

Zoning Board of Adjustment Staff Report

August 12, 2019

AGENDA ITEM # 1

Project Name	700 North Wilson Avenue	PZ # 19-142
Request	The applicant is requesting a variance to the 900 square foot limitation for accessory buildings to allow the construction of a 1,640 square foot detached garage.	
Applicant	Mike Schroetlin	

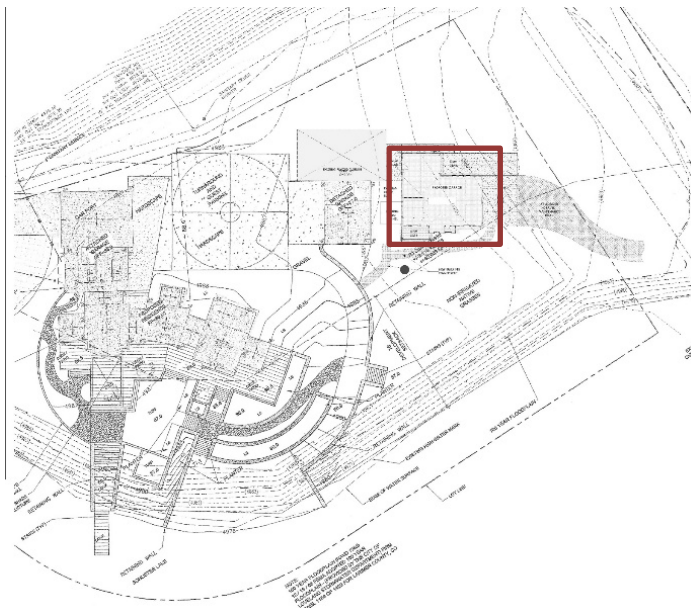
Recommended Motion

Move to determine that the findings listed in this Staff Report dated September 9, 2019, can be made and, therefore approve the request to build a detached accessory building that will be 1683 square feet.

Project Summary

The applicant is requesting to increase the 900 square foot limitation for accessory buildings in order to construct a new 1,683 square foot storage building. The property currently contains an 855 square foot detached garage. The applicant has indicated that the storage building will be used to house additional vehicles, indoor dog kennels, and storage. The Unified Development Code indicates that garage or storage buildings shall not exceed a cumulative of 900 square feet in building footprint. The variance request is therefore a request for 1640 additional square feet on the property. The applicant has a lot that is 2.11 net acres (92,059 sf), much larger than the typical suburban lot found within the City of Loveland. The lot is not a part of a traditional subdivision and is isolated between the Big Barnes Ditch, Schuster Lake and open space.

The applicant has indicated that the location and size of the lot will screen the garage from North Wilson Avenue and the adjacent properties. The existing house is set back approximately 819 feet from Wilson Avenue and the storage building would be set back approximately 1046 feet.



Location



Site Data

Address/Location	700 North Wilson Avenue – South of Big Barnes Ditch, east of North Wilson Avenue and along the north shore of Schuster Lake
Subdivision	Schuster Lake First Subdivision
Land Area	2.11 acres/92,059 square feet
Existing Buildings	5,614 square foot single-family residence
Access	North Wilson Avenue
Water Provider	City of Loveland
Wastewater Provider	City of Loveland
Electric Provider	City of Loveland
Gas Provider	Xcel Energy
Floodplain	No

Attachments

Attachment A – Application and Justification Statement
Attachment B - Site Plan, floor plan, and elevations

Zoning and Existing Land Uses

	Existing Zoning	Existing Land Use(s)
Subject Property	R1 Developing Low Density Residential	Single family home
Adjacent North	Big Barnes Ditch	Big Barnes Ditch
Adjacent South	Schuster Lake	Schuster Lake
Adjacent East	DR Developing Resource	Open Space

