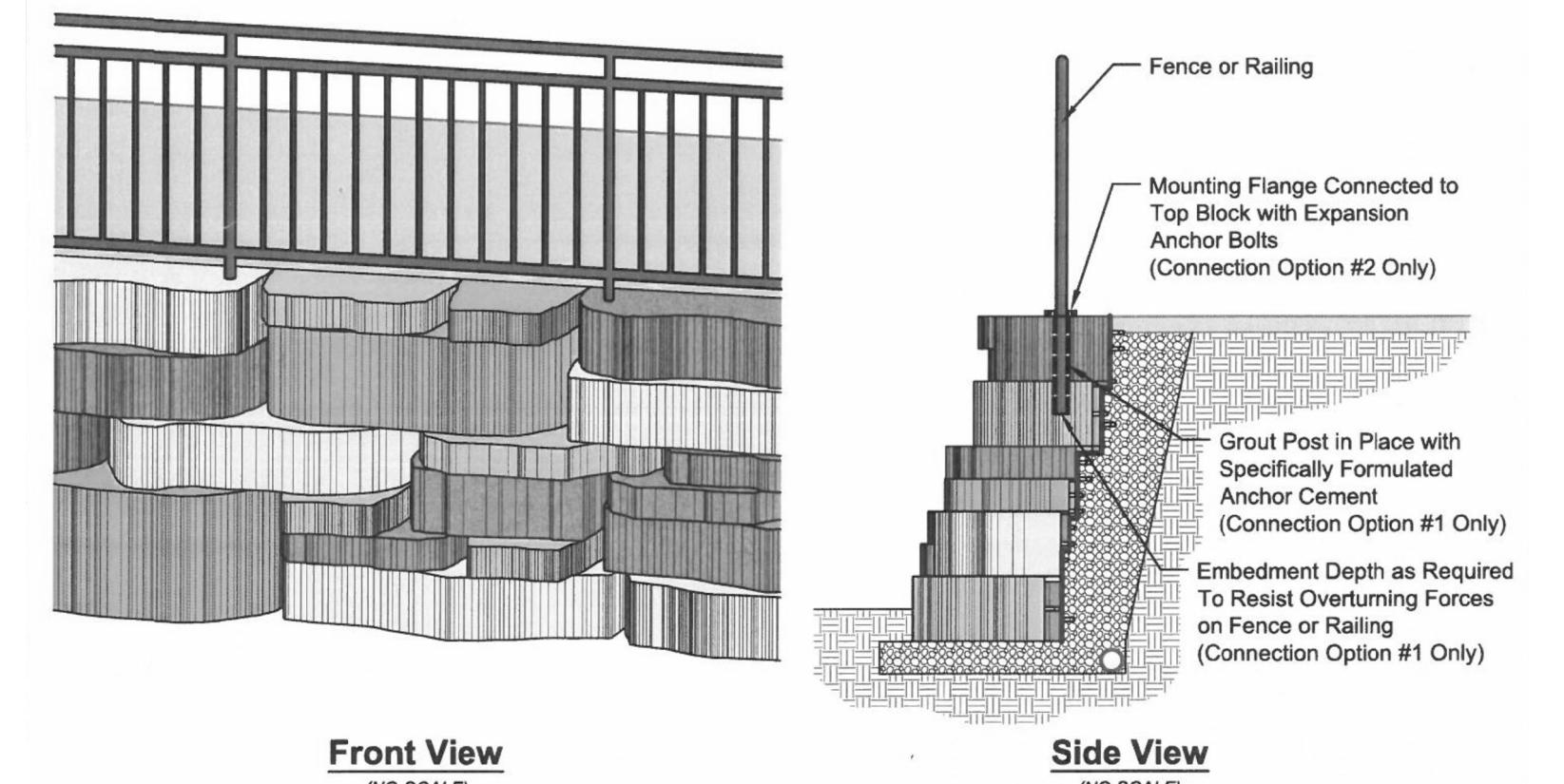
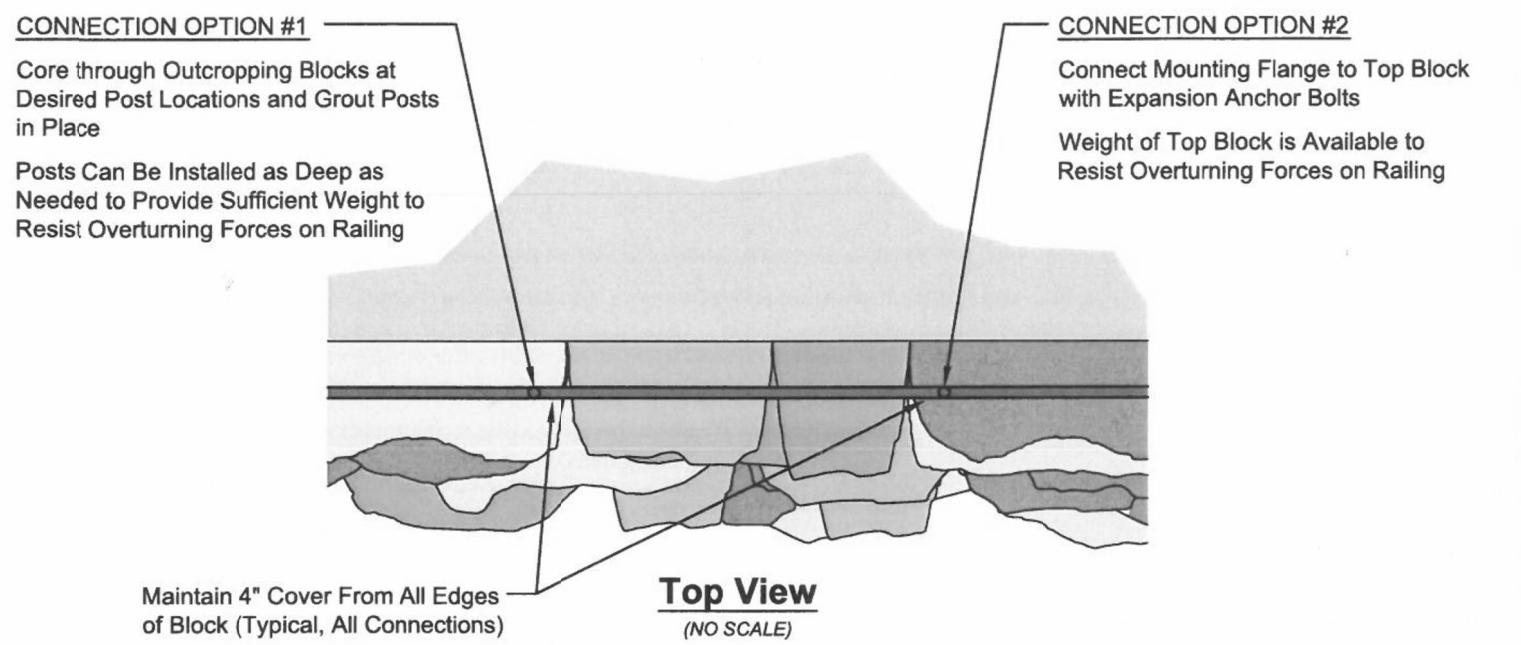
Place step with either forks or straps using a small excavator or skid-steer to lift the piece into place. Practice safe handling procedures during this process.

Fill behind each step with free draining soil and compact to 95% standard proctor. Remember to slope fill to allow for proper drainage when next step is placed. Continue placing steps in this manner until finish grade is reached.

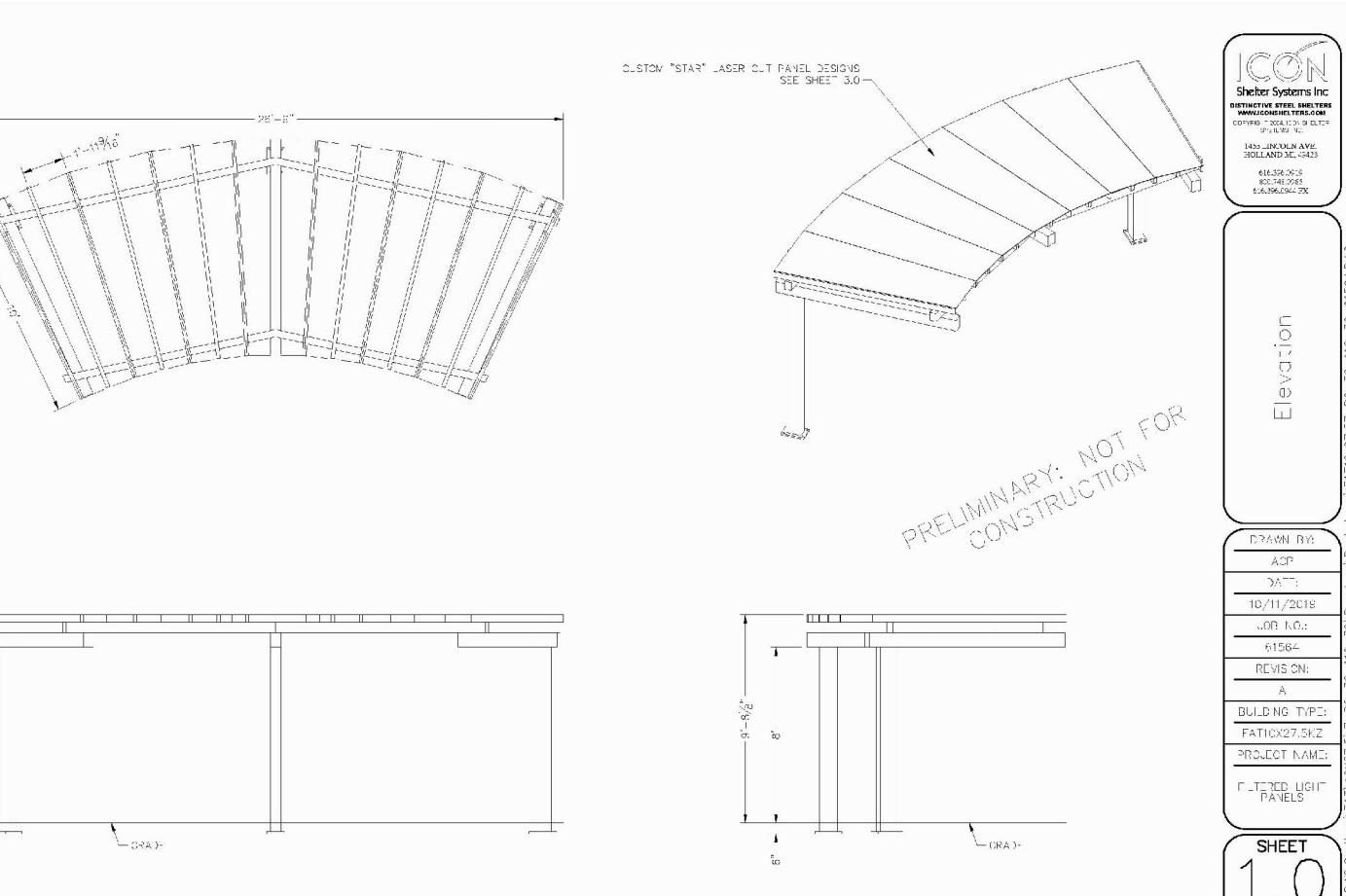


7 ROSETTA STONE STEPS
N.T.S.

**TYPICAL FENCE OR RAILING CONNECTIONS
TO ROSETTA OUTCROPPING BLOCKS**



5 107 TYPICAL ROSETTA STONE GUARD RAIL CONNECTION



10 METAL PERGOLA WITH LASER CUT PANELS

NOTE: LASER CUT OUTS TO CAST SHADOWS OF CONSTELLATIONS ON GROUND PLANE

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4 Revision
01 07/25/19 SDP SUBMITTAL 01
02 10/18/19 SDP SUBMITTAL 02

5 no. date revision

Project Number
219002
Project

SOUTHEAST ELEMENTARY

Phase
CITY OF LOVELAND SITE DEVELOPMENT PLAN
2019/07/25 Scale

Drawing
Landscape Details

No

LS 109

ELEVATION KEYNOTES

03-1 4" PRECAST ARCHITECTURAL CONCRETE CAP
04-1 BRICK VENEER, ECONOMY SIZE, RUNNING BOND, BOD: INTERSTATE BRICK, MOCHA
04-2 BRICK VENEER, ECONOMY SIZE, RUNNING BOND, BOD: INTERSTATE BRICK, SMOKEY MTN.
04-25 BRICK VENEER, ECONOMY SIZE, SOLDIER COURSE, BOD: INTERSTATE BRICK, SMOKEY MTN.
04-3 BRICK VENEER, ECONOMY SIZE, RUNNING BOND, BOD: INTERSTATE BRICK, COPPERSTONE
04-4 BRICK VENEER, ECONOMY SIZE, SOLDIER COURSE, BOD: INTERSTATE BRICK, COPPERSTONE
04-45 BRICK VENEER, ECONOMY SIZE, RUNNING BOND, BOD: INTERSTATE BRICK, PEWTER
04-5 BRICK VENEER, ECONOMY SIZE, SOLDIER COURSE, BOD: INTERSTATE BRICK, PEWTER
04-55 BRICK VENEER, ECONOMY SIZE, RUNNING BOND, BOD: SUMMIT, PEBBLE GRAY
04-61 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND, BOD: SPECTRA GLAZE DP KINGSTON BLUE
04-62 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND, BOD: SPECTRA GLAZE DEEP YELLOW
04-63 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND, BOD: SPECTRA GLAZE DEEP PUMPKIN
04-64 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND, BOD: SPECTRA GLAZE CONCORD PURPLE
04-65 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND, BOD: SPECTRA GLAZE DP HEMLOCK GREEN
04-66 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND, BOD: SPECTRA GLAZE DP BERMUDA BLUE
07-1 FORMED METAL PANEL, BOD: BERRIDGE ZINC, COTE COLOR
07-3 METAL CANOPY FASCIA, BOD: BERRIDGE ZINC, GREY
08-1 ALUMINUM STOREFRONT OR CURTAIN WALL, CLEAR ANODIZED, SEE A620 FOR TYPES.
08-2 ALUMINUM SECTIONAL DOOR (GARAGE DOOR), CLEAR ANODIZED
08-3 METAL SPANDREL PANEL, CLEAR ANODIZED
08-4 NOT USED
08-5 FIBERGLASS-SANDWICH-PANEL ASSEMBLY
08-6 INTERNAL SUN SHADE (TYPICAL AT ALL SOUTH, EAST AND WEST FACING PUNCHED OPENINGS)
08-7 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-046
08-8 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-044
08-83 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-048
08-84 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-XXX
08-85 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-045
08-86 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-047
10-1 DIMENSIONAL SIGNAGE - FABRICATED

1 POU DRE SCHOOL DISTRICT

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4 01/07/25/19 SDP SUBMITTAL 01
02/10/18/19 SDP SUBMITTAL 02

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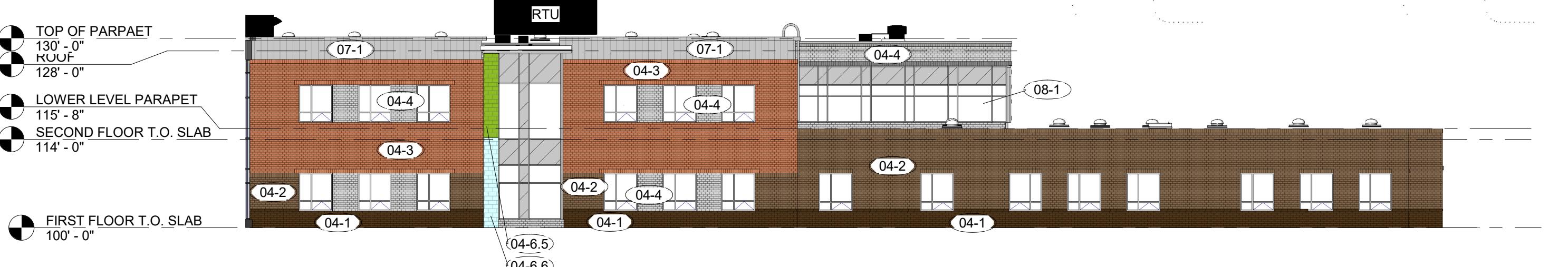
Phase
DESIGN DEVELOPMENT

6 2019/10/16
Scale
As indicated
Drawing

EXTERIOR ELEVATIONS 24x36

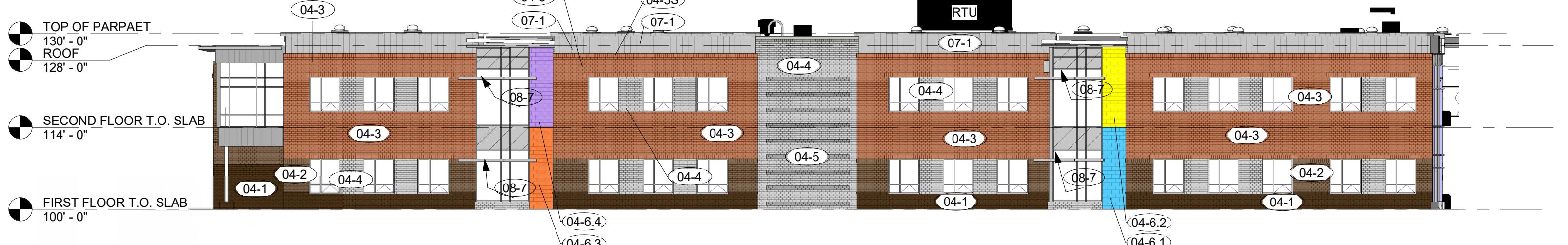
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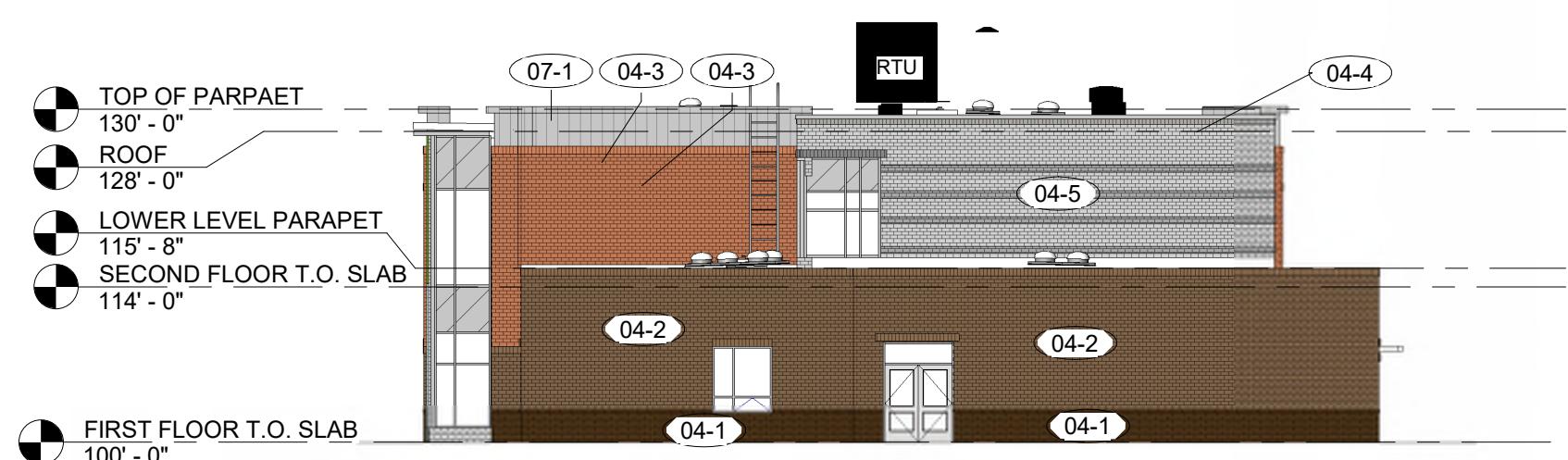
A1 NORTH ELEVATION @ SOUTH WING .a

1/16" = 1'-0"



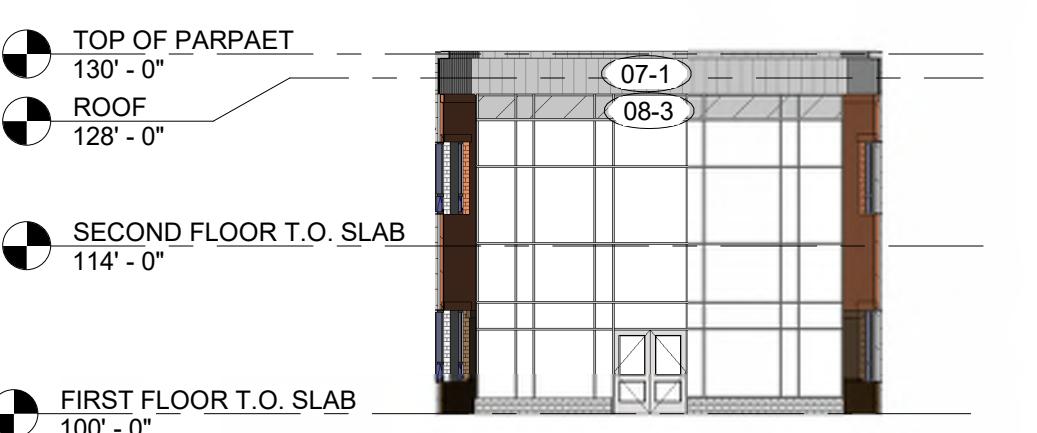
A3 SOUTH ELEVATION @ MIDDLE WING .a

1/16" = 1'-0"



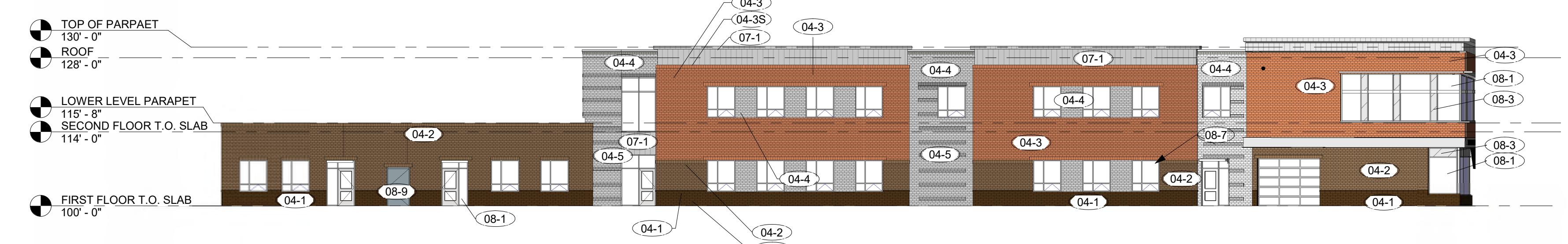
A4 WEST ELEVATION @ SOUTH WING .a

1/16" = 1'-0"



D4 WEST ELEVATION @ LOBBY .a

1/16" = 1'-0"



A6 SOUTH ELEVATION @ SOUTH WING .a

1/16" = 1'-0"

ELEVATION KEYNOTES

03-1 4" PRECAST ARCHITECTURAL CONCRETE CAP
04-1 BRICK VENEER, ECONOMY SIZE, RUNNING BOND. BOD: INTERSTATE BRICK, MOCHA.
04-2 BRICK VENEER, ECONOMY SIZE, RUNNING BOND. BOD: INTERSTATE BRICK, SMOKEY MTN.
04-3 BRICK VENEER, ECONOMY SIZE, SOLDIER COURSE. BOD: INTERSTATE BRICK, SMOKEY MTN.
04-3S BRICK VENEER, ECONOMY SIZE, RUNNING BOND. BOD: INTERSTATE BRICK, COPPERSTONE.
04-4 BRICK VENEER, ECONOMY SIZE, RUNNING BOND. BOD: INTERSTATE BRICK, PEWTER.
04-4S BRICK VENEER, ECONOMY SIZE, SOLDIER COURSE. BOD: INTERSTATE BRICK, PEWTER.
04-5 BRICK VENEER, ECONOMY SIZE, RUNNING BOND. BOD: SUMMIT, PEBBLE GRAY.
04-5S BRICK VENEER, ECONOMY SIZE, SOLDIER COURSE. BOD: SUMMIT, PEBBLE GRAY.
04-6 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DP KINGSTON BLUE
04-6S GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DP KINGSTON BLUE
04-63 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DEEP PUMPKIN
04-64 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE CONCORD PURPLE
04-65 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DP HEMLOCK GREEN
04-66 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DP BERMUDA BLUE
07-1 FORMED METAL PANEL. BOD: BERRIDGE ZINC COATE COLOR
07-3 METAL CANOPY FASCIA. BOD: BERRIDGE ZINC GREY
08-1 ALUMINUM STOREFRONT OR CURTAIN WALL, CLEAR ANODIZED. SEE A620 FOR TYPES.
08-2 ALUMINUM SECTIONAL DOOR (GARAGE DOOR), CLEAR ANODIZED.
08-3 METAL SPANDREL PANEL, CLEAR ANODIZED.
08-4 NOT USED
08-5 FIBERGLASS-SANDWICH-PANEL ASSEMBLY
08-6 NO USE
08-7 INTERNAL SUN SHADE (TYPICAL AT ALL SOUTH, EAST AND WEST FACING PUNCHED OPENINGS)
08-8-1 COLORED LAMINATED GLASS. BOD: MCGRORY GLASS HCMC-046
08-8-2 COLORED LAMINATED GLASS. BOD: MCGRORY GLASS HCMC-044
08-8-3 COLORED LAMINATED GLASS. BOD: MCGRORY GLASS HCMC-048
08-8-4 COLORED LAMINATED GLASS. BOD: MCGRORY GLASS HCMC-XXX
08-8-5 COLORED LAMINATED GLASS. BOD: MCGRORY GLASS HCMC-045
08-8-6 COLORED LAMINATED GLASS. BOD: MCGRORY GLASS HCMC-047
08-9 INSULATED HOLLOW METAL DOOR
10-1 DIMENSIONAL SIGNAGE - FABRICATED

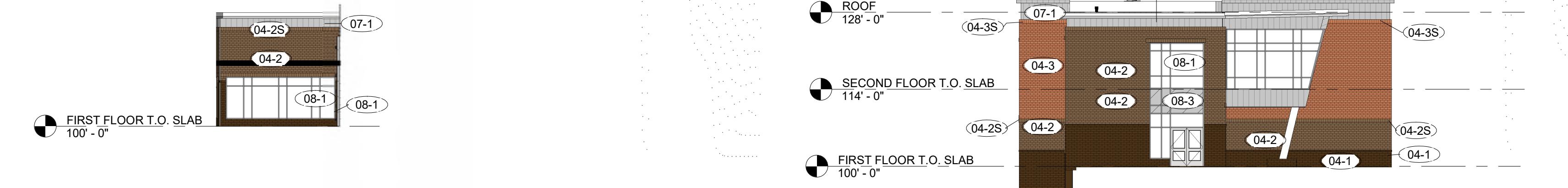


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04-4 BRICK VENEER, ECONOMY SIZE, RUNNING BOND. BOD: INTERSTATE BRICK, PEWTER.
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04-6.2 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DP CAPRI YELLOW
04-6.3 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DEEP PUMPKIN
04-6.4 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE CONCORD PURPLE
04-6.5 GLAZED BLOCK VENEER, 4X8X16 SIZE, RUNNING BOND. BOD: SPECTRA GLAZE DP HEMLOCK GREEN
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08-8.6 COLORED LAMINATED GLASS - BOD: MCGRORY GLASS HCMC-047
10-1 DIMENSIONAL SIGNAGE - FABRICATED



A1 NORTH ELEVATION @ AREA B.a



A3 WEST ELEVATION @ CORRIDOR.a

D3 WEST ELEVATION @ FIRE TOWER.a

EXTERIOR FINISHES



3 hord | coplan | macht

01.07.25/19 SDP SUBMITTAL 01
02.10.18/19 SDP SUBMITTAL 02

no. date revision
Project Number
219002
Project

SOUTHEAST ELEMENTARY

Phase
DESIGN DEVELOPMENT

2019/10/16
Scale
As indicated
Drawing

EXTERIOR ELEVATIONS 24x36

No
A-202.a

ARCHITECT
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1800 Wazee Street, Suite 450 Denver, CO
p. 303.607.0977 f. 410.837.6530

CIVIL ENGINEERS
Northern Engineering
301 N. Howes Street, Suite 100 Ft.Collins, CO
p. 970.221.4158 f. 000.000.0000

LANDSCAPE ARCHITECT
TB Group
444 Mt. Ave. Berthoud, CO
p. 970.532.5891 f. 000.000.0000

1 POU DRE SCHOOL DISTRICT

2

3 **hord | coplan | macht**

4

01.07.25/19 SDP SUBMITTAL 01
02.10/18/19 SDP SUBMITTAL 02

5 no. date revision
Project Number
219002
Project

**SOUTHEAST
ELEMENTARY**

6 Phase
DESIGN DEVELOPMENT

6 2019/10/16
Scale

Drawing
**EXTERIOR
PERSPECTIVES 24x36**

No

A-203.a

7

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ATTACHMENT 2



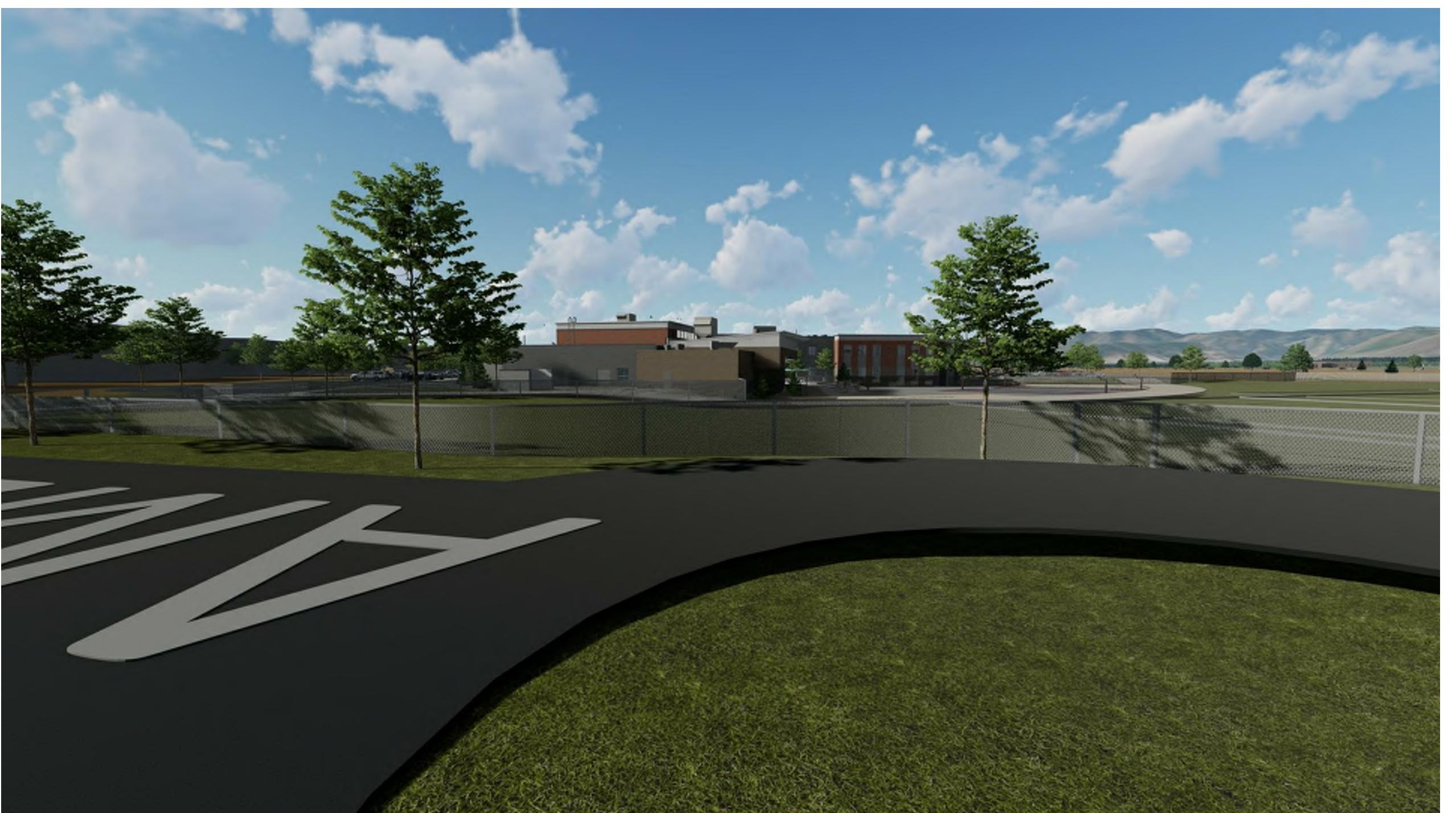
View of main entry from visitor parking lot, looking west



View of outdoor learning courtyard, looking east.