Adjacent West	DR Developing Resource	Open Space
Neighborhood Outreach		
Notification	An affidavit was received from Mike Schroetlin certifying that written notice was mailed to all property owners within 150 feet of the property on August 16, 2019 and a notice was posted in a prominent location facing North Wilson Avenue on August 22, 2019. All notices identified that the hearing for the variance would be held on September 9, 2019 at 4:00 pm at the Development Center with the Zoning Board of Adjustment.	
Neighborhood Response	At the time this report was prepared, staff has not received any contact from the neighborhood regarding this variance request.	
Zoning Board of Adjustment Criteria and Findings for Approval or Denial		
Pursuant to Section 18.17.1607.B. of the City of Loveland Municipal Code, the Zoning Board of Adjustment shall consider and make findings regarding the following criteria for variance requests. All criteria must be met in order to approve the requested variance.		
Criteria		
1. Granting the variance will not substantially conflict with any adopted plans or policies of the City, or the purposes or intent set out in this Code;		
Finding: Staff believes that this finding can be met Analysis: The variance does not conflict with the City’s Comprehensive Master Plan, Larimer County Street Standards, or corridor plans and policies adopted by the City. A detached garage/storage building is a typical accessory structure to a single-family residence and is permitted in the UDC.		
2. There are exceptional conditions creating an undue hardship, applicable only to the property involved, or the intended use thereof, which do not generally apply to the other land areas or uses within the same zone;		
Finding: Staff believes that this finding can be met Analysis: The typical suburban lot size within the City is generally between 6,000 to 8,000 square feet. The 2.1 acre estate lot is unique and exceptional in size. The 900 square foot limitation for accessory structures in relation to the large, estate lot size creates a hardship in the ability for the property owner to fully use the property.		
3. The Applicant cannot derive a reasonable use of the property without approval of a variance;		
Finding: Staff believes that this finding can be met Analysis: The subject property is 2.1 acres in size. Without approval of the variance, the applicant would be limited to the same standards as a lot that is 3500 square feet, depriving the property owner the full use of a large lot.		
4. Granting the variance will not generally set a precedent for other applications (which would indicate that a text amendment to this UDC should be proposed and considered instead);		
Finding: Staff believes that this finding can be met Analysis: The approval of this variance will not set a precedent for properties zoned R-1 Low Density Residential as the 2.1 acre property is uniquely sized and not typical for that zone. However, with the wide variety of lots sizes now available in the UDC’s housing palette, staff has been evaluating the appropriateness of the 900 square foot limitation for accessory structures. For example, an urban lot of		

3,500 square feet is afforded the same 900 square foot garage as a large estate lot of 2.5 acres. Staff has begun preparing an amendment to the UDC that would establish a relationship between the lot size and accessory structure allowance. It's anticipated that amendment would be schedule for public hearings at the beginning of next year and therefore the variance application for this project is appropriate.

5. Granting the variance will not be detrimental to any adjacent properties or the area;

*Finding: **Staff believes that this finding can be met***

Analysis: The proposed garage will be located behind the single family residence, further screening it from North Wilson Avenue. The properties directly adjacent to the garage are zoned DR therefore not developable, and owned by the same applicant. At the time this report was prepared, staff has not received any contact from the neighborhood regarding this variance request.

6. Granting the variance will not be detrimental to public health, safety, or welfare; and

*Finding: **Staff believes that this finding can be met***

Analysis: There is sufficient land area on the subject property to adequately place the detached accessory building without the need for additional variances.

7. Adequate relief cannot be reasonably obtained through a different procedure, such as the application of alternative compliance standards, if applicable.

*Finding: **Staff believes that this finding can be met***

Analysis: At this time, a variance application is the only appropriate process to request relief to the maximum allowed square footage of a detached accessory building.

Staff Recommendation

City staff is recommending approval of the variance application on the basis that all findings can be met.

Appeal Process

Per 18.04.05.03 of the Unified Development Code the right to appeal a decision by the Zoning Board of Adjustment Hearing Officer is limited to the applicant, and adjoining property owner, or a property owner who received mailed notice of public hearing and either participated in the public hearing or provided written comment to the Director at or before the public hearing.

Per 18.14.04.04.C the application enters into a ten (10) day appeal period has made once the Zoning Board of Adjustment Hearing Officer has made a final determination. The written petition to appeal along with a one hundred and eighty dollar (\$180) fee must be submitted to City of Loveland Current Planning within the ten (10) day appeal period.


If the City Attorney determines that the appeal meets the threshold findings, the whole Zoning Board of Adjustment will hear (18.14.05.05) the appeal. The Zoning Board of Adjustment is the final appeal body for a variance.

APPLICATION

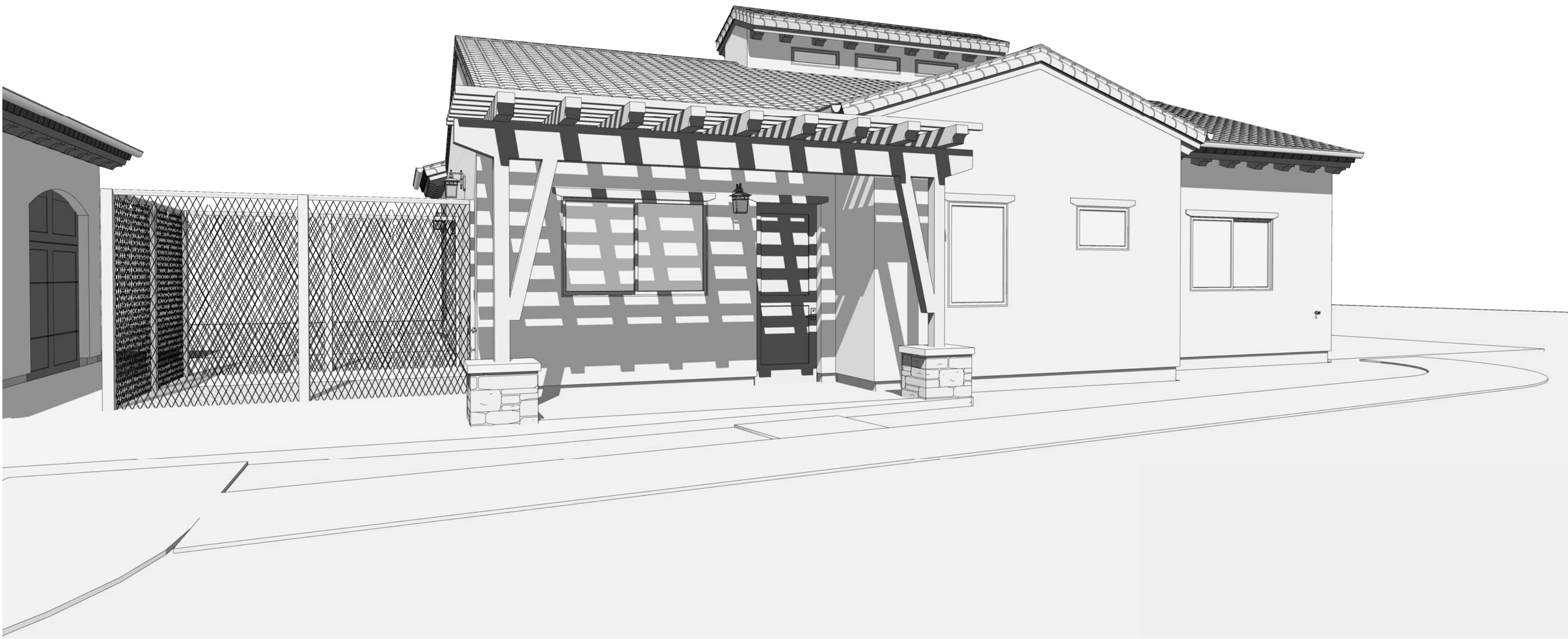
Applicant Information			
Name: <u>Mike Schroethin</u>		Phone: <u>970-566-7742</u>	
Address: <u>2229 Glen Haven Dr.</u>		Zip Code: <u>80538</u>	
City, State: <u>Loveland, CO 80538</u>			
Email Address: <u>mike@schroethin.com</u>	Preferred Method of Contact	<input type="checkbox"/> Phone	<input checked="" type="checkbox"/> Email
Variance Request			
Address of Property in which the Variance is Requested (if different than above information): <u>700 N. Wilson (Schuster property)</u>			
Describe the requested variance.	<u>Detached garage to be added to existing property</u>		
List all existing structures on the property.	<u>See site plan - home and detached garage</u>		
Applicant's Signature			
By signing this application, I hereby acknowledge that the information provided is correct and complete.			
Signature <u>[Signature]</u>		Date <u>8/4/19</u>	
Printed Name <u>Mike Schroethin</u>			

Findings Report

For each finding below, please provide a detailed justification on how the variance request complies with the finding.