View of Travers Stakes Street, at main visitor vehicular entry looking northwest.



View from roundabout at American Oaks Street looking south.

A

B

C

D

E

F

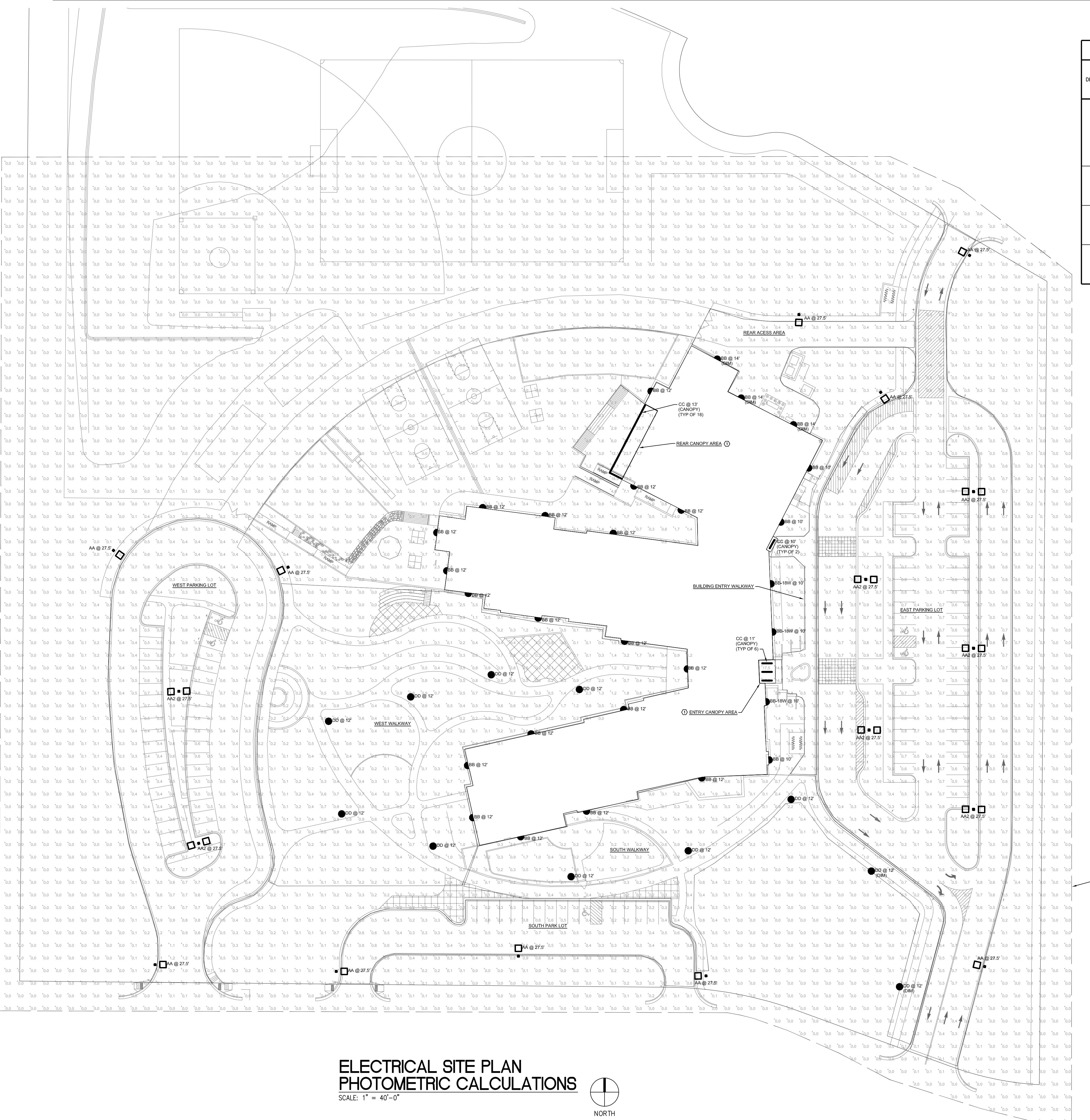
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EXTERIOR LUMINAIRE SCHEDULE								
DESIGNATION	DESCRIPTION	LIGHT SOURCE TYPE	VOLTAGE	TOTAL VA	MANUFACTURER		ASSUMED LIGHT LOSS FACTOR	IES FILENAME
					NAME	CATALOG NUMBER		
AA	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 500ma LIGHTSQUARE WITH 16 LEDS EACH, 120V, 120W, 12000LM, 120W, 12000LM, WITH HOUSE SIDE SHIELD Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Commercial, Industrial, Residential, Residential ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN CONOPHOTOMETRY TEST DISTANCE OF 28.75 FEET	LED	277	59	EATON McGRAW-ED SON	GLEON-AF-01- LED-E1-xxx-H SS	1.00	GLEON-AF-01- LED-E1-xxx-H SS.ies
BB	CROSSTOUR 18W WALL MOUNT LED	LED	277	18	EATON LUMARK	XTOR2B-W	1.00	XTOR2B-W.ies
CC	Via Recessed Linear Wet Location	LED	277	22	LUMENWERX	VIAVET-TMCHLO -LED-80-500 -40-4FT.ies	1.00	VIAVET-TMCHLO -LED-80-500 -40-4FT.ies
DD	MESA DECORATIVE LED LUMINAIRE (1) LIGHTBARS WITH AccuLED OPTICS - TYPE 2 W/ SPILL LIGHT CONTROL	LED	277	24	EATON INVUE	MSA-E01-LED- E1-xxx	1.00	MSA-E01-LED- E1-xxx.ies

GENERAL NOTES

1. WORK INCLUDED IN CONTRACT IS SHOWN WITH HEAVIER LINE WEIGHT, WORK SHOWN WITH LIGHT LINE WEIGHT IS (E) TO REMAIN.
2. ILLUMINANCE VALUES SHOWN ARE CALCULATED IN FOOT-CANDLES AT GRADE LEVEL AS APPROXIMATED BY A FLAT CALCULATION PLANE. ALTERATIONS TO OBSTRUCTIONS, LUMINAIRE TYPE, LUMINAIRE SPACES, OR LUMINAIRE LOCATIONS WILL ALTER THE ILLUMINANCE.
3. THE CALCULATIONS SHOWN ARE BASED ON PERFORMANCE DATA OBTAINED FROM THE MANUFACTURER OF THE LUMINAIRES SHOWN. SBC DISCLAIMS ALL RESPONSIBILITY THEREFOR.
4. ILLUMINANCE VALUES SHOWN ARE BASED ON THE LIGHT LOSS FACTOR (LLF) INDICATED ON THE LUMINAIRE SCHEDULE. THE LLF USED IS BASED ON THE RECOMMENDATIONS OF THE MANUFACTURER. ILLUMINANCE VALUES SHOWN REPRESENT CALCULATED MAINTAINED ILLUMINANCE. INITIAL VALUES MAY BE HIGHER.
5. CALCULATIONS INCLUDE THE CONTRIBUTION OF NEW SITE LUMINAIRES ONLY. CONTRIBUTION OF STREET LIGHTING IS NOT INCLUDED.

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p. 303.607.0977
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ELECTRICAL ENGINEER
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p. 303.986.8200
f. 303.986.8222

2

3 hord | coplan | macht

01/07/25/19 SDP SUBMITTAL 01
02/10/18/19 SDP SUBMITTAL 02

no. date revision
Project Number
219002.00
Project

SOUTHEAST ELEMENTARY
123 Main Street

Phase
CITY OF LOVELAND SITE DEVELOPMENT PLAN

2019/10/11
Scale
1/8" = 1'-0"
Drawing

ELECTRICAL SITE PLAN PLANNING SUBMITTAL

No

EPS1.01

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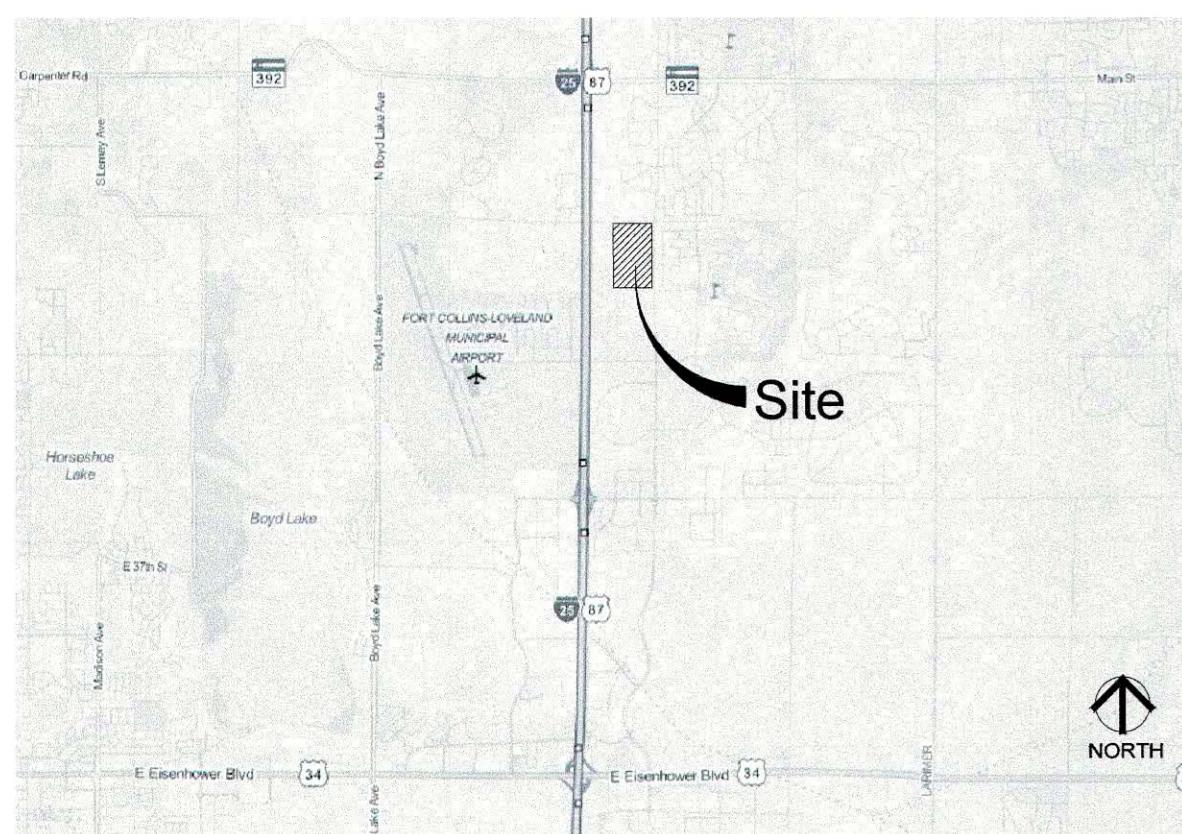
ATTACHMENT 2

7

Thornburg - Hamilton 3rd Subdivision Lots 1, 3 and 4 Special Review #930

Loveland, Colorado

Vicinity Map:



OWNER / APPLICANT

Jon Turner
Hillside Commercial Group, Inc.
8020 S County Road 5, Unit 200
Fort Collins, CO 80528
(970) 204-9393

PLANNER / LANDSCAPE ARCHITECT

Mike Walker
TB Group
444 Mountain Avenue
Berthoud, Colorado 80513
(970) 532-5891

Sheet Index

- 1. 00 - COVER SHEET
- 2. LS 1 - DATA TABLES
- 3. LS 2 - SITE PLAN -LOT 1
- 4. LS 3 - SITE PLAN -LOT 3
- 5. LS 4 - SITE PLAN -LOT 4
- 6. LS 00 - LANDSCAPE COVER
- 7. LS 1.0 - OVERALL TREE PLAN - LOT 1
- 8. LS 1.1 - LANDSCAPE PLAN - LOT 1
- 9. LS 1.2 - LANDSCAPE PLAN - LOT 1
- 10. LS 1.3 - LANDSCAPE PLAN - LOT 1
- 11. LS 1.4 - LANDSCAPE PLAN - LOT 1
- 12. LS 1.5 - LANDSCAPE PLAN - LOT 1
- 13. LS 2.0 - OVERALL TREE PLAN - LOT 3
- 14. LS 2.1 - LANDSCAPE PLAN - LOT 3
- 15. LS 2.2 - LANDSCAPE PLAN - LOT 3
- 16. LS 3.0 - OVERALL TREE PLAN - LOT 4
- 17. LS 3.1 - LANDSCAPE PLAN - LOT 4
- 18. LS 3.2 - LANDSCAPE PLAN - LOT 4
- 19. LS 3.3 - LANDSCAPE PLAN - LOT 4
- 20. A 1.1 - LOT 1 ELEVATIONS
- 21. A 1.2 - LOT 1 ELEVATIONS
- 22. A 2.1 - LOT 3 ELEVATIONS
- 23. A 2.2 - LOT 3 ELEVATIONS
- 24. A 2.3 - LOT 3 ELEVATIONS
- 25. A 3.1 - LOT 4 ELEVATIONS
- 26. A 3.2 - LOT 4 ELEVATIONS
- 27. E 1.1 - LOT 1 ELECTRICAL PLANS
- 28. E 1.2 - LOT 1 ELECTRICAL PLANS
- 29. E 2.1 - LOT 3 ELECTRICAL PLANS
- 30. E 2.2 - LOT 3 ELECTRICAL PLANS
- 31. E 3.1 - LOT 4 ELECTRICAL PLANS
- 32. E 3.2 - LOT 4 ELECTRICAL PLANS
- 33. PH 1 - PHASE PLANS
- 34. PH 2 - PHASE PLANS

DEVELOPER

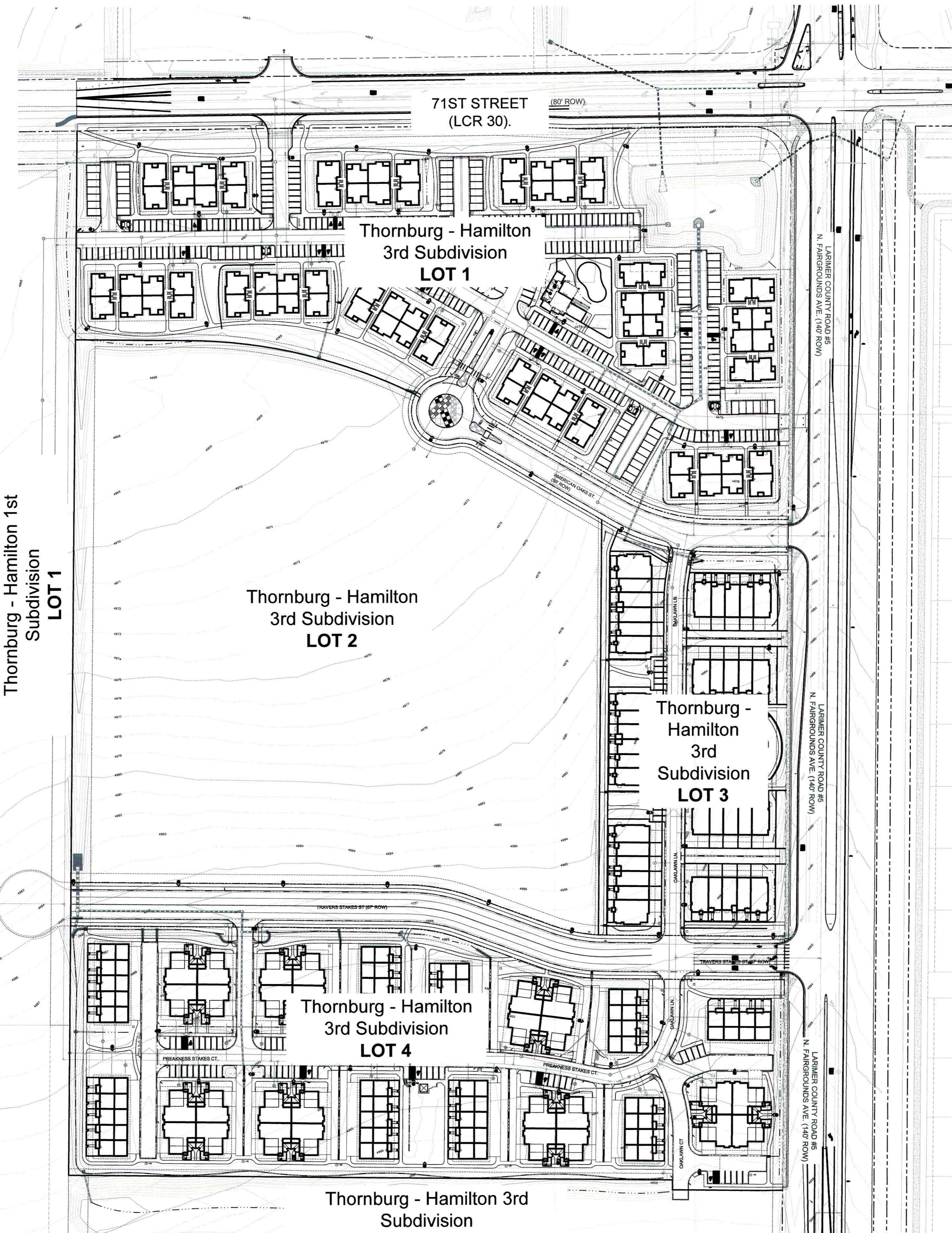
Jason Sherrill, CEO
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1170 West Ash Street Suite 100
Windsor, Colorado 80550
(970) 460-0567

CIVIL ENGINEER

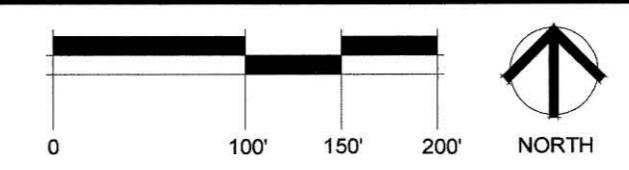
George Schock - Principal
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(970) 221-4158

ARCHITECT

James McNutt - Architect
NSPJ Architects
3515 W. 75th St. Suite 201
Prairie Village, KS 66208
(913) 831-1415



Overall Site Plan - Thornburg / Hamilton 3rd Subdivision - Lots 1, 3 and 4



SCALE 1" = 100'-0"

PROJECT DESCRIPTION:

A RESIDENTIAL MULTI-FAMILY DEVELOPMENT.
LOT 1 - FOR RENT APARTMENT BUILDINGS AND CLUBHOUSE WITH POOL.
LOT 3 - FEES SIMPLE TOWNHOUSES AND CLUBHOUSE WITH POOL.
LOT 4 - TOWNHOME STYLE AND STACKED CONDOMINIUMS.

LEGAL DESCRIPTION:

Thornburg - Hamilton 3rd Subdivision Lots 1, 3 and 4

PLANNING MANAGER APPROVAL CERTIFICATE

THIS SPECIAL REVIEW IS APPROVED, SUBJECT TO ALL CONDITIONS SET FORTH HEREON, BY THE CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, LARIMER COUNTY, COLORADO.
THIS 13 DAY OF June A.D. 2018 BY THE CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, COLORADO.

Bob Paes
CURRENT PLANNING MANAGER

OWNER'S SIGNATURE BLOCK

THE UNDERSIGNED AGREE THAT THE REAL PROPERTY DESCRIBED IN THE APPLICATION FOR SPECIAL REVIEW FILED HEREWITHE, AND AS SHOWN ON THE SITE PLAN AND CONDITIONS, SHALL BE SUBJECT TO THE REQUIREMENTS OF CHAPTER 18.40 OF THE MUNICIPAL CODE OF THE CITY OF LOVELAND, COLORADO, AND ANY OTHER ORDINANCES OF THE CITY OF LOVELAND THERETO. THE UNDERSIGNED ALSO UNDERSTANDS THAT IF CONSTRUCTION OF ALL IMPROVEMENTS IS NOT COMPLETED AND IF THE SPECIAL REVIEW USES ARE NOT ESTABLISHED WITHIN THREE YEARS OF THE DATE OF APPROVAL, OR OTHER COMPLETIONS DATE OR DATES ESTABLISHED IN A DEVELOPMENT AGREEMENT APPROVED BY THE CITY, THE CITY MAY TAKE AN ACTION TO DECLARE THE PERMIT AND SPECIAL REVIEW PLANS ABANDONED AND NULL AND VOID.

Jon Turner

NOTARIAL CERTIFICATE

STATE OF COLORADO)
COUNTY of Larimer)
ss.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th

DAY OF April 2018
BY Jon Turner

WITNESS MY HAND AND OFFICIAL SEAL

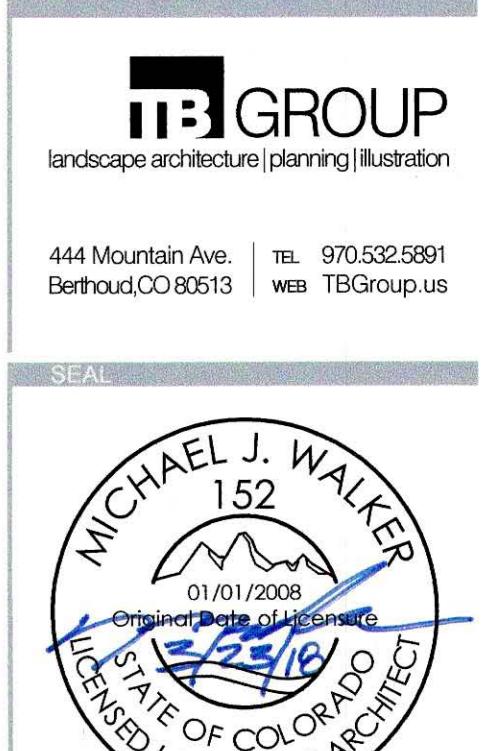
MY COMMISSION EXPIRES: 09/01/2020
KELLIE NIETELD
NOTARY PUBLIC
STATE OF COLORADO
NOTARY PUBLIC
MY COMMISSION EXPIRES SEPTEMBER 8, 2020



CONDITIONS OF APPROVAL

PLANNING

1. ALL LANDSCAPING, IRRIGATION, AND FENCING WITHIN THE RIGHTS-OF-WAY MUST BE INSTALLED OR FINANCIALLY SECURED WITH THE CITY PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT WITHIN THORNBURG HAMILTON 3RD SUBDIVISION. THE MAINTENANCE OF THE FENCE AND LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR METROPOLITAN DISTRICT IF SAID DISTRICT HAS BEEN ESTABLISHED.
2. ALL LANDSCAPED AREAS SHALL HAVE A PERMANENT IRRIGATION SYSTEM INSTALLED CAPABLE OF MEETING THE TYPICAL WATERING REQUIREMENTS OF THE PLANT MATERIAL. WITHIN THE NON-IRRIGATED NATIVE GRASS AREA FOR THE DETENTION POND, PERMANENT DRIP LINES FOR THE TREES SHALL BE INSTALLED AND TEMPORARY IRRIGATION OF THE SEED MIX SHALL BE PROVIDED TO ENSURE THAT THE SEED GERMINATES AND IS ESTABLISHED WEEF FREE.
3. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT IN EACH PHASE OF DEVELOPMENT ON LOT 1, THORNBURG HAMILTON 3RD SUBDIVISION, ALL LANDSCAPING AND AMENITIES ASSOCIATED WITH THAT PHASE SHALL BE EITHER INSTALLED OR SECURED WITH THE CITY. THIS INCLUDES ALL WATER IRRIGATION METERS AND TAP FEES.
4. PRIOR TO THE ISSUANCE OF THE FIRST RESIDENTIAL BUILDING PERMIT IN PHASE 3 OF LOT 1, THORNBURG HAMILTON 3RD SUBDIVISION, THE CLUBHOUSE AND ASSOCIATED AMENITIES SHOWN IN THE SPECIAL REVIEW DRAWINGS SHALL BE EITHER CONSTRUCTED OR FINANCIALLY SECURED.
5. THE GARAGES WITHIN LOT 1 ARE REQUIRED PARKING SPACES FOR VEHICLES AND ARE NEEDED TO SATISFY THE CITY'S PARKING STANDARDS. GARAGES SHALL BE USED FOR OPERABLE MOTOR VEHICLES ONLY. THIS CONDITION SHALL ALSO BE INCORPORATED INTO THE COVENANTS AND RESTRICTIONS FOR THE PROPERTY.
6. ALL COMMON AREA LANDSCAPING, FENCING, AND AMENITIES SHALL BE EITHER INSTALLED OR FINANCIALLY SECURED WITH THE CITY PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT WITHIN LOT 3.
7. ALL LANDSCAPING WITHIN THE INDIVIDUAL TOWNHOME LOTS, AS SHOWN ON THE LANDSCAPE PLAN, SHALL BE INSTALLED OR FINANCIALLY SECURED WITH THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE LOT.
8. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT WITHIN EACH PHASE OF DEVELOPMENT IN LOT 4, THORNBURG HAMILTON 3RD SUBDIVISION, ALL LANDSCAPING, FENCING AND IRRIGATION TAPS AND METER SHALL BE EITHER INSTALLED OR FINANCIALLY SECURED WITH THE CITY.
9. ALL PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS).
10. THE DEVELOPER AGREES TO ACQUIRE AND DEDICATE, AT NO COST TO THE CITY, ANY RIGHTS-OF-WAY NECESSARY FOR THE REQUIRED STREET IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT.
11. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WITHIN THE THORNBURG HAMILTON 3RD OR 4TH FILING, PURSUANT TO THE PROVISIONS IN SECTION 16.40.01.B OF THE LOVELAND MUNICIPAL CODE, THE DEVELOPER SHALL DESIGN AND CONSTRUCT THE FOLLOWING PUBLIC IMPROVEMENTS UNLESS ALREADY DESIGNED AND CONSTRUCTED BY OTHERS:
 - a. ALL PUBLIC STREET IMPROVEMENTS ON FAIRGROUNDS AVENUE (CR5) AND CR30 INCLUDING, INTERSECTION IMPROVEMENTS, INTERSECTION PEDESTRIAN SIGNALIZATION, FENCING ON FAIRGROUNDS AVENUE, ROADWAY PAVING, CURB & GUTTER, RAISED MEDIAN AND AUXILIARY TURN LANES AS SHOWN ON THE OFF-SITE PUBLIC IMPROVEMENT CONSTRUCTION PLANS TITLED LCR 30 AND FAIRGROUNDS AVENUE PREPARED BY NORTHERN ENGINEERING.
 - b. ALL CURB, GUTTER, ROADWAY PAVING, SIDEWALKS, ADA RAMPS AND ACCESS DRIVEWAYS AS SHOWN ON THE CITY APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS FOR THORNBURG HAMILTON 3RD FILING, WITHIN EACH RESPECTIVE PHASE AS SHOWN IN THE PHASING PLAN.
12. IF ANY FUTURE CONNECTIONS FOR ACCESS ARE PROPOSED TO THE LOCAL RESIDENTIAL ROUNDABOUT WITH THE DEVELOPMENT OF THE SCHOOL SITE WITHIN THE THORNBURG HAMILTON 3RD SUBDIVISION THAT WILL RESULT IN SCHOOL BUSES ENTERING THE ROUNDABOUT, THEN A ROUNDABOUT ANALYSIS REPORT AS REQUIRED BY LCUASS APPENDIX I SHALL BE SUBMITTED FOR REVIEW BY THE CITY AND MODIFICATIONS TO THE ROUNDABOUT MAY BE NECESSARY PRIOR TO ANY APPROVAL FOR THE SCHOOL SITE.
13. CITY SIGNED SITE DEVELOPMENT PLANS (INCLUDING ANY ASSOCIATED PUBLIC IMPROVEMENT CONSTRUCTION PLANS), OR THE ISSUANCE OF BUILDING PERMITS, DOES NOT ALLOW ANY CONSTRUCTION WITHIN PUBLIC STREET OR ALLEY RIGHTS-OF-WAY OR PEDESTRIAN EASEMENTS. A SEPARATE CITY DEVELOPMENT CONSTRUCTION PERMIT OR STREET RIGHT-OF-WAY (ROW) WORK PERMIT MUST BE OBTAINED BY THE DEVELOPER AND/OR HIS CONTRACTOR AT THE CITY PROJECT ENGINEERING OFFICE (AND APPROVED BY PROJECT ENGINEERING) PRIOR TO ANY REPAIR OR CONSTRUCTION OF ANY PUBLIC STREET, ALLEY, PEDESTRIAN EASEMENT, OR ANY OTHER PUBLIC PROPERTY IN THE CITY STREET OR ALLEY RIGHTS-OF-WAY OR PEDESTRIAN EASEMENTS. THIS INCLUDES ALL ITEMS PROPOSED IN RIGHTS-OF-WAY SUCH AS UTILITY STREET CUTS, SIDEWALK RAMPS, CONSTRUCTION STAGING PROPOSED IN STREET, LANDSCAPING, TRAFFIC CONTROL, ETC. (CALL 970-952-2510 TO DISCUSS DETAILS TO OBTAIN A ROW/WORK PERMIT).
14. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY THAT WILL INVOLVE ANY EXISTING OR PROPOSED STREET SIGNS OR TRAFFIC CONTROL DEVICES FOR OR WITHIN PUBLIC STREET RIGHTS-OF-WAY (ROW), THE DEVELOPER AND/OR HIS CONTRACTOR SHALL CONTACT THE CITY TRAFFIC DIVISION AT (970) 952-2535 TO COORDINATE THE REMOVAL, RELOCATION, INSTALLATION, AND/OR PROPER STORING OF THE SIGN(S) OR TRAFFIC CONTROL DEVICE(S) AND OBTAIN A ROW WORK PERMIT FROM THE CITY PUBLIC WORKS DIVISION. THE ROW WORK PERMIT IS FOR THE FIRST CONSTRUCTION ACTIVITY. THE DEVELOPER AND/OR HIS CONTRACTOR WILL BE CHARGED FOR THE LABOR MATERIALS, AND EQUIPMENT TO REINSTATE THE SIGN(S) OR TRAFFIC CONTROL DEVICE(S) AS DEEMED NECESSARY BY THE CITY. THE DEVELOPER AND/OR HIS CONTRACTOR WILL ALSO BE CHARGED TO REPLACE ANY EXISTING STREET SIGNS OR TRAFFIC CONTROL DEVICES THAT WERE DAMAGED OR BLEMISHED DURING ANY CONSTRUCTION ACTIVITY AS DEEMED NECESSARY BY THE CITY. THE DEVELOPER AND/OR HIS CONTRACTOR MAY ALSO BE SUBJECT TO ADDITIONAL FINES AS PER THE LOVELAND MUNICIPAL CODE.
15. ALL TREES, SHRUBS, AND OTHER PLANT MATERIALS LOCATED WITHIN CLEAR SIGHT TRIANGLES SHALL BE TRIMMED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 7 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS). UNDER CURRENT LCUASS REQUIREMENTS, TREES SHALL BE LIMBED TO A HEIGHT OF NOT LESS THAN EIGHT (8) FEET AND SHRUBS AND OTHER PLANT MATERIALS SHALL BE MAINTAINED AT A HEIGHT OF NOT MORE THAN THIRTY (30) INCHES, AND SAID MAINTENANCE SHALL BE CONDUCTED IN PERPETUITY. TREES ARE ALSO REQUIRED TO BE KEPT LIMBED UP A MINIMUM OF 8' ABOVE ALL STREET SIDEWALKS.



PROJECT TITLE
Thornburg
Hamilton 3rd
Subdivision
Lots 1, 3 and 4
Special Review/
Site Development Plans
Loveland, Colorado

WINDSOR PLAINS
LLC.

8020 S County Road 5, Unit
200 Fort Collins, CO 80528
(970) 204-9393

REVISIONS DATE
1st Submittal 11/11/16
2nd Submittal 07/21/17
3rd Submittal 09/25/17
SR / SDP Approval 03/23/18

DATE
March 23, 2018

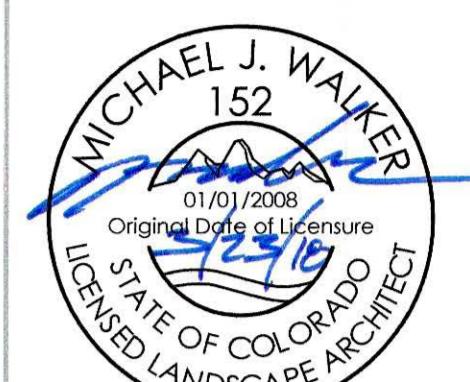
SHEET TITLE
Cover Sheet

SHEET INFORMATION
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1 of 34

Thornburg - Hamilton 3rd Subdivision, Lots 1, 3 and 4

Land Use Statistics



LAND USE STATISTICS - LOT 1

LAND USE STATISTICS - LOT 1	
EXISTING ZONING:	B - BUSINESS DEVELOPMENT
SITE ACREAGE:	481,511 SF / 11.05 AC
LAND USE:	MULTI-FAMILY APARTMENTS
16 UNIT BUILDINGS = TEN = 160 UNITS MAX HEIGHT = 29'-6" HEIGHT TO EAVE = 19'-4"	
TOTAL BUILDINGS - 10 TOTAL UNITS = 160 DENSITY = 14.5 DU/AC	
16 UNIT BUILDINGS - QTY = 10 1 BEDROOM UNITS = 4 2 BEDROOM UNITS = 10 3 BEDROOM UNITS = 2 1 X 4 = 4 BEDROOM x 10 BLDGS = 40 BEDROOMS 2 X 10 = 20 BEDROOMS x 10 BLDGS = 200 BEDROOMS 3 X 2 = 6 BEDROOMS x 10 BLDGS = 60 BEDROOMS	
TOTAL FOR PROJECT 1 BEDROOM UNITS = 40 2 BEDROOM UNITS = 100 3 BEDROOM UNITS = 20 TOTAL BEDROOMS = 300	
SQUARE FOOTAGE	
16 UNIT BUILDING FOOTPRINT = 8,364 TOTAL FOOTPRINT FOR 10 BUILDINGS = 83,640	
BUILDING FOOTPRINT FOR CLUBHOUSE = 1,728	
BUILDING FOOTPRINT FOR 6 CAR GARAGE = 1,380 TOTAL FOOTPRINT FOR 2 BUILDINGS = 2,720	
BUILDING FOOTPRINT FOR 7 CAR GARAGE = 1,585 TOTAL FOOTPRINT FOR 7 BUILDINGS = 11,095	
BUILDING FOOTPRINT FOR 8 CAR GARAGE = 1,797 TOTAL FOOTPRINT FOR 2 BUILDINGS = 3,594	
BUILDING FOOTPRINT FOR 9 CAR GARAGE = 2,043 TOTAL FOOTPRINT FOR 1 BUILDINGS = 2,043	
FOOTPRINT FOR TRASH ENCLOSURE = 140 TOTAL FOOTPRINT FOR 10 ENCLOSURES = 1,400	
TOTAL FOOTPRINT FOR ALL BUILDINGS = 106,220	
GROSS BUILDING SF = 16,571 TOTAL BUILDING SF FOR 10 BUILDINGS = 165,710	
NOTE: CALCULATIONS INCLUDE SQUARE FOOTAGE FROM ALL FLOORS OF ONLY APARTMENT BUILDINGS	
BUILDING OCCUPANCY	R2
TYPE OF CONSTRUCTION	V-B
LANDSCAPE AREAS	
TURF AREAS:	168,062 SF.
MULCH AREAS:	60,513 SF.
OPEN SPACE AREAS	TOTAL: 228,575 SF = 47.4% OF TOTAL SITE
INTERNAL SIDEWALKS:	53,806 SF
LANDSCAPE AREAS	228,575 SF
TOTAL:	282,381 SF = 58.6% OF TOTAL SITE
FEMA FLOODPLAIN	NO
PARKING REQUIREMENTS	
VEHICULAR PARKING	
# UNITS PARKING REQUIREMENT	
160 x 2 = 320 SPACES	
NUMBER OF SPACES PROVIDED:	
SINGLE CAR CAR GARAGE = 86 SPACES ADA SPACES = 14 SPACES ON SITE PARKING = 227 SPACES	
TOTAL PROVIDED = 327 SPACES	
BICYCLE PARKING: 2 BIKE SPACES FOR EVERY 25 REQ. VEHICULAR SPACES	
REQUIRED: 26 SPACES	
PROVIDED: FIXED RACKS	SINGLE LOOP RACK IN BREEZEWAY - PROVIDES 2 SPACES EACH 20 X 2 = 40 BIKE SPACES
TOTAL PROVIDED:	40 SPACES

LAND USE STATISTICS - LOT 3

LAND USE STATISTICS - LOT 3	
EXISTING ZONING:	B - BUSINESS DEVELOPMENT
SITE ACREAGE:	171,190 SF / 3.93 AC
LAND USE:	MULTI-FAMILY - TOWNHOMES
5 UNIT BUILDINGS = FOUR = 20 UNITS MAX HEIGHT = 31'-0" HEIGHT TO EAVE = 21'-0"	
6 UNIT BUILDINGS = THREE = 18 UNITS MAX HEIGHT = 31'-0" HEIGHT TO EAVE = 21'-0"	
TOTAL BUILDINGS - 7 TOTAL UNITS = 38 DENSITY = 9.7 DU/AC	
1 BEDROOM UNITS = 0 2 BEDROOM UNITS = 2 3 BEDROOM UNITS = 3 1 X 4 = 4 BEDROOM x 10 BLDGS = 40 BEDROOMS 2 X 10 = 20 BEDROOMS x 10 BLDGS = 200 BEDROOMS 3 X 2 = 6 BEDROOMS x 10 BLDGS = 60 BEDROOMS	
TOTAL FOR PROJECT 1 BEDROOM UNITS = 40 2 BEDROOM UNITS = 100 3 BEDROOM UNITS = 20 TOTAL BEDROOMS = 300	
SQUARE FOOTAGE	
16 UNIT BUILDING FOOTPRINT = 8,364 TOTAL FOOTPRINT FOR 10 BUILDINGS = 83,640	
BUILDING FOOTPRINT FOR CLUBHOUSE = 1,728	
BUILDING FOOTPRINT FOR 6 CAR GARAGE = 1,380 TOTAL FOOTPRINT FOR 2 BUILDINGS = 2,720	
BUILDING FOOTPRINT FOR 7 CAR GARAGE = 1,585 TOTAL FOOTPRINT FOR 7 BUILDINGS = 11,095	
BUILDING FOOTPRINT FOR 8 CAR GARAGE = 1,797 TOTAL FOOTPRINT FOR 2 BUILDINGS = 3,594	
BUILDING FOOTPRINT FOR 9 CAR GARAGE = 2,043 TOTAL FOOTPRINT FOR 1 BUILDINGS = 2,043	
FOOTPRINT FOR TRASH ENCLOSURE = 140 TOTAL FOOTPRINT FOR 10 ENCLOSURES = 1,400	
TOTAL FOOTPRINT FOR ALL BUILDINGS = 106,220	
GROSS BUILDING SF = 16,571 TOTAL BUILDING SF FOR 10 BUILDINGS = 165,710	
NOTE: CALCULATIONS INCLUDE SQUARE FOOTAGE FROM ALL FLOORS OF ONLY APARTMENT BUILDINGS	
BUILDING OCCUPANCY	N/A
TYPE OF CONSTRUCTION	N/A
LANDSCAPE AREAS	
TURF AREAS:	37,053 SF.
MULCH AREAS:	25,037 SF.
OPEN SPACE AREAS	TOTAL: 62,090 SF = 36.3% OF TOTAL SITE
INTERNAL SIDEWALKS:	24,386 SF
LANDSCAPE AREAS	62,090 SF
TOTAL:	86,476 SF = 50.5% OF TOTAL SITE
FEMA FLOODPLAIN	NO

LAND USE STATISTICS - LOT 3

PARKING REQUIREMENTS	
VEHICULAR PARKING	
# UNITS PARKING REQUIREMENT	
38 x 2 = 76 SPACES	
NUMBER OF SPACES PROVIDED:	
DOUBLE CAR GARAGE = 76 SPACES DRIVEWAY SPACES = 76 SPACES ADA SPACES = 2 SPACES ON SITE PARKING = 20 SPACES	
TOTAL PROVIDED = 174 SPACES	
BICYCLE PARKING: 2 BIKE SPACES FOR EVERY 25 REQ. VEHICULAR SPACES	
REQUIRED: 7 SPACES	
PROVIDED: FIXED RACKS	TWO (2) TRIPLE LOOP RACKS PROVIDES 4 SPACES EACH 2 X 4 = 8 BIKE SPACES
TOTAL PROVIDED:	8 SPACES

LAND USE STATISTICS - LOT 4

LAND USE STATISTICS - LOT 4	
EXISTING ZONING:	B - BUSINESS DEVELOPMENT
SITE ACREAGE:	375,054 SF / 8.61 AC
LAND USE:	MULTI-FAMILY - CONDOMINIUMS
4 UNIT BUILDINGS = FOUR = 16 UNITS MAX HEIGHT = 31'-6" HEIGHT TO EAVE = 21'-0"	
5 UNIT BUILDINGS = FIVE = 25 UNITS MAX HEIGHT = 31'-6" HEIGHT TO EAVE = 21'-0"	
8 UNIT BUILDINGS = SEVEN = 56 UNITS MAX HEIGHT = 31'-8" HEIGHT TO EAVE = 19'-10"	
TOTAL BUILDINGS - 16 TOTAL UNITS = 97 DENSITY = 11.3 DU/AC	
1 BEDROOM UNITS = 0 2 BEDROOM UNITS = 1 3 BEDROOM UNITS = 3 1 X 4 = 4 BEDROOM x 4 BLDGS = 16 BEDROOMS 2 X 10 = 20 BEDROOMS x 4 BLDGS = 80 BEDROOMS 3 X 2 = 6 BEDROOMS x 4 BLDGS = 24 BEDROOMS	
TOTAL PROVIDED:	174 SPACES
SQUARE FOOTAGE	
16 UNIT BUILDING FOOTPRINT = 8,364 TOTAL FOOTPRINT FOR 10 BUILDINGS = 83,640	
BUILDING FOOTPRINT FOR CLUBHOUSE = 1,728	
BUILDING FOOTPRINT FOR 6 CAR GARAGE = 1,380 TOTAL FOOTPRINT FOR 2 BUILDINGS = 2,720	
BUILDING FOOTPRINT FOR 7 CAR GARAGE = 1,585 TOTAL FOOTPRINT FOR 7 BUILDINGS = 11,095	
BUILDING FOOTPRINT FOR 8 CAR GARAGE = 1,797 TOTAL FOOTPRINT FOR 2 BUILDINGS = 3,594	
BUILDING FOOTPRINT FOR 9 CAR GARAGE = 2,043 TOTAL FOOTPRINT FOR 1 BUILDINGS = 2,043	
FOOTPRINT FOR TRASH ENCLOSURE = 140 TOTAL FOOTPRINT FOR 10 ENCLOSURES = 1,400	
TOTAL FOOTPRINT FOR ALL BUILDINGS = 106,220	
GROSS BUILDING SF = 16,571 TOTAL BUILDING SF FOR 10 BUILDINGS = 165,710	
NOTE: CALCULATIONS INCLUDE SQUARE FOOTAGE FROM ALL FLOORS OF ONLY APARTMENT BUILDINGS	
BUILDING OCCUPANCY	R2
TYPE OF CONSTRUCTION	V-B
LANDSCAPE AREAS	
TURF AREAS:	86,944 SF.
MULCH AREAS:	42,690 SF.
OPEN SPACE AREAS	TOTAL: 129,634 SF = 34.6% OF TOTAL SITE
INTERNAL SIDEWALKS:	33,090 SF
LANDSCAPE AREAS	129,634 SF
TOTAL:	162,724 SF = 43.4% OF TOTAL SITE
FEMA FLOODPLAIN	NO

PARKING REQUIREMENTS	
VEHICULAR PARKING	
# UNITS PARKING REQUIREMENT	
97 x 2 = 194 SPACES	
NUMBER OF SPACES PROVIDED:	
DOUBLE CAR GARAGE = 194 SPACES DRIVEWAY SPACES = 194 SPACES ADA SPACES = 5 SPACES ON SITE PARKING = 61 SPACES	
TOTAL PROVIDED = 454 SPACES	
BICYCLE PARKING:	2 BIKE SPACES FOR EVERY 25 REQ. VEHICULAR SPACES
REQUIRED: 7 SPACES	
PROVIDED: FIXED RACKS	TWO (2) TRIPLE LOOP RACKS PROVIDES 4 SPACES EACH 3 X 4 = 12 BIKE SPACES
TOTAL PROVIDED:	12 SPACES

GROSS AREA COVERAGE	
SQUARE FEET	ACRES
TOTAL BUILDING FOOTPRINTS	103,260
LANDSCAPE	129,634
PAVED DRIVE AND PARKING	109,070
SIDEWALKS/HARDSCAPE	33,090
TOTAL AREA:	375,054
SQUARE FOOTAGE	
4 UNIT BUILDING FOOTPRINT = 4,824 TOTAL FOOTPRINT FOR 4 BUILDINGS = 18,496	
5 UNIT BUILDING FOOTPRINT = 5,736 TOTAL FOOTPRINT FOR 5 BUILDINGS = 28,680	
8 UNIT BUILDING FOOTPRINT = 8,012 TOTAL FOOTPRINT FOR 7 BUILDINGS = 56,084	
TOTAL FOOTPRINT FOR ALL BUILDINGS = 103,260	
4 UNIT GROSS BUILDING SF = 6,302 TOTAL SF FOR 4 BUILDINGS = 25,208	
5 UNIT GROSS BUILDING SF = 7,728 TOTAL SF FOR 5 BUILDINGS = 38,640	
6 UNIT GROSS BUILDING SF = 11,528 TOTAL T SF FOR 7 BUILDINGS = 80,696	
TOTAL T SF FOR ALL BUILDINGS = 144,544	
NOTE: CALCULATIONS INCLUDE SQUARE FOOTAGE FROM ALL FLOORS OF CONDOMINIUM BUILDINGS	
BUILDING OCCUPANCY	R2
TYPE OF CONSTRUCTION	V-B
LANDSCAPE AREAS	
TURF AREAS:	86,944 SF.
MULCH AREAS:	42,690 SF.
OPEN SPACE AREAS	TOTAL: 129,634 SF = 34.6% OF TOTAL SITE
INTERNAL SIDEWALKS:	33,090 SF
LANDSCAPE AREAS	129,634 SF
TOTAL:	162,724 SF = 43.4% OF TOTAL SITE
FEMA FLOODPLAIN	NO

REVISIONS	DATE
1st Submittal	11/11/16
2nd Submittal	07/21/17
3rd Submittal	09/25/17
SR / SDP Approval	03/23/18
</td	

Thornburg Hamilton - 3rd Subdivision - Lot 1 - Site Plan

TB GROUP
landscape architecture | planning | illustration

444 Mountain Ave. | tel. 970.532.5891
Berthoud, CO 80513 | web TBGroup.us

SEAL



PROJECT TITLE
Thornburg
Hamilton 3rd
Subdivision
Lots 1, 3 and 4

Special Review/
Site Development Plans

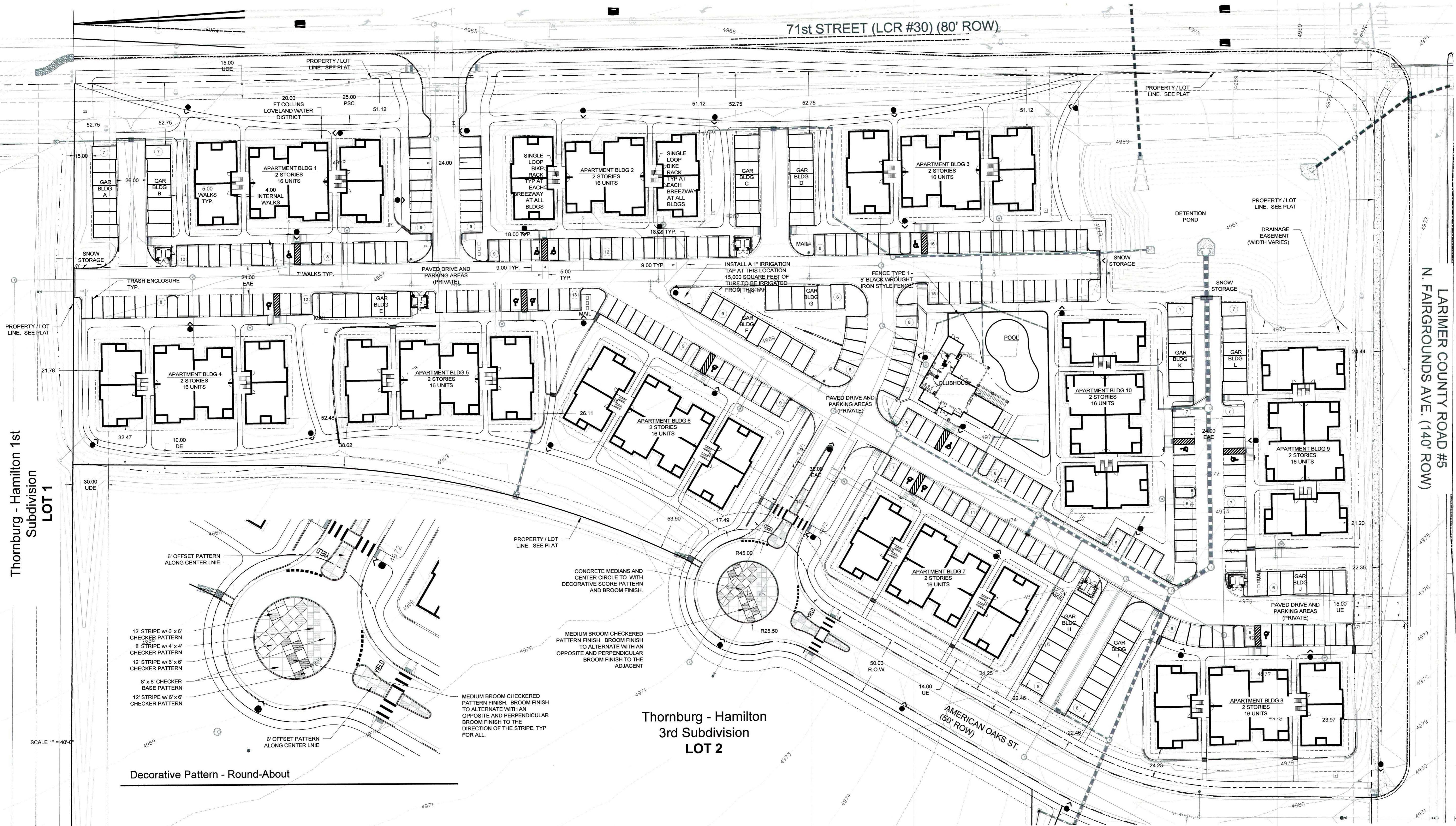
Loveland, Colorado

PREPARED FOR
WINDSOR PLAINS
LLC.

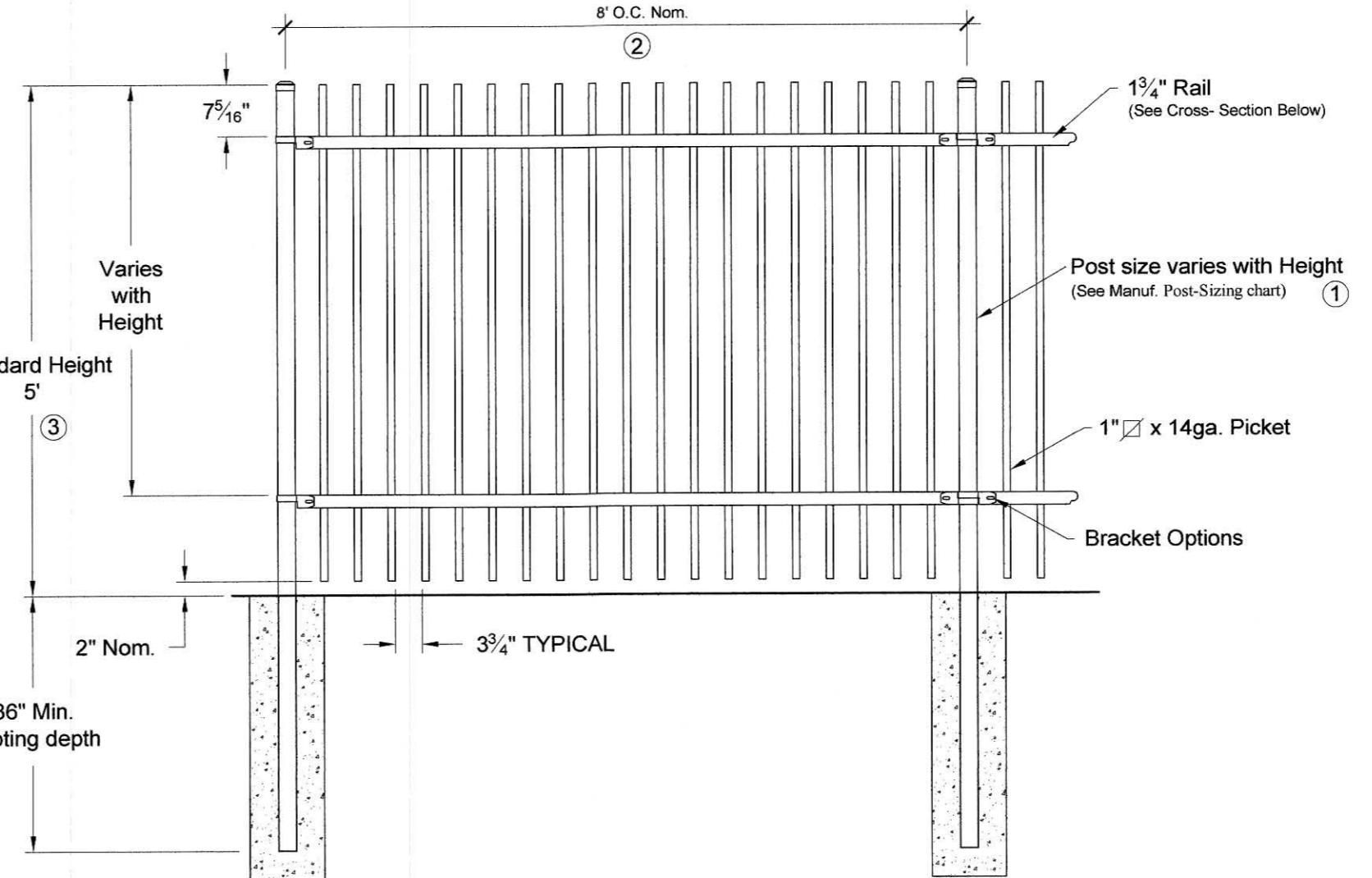
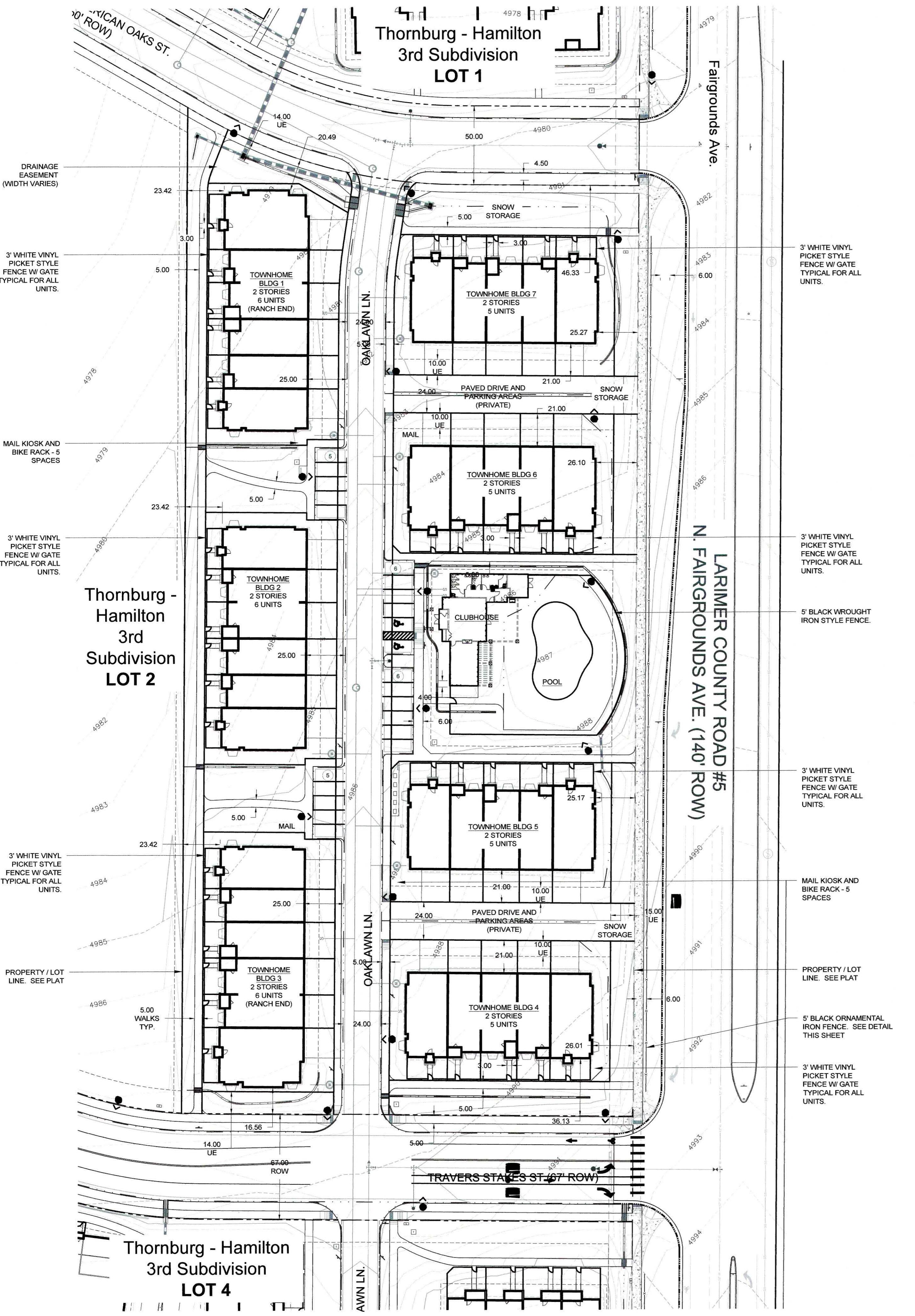
8020 S County Road 5, Unit
200 Fort Collins, CO 80528
(970) 204-9393

N. FAIRGROUNDS AVE. (140' ROW)

LARIMER COUNTY ROAD #5



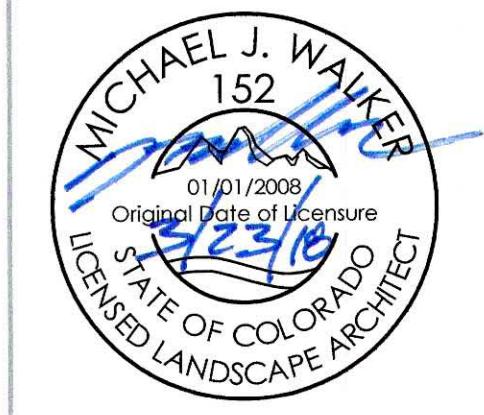
Thornburg Hamilton - 3rd Subdivision - Lot 3 Site Plan



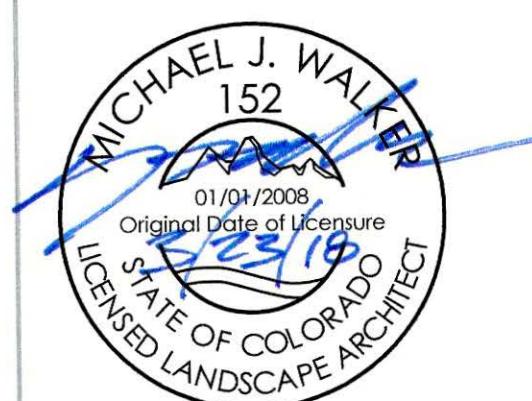
Type 1- Black Ornamental Iron - 5' Fence



Type 2- White Vinyl Picket - 3' Fence and Gate



Thornburg Hamilton - 3rd Subdivision - Lot 4 - Site Plans



PROJECT TITLE
Thornburg
Hamilton 3rd
Subdivision
Lots 1, 3 and 4

Special Review/
Site Development Plans

Loveland, Colorado

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200 Fort Collins, CO 80528
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REVISIONS
1st Submittal
2nd Submittal
3rd Submittal
SR / SDP Approval

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07/21/17

09/25/17

03/23/18

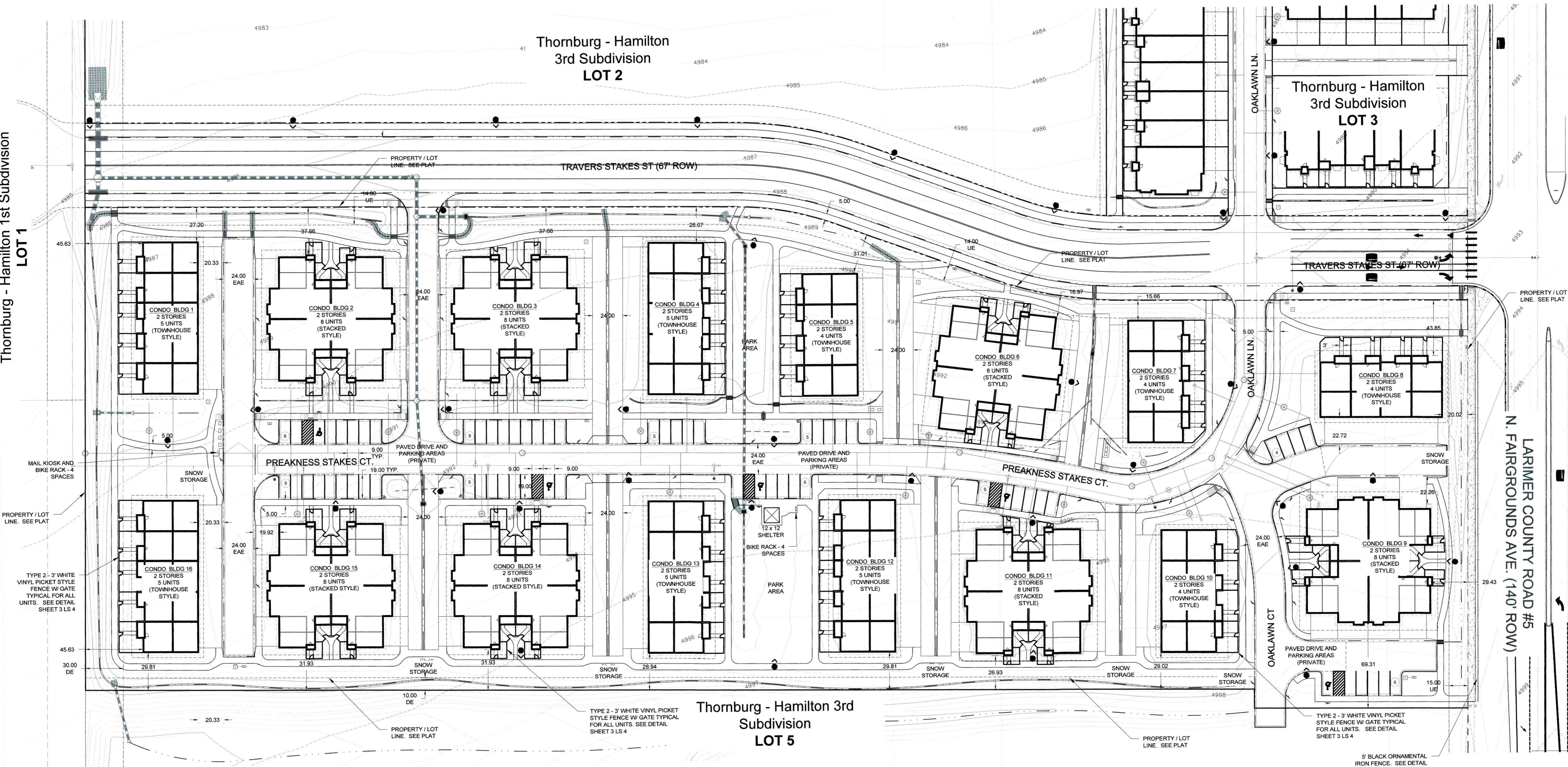
DATE
March 23, 2018

SHEET TITLE
Site Plan

SHEET INFORMATION

LS 4

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Thornburg / Hamilton 3rd Subdivision Lot 4 - Site Plan

0 40 60 80
NORTH
NOTE:
1. TRASH COLLECTION TO BE BY RESIDENTIAL TRASH / RECYCLE CARTS STORED IN GARAGE.
2. BUILDING 6 SHALL BE ALLOWED TO BE WITHIN THE 25' FRONT YARD SETBACK REQUIREMENT.
SCALE 1" = 40'-0"

Planning Commission Staff Report

December 9, 2019

Ranch Acres – Rezoning

Agenda #: Regular Agenda #3	PZ #19-00137	Rezoning
Location	101 & 109 Ranch Acres Drive – West side of N. Garfield Avenue (Highway 287) between Ranch Acres Drive and W. 57 th Street	

Development Review Team Recommended Motion

Recommended Motion(s):

Move to make the findings listed in this Staff Report dated December 9, 2019, and based on those findings recommend approval to the City Council for rezoning Ranch Acres First Addition from P-94: Ranch Acres First Addition Planned Unit Development (PUD) to B – Developing Business.