Finding	Justification
1. Granting the variance will not substantially conflict with any adopted plans or policies of the City, or the purposes or intent set out in the Unified Development Code.	<p>Unique property. New structure will not be visible by almost anybody and does not affect neighboring properties</p> 
2. There are exceptional conditions creating an undue hardship, that are specific only to the property involved or the intended use, which do not generally apply to the other properties or uses within the same zone.	
3. The Applicant cannot derive a reasonable use of the property without approval of the request variance.	
4. Granting the variance will not set a precedent for other applications.	
5. Granting the variance will not be detrimental to any adjacent properties or the area.	
6. Granting the variance will not be detrimental to public health, safety, or welfare.	

SCHUSTER LAKE HOUSE - GARAGE II
700 N. WILSON
LOVELAND, COLORADO
1,683 USF
1-STORY TUSCAN STYLE



FRONT VIEW



BACK VIEW

AREA CALCULATIONS (ALL MEASUREMENTS IN SQUARE FEET)

BASEMENT	MAIN LEVEL	UPPER LEVEL	TOTAL FINISHED	OUTDOOR SPACE	GARAGE
FINISHED	FINISHED	FINISHED	FINISHED	PORCH	2-CAR
---	---	---	---	---	---
UNFINISHED			TOTAL FINISHED	PATIO	3-CAR
---			W/BASEMENT	115	1683
TOTAL			---	COVERED PATIO	4-CAR
---				---	---
				DECK	

				COVERED DECK	

BUILDING HT.	ROOF PITCH	DIMENSIONS			
19'-11 1/2"	4/12	46'-10" X 50'-0"			

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE FROM FACE OF STUD, FACE OF CONCRETE, CENTER LINE OF STRUCTURAL MEMBERS.
5. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. LOCAL CODES MAY SUPERSEDE NOTES LISTED HEREIN.
6. PROVIDE OUTSIDE COMBUSTION AIR TO ALL FIRE BOXES PER CODE.
7. ALL HAND AND GUARDRAILS SHALL COMPLY WITH APPLICABLE CODE.
8. PROVIDE COMBUSTION AIR TO FURNACES AND WATER HEATER PER CODE.
9. PROVIDE 1 HOUR FIRE PROTECTION AT ALL USEABLE SPACES UNDER STAIRS WITH 5/8" TYPE "X" GYP. BD. IF APPLICABLE.
10. PROVIDE FLOOR BLOCKING, WALL BLOCKING, ROOF BLOCKING AND FIRE BLOCKING PER CODE.
11. COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE BUILDER.
12. ALL ELEVATION AND SECTION VIEW TARGETS ARE TO TOP OF SUBFLOOR, TOP OF PLATE OR TOP OF CONCRETE UNO.
13. OWNER TO COORDINATE LOCATION OF GAS, WATER AND ELECTRICAL METER AS WELL AS PANEL LOCATIONS.
14. ALL STRUCTURAL DESIGN AND INFORMATION BY OTHERS ONLY.

DRAWING SHEET INDEX

LABEL	TITLE	DESCRIPTION	COMMENTS
1	COVER SHEET	-PROJECT INFORMATION-	
2	SITE PLAN	ARCHITECTURAL	
3	FLOOR PLAN	FOUNDATION PLAN	
4	FLOOR PLAN	MAIN LEVEL PLAN	
5	ROOF PLAN	PLAN + NOTES	
6	EXTERIOR ELEVATIONS	FRONT + RIGHT	
7	EXTERIOR ELEVATIONS	BACK + LEFT	
8	BUILDING SECTIONS		