Options	Consequence
Approve the Motion	Approval of the motion would allow the application to proceed onto City Council for consideration of an ordinance to rezone Tracts DD & EE – Ranch Acres First Addition.
Deny the Motion or take no action	Denying the motion would require the applicant to reconsider the application or proceed onto City Council knowing that the request is not supported by Planning Commission. Taking no action on the motion would cause further delay in the applicant's ability to develop the site.
Adopt a Modified Action	As an alternative, additional conditions could be added to the Rezoning (based upon the findings) should the Planning Commission identify findings not being addressed and/or contrary to the City staff analysis.
Refer back to Staff	If the item was referred back to staff, staff requests that Planning Commission provide specific direction in reaching resolution on the requested Rezoning.

Project Summary

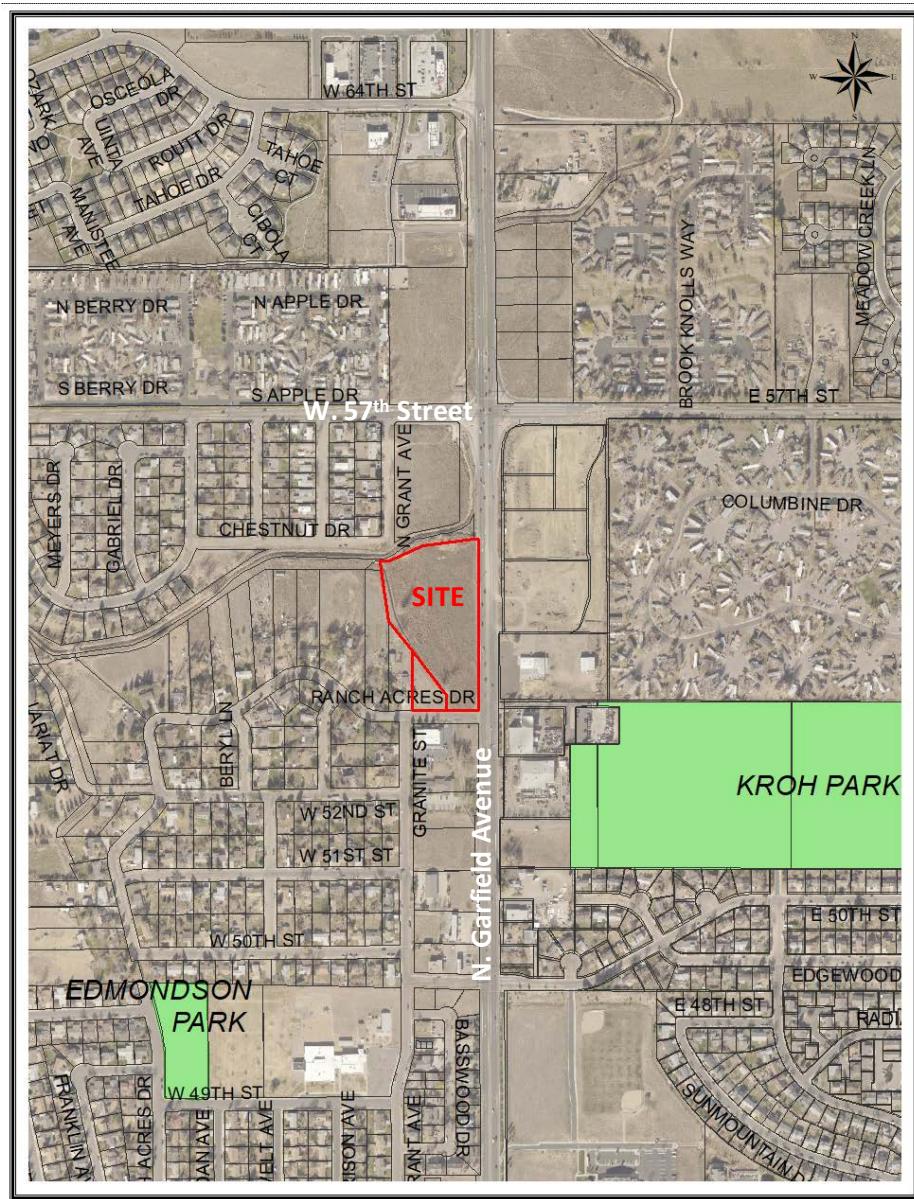
Summary

This application proposes to rezone 6.0 acres (Tracts DD & EE – Ranch Acres First Addition) and approximately 9.2 additional acres of rights-of-way (i.e. portions of Ranch Acres Drive, N. Garfield Avenue, and W. 57th Street) (the “Property”) from p-94: Ranch Acres First Addition Planned Unit Development (PUD) to B – Developing Business. The B zoning district designation allows for a variety of commercial, office and multi-family uses. As such, this zoning would allow the applicant to pursue a planned senior multi-family housing development at this location (see Exhibit A below). The B zoning district designation is consistent with the Comprehensive Plan land use designation and with the goals and policies of the Highway 287 Corridor Plan (see Exhibit B below). In addition, the proposed zoning is consistent and compatible with the surrounding City zoning pattern. (Please refer to Relevant Zoning District Regulations below, regarding specific details to UDC standards.)

Purpose

The goal with this rezoning is to establish a zoning designation that is conducive to an anticipated senior multi-family housing development. With the Highway 287 Corridor Plan, incorporating multi-family developments along the corridor is an important land use goal in sustaining commercial development while providing such commercial conveniences to multi-family uses. The rezoning also cleans-up an existing PUD zoning that no longer has vested/entitlement rights due to the fact that the process was never followed through as required under the previous zoning ordinance. The current PUD zoning has no development rights and would have to be rezoned under any circumstance for future development.

VICINITY MAP



Site Highlighted in Red

6.0 acres, currently zoned P-94: Ranch Acres First Addition Planned Unit Development (PUD)

Background

The Property was annexed into the City in 2007 as the Ranch Acres First Addition through a "serial" process that included 5 separate additions (see Attachment E). The entire series was zoned PUD and reason why the proposed rezoning should include not only the parcels but the rights-of-way as well. PUD zoning was established because a specific commercial development was anticipated at the time of annexation. However, the applicant is not the original developer and does not intend to develop the property as prescribed under the current Preliminary Development

Plan (see Attachment E). In comparison, the current PUD (if vested) has a greater impact on surrounding developments than what is currently being proposed.

EXHIBIT A – Potential Development Concept Excerpt (This development concept has been provided by the applicant for information purposes. The concept is not being formally proposed with this rezoning application and is not a guarantee that the property would develop as shown.)

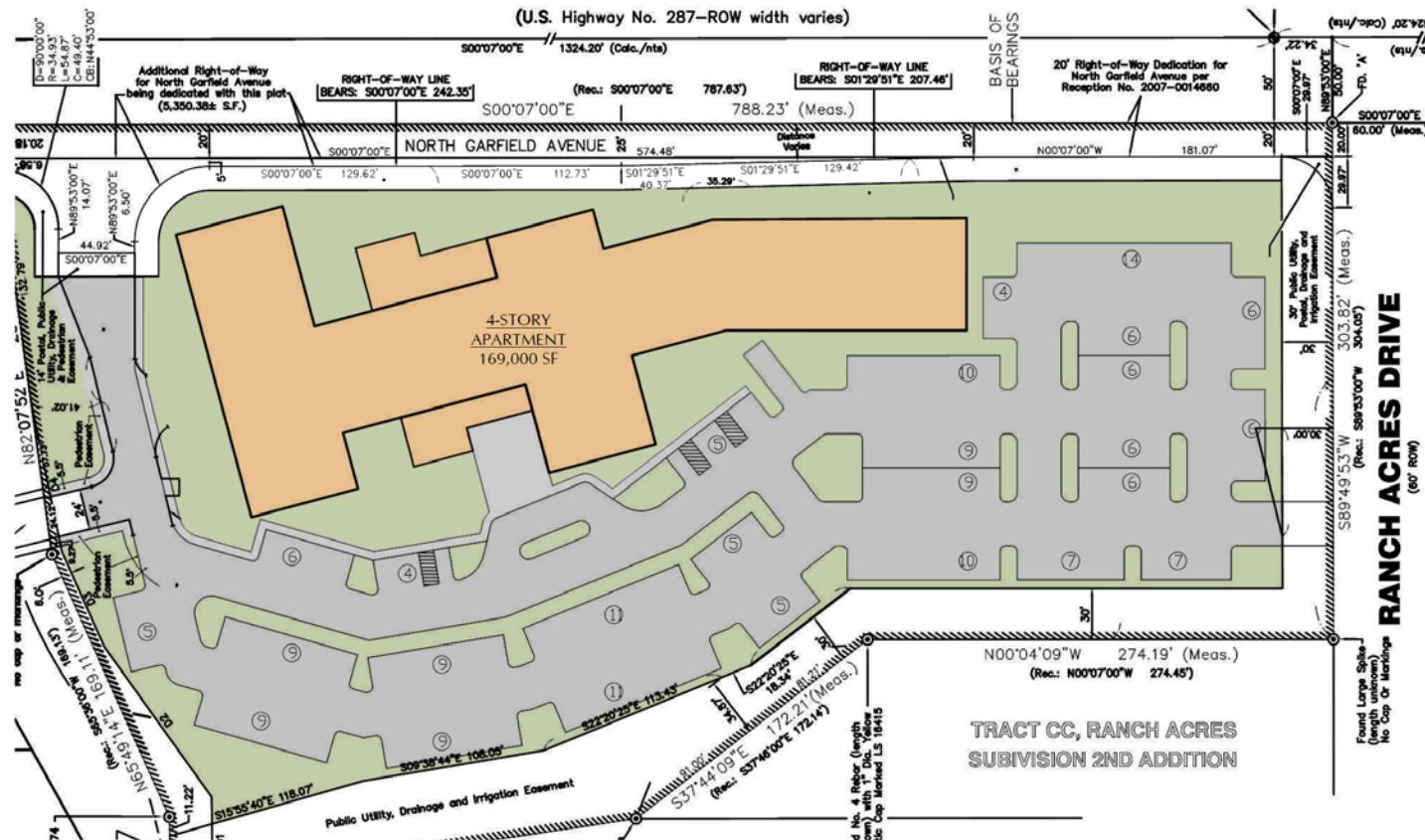
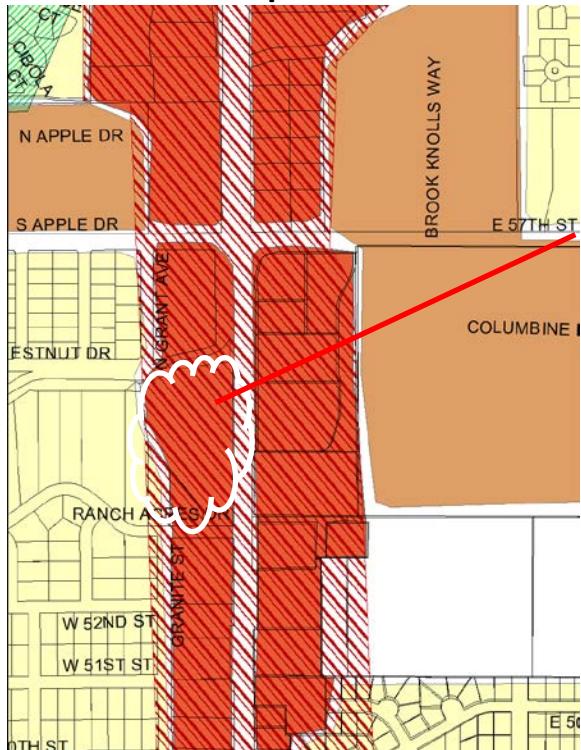


EXHIBIT B – Comprehensive Plan Excerpt



Key Issues

From a City staff perspective, the proposed rezoning presents no key issues. Following any successful rezoning, applications for replatting the property and Site Development Plan for detailed on and off-site improvements will be required. These applications are processed administratively. No neighborhood meetings or public hearings would be held beyond the requested rezoning.

Attachments

- Attachment A – Rezoning Resolution
- Attachment B – Rezoning Assessment
- Attachment C – Applicant’s Community Participation Report
- Attachment D – Rezoning Map & Concept Plan (for illustration purposes only)
- Attachment E – Ranch Acres First Addition & Ranch Acres Preliminary Development Plan (current PUD zoning standards)

Applicant Information	Development Review Team Contacts
Applicant: Brock Loomis JF Capital	Planner: Troy Bliss Traffic Engineer: Randy Maizland LFRA: Ingrid McMillan-Ernst
Property Owner: Chad Bessinger JF Capital	Stormwater: Suzette Schaff Power: Mark Warner Water/Wastewater: Melissa Morin

Site Data

Subdivision	Ranch Acres First Addition
Land Area	Approximately 15.2 acres
Existing Buildings	N/A – site is vacant/undeveloped
Topography	The site slopes west to east and is elevated above N. Garfield Avenue.

Access	Primary access would be from Ranch Acres Drive along the south end of the property as well as the likelihood of a restricted access with future development onto N. Garfield Avenue.
Water Provider	City of Loveland
Wastewater Provider	City of Loveland
Power Provider	City of Loveland

Subject Property and Adjacent Property Designations			
	Existing Zoning	Comprehensive Plan	Existing Land Use(s)
Subject Property	P-94: Ranch Acres First Addition Planned Unit Development	Corridor Commercial	Vacant/undeveloped.
Adjacent North	Unincorporated Larimer County	Corridor Commercial	Vacant/undeveloped.
Adjacent South	Unincorporated Larimer County	Corridor Commercial	Commercial/office.
Adjacent East	Unincorporated Larimer County and B – Developing Business	Corridor Commercial	Commercial/retail/auto repair/auto sales
Adjacent West	Unincorporated Larimer County	Low Density Residential	Existing single-family neighborhood.

Relevant Zoning District Regulations		
Ranch Acres First Addition	Current PUD – Preliminary Development Plan	Proposed (B – Developing Business) UDC
Minimum Lot Square Footage	N/A	10,000 square feet for General Multifamily
Maximum Building Coverage	N/A	35%
Minimum Open Space	56%	N/A – However, multifamily developments require certain percentage of amenity areas
Maximum Building Heights	40 feet	40 feet
Minimum Lot Width	N/A	100 feet
Minimum Building Setback:		
• Front	N/A	25 feet
• Rear and Street Side	N/A	15 feet
• Interior Side	N/A	6 feet
Neighborhood Outreach		
Notification	<p>A neighborhood meeting was held on October 2, 2019, at the Development Center and began at 5:30 p.m. Property owners within a 500-foot radius around the subject site were notified by mail and a sign posted at least 15 days in advance of the meeting.</p> <p>Notice for the Planning Commission hearing on December 9, 2019, was also mailed to property owners within a 500-foot radius of the site, a sign posted at least 15 days in advance of the hearing, and a notice published in the Reporter Herald.</p> <p>The neighborhood meeting and the public hearing were noticed in advance on the City's website.</p>	
Neighborhood Response	<p>No neighborhood response has been provided prior to the December 9, 2019 Planning Commission hearing.</p> <p>At the neighborhood meeting held on October 2, 2019, approximately 3 neighbors along with the applicant and City staff were in attendance. All of the neighbors were from the residential subdivision directly west and south of the subject property. Generally, neighbors expressed concerns with increased traffic on Ranch Acres drive and building heights associated with the proposed senior multi-family development. It was mentioned that traffic in the adjacent subdivision has to head south to W. 50th Street in order to reach a signalized intersection on N. Garfield Avenue. It is anticipated that residents of the future senior multi-family development will do the same, impacting their subdivision. The location of building(s) and preservation of open space were important design considerations for any future development.</p>	

Planning Commission Criteria and Findings for Approval or Denial
Pursuant to Section 18.17.09.01.A-D. of the City of Loveland Municipal Code the Planning Commission shall consider and make findings regarding the following criteria for B – Developing Business zoning. All findings must be met in order to approve the requested rezoning.
Standards for Rezoning

The criteria of Resource Protection Policy & Plan Consistency and Public Benefits, below, are met; and
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: See Resource Protection Policy & Plan Consistency and Public Benefits analysis below.</i>
One or more of the alternatives set out in the Additional Findings, below, are met;
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: See Resource Protection Policy & Plan Consistency and Public Benefits analysis below.</i>
The subject property is a legal lot of record (or group of contiguous legal lots of record); and
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: The subject property is a legal lot of record. However, due to the proposed development, the property will be replatted prior to any development activity.</i>
No legal lot of record will contain multiple zones within its boundaries as a result of the rezoning.
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: The rezoning is not proposing multiple zones within the property boundary.</i>
Resource Protection Policy
It is the policy of the City not to rezone property in a manner that would create or facilitate the creation of development rights or entitlements that would either:
Reduce the level of protection for significant natural resources that exist on the subject property; or
Expose additional people or personal property to unmitigated natural hazards that are present on the subject property (e.g., fire, flood, or geological hazards).
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: Ranch Acres First Addition does contain some natural/habitat areas along the north property boundary (Louden Ditch). However, no development is anticipated that would impact the ditch. This area would be retained as natural open space associated with the development.</i>
This policy may be waived upon a finding by the City Council that:
Alternative means have been implemented to achieve a comparable or better level of resource protection (e.g., conservation easements, development agreements, or other comparable mechanisms for resource protection); or
The policy is outweighed by a substantial community interest that is served by approval of the rezoning (see Subsection C.1., below).
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: Not applicable.</i>
Plan Consistency and Public Benefits
The proposed zone, as applied to the subject property, is consistent with its land use designation in the Comprehensive Plan or an amendment to the Comprehensive Plan is approved in accordance with Section 4 of the Comprehensive Plan prior to the approval of the rezoning application;
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: The proposed zoning is consistent with the Commercial Corridor land use designation of the Comprehensive Plan.</i>
Rezoning to the proposed zone will provide a benefit to the community or immediate area that cannot be provided under the existing zone, and the balance between the anticipated benefit, if any, and the anticipated burden on the community or immediate area, if any, is either neutral or favors the rezoning;
<i>Finding: Staff finds that the criteria has been met.</i>
<i>Analysis: The proposed B zoning will provide a benefit to the community in offering a zoning that would accommodate a variety of commercial, office, and multi-family uses. More particularly (based on the proposed future development),</i>

the possibility of providing more senior housing options to residents of Loveland. Under the current PUD zoning, no vesting or entitlements currently exist which does not allow for the PUD to develop in initially conceived.

The proposed zone would not cause an I zone to share a boundary with an ER, R1e, R1, R2, R3e, or R3 zone, unless there is sufficient land area on the subject property to provide a buffer, as set out in [Division 18.08.03, Standards for Bufferyards](#), and a development agreement is approved to mitigate use incompatibilities with fencing, walls, landscaping, noise and lighting restrictions, or other appropriate techniques; and

Finding: Staff finds that the criteria has been met.

Analysis: Not applicable.

Adequate community facilities are available to serve development in the proposed zone in accordance with Section 18.15.02.05, Determination Regarding Adequacy; or the proposed zone would limit demands upon community facilities more than the existing zone; or reasonable assurances are provided that adequate community facilities will be made available to serve new development by the time the new development places demands on the facilities.

Finding: Staff finds that the criteria has been met.

Analysis:

Transportation

Rezoning a parcel or property does not warrant compliance with the City's Adequate Community Facilities (ACF) ordinance. All future development or land application within this property shall be in compliance with the City of Loveland Transportation Plan, the Larimer County Urban Area Street Standards and any updates to either in effect at the time of development application. Moreover, as identified in the City Municipal Code Title 16, a Traffic Impact Study shall be required with all future development or other land use applications. The property will also be required to dedicate, free and clear, all applicable right-of-way to the City, at no cost to the City, at the time of development.

Therefore, pending future proposed development within this property, of which review and approval by the City is required, the Transportation Development Review staff does not object to the proposed rezoning.

Fire

Staff believes that this finding can be met, due to the following:

- *With the proposed rezoning, the development site will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.*
- *The rezoning of the land from PUD to B will not negatively impact fire protection for the subject development or surrounding properties.*

Water/Wastewater

The development is situated within the City's current service area for both water and wastewater. The Department finds that:

- *Reasonable assurances are provided that adequate community facilities will be made available to serve new development by the time the new development places demands on the facilities.*

Stormwater

Staff believes the this finding can be met, due to the following:

- *The proposed development will meet all applicable requirements contained in the City of Loveland Storm Drainage Criteria;*
- *The proposed development will provide for adequate major drainage facilities to convey stormwater flows from a hundred year storm event which will minimize property damage; and,*
- *The proposed development meet all applicable drainage requirements of the City.*

Power

This development is situated within the City's current service area for power. The Department finds that the

Development will be compliant to ACF for the following reasons:

- The proposed development will not negatively impact City power facilities.
- The proposed public facilities and services are adequate and consistent with the City's utility planning and provides for efficient and cost-effective delivery of City power.

Additional Findings

(The City Council may approve an application for rezoning upon a determination that at least one of the following three criteria has been met.)

Alternative #1: Plan Implementation. The proposed zone is more appropriate than the existing zone to implement an adopted or approved current City plan that was developed with public input (e.g., the Comprehensive Plan, the Highway 287 Strategic Plan, etc.).

Finding: Staff finds that the criteria has been met.

Analysis: The proposed B zoning is more appropriate than the current PUD zoning with respect to implementing the City's Comprehensive Plan of corridor commercial development. Multi-family development is an appropriate corridor commercial development per the City's Highway 287 Corridor Plan.

Alternative #2: Change in Character of the Area. The City Council finds that the proposed zone is more appropriate than the existing zone because:

- a. There has been a change in character or capacity of public infrastructure in the area (e.g., installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.); and
- b. The proposed zone allows for the reasonable development or redevelopment of the subject property in a manner that will be compatible with its existing or planned context.

Finding: Staff finds that the criteria has been met.

Analysis: a) Not applicable.

b) The proposed B zone is more appropriate than the current PUD zone because the current PUD is no longer vested/entitled. Consequently, the property no longer has zoning in place to accommodate future development. Rezoning the property to a B zoning designation would allow for reasonable development of the subject property, compatible within both the existing and planned context of the area. With future development applications, mitigating impacts on existing surrounding residential properties will need to be considered.

Alternative #3: Need for Zone in Land Inventory. The City Council finds that the proposed zone is more appropriate than the existing zone because:

- a. There is greater need in the City for land in the proposed zone than the existing zone based on a market study provided by the applicant; and
- b. The proposed zone will promote a balance of land uses in the City that will improve economic opportunity or community mobility in alignment with the Comprehensive Plan.

Finding: Staff finds that the criteria has been met.

Analysis: a) No analysis has been provided in determining whether or not B zoning is in greater need compared to PUD. Consequently, this finding has not been met. However, it is not required considering Alternative #1 is being addressed.

b) The proposed B zone is more appropriate than the current PUD zone because it provides opportunities for additional housing rather than raw/vacant land not being utilized. More housing options adds to the economic welfare of the City and helps balance land uses and support existing/proposed commercial development along the corridor.

Planning Commission Comprehensive Plan Policy Guidance for Approval or Denial

In considering an application for approval or denial the Planning Commission finds that the application either complies or does not comply with the following goals, and policies within the City of Loveland Comprehensive Plan:



Create Loveland

Land Use Designation: Corridor Commercial

- Serves local and regional retail uses; applies to a limited number of established businesses.
- New development under this category should better integrate parcels and circulation as they redevelop. Redevelopment should emphasize quality architecture and public realm over parking.
- Suitable for B – Developing Business zoning.
- Suggests building heights of 1 to 3 stories.
- Appropriate residential uses including single and multi-family (as permitted by zoning). Mixed-use is preferred.

Staff Recommendation

Staff is recommending approval of the Ranch Acres First Addition Rezoning. No conditions are included in this recommendation.

Rezoning Assessment – Ranch Acres Rezone from PUD to B

1) Resource Protection

- a) Protection of Natural Resources: An environmental analysis of the subject property revealed no significant existing natural resources. Rezoning the property to Developing Business will not reduce the level of protection of natural resources that the property currently has under the PUD zoning designation.
- b) Unmitigated Natural Hazard: There is no reason to believe that the proposed rezone will expose people or property to any unmitigated natural hazards to a degree more than that to which they presently are under the current zoning.

2) Plan Consistency and Public Benefit

- a) Consistency with the Comprehensive Plan – the subject property is identified in the Comprehensive Plan as a “Development Opportunity Area.” Additionally, Figure 3-6 of the Plan labels the subject property and surrounding properties with this implementation statement: “Broaden the feasible uses in the B- Developing Business zoning district in order to facilitate residential and mixed-use development.” The proposed change of zoning is consistent with the intents and purposes identified in the Comprehensive Plan.
- b) Public Benefit – the PUD that was approved is no longer feasible. The proposed rezone will allow the property to be developed. Development will include improvements to public rights-of-way, needed utility connections that currently do not exist, and will also lead to increased housing choice for community members.
- c) Compatibility with Industrial Zoned Property – The properties surrounding the subject property have not been annexed into the City and, therefore, do not have a zone assigned by the City. The parcels across the Garfield Ave. that are within city limits are zoned Developing Business.
- d) Adequate Community Facilities – the applicants have discussed the improvements to community facilities that will be required to be constructed if the subject property were developed under the Developing Business zoning district and are prepared to ensure that the needed facilities are installed as discussed.

3) Additional Findings

- a) Plan Implementation and Character of the Area – the proposed zoning district would allow for the reasonable development of the property in a manner that will be more compatible with the planned context of the area and would be consistent with the Comprehensive Plan.

Community Participation Report

Neighborhood Meeting Date: October 2, 2019

Attendance: Brock Loomis (applicant), Troy Bliss (city staff), and four community members

Summary of discussion:

During the neighborhood meeting, residents voiced some concerns with the proposed conceptual project that was submitted. Citizens had concerns regarding the potential height of the building as well as the potential of increased traffic in their neighborhood. They were reminded that, at this point, the application is for a rezone of the property and not for the approval of a specific project shown on the conceptual plan that was submitted per the city's request. The current PUD allows for a building to be 50 feet in height – conceptually, we plan to develop four-story buildings, which would result in an overall height that is less than 50 feet. We also plan to add a new entrance onto Highway 287 that would be used as the primary entrance and exit for the project.

The residents stated that they were of the opinion that it does not make sense to develop the property as a commercial project, requesting instead that it be developed as single family homes or that it be made into a park. Our response to these concerns is that the zone we are requesting is consistent with the Comprehensive Plan designation of the property as a Development Opportunity Area. We would not ask for a rezoning of the property were it not compatible with the community's Comprehensive Plan.

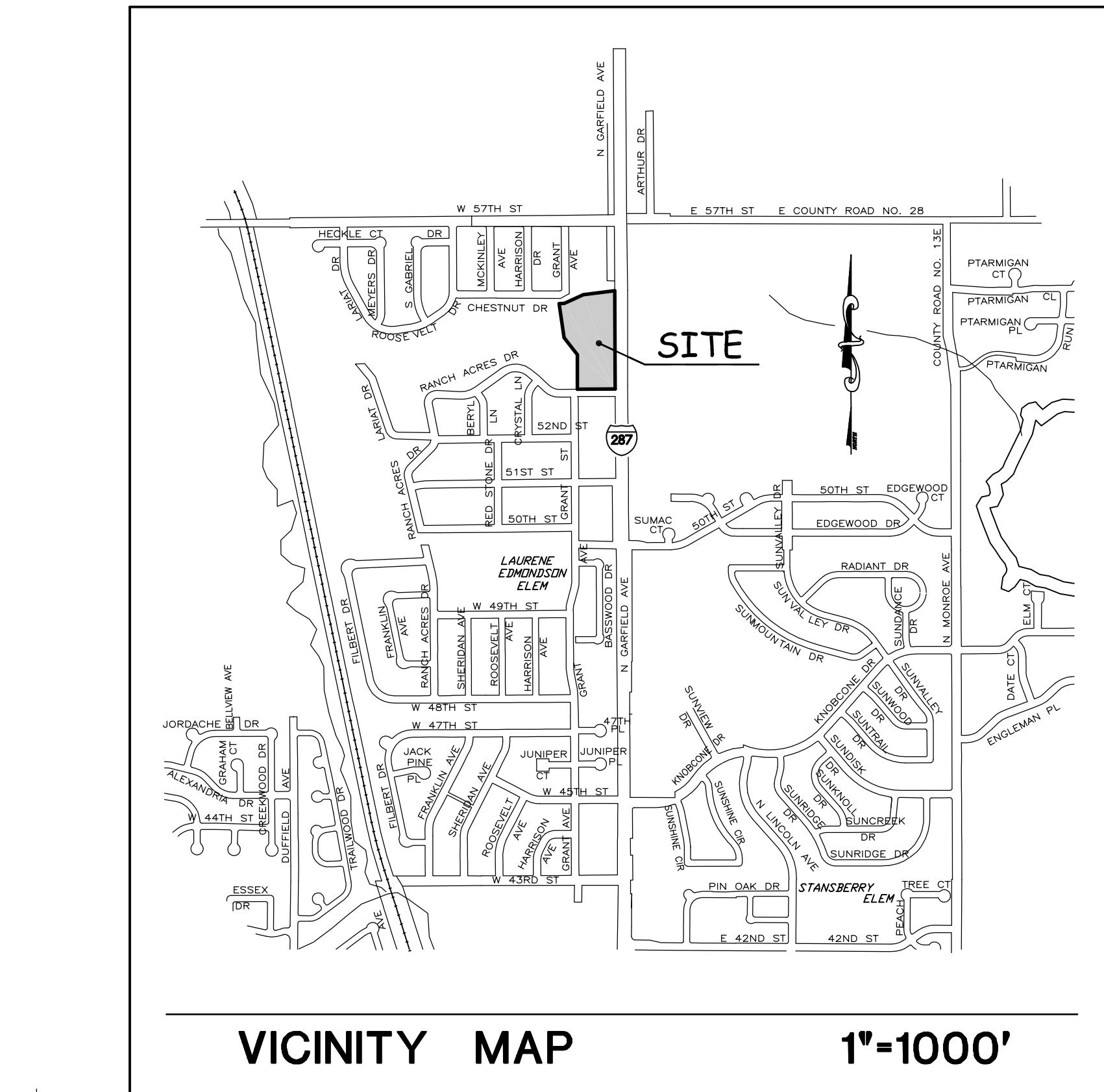
Overall, the meeting was a productive opportunity for us to receive input from our neighboring property owners. While we appreciate all neighboring residents who care enough about their community to attend meetings regarding our project, we also acknowledge our responsibility to develop projects that meet market needs according to the city's Comprehensive Plan and Zoning Ordinance.

Thank you,

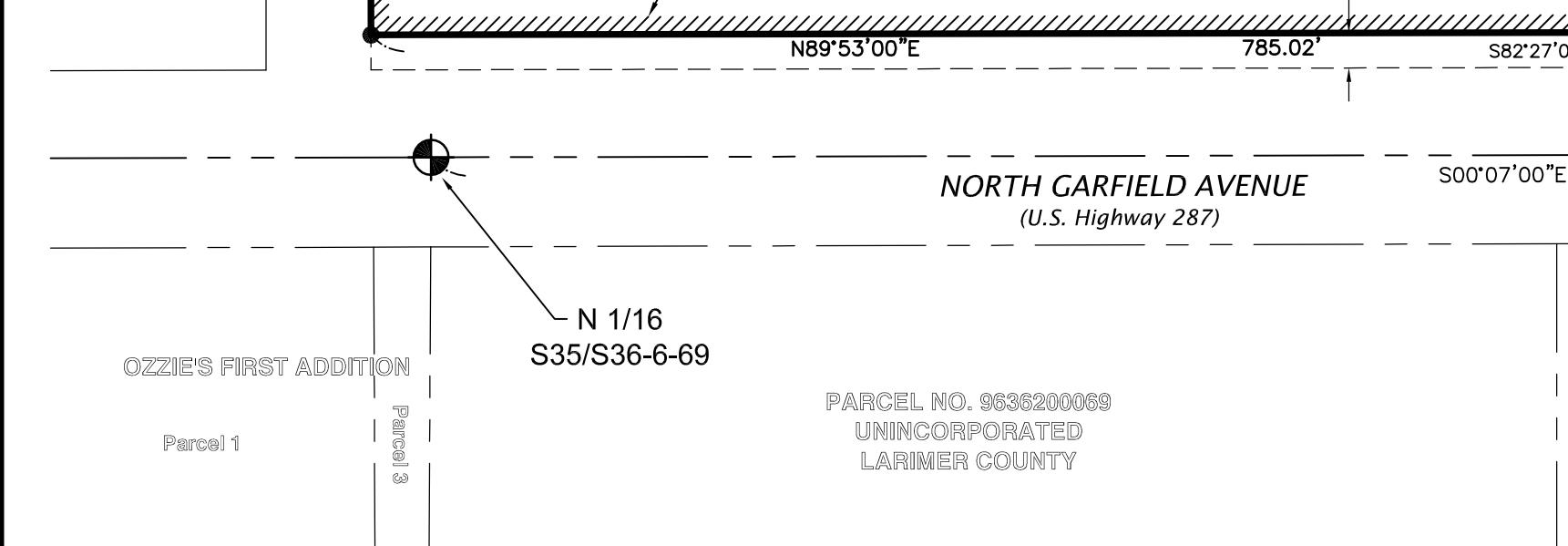
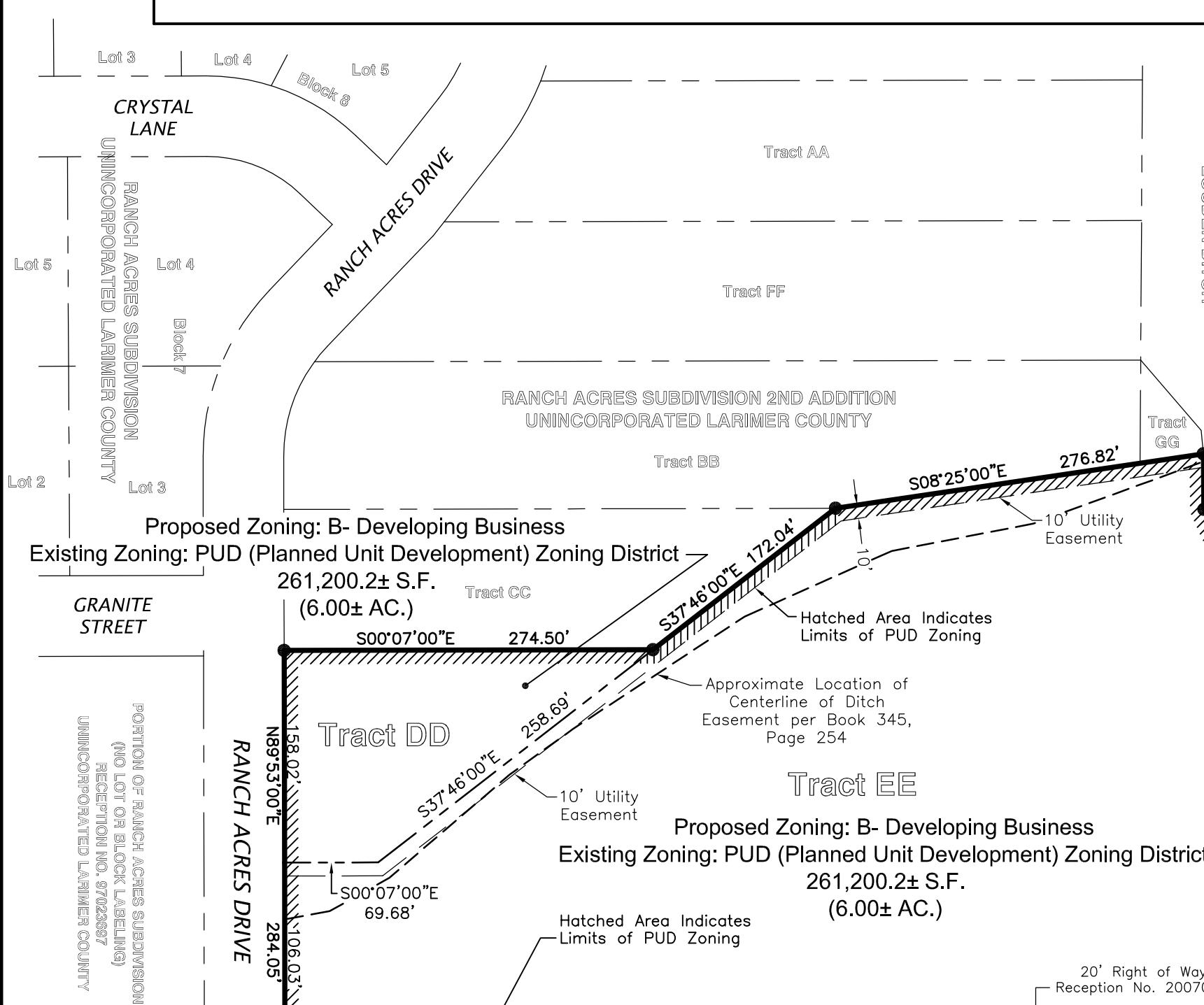
Brock Loomis
JF Capital

REZONING MAP FOR TRACT 'DD' AND TRACT 'EE', RANCH ACRES FIRST ADDITION SERIAL NO. 2

BEING A REZONING OF TRACT 'DD' AND 'EE', RANCH ACRES FIRST ADDITION SERIAL NO. 2, CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO



VICINITY MAP 1"=1000'



Basis of bearings for this Rezoning Map are based on an assumed bearing of South 00°07'00" East on the East line of the Northeast Quarter of Section 35, Township 6 North, Range 69 West of the 6th P.M., County of Larimer, State of Colorado.

Note: Record bearings and/or distances were taken from the plats of Ranch Acres Subdivision, Larimer County, Colorado, and Ranch Acres Subdivision 2nd Addition, Larimer County, Colorado, records of the Larimer County Clerk and Recorder. It appears all of the aforesaid plats and maps were based on the record basis of bearings as stated above.

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



Scale: 1" = 100'

July 14, 2017

REZONING MAP, TRACT 'DD' & TRACT 'EE', RANCH ACRES FIRST ADDITION SERIAL NO. 2

PC ATTACHMENT D

\\100\PLAT\892-Bac\cover\Dev\Rezoning Map USE.Dwg

1 1

DATE: _____
BY: _____
REVISIONS: _____

INTERMILL LAND SURVEYING, INC.
BUS. (970)-699-0516 / FAX (970)-635-9775
80537

CLIENT: _____
TITLE: REZONING MAP, TRACT 'DD' & TRACT 'EE',
RANCH ACRES FIRST ADDITION SERIAL NO. 2
LOVELAND, COLORADO

DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____
DATE: 07-14-2017
SCALE: 1" = 20'
PROJECT NO.: P-17-8392
SHEET 1 OF 1

(U.S. Highway No. 287—ROW width varies)

D=90°00'00"
R=34.93'
L=54.87'
C=49.40'
CB:N44°53'00'

Additional Right-of-Way
for North Garfield Avenue
being dedicated with this
(5,350.38± S.F.)

RIGHT-OF-WAY LINE
BEARS: S00°07'00"E 242.35

(Rec.: S00'07'00"E

RIGHT-OF-WAY LINE
ZARS: S01°29'51"E 207.46'

20' Right-of-Way Dedication for
North Garfield Avenue per
Reception No. 2007-0014660

1324.20' (Calc./nts)

**TRACT CC, RANCH ACRES
SUBIVISION 2ND ADDITION**

RANCH ACRES

4-STORY APARTMENT - SITE PLAN STUDY - 10.24.2019



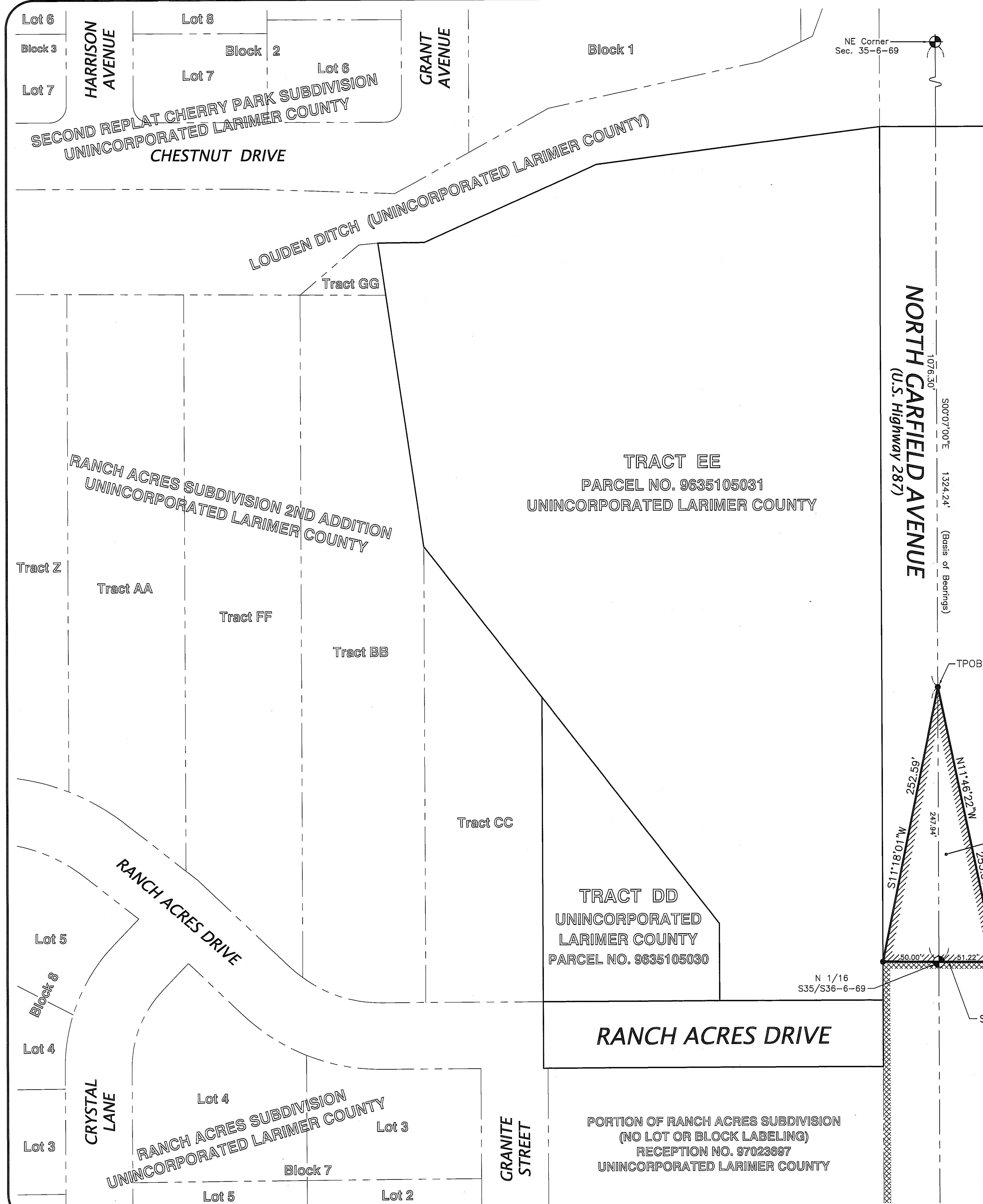
Ankrom Moisan Architects, Inc.
ARCHITECTURE INTERIORS URBAN
ankromoisan.com

Architects, Inc.
ARCHITECTURE INTERIORS URBAN DESIGN IDENTITY



Ankrom Moisan

PC ATTACHMENT D



RANCH ACRES FIRST ADDITION SERIAL 1

BEING AN ANNEXATION OF PORTIONS OF THE SOUTHWEST QUARTER OF SECTION 25, SOUTHEAST QUARTER OF SECTION 26, NORTHEAST QUARTER OF SECTION 35, AND THE NORTHWEST QUARTER OF SECTION 36, ALL IN TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., TO THE CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

PARCEL NO. 9636200006
UNINCORPORATED LARIMER COUNT

||||||||||||||||||||||||, Indicates Project Boundary

 Indicates Existing City Limits

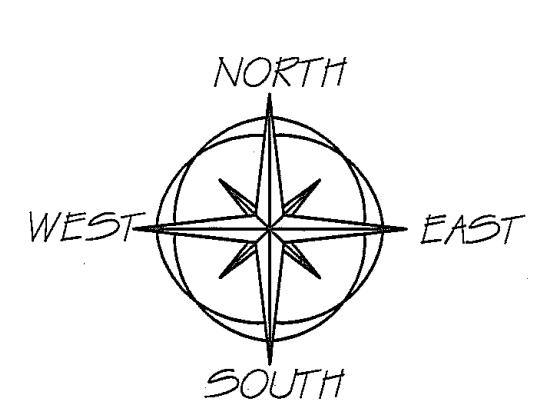
ANNEXATION DATA TABLE

1. Contiguity to City Limits: 101.22 feet
 2. Total Allowable Annexation Limits: 607.32 feet
 3. Total Annexation Boundary: 607.32 feet

GENERAL NOTES

1. This project is subject to a Annexation Agreement which has been recorded in the Real Property records in the Office of the Larimer County Clerk and Recorder.
 2. This property is subject to a Preliminary Development Plan which is on file with the City of Loveland.
 3. Basis of bearings for this survey are based on an assumed bearing of South 00°07'00" East on the East line of the Northeast Quarter of Section 35, Township 6 North, Range 69 West of the 6th P.M., County of Larimer, State of Colorado.

Note: Record bearings and/or distances were taken from the plats of Ranch Acres Subdivision, Larimer County, Colorado, and Ranch Acres Subdivision 2nd Addition, Larimer County, Colorado, records of the Larimer County Clerk and Recorder. It appears all of the aforesaid plats and maps were based on the record basis of bearings as stated above.

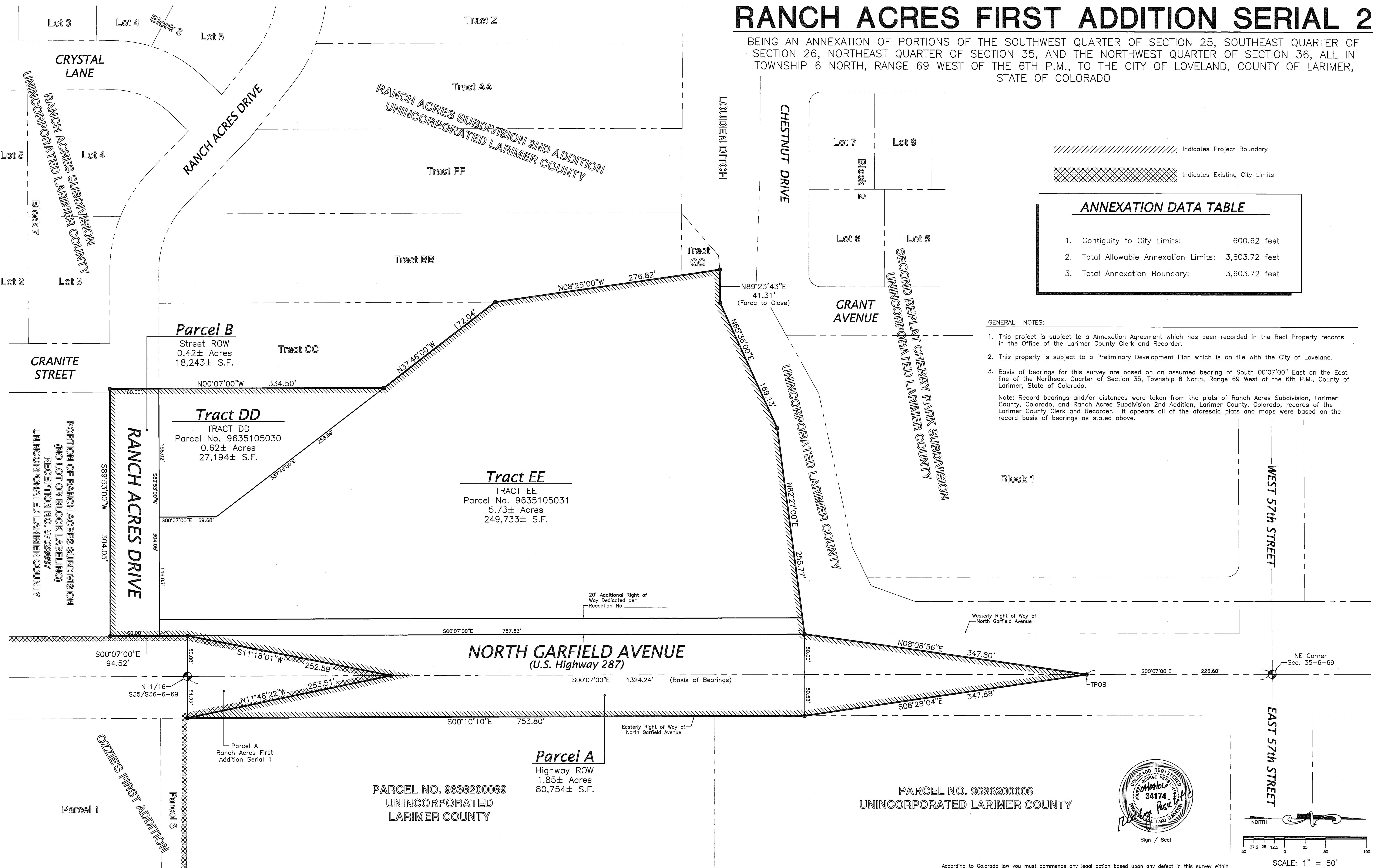


SCALE: 1" = 50'

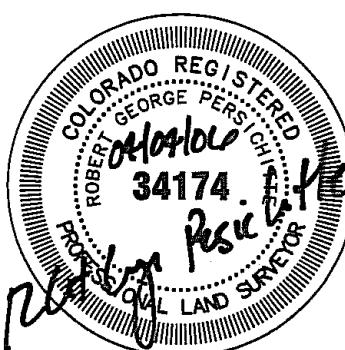
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

RANCH ACRES FIRST ADDITION SERIAL 2

BEING AN ANNEXATION OF PORTIONS OF THE SOUTHWEST QUARTER OF SECTION 25, SOUTHEAST QUARTER OF SECTION 26, NORTHEAST QUARTER OF SECTION 35, AND THE NORTHWEST QUARTER OF SECTION 36, ALL IN TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., TO THE CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO



According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



Sign / Sec

SCALE: 1" = 50'
January 24, 2003

INTERMILL LAND SURVEYING, INC.
301 NORTH CLEVELAND AVENUE LOVELAND, COLORADO 80537 BUS. (970)-669-0516 / FAX (970)-635-9

1301 NORTH CLEVELAND AVENUE LOVELAND, COLORADO 80537 BUS. (970)-669-0516 / FAX (970)-635-9

REVISIONS:

1. Revisions per City of Loveland comment
2. Add additional right of way dedication
3. Replot for resubmittal

BY:	MJM	DATE:	05-25-04
	MJM		03-04-05
	RGP		12-01-05

DATE: 01-24-03 DRAWN BY: MJM
SCALE: 1"=50 CHECKED BY: _____
APPROVED BY: _____

CLIENT: 287 ENTERPRISES, L.L.C.

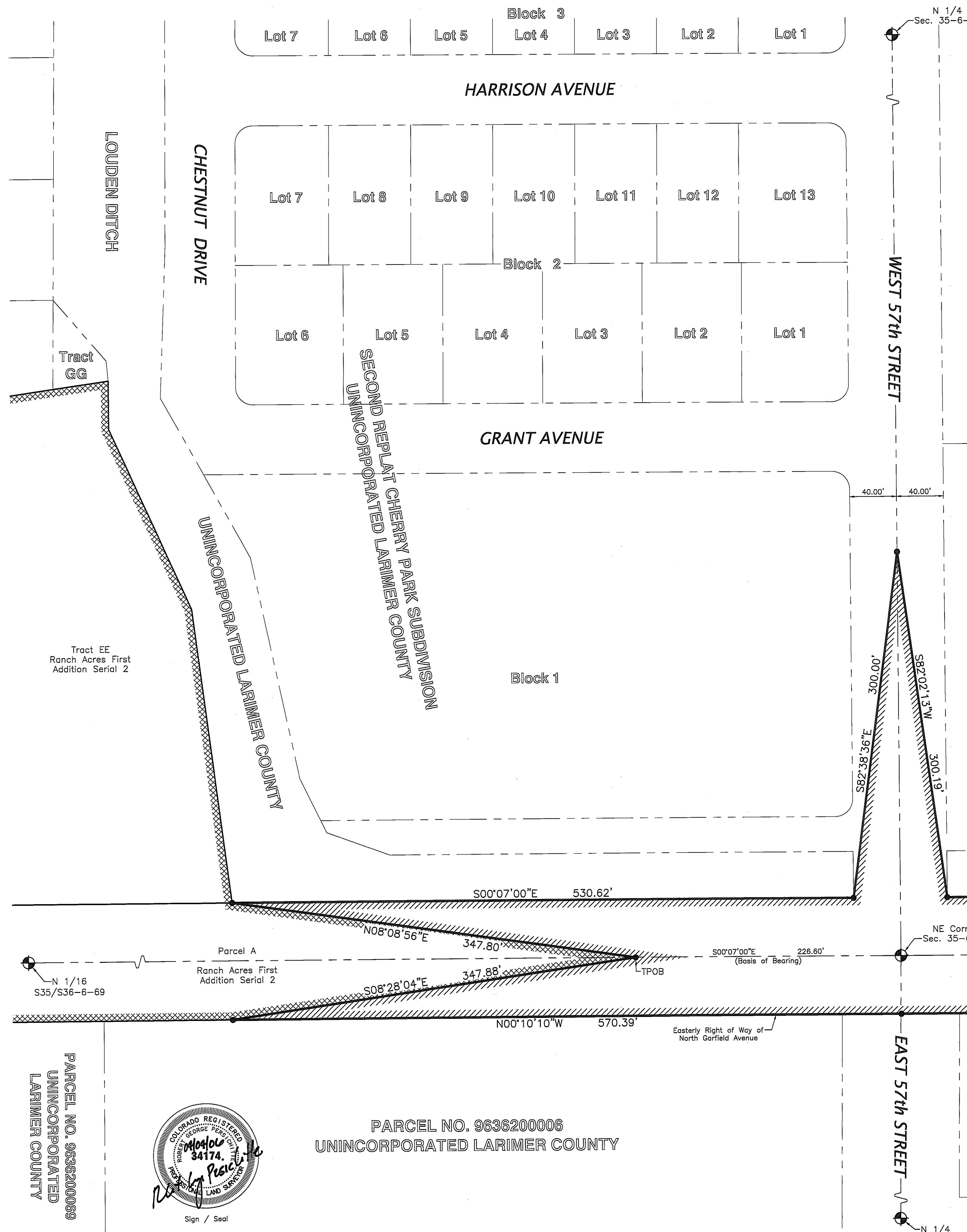
PROJECT TITLE:
RANCH ACRES FIRST ADDITION SERIAL 2

SHEET NO.	NO. OF SHEETS	PROJECT NO.
3	6	P-02-5297

RANCH ACRES FIRST ADDITION SERIAL 2
PC ATTACHMENT E

RANCH ACRES FIRST ADDITION SERIAL 3

BEING AN ANNEXATION OF PORTIONS OF THE SOUTHWEST QUARTER OF SECTION 25, SOUTHEAST QUARTER OF SECTION 26, NORTHEAST QUARTER OF SECTION 35, AND THE NORTHWEST QUARTER OF SECTION 36, ALL IN TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., TO THE CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO



RANCH ACRES FIRST ADDITION SERIAL 5

BEING AN ANNEXATION OF PORTIONS OF THE SOUTHWEST QUARTER OF SECTION 25, SOUTHEAST QUARTER OF SECTION 26, NORTHEAST QUARTER OF SECTION 35, AND THE NORTHWEST QUARTER OF SECTION 36, ALL IN TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., TO THE CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

||||||||||||| Indicates Project Boundary

XXXXXX Indicates Existing City Limits

ANNEXATION DATA TABLE

1. Contiguity to City Limits: 600.19 feet
2. Total Allowable Annexation Limits: 3,601.14 feet
3. Total Annexation Boundary: 2,980.12 feet

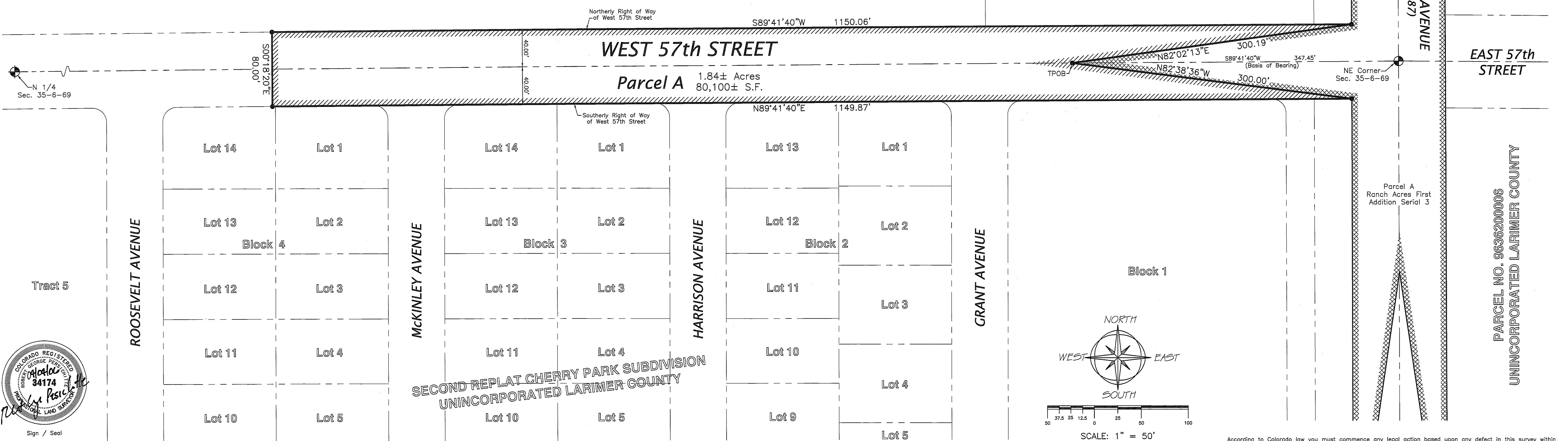
PARCEL NO. 96260-00-004
UNINCORPORATED LARIMER COUNTY

GENERAL NOTES:

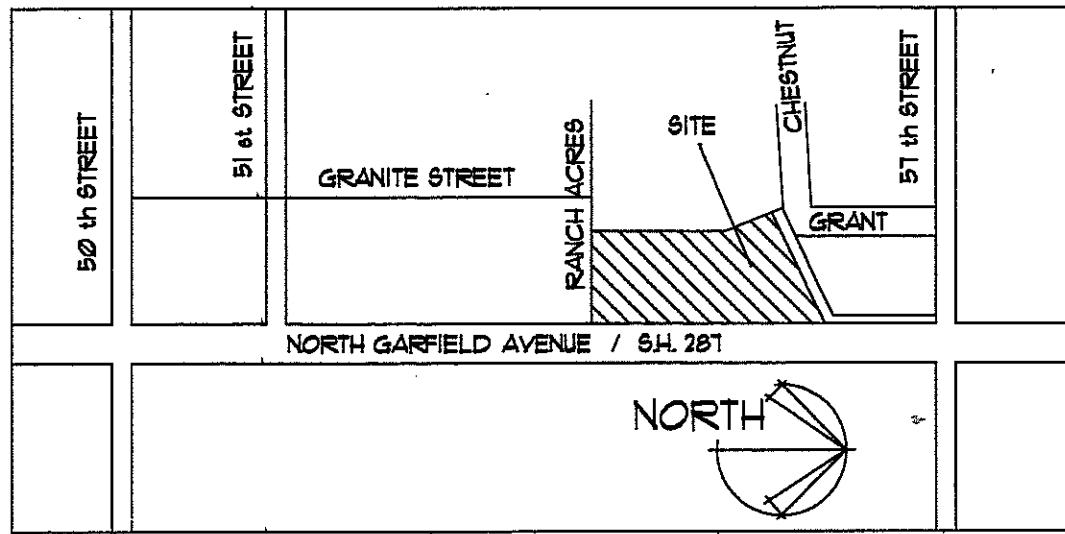
1. This project is subject to a Annexation Agreement which has been recorded in the Real Property records in the Office of the Larimer County Clerk and Recorder.
2. This property is subject to a Preliminary Development Plan which is on file with the City of Loveland.
3. Basis of bearings for this survey are based on an assumed bearing of South 00°07'00" East on the East line of the Northeast Quarter of Section 35, Township 6 North, Range 69 West of the 6th P.M., County of Larimer, State of Colorado.