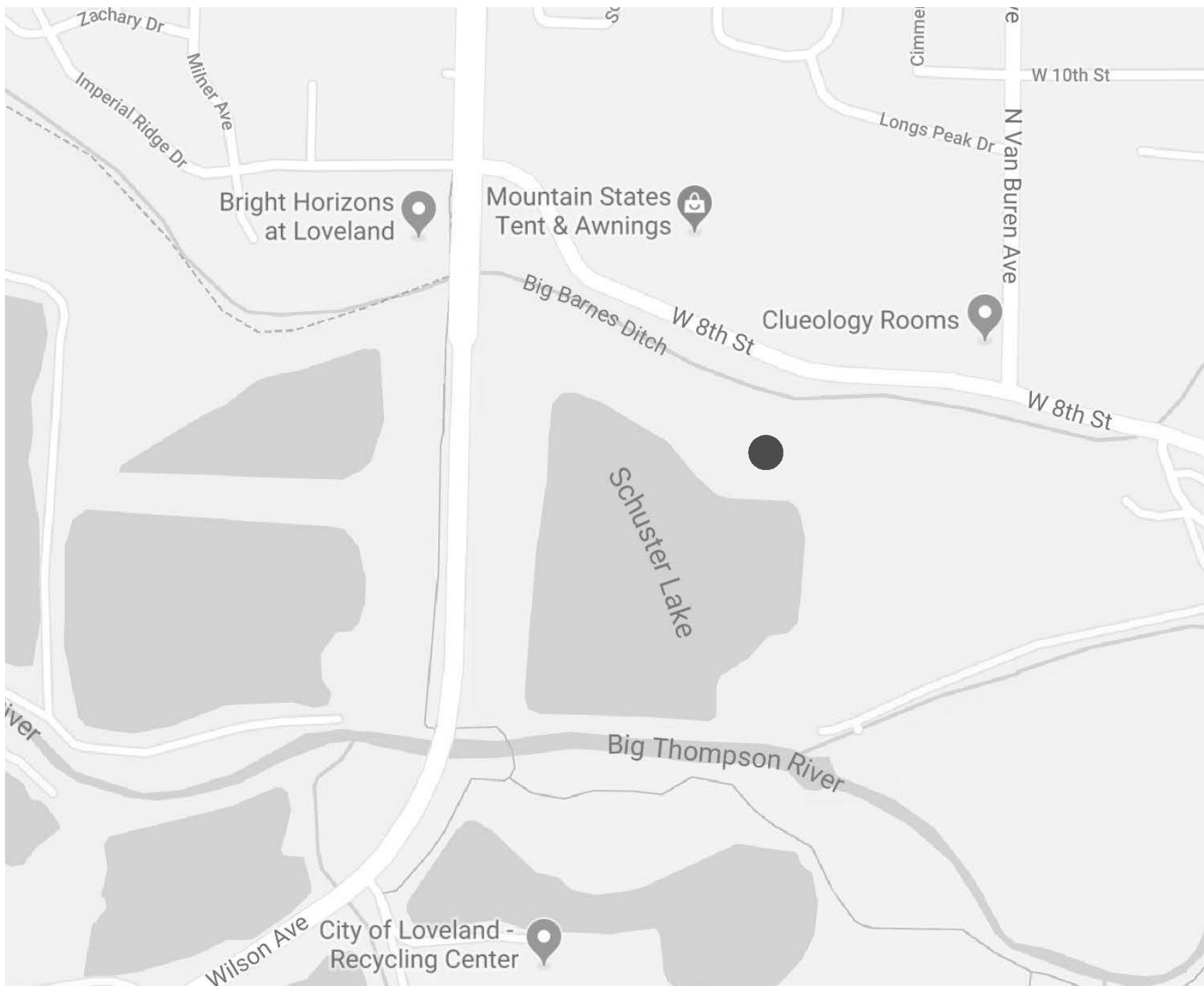
PLAN UPDATES

NUMBER	DATE	PLAN REVISIONS DESCRIPTION

B



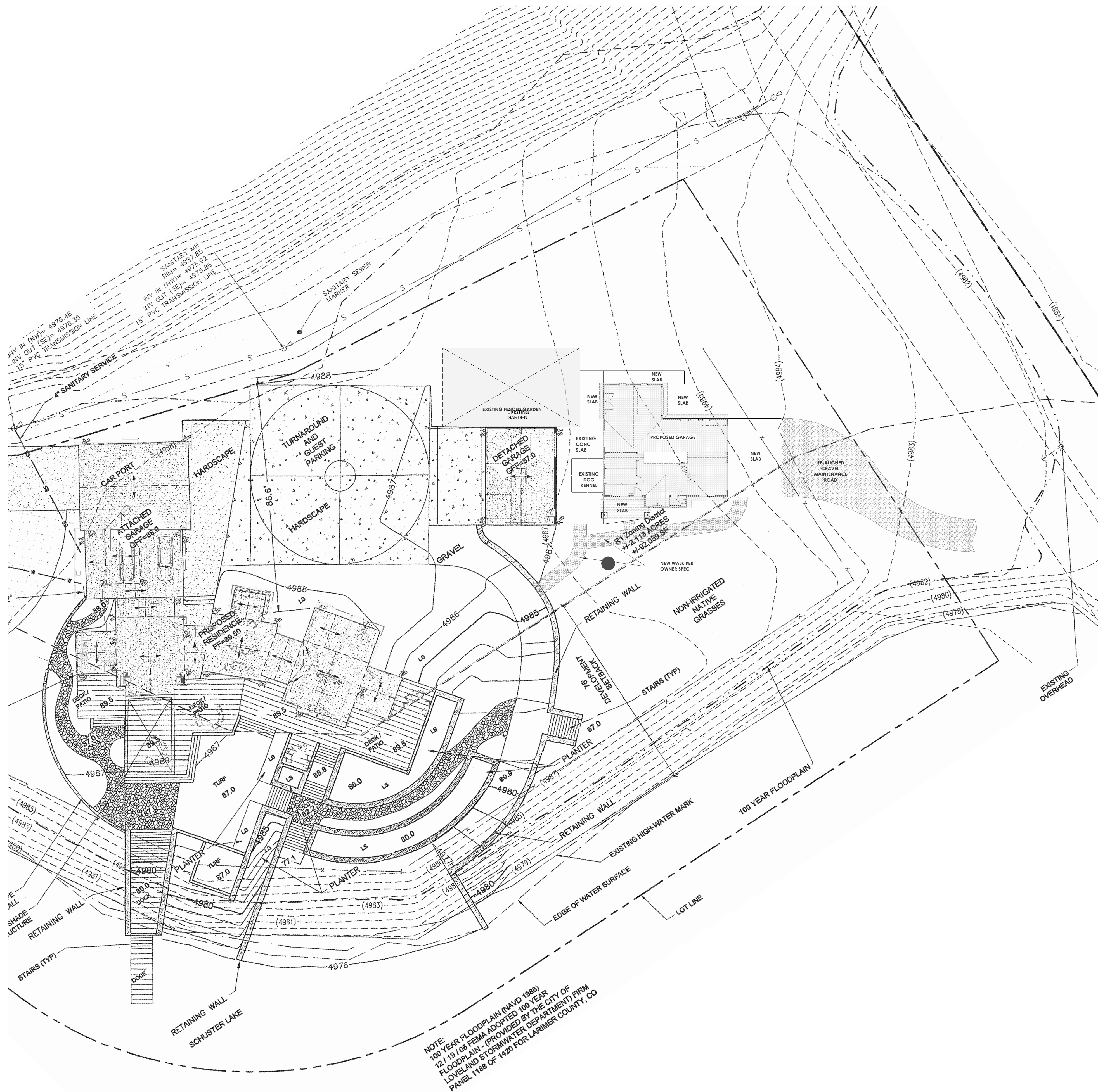
2 VICINITY MAP
SCALE: NTS



3 NEIGHBORHOOD MAP
SCALE: NTS

ARCHITECTURAL SITE NOTES:
(THIS ARCHITECTURAL SITE PLAN IS FOR PLANNING PURPOSES ONLY; FINAL PLOT PLAN TO BE PROVIDED BY BUILDER OR CLIENT)

1. LOT AND HOUSE LOCATION PER STAKED SITE BY A STATE LICENSED SURVEYOR.
2. BUILDER AND OWNER SHOULD APPROVE LOT LAYOUT AND GRADING PRIOR TO CONSTRUCTION.
3. SLOPE FINAL GRADE AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE PER CODE.
4. FOUNDATION HEIGHTS TO BE VERIFIED BY GC PRIOR TO CONCRETE POUR.
5. FINAL GRADING BY BUILDER TO MEET CODE.
6. BUILDER TO CONFIRM LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
7. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL CODES.
8. FINAL FINISHED FLOOR ELEVATION AND TOP OF FOUNDATION PER BUILDER.