Note: Record bearings and/or distances were taken from the plats of Ranch Acres Subdivision, Larimer County, Colorado, and Ranch Acres Subdivision 2nd Addition, Larimer County, Colorado, records of the Larimer County Clerk and Recorder. It appears all of the aforesaid plats and maps were based on the record basis of bearings as stated above.

PARCEL NO. 96260-00-010
UNINCORPORATED LARIMER COUNTY



VICINITY MAP



LAND USE TABLE

ZONING:	MAXIMUM BUILDING HEIGHT:	PUD:	AREA	COVERAGE	OFF-STREET PARKING REQUIRED
GRANITE STREET	40'-0"	25,000 SQ. FT / 300	335 / 1000	84	RETAIL "A/B"
RANCH ACRES	40'-0"	23,000 SQ. FT / 250	4 / 1000	92	OFFICE "D"
GRANT	40'-0"	5,000 SQ. FT / 200	* 5 / 1000	25	RESTAURANT "C"
	40'-0"	5,000 SQ. FT / 250	4 / 1000	20	BANK "F"
					TOTAL REQUIRED
					221
					OFF-STREET PARKING PROVIDED
					STANDARD 212
					ACCESSIBLE 9
					TOTAL PROVIDED 221
					* VARIANCE REQUESTED

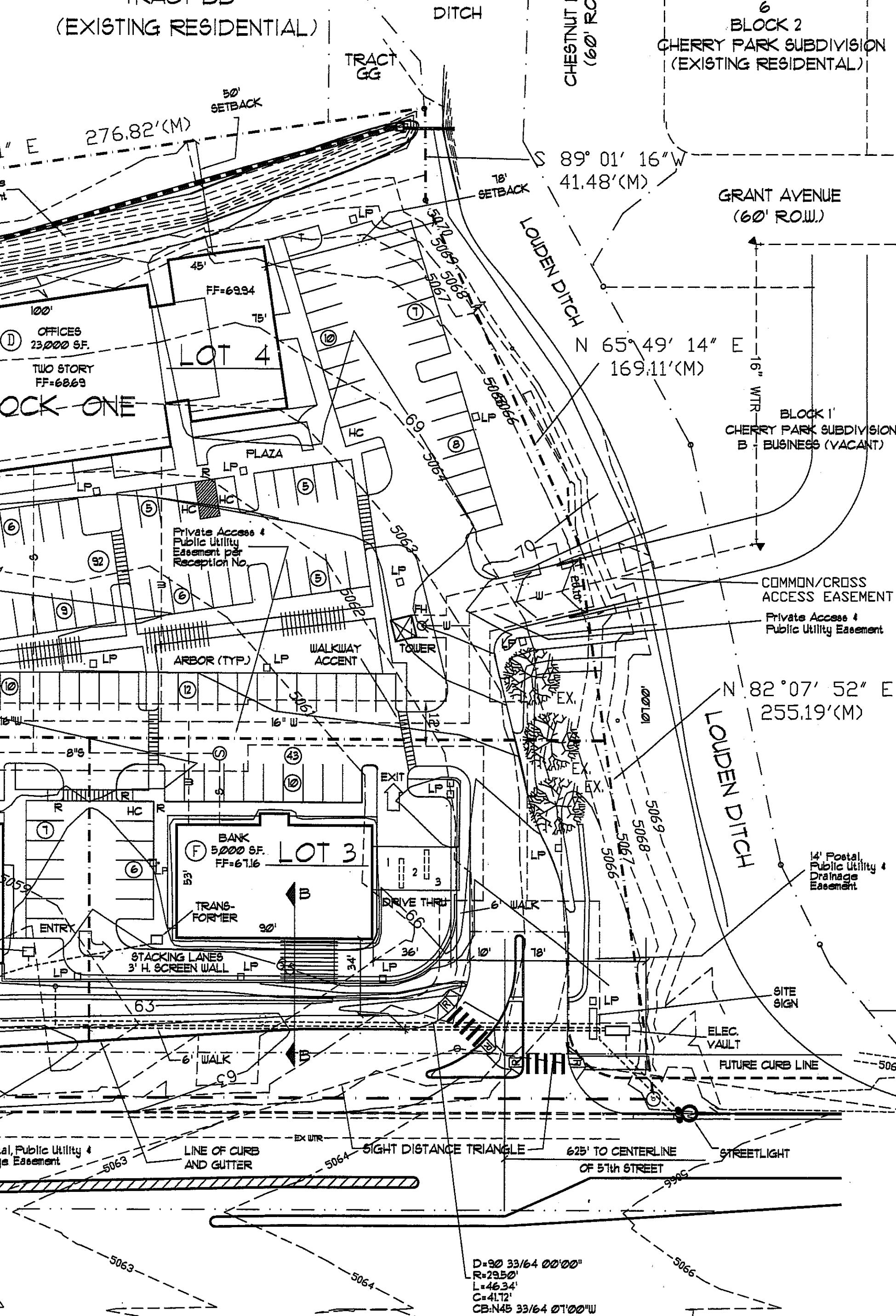
(EXISTING RESID.)
LOT 3
BLOCK T
GRANITE
STREET

(EXISTING RESID.)
TRACT CC
(EXISTING RESID.)
RANCH ACRES SUBDIVISION

PORTER INDUSTRIES
(EXISTING COMMERCIAL)

S 89° 49' 53" W
303.82'(M)

TRACT BB (EXISTING RESIDENTIAL)



SIGNATURES AND APPROVALS

OWNER CERTIFICATION:
KNOW ALL MEN BY THESE PRESENTS THAT:

BEING ALL THE LAWFUL RECORD OWNERS OF THE PROPERTY SHOWN ON THIS PRELIMINARY DEVELOPMENT PLAN EXCEPT ANY EXISTING PUBLIC STREETS, ROADS OR HIGHWAYS, DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID PLAN AND IN THE CONDITIONS OF APPROVAL THE CITY OF LOVELAND, DATED 7/14/2006 AND I/WE CONSENT TO THE RECORDATION OF ANY INFORMATION PERTAINING THERETO.

OWNER: *Dennis Meyer*

OWNER:

STATE OF COLORADO:

COUNTY OF LARIMER:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF

JULY, 2006 BY

DENNIS MEYER

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES 1/03/2010

Shawn A. Street *Chairperson*
NOTARY PUBLIC

3170 CULIBER PEAK DR, LOVELAND, CO 80538
ADDRESS

APPROVED THIS 31 DAY OF AUG 2006 BY THE CURRENT PLANNING
MANAGER OF THE CITY OF LOVELAND, COLORADO.

Bob Paul
CURRENT PLANNING MANAGER

APPROVED THIS 10th DAY OF AUG 2006 BY THE CITY ENGINEER
OF THE CITY OF LOVELAND, COLORADO.

APPROVED THIS 31 DAY OF AUG 2006 BY THE CITY ATTORNEY
OF THE CITY OF LOVELAND, COLORADO.

John S. Sauer
CITY ATTORNEY

APPROVED THIS 1 DAY OF SEPT 2006 BY THE CITY PLANNING
COMMISSION OF THE CITY OF LOVELAND, COLORADO.

Bob Paul
CHAIRPERSON

APPROVED THIS 5 DAY OF SEPT 2006 BY THE CITY COUNCIL
OF THE CITY OF LOVELAND, COLORADO.

John S. Sauer
MAYOR

LEGEND

T - TRASH
LP - LIGHT POLE
BR - BIKE RACK
FH - FIRE HYDRANT

PLANNING CONDITIONS

1. THE FREESTANDING TOWER ELEMENTS MAY NOT BE USED AS A LOCATIONS FOR SIGNS.
2. THE FREESTANDING TOWERS MAY NOT BE ILLUMINATED IN A MANNER THAT IS NOT IN COMPLETE COMPLIANCE WITH THE STANDARDS SET FORTH IN SECTION 3.09 OF THE CITY OF LOVELAND SITE DEVELOPMENT PERFORMANCE STANDARDS AND GUIDELINES.
3. ALL PARKING AND DRIVING AREAS SHALL BE PAVED AND STRIPED BY THE DEVELOPER BEFORE ISSUANCE OF A CO. PAVING AND STRIPING MAY BE INSTALLED BASED ON THE PHASED PARKING AND ACCESS PLAN APPROVED BY THE CURRENT PLANNING MANAGER AS PART OF THE PDP.
4. ALL PEDESTRIAN CONNECTIONS TO ADJACENT PUBLIC STREETS SHALL BE INSTALLED BEFORE ISSUANCE OF A CO FOR THE FIRST BUILDING FOR WHICH SAID CONNECTIONS IS DESIGNED.
5. ALL LANDSCAPE SHALL BE INSTALLED BEFORE ISSUANCE OF A CO. LANDSCAPE MAY BE INSTALLED BASED ON A PHASED LANDSCAPE PLAN APPROVED BY THE CURRENT PLANNING MANAGER AS PART OF THE PDP.
6. THIS DEVELOPMENT WILL BE CONSIDERED AS A SINGLE PREMISE IN THE APPLICATION OF THE CITY SIGN CODE. A PLANNED SIGN PROGRAM FOR THE ENTIRE PREMISE SHALL BE PRESENTED AS PART OF THE PDP.
7. THE PDP LANDSCAPE PLAN SHALL BE DESIGNED TO INSURE THAT ALL LANDSCAPE COMPLIES WITH ALL CITY AND OTHER UTILITY PROVIDERS' POLICIES AND STANDARDS FOR SEPARATION BETWEEN UTILITIES AND LANDSCAPE. THIS SHALL NOT BE CONSIDERED AS A BASIS FOR DIMINISHING ANY OF THE REQUIRED LANDSCAPE.
8. ALL ROOF-MOUNTED AND GROUND-MOUNTED HVAC AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF ALL PUBLIC STREET AND WAYS, AS WELL AS ALL RESIDENTIAL PROPERTIES, IN A MANNER COMMENSURATE WITH THAT REQUIRED FOR SCREENING UNBUILT AREAS, AS SET FORTH IN THE CITY OF LOVELAND SITE DEVELOPMENT PERFORMANCE STANDARDS AND GUIDELINES.
9. ALL ROOF VENTS, PIPES, CHIMNEYS, FLUES, ETC. WHICH PASS THROUGH THE EXTERIOR SURFACE OF THE ROOF IN A MANNER TO BE VISIBLE TO A PUBLIC STREET OR PUBLIC WAY SHALL BE CONSTRUCTED, PAINTED OR OTHERWISE TREATED TO MAKE SUCH ELEMENTS THE SAME COLORS AS THE EXTERIOR ROOF MATERIAL AROUND THEM.
10. THE PDP SHALL INCLUDE ALL INFORMATION NEEDED TO ASSURE THAT THERE WILL BE NO CONFLICTS BETWEEN REQUIRED LANDSCAPE AND EXISTING, RELOCATED OR PROPOSED UTILITIES. THIS WILL NOT BE A BASIS FOR REDUCING THE NORMAL LANDSCAPING REQUIREMENT, AS SHOWN ON THE PDP.
11. THE RAISED PEDESTRIAN CROSSINGS WITHIN THE PARKING LOT SHALL BE CONSTRUCTED WITH A SURFACE MATERIAL, TEXTURE, OR COLOR THAT IS CLEARLY CONTRASTING FROM THE SURFACE MATERIAL, TEXTURE OR COLOR OF THE SURROUNDING PARKING LOT SURFACE.
12. BEFORE CITY APPROVAL OF THE PDP AND FINAL PLAT, A PRIVATE, SHARED ACCESS, CIRCULATION AND PARKING EASEMENT FOR THE ENTIRE SITE SHALL BE ESTABLISHED BY THE DEVELOPER AND DEPICTED AND DESCRIBED ON THE PDP AND FINAL PLAT.
13. THE CONVEYANCE OF IRRIGATION WATER SHALL NOT BE INTERRUPTED FROM THE BEGINNING OF APRIL TO THE END OF OCTOBER.

SITE STANDARDS

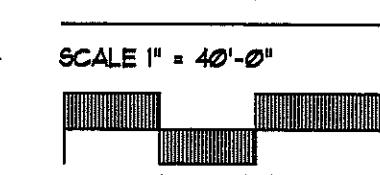
9'x11' STALLS
6' CONCRETE WALKS
24' WIDE DRIVEWAYS (MIN)
18'x11' HANDICAP STALLS

LEGAL DESCRIPTION

TRACTS DD & EE, RANCH ACRES THIRD ADDITION, LARIMER COUNTY, COLORADO



SITE PLAN



SHEET INDEX

- SHEET 1 SITE PLAN
SHEET 2 LANDSCAPE PLAN
SHEET 3 BUILDING ELEVATIONS
SHEET 4 BUILDING ELEVATIONS
SHEET 5 SITE DETAILS
SHEET 6 SITE PHOTOMETRIC PLAN
SHEET 7 NARRATIVE

PRELIMINARY DEVELOPMENT PLAN RANCH ACRES P.U.D. SITE PLAN

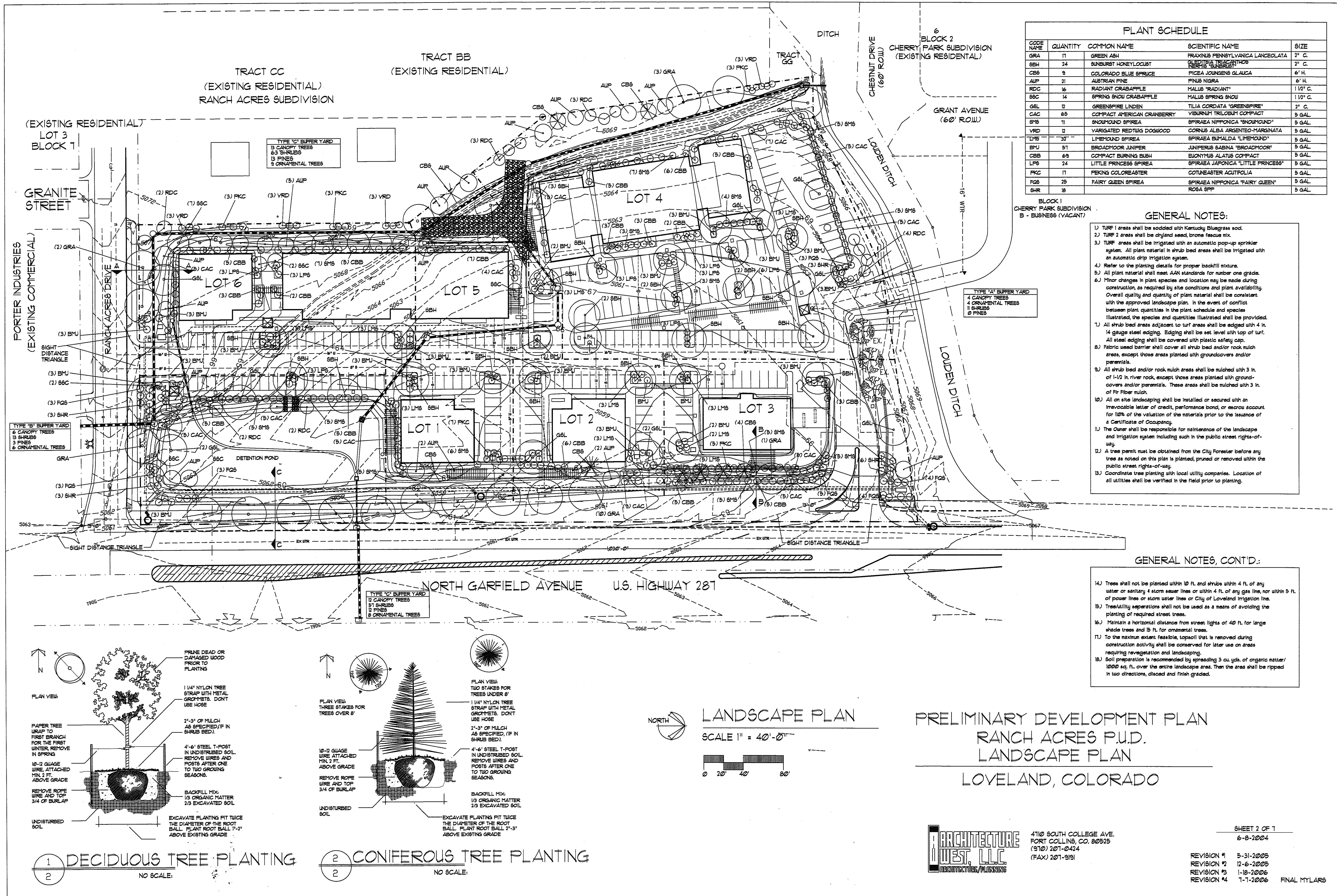
LOVELAND, COLORADO

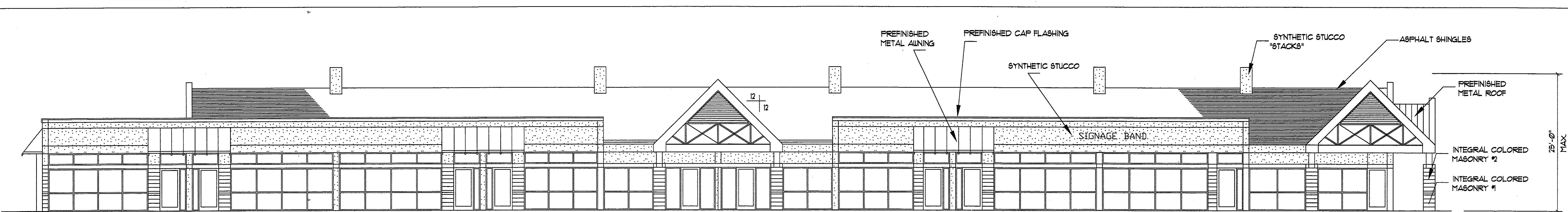


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(970) 201-0424
(FAX) 201-9191

SHEET 1 OF 1
6-2-2004

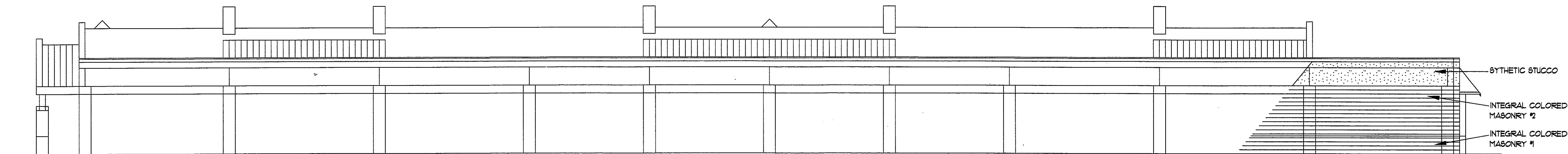
REVISION # 5-31-2005
REVISION # 12-6-2005
REVISION # 1-18-2006
REVISION # 7-1-2006
FINAL MYLARS





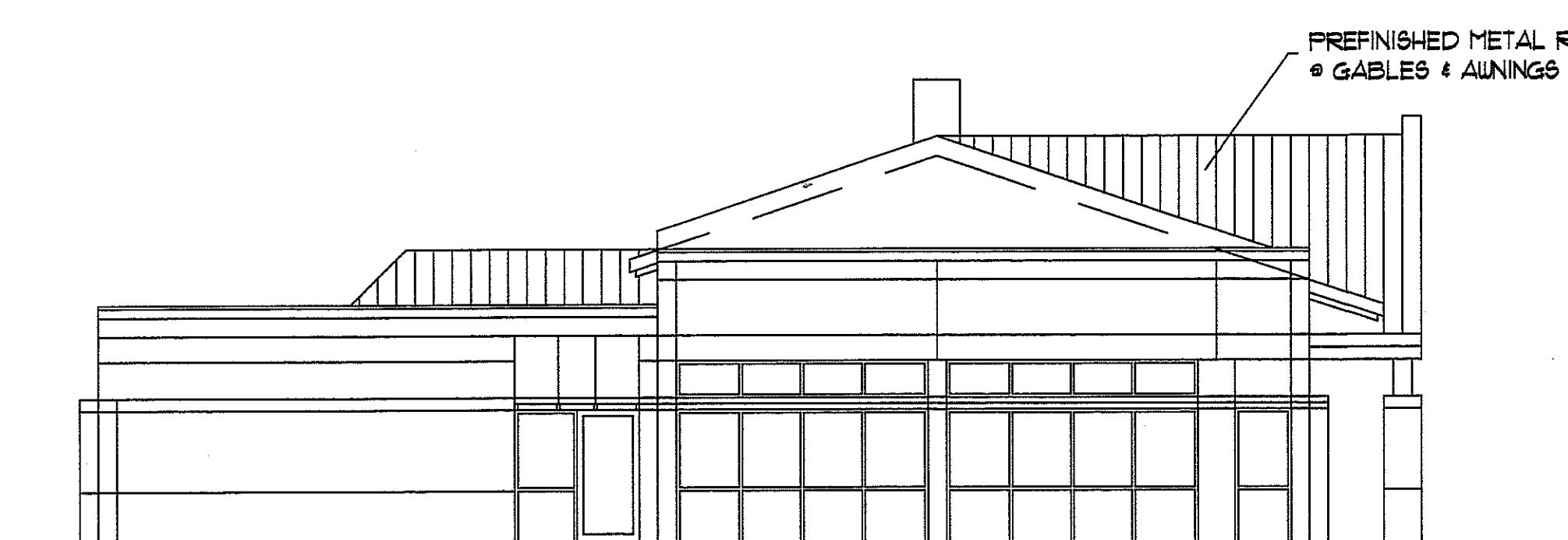
BUILDING "A" RETAIL
EAST ELEVATION

SCALE 1/8" = 1'-0"



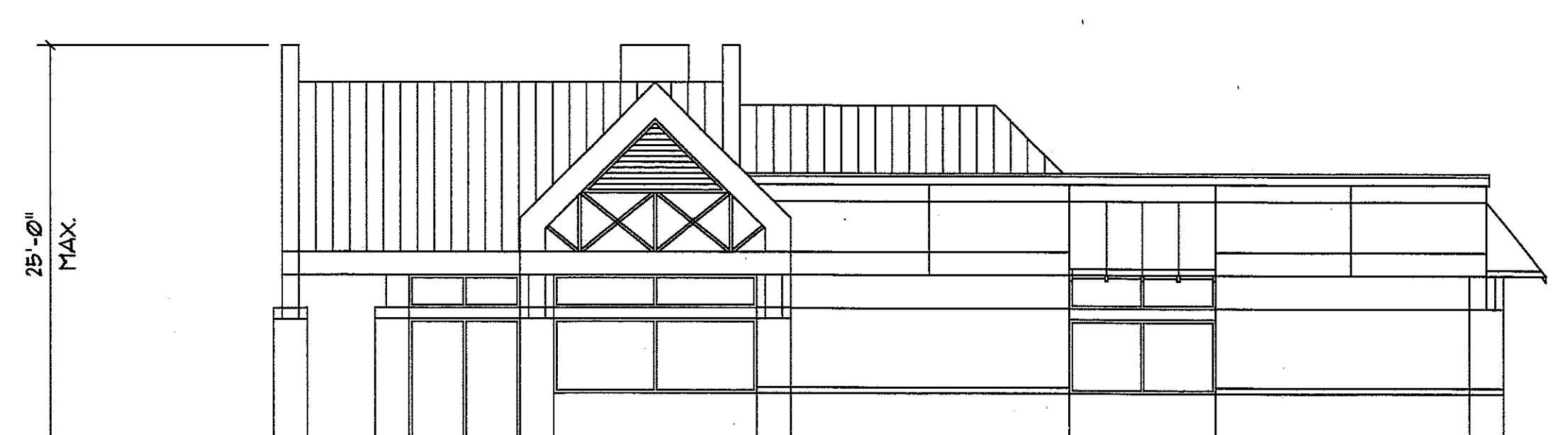
BUILDING "A" RETAIL
WEST ELEVATION

SCALE 1/8" = 1'-0"



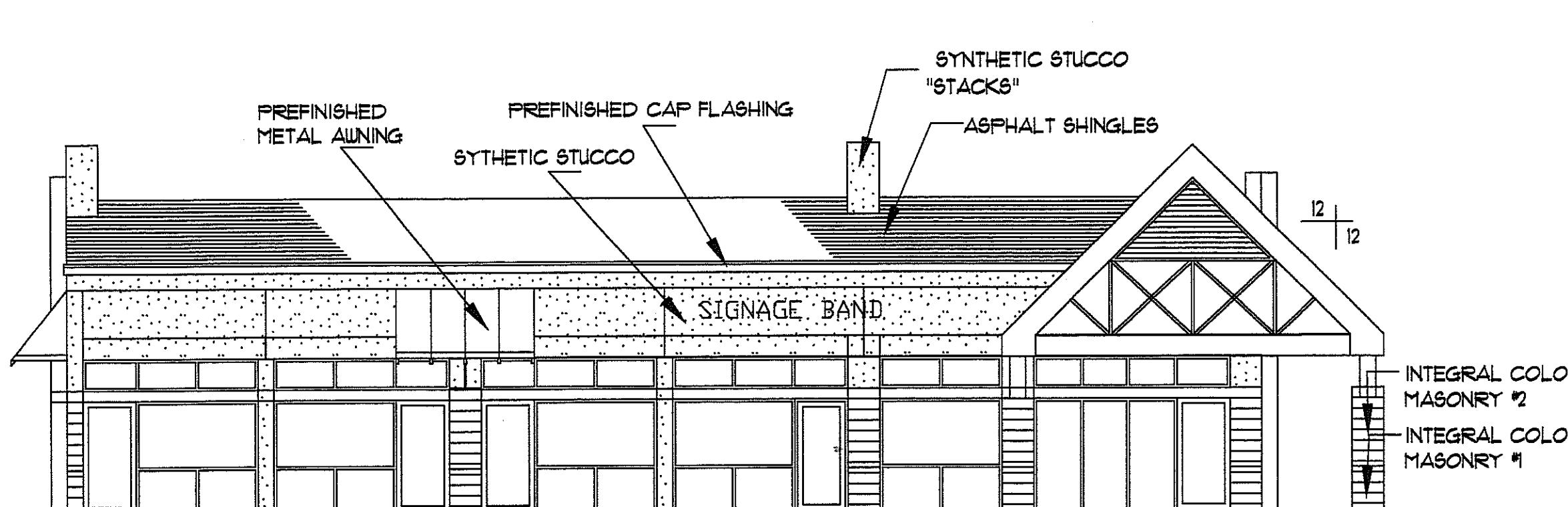
BUILDING "A" RETAIL
SOUTH ELEVATION

SCALE 1/8" = 1'-0"

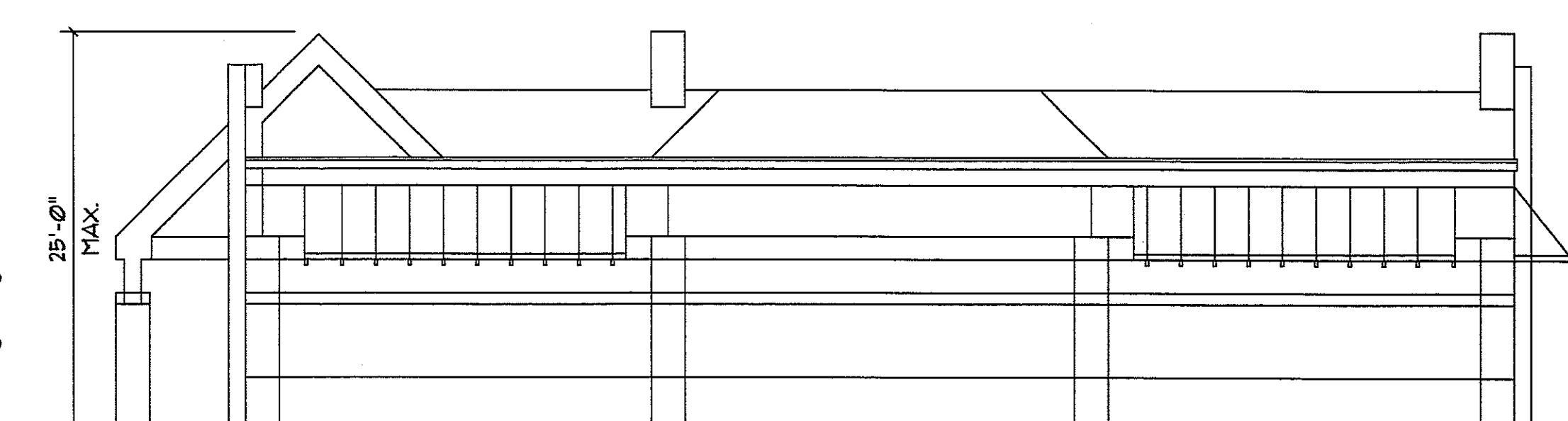


BUILDING "B, C, E" RETAIL / RESTAURANT
SIDE ELEVATION

SCALE 1/8" = 1'-0"



BUILDING "B, C, E" RETAIL / RESTAURANT
FRONT ELEVATION



BUILDING "B, C, E" RETAIL / RESTAURANT
BACK ELEVATION

LEGEND	
ASPHALT SHINGLES	TAN / CHARCOAL
METAL ROOFING	SAGE / GREEN
SYNTHETIC STUCCO	TAN / OFF - WHITE
MASONRY	TAN / BROWN
STOREFRONT GLASS	BRONZE / GREEN

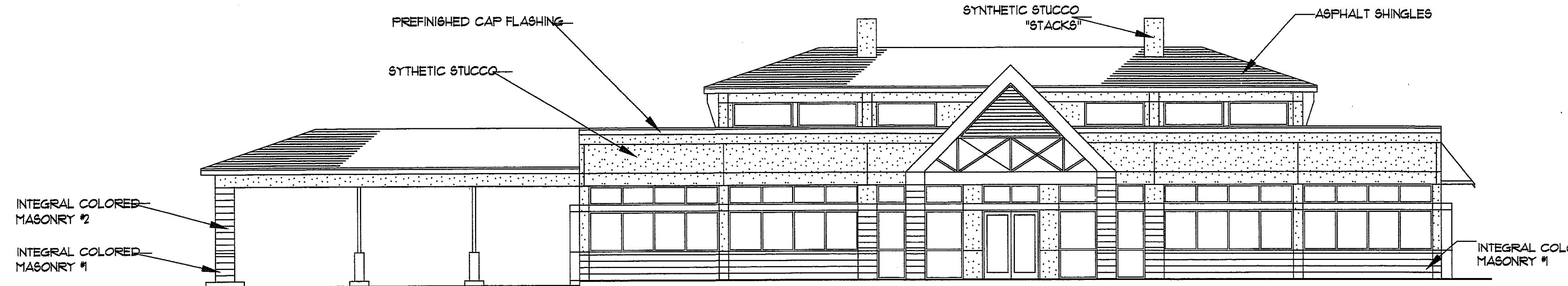
PRELIMINARY DEVELOPMENT PLAN
RANCH ACRES P.U.D.
ELEVATIONS
LOVELAND, COLORADO



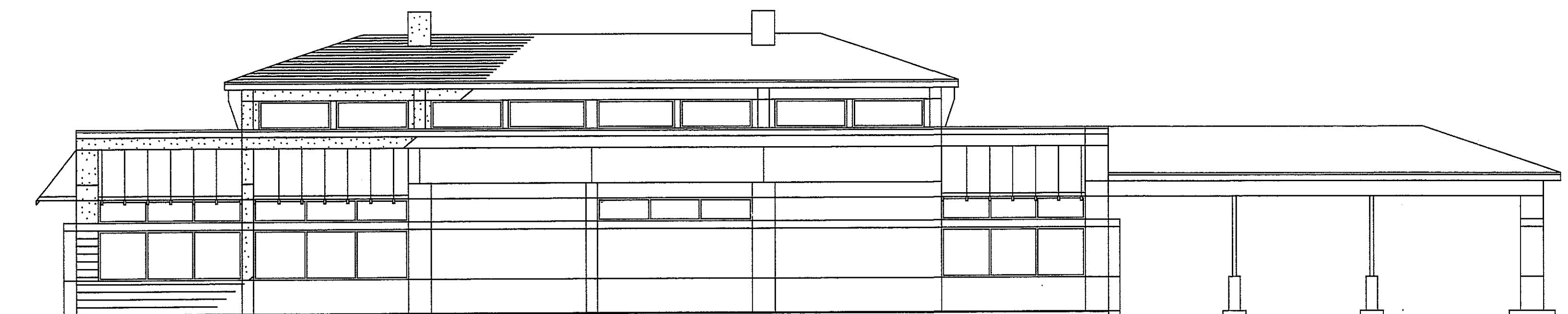
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BUILDING "F" BANK
WEST ELEVATION



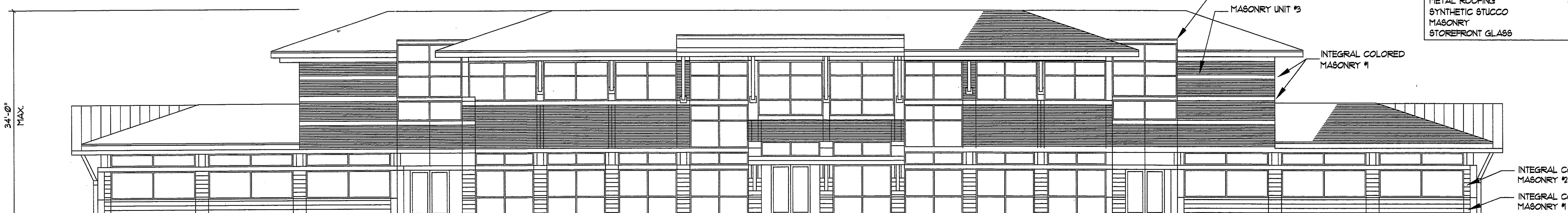
BUILDING "F" BANK
EAST ELEVATION



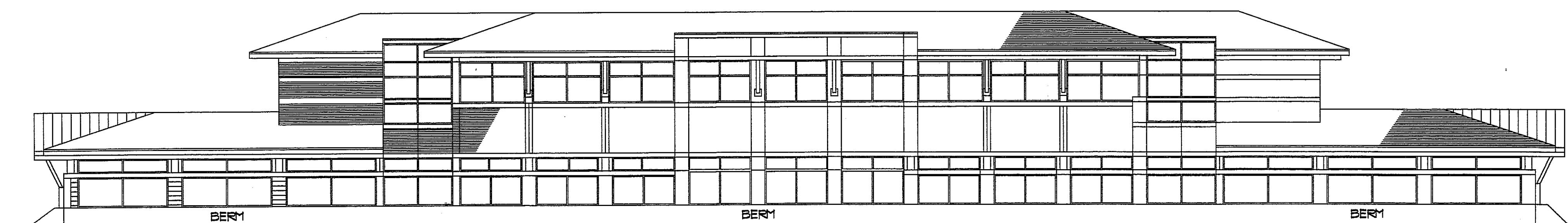
BUILDING "F" BANK
SOUTH ELEVATION



BUILDING "D" OFFICES
SIDE ELEVATION



BUILDING "D" OFFICES
WEST ELEVATION



BUILDING "D" OFFICES
EAST ELEVATION

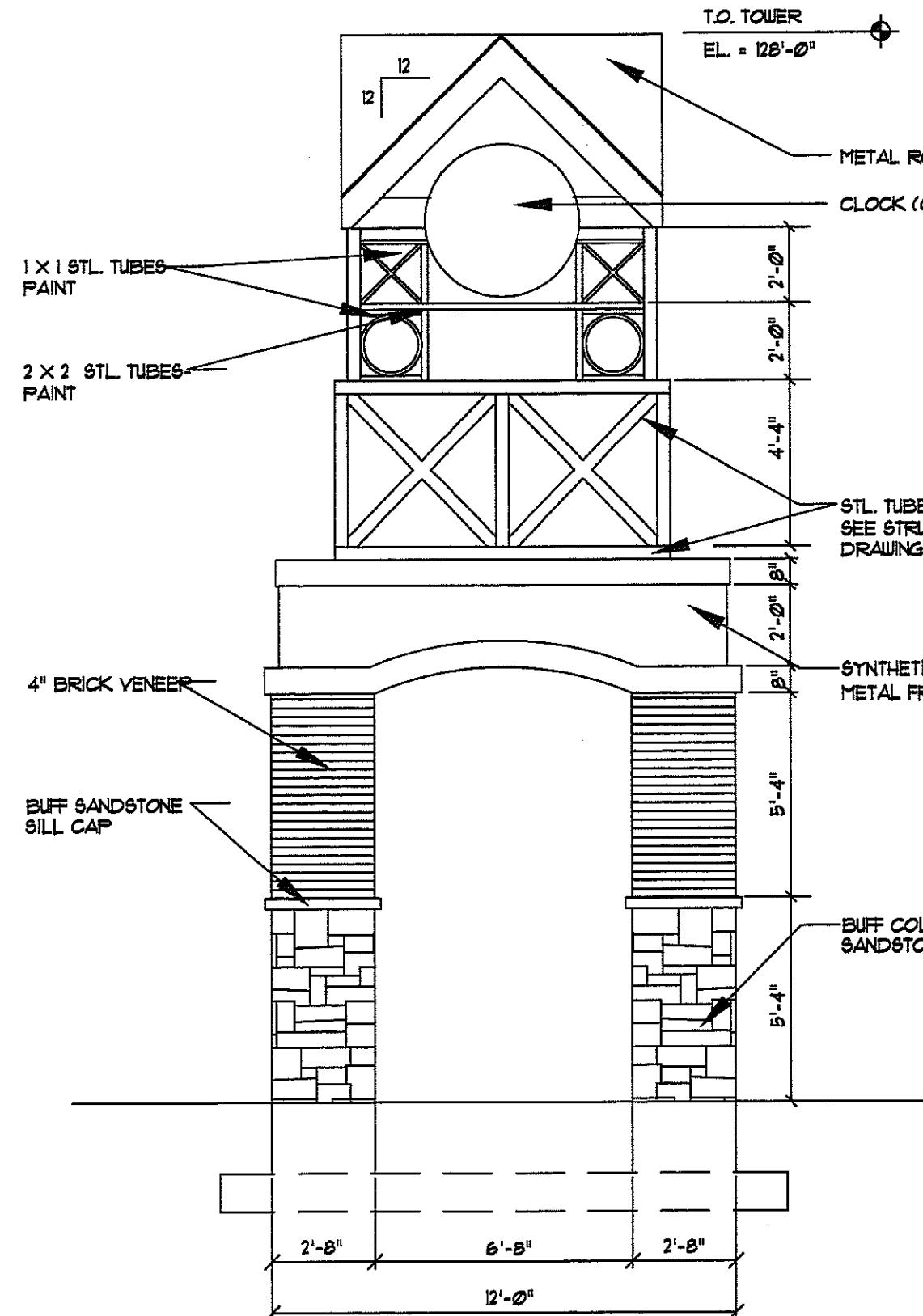
4110 SOUTH COLLEGE AVE.
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(970) 201-0242
(FAX) 201-9191

ARCHITECTURE
WEST, LLC
ARCHITECTURE/PLANNING

SHEET 4 OF 1
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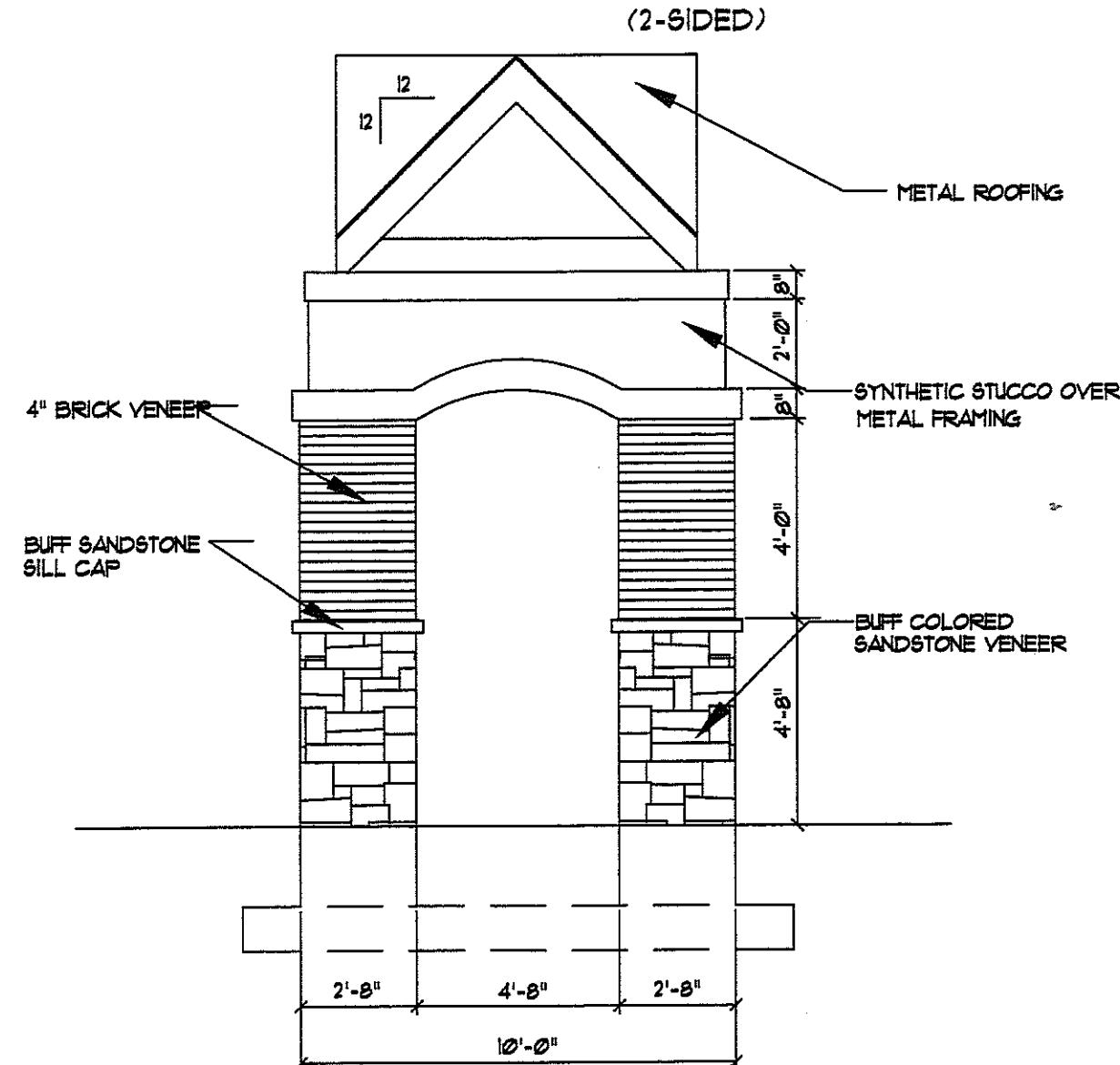
REVISION # 5-31-2005
REVISION # 12-6-2005
REVISION # 1-18-2006
REVISION # 7-7-2006 FINAL MYLARS

PRELIMINARY DEVELOPMENT PLAN
RANCH ACRES P.U.D.
ELEVATIONS
LOVELAND, COLORADO



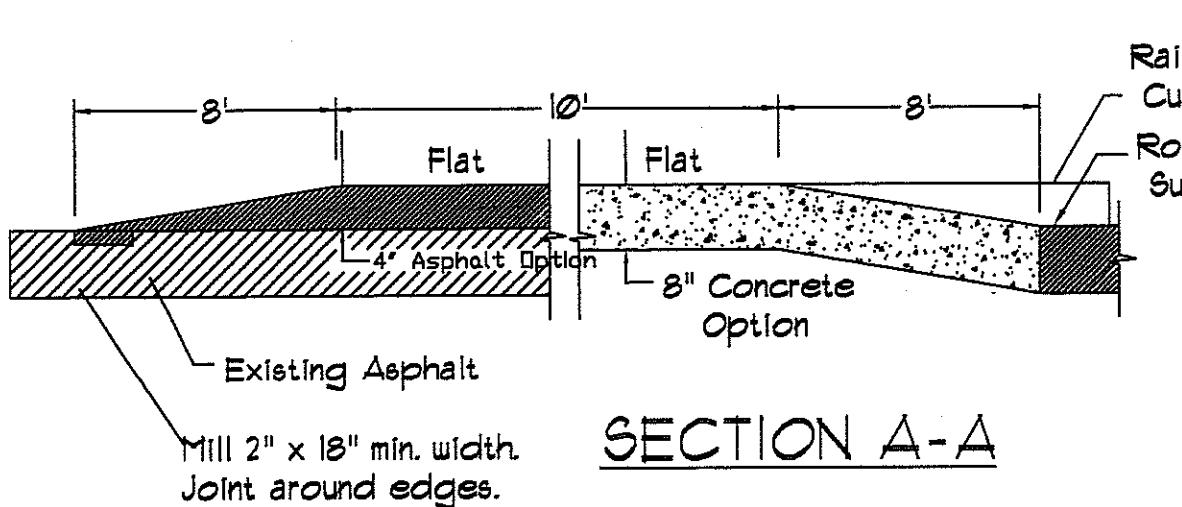
TOWER ELEVATION

SCALE: 1/4" = 1'-0"



TOWER ELEVATION

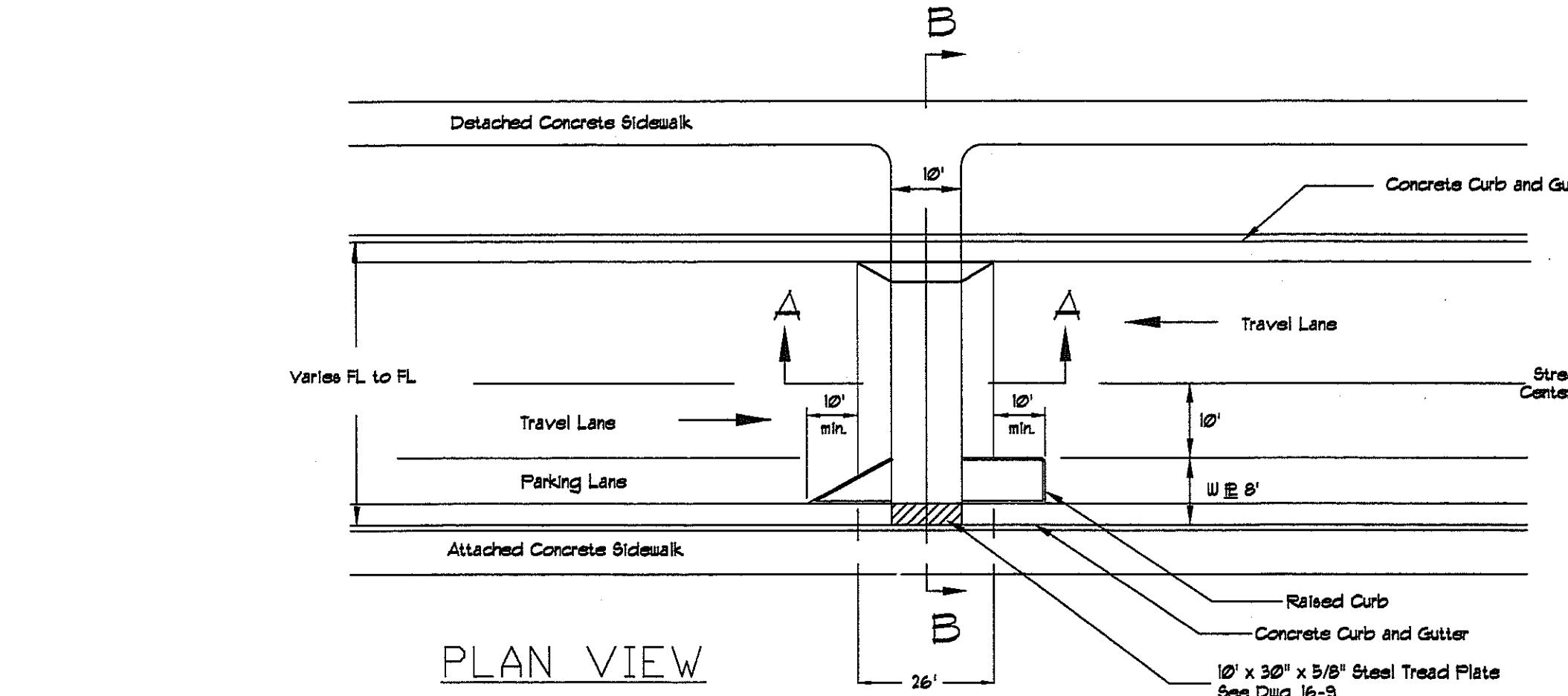
SCALE: 1/4" = 1'-0"



SECTION A-A

NOTES:
1. Contractor to use tack coat on all contact surfaces.
2. Speed Hump shall follow crown of road with constant thickness of 4".
3. Ramp or elevated approaches may be used.

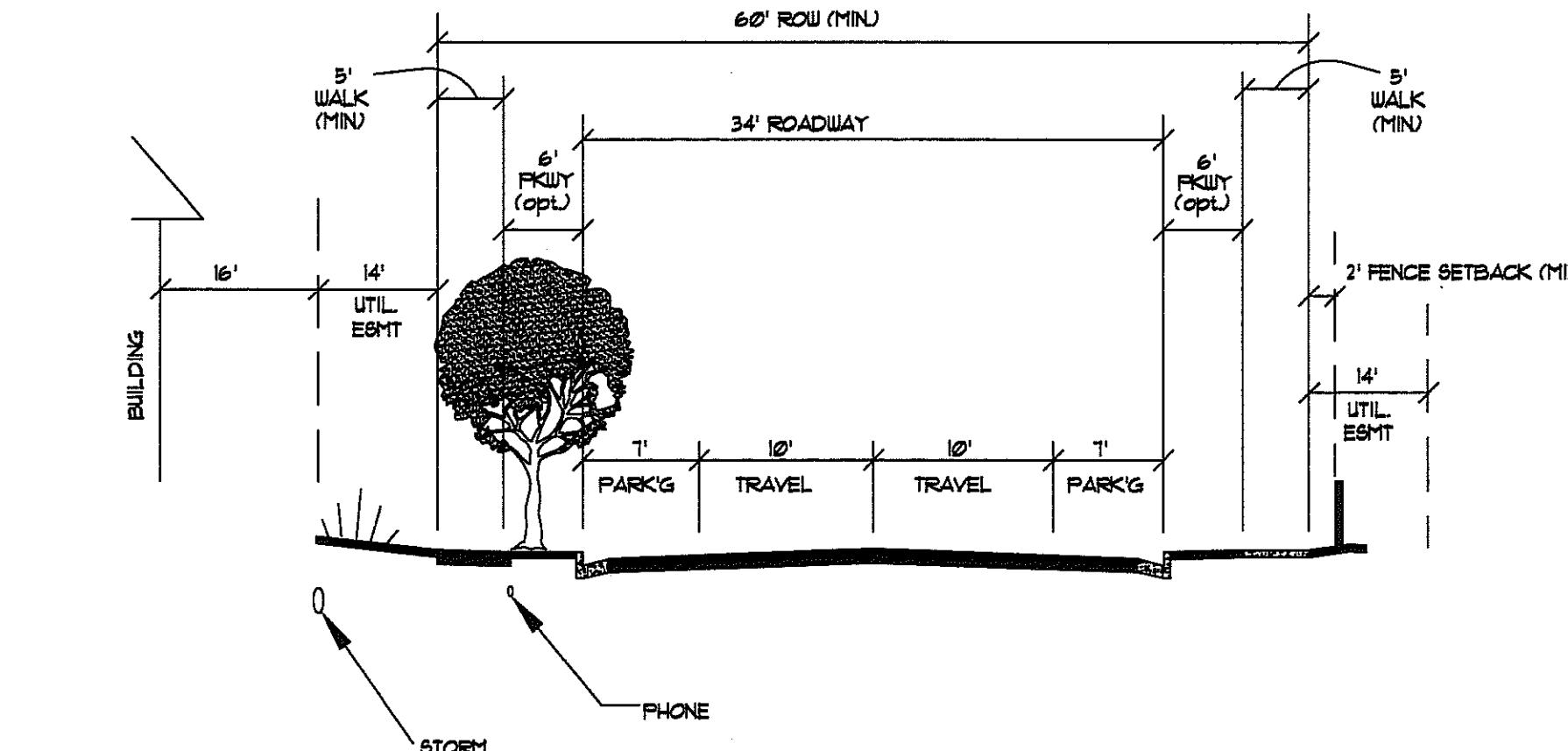
4. Speed Humps are not allowed on major collector or arterial roadways.
5. See Digs 14-19 and 14-16 for signing and marking requirements.
6. Asphalt or concrete may be used for raised pedestrian crossings with ramp approach. Concrete only shall be used for elevated approach.



PLAN VIEW

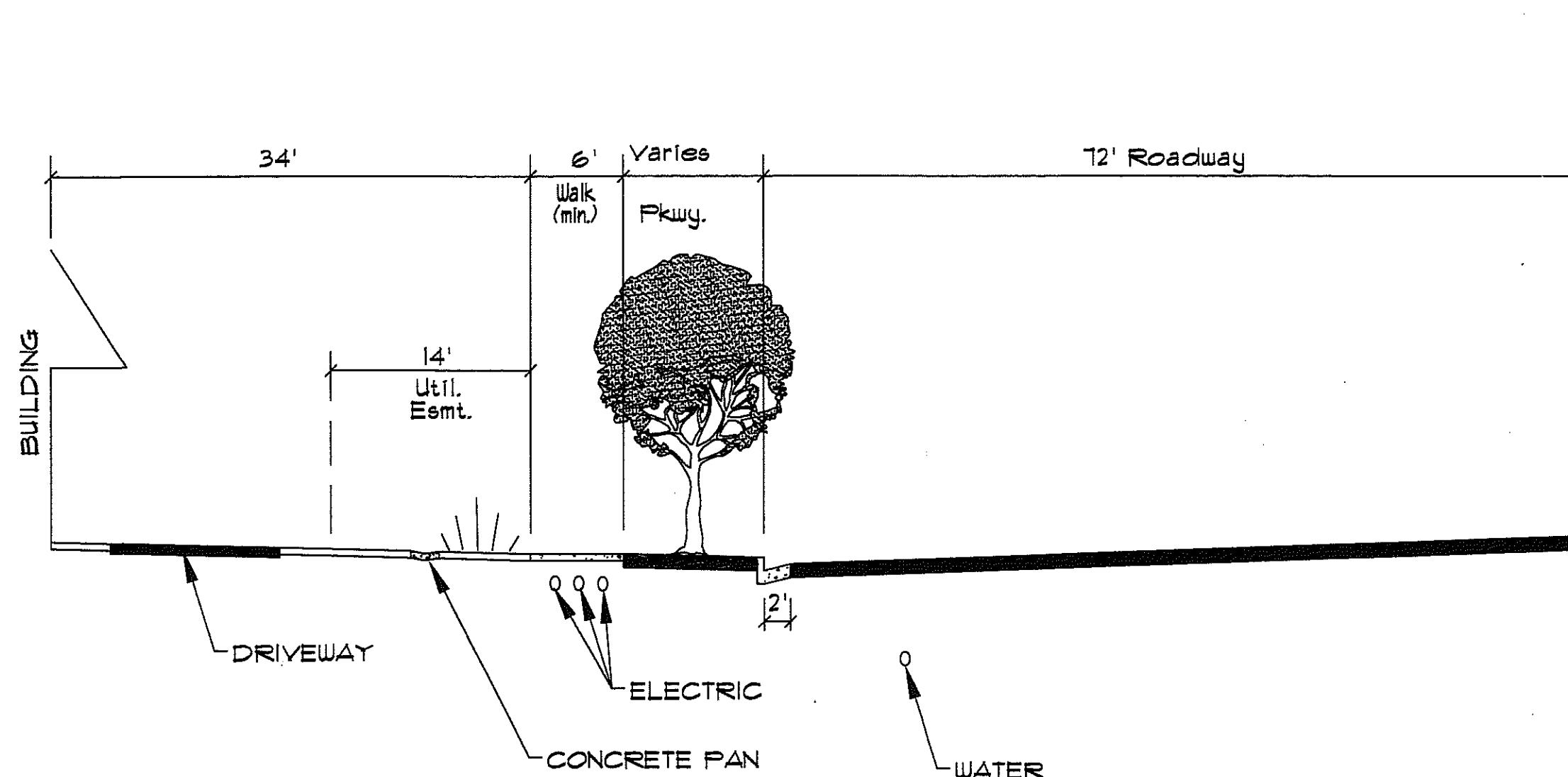
RAISED PEDESTRIAN CROSSING

NO SCALE



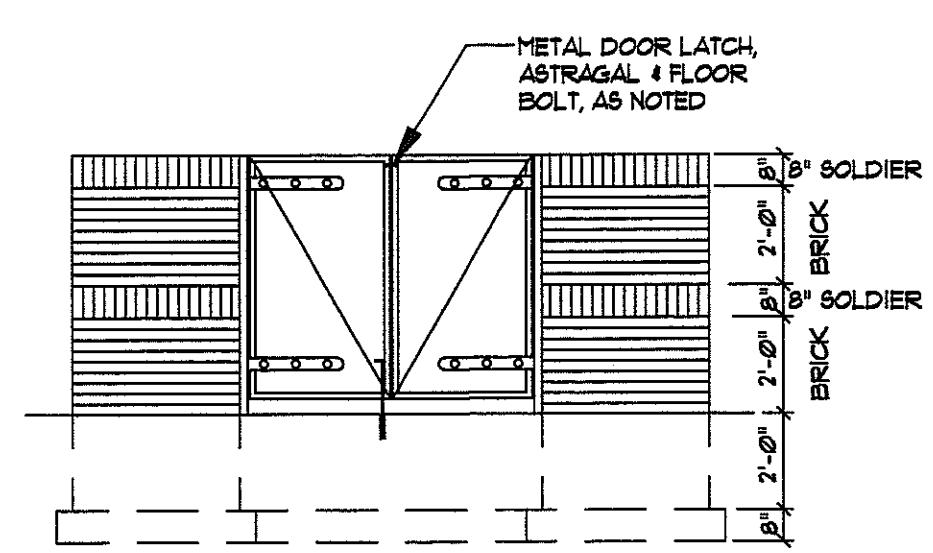
SECTION A - RANCH ACRES DRIVE

NO SCALE



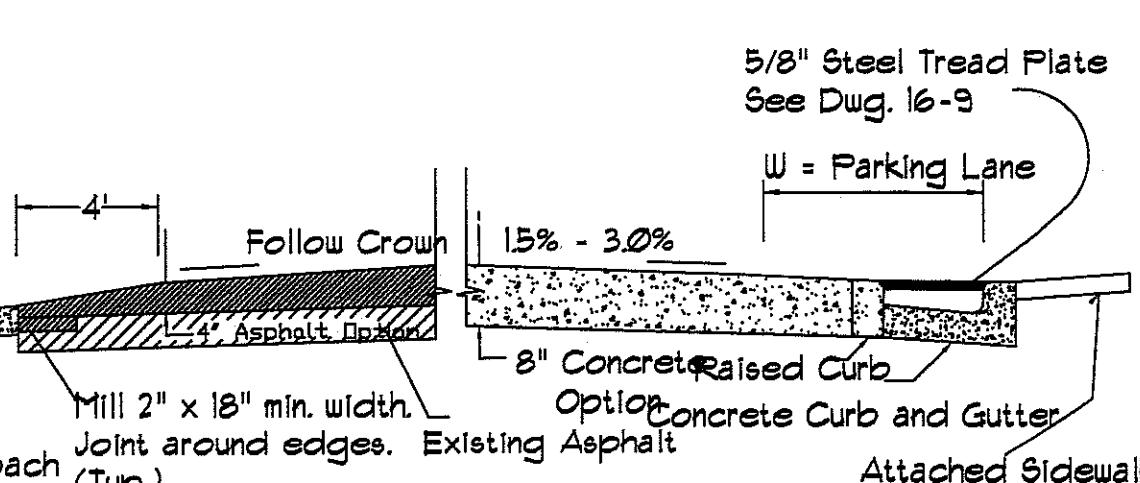
SECTION B - HIGHWAY 287 (NORTH)

NO SCALE



TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"

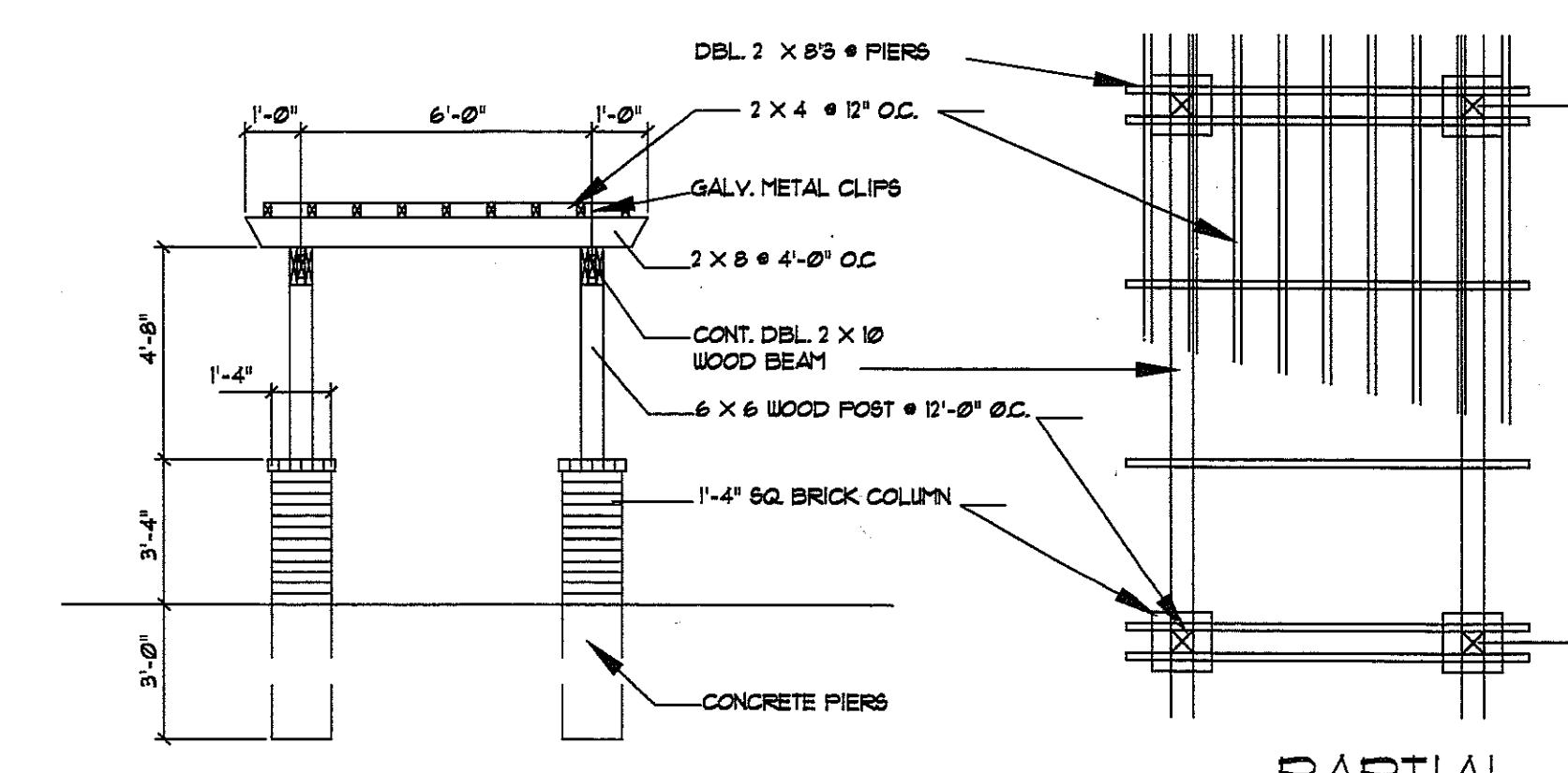


SECTION B-B

Curb Options

RAISED PEDESTRIAN CROSSING

NO SCALE



SECTION

PARTIAL PLAN

ARBOR DETAILS

SCALE: 1/4" = 1'-0"



SITE SIGN ELEVATION

SCALE: 1/4" = 1'-0"

PRELIMINARY DEVELOPMENT PLAN RANCH ACRES P.U.D. SITE DETAILS

LOVELAND, COLORADO



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SHEET 5 OF 1
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NOTE: TOWER LIGHTING TO BE DOWN
LIGHTING ONLY NO UP LIGHTING
PERMITTED 100 WATT MAX.

PRELIMINARY DEVELOPMENT PLAN
RANCH ACRES P.U.D.
PHOTOMETRIC PLAN

LOVELAND, COLORADO

LUMINAIRE LOCATIONS

No.	Label	X	Y	Z	MH	19	A	7396.3	6735.3	20.0	20.0
1	A	6810.5	6873.0	20.0	20.0	19	A	7396.3	6735.3	20.0	20.0
2	A	6938.3	6884.0	20.0	20.0	20	A	7320.3	6734.9	20.0	20.0
3	A	6881.8	6820.0	20.0	20.0	21	A	7350.5	6806.2	20.0	20.0
4	A	7008.7	6820.0	20.0	20.0	22	A	7523.8	6703.5	20.0	20.0
5	A	7075.9	6885.5	20.0	20.0	23	A	7522.6	6798.4	20.0	20.0
6	A	7167.9	6799.2	20.0	20.0	24	B	7144.3	6838.0	20.0	20.0
7	A	7189.3	6941.4	20.0	20.0	25	D	6826.5	6939.6	9.0	9.0
8	A	7255.8	6958.1	20.0	20.0	26	D	6851.5	6967.0	9.0	9.0
9	A	7243.5	6884.0	20.0	20.0	27	D	6926.7	6967.0	9.0	9.0
10	A	7332.2	6869.3	20.0	20.0	28	D	7001.9	6967.0	9.0	9.0
11	A	7410.6	6888.9	20.0	20.0	29	D	7090.8	6967.0	9.0	9.0
12	A	7322.6	6966.5	20.0	20.0	30	D	7159.2	6967.0	9.0	9.0
13	A	7390.3	6978.4	20.0	20.0	31	D	7215.8	7033.8	9.0	9.0
14	A	7497.7	7007.9	20.0	20.0	32	D	7267.0	7051.7	9.0	9.0
15	A	7443.6	7095.0	20.0	20.0	33	D	7342.2	7063.5	9.0	9.0
16	A	7535.9	6871.8	20.0	20.0	34	D	7390.1	7080.6	9.0	9.0
17	B	7484.3	6914.0	20.0	20.0	35	D	7197.9	6998.9	9.0	9.0
18	A	7472.7	6735.3	20.0	20.0						

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	A	22	KSF2 250S R4	TYPE 4, SHORT, CUTOFF	250 WATT HIGH PRESSURE SODIUM	93041403.IES	30000	0.81	295
□	B	2	KSF2 250S R8S	TYPE 5, SHORT, CUTOFF	250 WATT HIGH PRESSURE SODIUM	93052102.IES	30000	0.81	295
○	C	2	AH 100S 8AR	8" OPEN DOWNLIGHT W/SPECULAR ALZAC REFLECTOR.	ONE 100-WATT COATED HIGH PRESSURE SODIUM, VERTICAL BASE-UP POS.	89022102.IES	8800	0.81	125
□	D	11	TWA 70S	WALLPACK W/SPECULAR REFLECTOR, PRISMATIC LENS.	ONE 70-WATT CLEAR ED-17 HIGH PRESSURE SODIUM, TILTED 22-DEG.	98050410.IES	6300	0.81	97

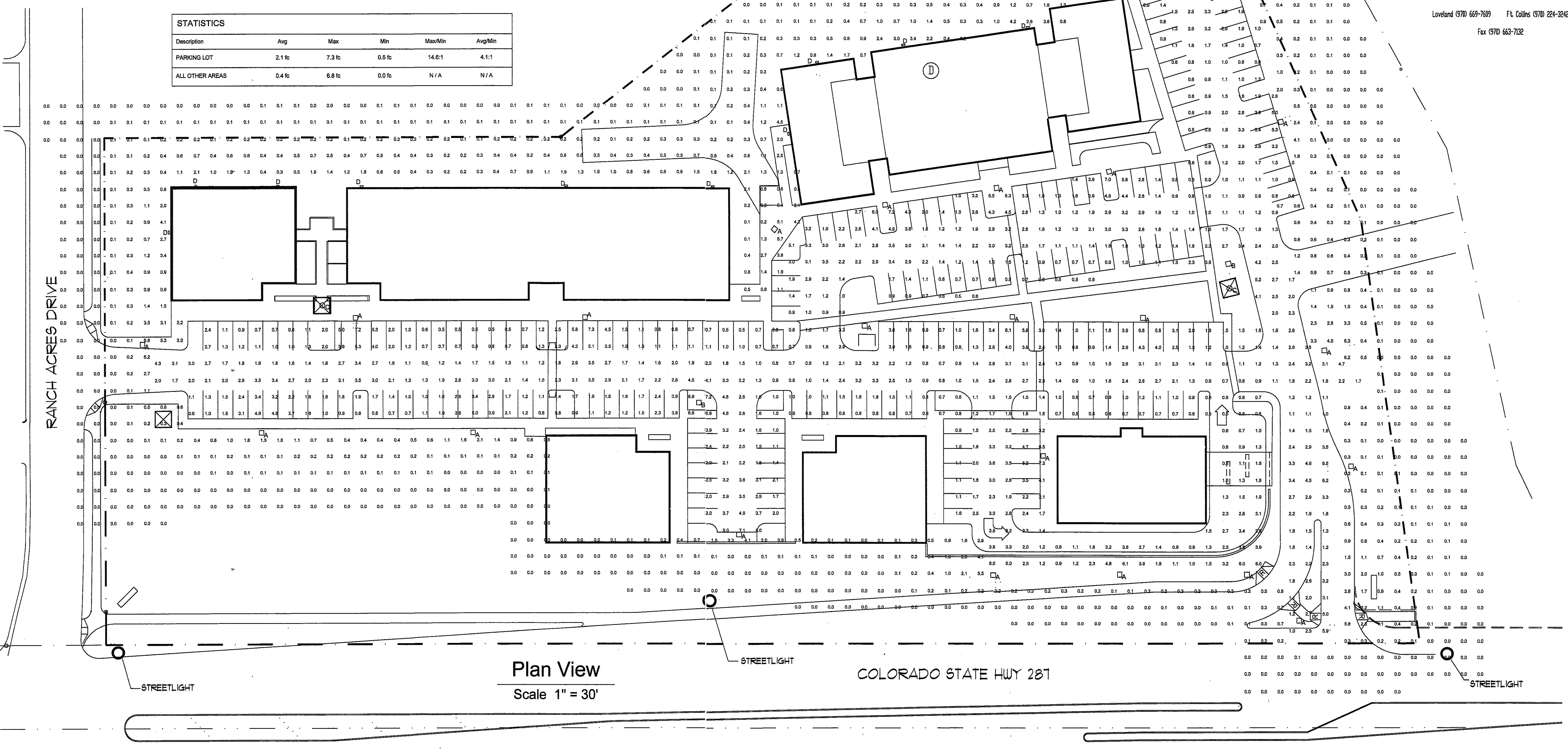
4710 SOUTH COLLEGE AVE.
FORT COLLINS, CO. 80525
(970) 201-0424
(FAX) 201-9191

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6-8-2003

REVISION # 5-23-2005
REVISION # 12-1-2005
REVISION # 7-7-2006 FINAL MYLARS

GREGORY
ELECTRIC INC.

3317 North Lincoln Avenue Loveland CO 80538
Loveland (970) 669-7699 Ft. Collins (970) 224-3242
Fax (970) 663-7132



NARRATIVE

GENERAL NOTES

PROJECT LOCATION
 The purpose of this project is to provide annexation/development of a vacant parcel within the City of Loveland Urban Growth boundary and provide a mixed-use retail, service and office project to the North Loveland marketplace. The proposed RANCH ACRES P.U.D. is located in the Northeast Quarter of Section 35 and the Northwest Quarter of Section 36, Township 6 North, Range 69 West of the 6th P.M., City of Loveland, Larimer County, Colorado. The original legal description is as follows: Tract 1 and Tract 2 of the Ranch Acres Subdivision, Second Addition. The site is specifically located on the west side of North Garfield Avenue/U.S. 287, bounded by Ranch Acres Drive on the south and 57th Street to the north.

LAND USE
 The proposed RANCH ACRES P.U.D. parcel consists of approximately 276,864 S.F. or 636 gross acres. The site is currently undeveloped vacant land, zoned B - Business in Larimer County. The area is designated CC - Corridor Commercial, in the Loveland Comprehensive Master Plan. Proposed re-zoning of the property will result in a zoning classification change to P.U.D. - Planned Unit Development. The site is bordered on all sides by Larimer County parcels. The east boundary borders North Garfield Avenue / S.H. 287 with mixed use commercial across the highway, the Louden Ditch and vacant B - Business land to the north, existing residential Ranch Acres Subdivision to the west and existing business, Porter Industries, to the south of Ranch Acres Drive. The proposed development shall have a total of six buildings, including a single two-story office building of 23,000 s.f., with restaurant, office, general retail / personal service uses and a bank, with multiple drive-up lanes, totaling 55,000 s.f. The project would provide a building coverage of 18% with a total open landscape area of 56%. The developers of the RANCH ACRES P.U.D. are committed to building a high quality mixed-use personal service business center, as an in-fill neighborhood project. A diversity of building types, of exceptional design quality will be compatible with the blend of existing residential while at the same time promoting a transitional buffer of the existing highway traffic to the east. This project maintains the original business use buffer from the original Ranch Acres Subdivision. The site is being requested for annexation into the City of Loveland. The proposed zoning would be P.U.D. through a preliminary and final development plan process.

CIRCULATION
 The project has two access points, one from the west side of North Garfield Avenue and the second, from the south, via Ranch Acres Drive. An additional cross access is proposed through the currently vacant parcel to the north, Block 1 of the 2nd replat of the Cherry Park Subdivision. A 6" wide detached sidewalk will be provided along the property's eastern-most boundary at Garfield and extended south to the commercial area of Gregory Electric. Additional improvements including increased pavement width and granting of right of way will be provided. Pedestrian and bicycle circulation will be provided to the site via North Garfield Avenue. Public transportation facilities are available on North Garfield. Internally, walkways will be extended throughout the parking / building areas to provide clear and safe pedestrian movement.

PUBLIC UTILITIES
 All basic utilities required for this development are nearby and available for extension to the property. Adequate capacity currently exists with City infrastructure utilities to serve the project.

WATER	City of Loveland	Connect to proposed new 16 in. line in Ranch Acres Drive
SEWER	City of Loveland	Existing 8 in. service in Granite Street
STORM	City of Loveland	Master Drainage Plan
DRAINAGE	Horseshoe Drainage Basin	
ELECTRIC	City of Loveland	
POLICE, FIRE, PARKS AND OPEN SPACE		
NATURAL GAS	City of Loveland	
TELEPHONE	Xcel Energy	
SCHOOLS	Qwest	
	Thompson R2-J	

LANDSCAPE
 The project will be landscaped with regionally appropriate plant materials. In open space, detention and buffer yard areas a naturalistic approach shall be utilized. These areas shall include informal plantings of coniferous and deciduous trees with landscape drifts of shrubs and flowers. Turf areas will incorporate low water use, drought tolerant seed and sod varieties. Parking and buildings will be buffered with a combination of screen walls, fencing and plant materials.

Within the development, a combination of foundation plantings and canopied trees will provide horticultural variety and visual interest within the parking areas and as buffers between buildings. The proposed street planting will be provided as required by the Site Development Performance Standards bufferyard criteria. The existing stand of trees at the north end of the site will be maintained, following inspection by the City arborist and pruned as determined.

All building foundation plantings, landscape medians, detention ponds, public rights-of-way and entry features shall be planted and irrigated by the developer and maintained by a common property management service. Approvals for the landscaping and irrigation at the North Garfield / 287 frontage shall be coordinated with City staff and be the obligation of the project ownership. The final landscape plan will meet or exceed City bufferyard criteria.

ARCHITECTURAL GUIDELINES
 Building materials and colors will be compatible with the existing adjacent neighborhood architecture. Asphalt shingles with metal accents for roofing will be provided. A combination of synthetic stucco, brick veneer, concrete masonry and tinted insulating aluminum storefront windows, in natural earth tones, would be the palette of exterior wall finishes.

Specific design emphasis has been established for the various retail/service structures. The architectural elements include a variety of exterior forms so as not to be a single-repetitive design, with attention to consistent design elements on all sides of the building facades. Separations of buildings forming outdoor courtyards, trellis and tower elements, enhanced landscaping, etc., will provide a very pedestrian user friendly development while providing efficient vehicular access. Exterior accents of building materials, canopies, columns and architectural elements provided on the buildings' facades will add to the identity but cohesive variety of the integrated center.

Restrictive architectural covenants will be maintained by the development group for all exterior maintenance of buildings and grounds provided through a common property management company.

REGULATORY PROCEDURES
 Unless otherwise described or depicted on this plan, the development and use of the site will be regulated by the appropriate chapters and sections of the City of Loveland Municipal Code.

Notwithstanding any information shown on these PDP graphics, this project shall comply with the Larimer County Urban Area Street Standards adopted on 10-1-2002, as amended, for all public improvements.

DESIGN INTENT

The purpose of this PDP is to establish the standards which will regulate the development and use of the site, and to present a complete preliminary design for all aspects of the development.

The development and use of the site will be regulated by the appropriate chapters and sections of the City of Loveland Municipal Code, unless otherwise described or depicted on this plan.

PLANNING VARIANCE REQUESTS

-Parking provided for the Restaurant will be 1 per 200 sq. ft., which is less than the 1 per 150 sq. ft. required.

APPROVED ENGINEERING VARIANCES

- Width of Ranch Acres Drive: The existing City of Loveland standards require a 34 foot flowline to flowline distance for a residential local with standard pavement design. The existing Ranch Acres Drive is already 33.68 feet wide minimum flowline-to-flowline with curb and gutter. Therefore a variance was requested to not widen the street by 0.32 feet.

- Location of driveway on Ranch Acres Drive: Currently there exists a driveway on the south side of Ranch Acres Drive, east of the proposed access onto the Ranch Acres Project. The variance request is to not align the proposed access with the existing driveway entrance. Currently, the existing driveway is located about 130 feet from the western flowline of U.S. Highway 287 and carries very minimal traffic. The vehicles entering and exiting the Ranch Acres site will generally not conflict with the existing traffic on this driveway. We also feel that the additional distance (approximately 43 feet) away from U.S. Highway 287 will provide a safer entrance and exit into the site, especially when the highway is widened in the future.

- Access driveway on State Highway 287: The proposed access onto U.S. Highway 287 is a 3/4-turn movement at the northeastern end of the Ranch Acres Development. The variance request is to allow spacing between the driveway and the nearest intersection to be less than 1,320 feet for 4-lane arterial without a raised median and 660 feet with a raised median. The distance between the proposed drive and either 57th street and Ranch Acres Drive is approximately 640 feet and 760 feet respectively.

CITY COUNCIL CONDITIONS OF APPROVAL

3/7/06 City Council Conditions of approval:

B. PUD Preliminary Development Plan:

Stormwater:

7. The Developer shall provide on-site detention capable of storing 100-year developed stormwater runoff and releasing the runoff at the 2-year rate in accordance with the Urban Drainage & Flood Control District Volume 2, Table SO-1.

Fire Prevention:

8. Prior to approval of the FDP, the Developer shall dedicate to the City, at no cost to the City, an emergency access easement. This access easement shall extend to the north property boundary to provide for future access to the property to the north.

9. Prior to approval of the FDP, the Developer shall submit the detailed design of the emergency access running between Lot 4 and Lot 5 shall be submitted for review and approved by the City.

Parks and Recreation:

10. In order to ensure that the Parks and Recreation Department can obtain all the irrigation water to which it is entitled, prior to approval of the FDP, the Developer shall provide final construction plans verifying that the final irrigation pipe, and the crossing under the street, has the necessary flow sufficient for 10-acre feet of water per day, and is approved by the Parks and Recreation Department and Thompson R2-J School District.

Transportation Development Review:

11. Notwithstanding any information presented in the Preliminary Development Plan (PDP) or accompanying preliminary construction plan documents (text or graphical depictions), all public improvements shall conform to the Larimer County Urban Area Street Standards (LCUASS) adopted on October 2002, as amended, unless specific variances are requested and approved in writing.

12. Prior to approval of the Final Development Plan (FDP), Final Public Improvement Construction Plans or the Final Plat, the Developer shall submit recorded deeds of dedication to the City for all offsite right-of-way required for transportation facilities needed to meet City ordinances, unless otherwise approved by the City Engineer.

13. Prior to approval of the Final Development Plan (FDP), Final Public Improvement Construction Plans or the Final Plat, the Developer shall dedicate the additional right-of-way for US 287 adjacent to the property such that the total west half of the right-of-way is 70'.

14. Prior to approval of the Final Development Plan (FDP), Final Public Improvement Construction Plans or the Final Plat, the Developer shall show the redesign of the northwest curb return radius to City standards at the intersection of Ranch Acres Drive and US 287 on both the Final Public Improvement Construction Plans and the FDP. The Developer shall also show the relocation of

all necessary existing utilities and structures, per the satisfaction of the City, associated with the reconstruction of this curb return.

15. Prior to issuance of any building permits within this PUD, unless otherwise approved by the Director pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the following public improvements shall be designed and constructed by the Developer unless designed and constructed by others. A cash-in-lieu payment, or other form of financial security, for all or part of these improvements may be accepted if approved by the City Engineer:

a. Ultimate roadway improvements to US 287, adjacent to the property, including curb, gutter, and sidewalk.

b. Design and construct a raised median in US 287 from 57th Street to Ranch Acres Drive.

c. Design and construct an eastbound left-turn-lane and right-turn-lane, and a westbound right-turn-lane at the intersection of 57th Street and US 287. The design and construction must accommodate bike lanes.

d. Ranch Acres Drive to local street standards including pavement section, slope, curb, gutter, and sidewalk adjacent to the property.

e. The northwest curb return radius to City standards at the intersection of Ranch Acres Drive and US 287. The developer shall also relocate all necessary existing utilities and structures, per the satisfaction of the City, associated with the reconstruction of this curb return.

f. The relocation of the existing telephone pedestal on the north side of Ranch Acres Drive to meet ADA sidewalk requirements.

g. ADA compliant sidewalk ramp on the west portion of the new sidewalk on Ranch Acres Drive.

h. A pedestrian and two-way vehicular traffic bridge crossing of the Louden Ditch as shown on the final approved construction plans.

i. Grant Avenue to local street standards including pavement section, slope, curb, gutter, and sidewalk.

16. Prior to approval of the Final Development Plan, the Developer shall provide to the City documentation satisfactory to the City demonstrating that the portion of Grant Avenue lying between W. 57th St and Chestnut Drive will be maintained in accordance with City standards; and provide to the City copies of all required permits from Larimer County authorizing the Developer to construct such roadway improvements. This condition shall become null and void upon annexation of this portion of Grant Avenue into the City.

17. Prior to the issuance of any building permits within this PDP, the Developer shall provide to the City written concurrence from CDOT for the proposed improvements adjacent to, and within, US 287.

Current Planning:

18. The freestanding tower elements may not be used as a location for signs.

19. The freestanding towers shall not be illuminated in a manner that is not in complete compliance with the standards and guidelines set forth in Section 3.09 of the City of Loveland Site Development Performance Standards and Guidelines.

20. All parking and driving areas shall be paved and striped by the Developer before issuance of a CO. Paving and striping may be installed based on a phased parking and access plan approved by the Current Planning Manager as part of the FDP.

21. All pedestrian connections to adjacent public streets shall be installed before issuance of a CO for the first building for which said connection is designed.

22. All landscape shall be installed before issuance of a CO. Landscape may be installed based on a phased landscape plan approved by the Current Planning Manager as part of the FDP.

23. This development shall be considered as a single premise in the application of the City sign code. A planned sign program for the entire premise shall be presented as part of the FDP.

24. The FDP landscape plan shall be designed to insure that all landscape complies with all City and other utility providers' policies and standards for separation between utilities and landscape. This shall not be considered as a basis for diminishing any of the required landscape.

25. All roof-mounted and ground-mounted HVAC and other mechanical equipment shall be screened from view of all public street ROWs, as well as from all residential properties in the immediate area, in a manner commensurate with the requirements for screening unsightly areas, as set forth in the City of Loveland Site Development Performance Standards and Guidelines.

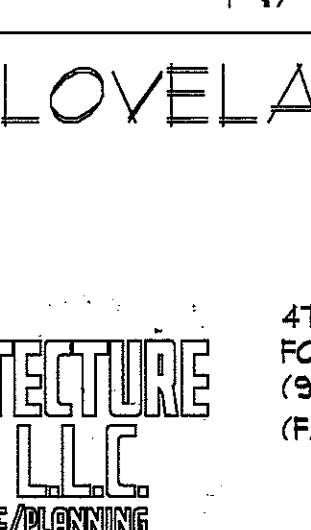
26. All roof vents, pipes, chimneys, flues, etc. which pass through the exterior surface of the roof in a manner to be visible to a public street or public way, shall be constructed, painted or otherwise treated to make such elements the same colors as the exterior roof material around them.

27. The raised pedestrian crossings within the parking lot shall be constructed with a surface material, texture or color that is clearly contrasting from the surface material, texture or color of the surrounding parking lot surface.

28. Before City approval of the FDP and final plat, a private, shared access, circulation and parking easement for the entire site shall be established by the Developer and depicted and described on the FDP and final plat.

- SEE CIVIL PLANS FOR DESIGN OF ALL EASEMENTS, LOT AREAS AND SIDEWALKS.
- BUILDING HEIGHT SHALL NOT EXCEED FORTY (40')
- BUILDING MOUNTED LIGHTS AND SITE LIGHTING SHALL BE SHIELDED TO PREVENT OFF-SITE GLARE. ALL PARKING LOT LIGHTING SHALL BE A MAXIMUM OF 250W. HIGH PRESSURE SODIUM ON 20' POLES. MAX.
- THIS SHEET IS NOT TO BE USED FOR UTILITY CONSTRUCTION PURPOSES. REFERENCE CIVIL ENGINEERING DRAWINGS.
- ALL STRUCTURES OVER 5,000 SQ. FT. IN AREA WILL BE PROVIDED WITH A FIRE SPRINKLER PROTECTION SYSTEM OR BE PROVIDED WITH APPROPRIATE AREA SEPARATION WALLS.
- KEY BOXES REQUIRED AT EACH BUILDING ENTRY FOR FIRE DEPARTMENT ACCESS.
- BIKE RACKS TO BE PROVIDED AT A RATIO OF 2 RACKS PER 25 VEHICLE SPACES, NEAR BUILDING ENTRIES.
- PEDESTRIAN SEATING AREAS TO BE PROVIDED AT EACH BIKE RACK LOCATION.
- ALL LOADING AREAS TO BE SCREENED FROM ADJACENT PROPERTIES AT THE WEST. HOURS OF OPERATION SHALL BE BETWEEN 7:00 A.M. & 12:00 P.M. DAILY. NOISE LEVELS TO BE COMPATIBLE WITH RESIDENTIAL USES AT THE WEST.
- ALL TRASH AREAS TO BE FULLY SCREENED ON ALL SIDES & CONSTRUCTED OF SIMILAR BUILDING MATERIALS.
- ALL EASEMENTS NOTED ON SITE AS "PRIVATE" WILL BE CONSTRUCTED, OWNED AND MAINTAINED BY DEVELOPER & OR THEIR ASSIGNS.
- THIS PRELIMINARY DEVELOPMENT PLAN AUTHORIZES ALL USES THAT ARE SPECIFICALLY LISTED AND SHOWN ON THE PDP SITE PLAN AND ACCOMPANYING TABLES. THIS PRELIMINARY DEVELOPMENT PLAN ALSO AUTHORIZES ALL OF THE FOLLOWING USES, AS USES BY RIGHT, PROVIDED THAT: 1.) ADEQUATE OFF STREET, PAVED PARKING REQUIRED FOR EACH INDIVIDUAL USE, AND ALL COMBINED USES ON THE SITE AT ANY GIVEN TIME, CAN BE FULLY MET BY THE OFF-STREET PAVED PARKING SHOWN ON THIS PDP SITE PLAN; 2.) THAT THE PROPOSED USE(S) WOULD RESULT IN SIMILAR EXTERNAL IMPACTS AS THOSE SHOWN AND LISTED ON THE PDP SITE PLAN AND TABLES; AND 3.) THAT THE PROPOSED USE WOULD NOT RESULT IN A BUILDING ALTERATION, EXPANSION OR A SIGNIFICANT CHANGE TO THE EXTERIOR ARCHITECTURE OF THE BUILDING IN WHICH THE PROPOSED USE IS TO BE CONDUCTED. DETERMINATION OF 'SIMILAR EXTERNAL IMPACTS' AND 'SIGNIFICANT CHANGE TO THE EXTERIOR ARCHITECTURE OF THE BUILDING' SHALL BE IN THE SOLE JUDGMENT OF THE CITY OF LOVELAND CURRENT PLANNING MANAGER, SUBJECT TO APPEAL TO THE CITY OF LOVELAND PLANNING COMMISSION. THE PARKING REQUIREMENT FOR EACH INDIVIDUAL USE AND THE COMBINED USES ALLOWED ON THE SITE SHALL BE DETERMINED ON THE BASIS OF THE PROVISIONS OF CHAPTER 18.42 OF THE MUNICIPAL CODE, AS IT MAY BE AMENDED FROM TIME TO TIME.
- ADDITIONAL USES THAT MAY BE ALLOWED, BASED ON THE JUDGMENT OF THE CURRENT PLANNING MANAGER:
 - CHURCHES
 - MEDICAL AND DENTAL LABORATORIES,
 - HEALTH CARE OFFICES AND CLINICS,
 - PERSONAL SERVICE SHOPS,
 - EDUCATIONAL, INSTRUCTION AND TRAINING CENTERS AND FACILITIES (NOT INCLUDING PUBLIC AND PRIVATE K-12 SCHOOLS,
 - UNDERGROUND PUBLIC UTILITY AND PUBLIC SERVICE INSTALLATIONS AND FACILITIES, (EXCLUDING REPAIR, OPEN STORAGE AND PRODUCTION FACILITIES,
 - RECREATIONAL USES AND THEATERS INDOOR,
 - RESTAURANTS AND OTHER EATING AND DRINKING PLACES, INDOOR AND OUTDOOR (BUT EXCLUDING DRIVE-IN OR DRIVE-THROUGH),
 - ACCOMMODATIONS AND USES, AS SET FORTH IN CHAPTER 18.48 OF THE MUNICIPAL CODE,
 - GOVERNMENT OR SEMI-PUBLIC USES,
 - PRINTING SHOPS WITH GROSS FLOOR AREA NO GREATER THAN 3,500 SQ. FT.
 - RETAIL LAUNDRIES,
 - COMBINED-USE DEVELOPMENTS OF PROPOSED USES WHEN ANY SINGLE USE IS ALLOWED ONLY BY SPECIAL REVIEW, AS LISTED ABOVE.
 - FAST FOOD USES WITHOUT DRIVE-IN OR DRIVE-UP.
- APPEALS OF THE CURRENT PLANNING MANAGERS DECISION ON USES BY RIGHT: APPEALS TO THE DECISION OF THE CURRENT PLANNING MANAGER AS TO WHETHER PROPOSED USE(S) WILL HAVE "SIMILAR EXTERNAL IMPACTS", OR WHETHER THE PROPOSED USES WILL RESULT IN "SIGNIFICANT CHANGE TO THE EXTERIOR ARCHITECTURE OF THE BUILDING" MUST BE FILED, IN WRITING, WITH THE CURRENT PLANNING DIVISION WITHIN 10 DAYS OF THE DECISION BY THE CURRENT PLANNING MANAGER. SUCH APPEAL(S) SHALL BE SCHEDULED FOR A PUBLIC HEARING WITH THE PLANNING COMMISSION AT THE NEXT AVAILABLE NORMALLY SCHEDULED PLANNING COMMISSION HEARING. PUBLIC NOTICE FOR PLANNING COMMISSION CONSIDERATION OF SUCH APPEAL(S) SHALL BE PROVIDED BY THE APPLICANT AND THE CITY AS STIPULATED FOR THE ORIGINAL PUBLIC NOTICE FOR APPROVAL OF THIS PDP. THE PLANNING COMMISSION DECISION ON THE APPEAL SHALL BE FINAL AND MAY NOT BE FURTHER APPEALED TO THE CITY COUNCIL.
- THE FOLLOWING ADDITIONAL USES MAY BE DEVELOPED, PROVIDED THEY ARE APPROVED BY THE CITY OF LOVELAND THROUGH THE NORMAL PROCESS AND REQUIREMENTS FOR A SPECIAL REVIEW, PURSUANT TO CHAPTER 18.40 OF THE MUNICIPAL CODE, AS AMENDED.
 - PRINTING SHOPS WITH GROSS FLOOR AREA GREATER THAN 3,500 SQ. FT.
 - ABOVE GROUND PUBLIC UTILITY AND PUBLIC SERVICE INSTALLATION AND FACILITIES, BUT EXCLUDING REPAIR, OPEN STORAGE AND PRODUCTION FACILITIES;
 - WHOLESALE STORES;
 - FAST FOOD RESTAURANTS (WITHOUT DRIVE-IN OR DRIVE-THROUGH SERVICE);
 - COMBINED-USE DEVELOPMENTS OF PROPOSED USES WHEN ANY SINGLE USE IS ALLOWED ONLY BY SPECIAL REVIEW, AS LISTED ABOVE."
- THE CONVEYANCE OF IRRIGATION WATER SHALL NOT BE INTERRUPTED FROM THE BEGINNING OF APRIL TO THE END OF OCTOBER.

PRELIMINARY DEVELOPMENT PLAN RANCH ACRES P.U.D. NARRATIVE



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REVISION # 5-31-2005
REVISION # 12-6-2005
REVISION # 1-18-2006
REVISION # 1-1-2006 FINAL MYLARS