1 SITE PLAN - ARCHITECTURAL
SCALE: 1"=20'

Schroetlin
CUSTOM HOMES

(970)
566-7742

PLAN REVISIONS
Number Date Description

SITE PLAN
ARCHITECTURAL

SCH 2 ARCHITECTS

PROJECT NAME
PROJECT ADDRESS
SUBDIVISION NAME
CITY AND STATE
X XXX F3F
X-STORY XXXXXXXX STYLE

DATE:
7/31/2019

TOTAL SHTS:
2 of 8

SHEET:

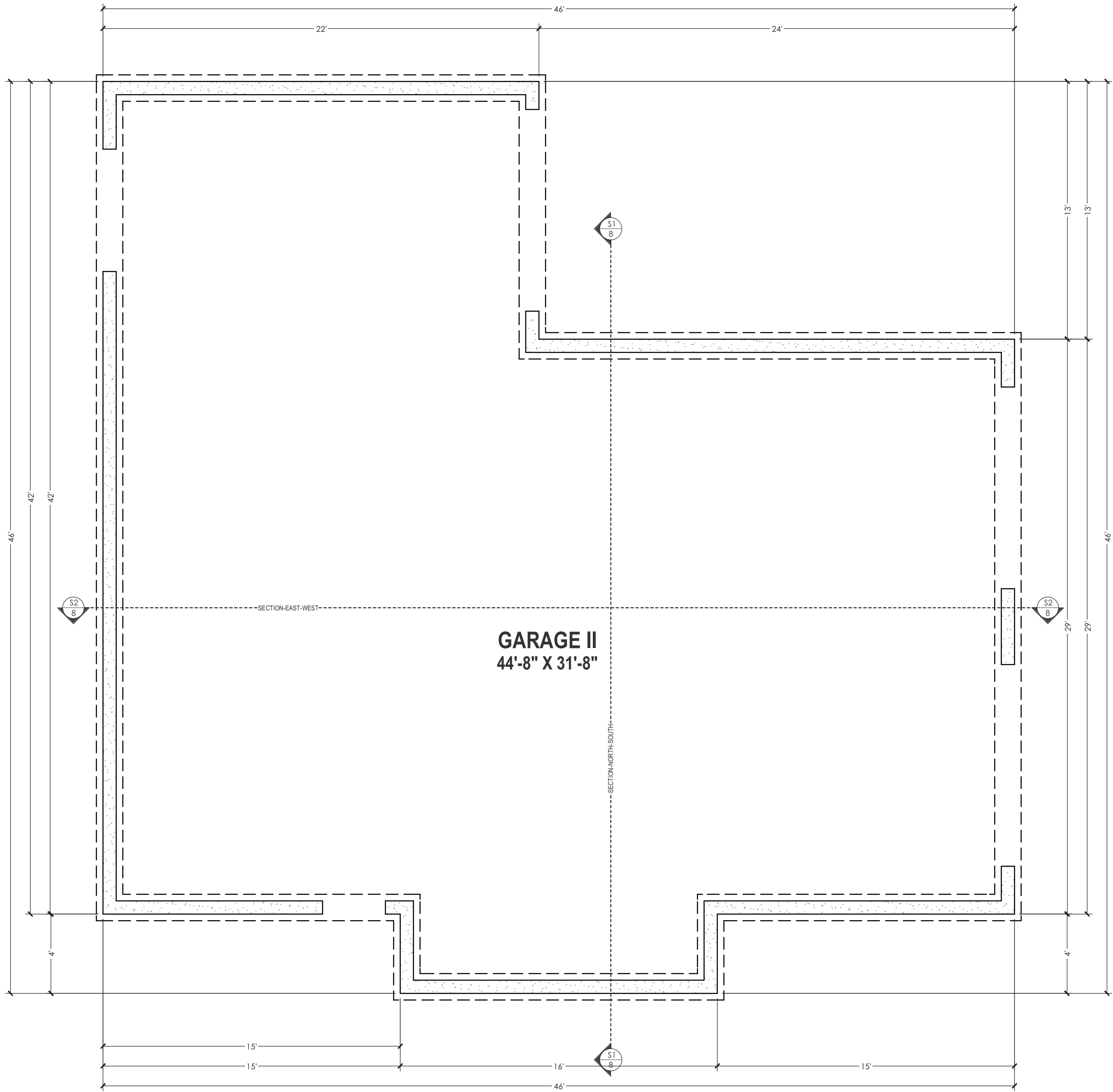
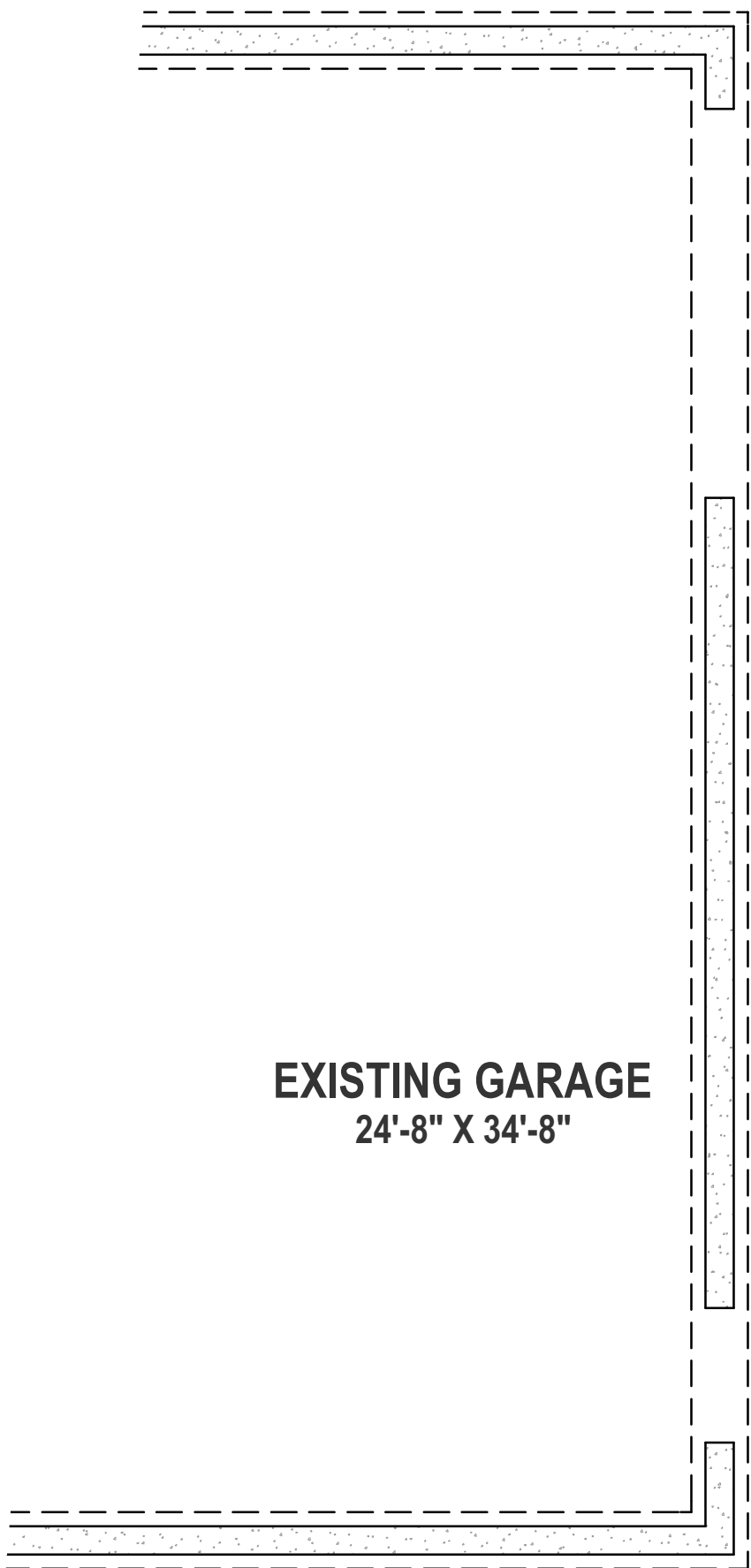
2

- GENERAL PLAN NOTES:**
- GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
 - ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
 - ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
 - DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
 - GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
 - IF TRUSSES USED, A STATE LICENSED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
 - ALL VENTING SHALL BE ROUTED TO THE BACK SIDE (NON-STREET/ENTRY) SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

- INSULATION NOTES:**
GC TO PROVIDE FINAL INSULATION OPTIONS PER CODE AND PER BUILDERS SPEC. UNLESS NOTED OTHERWISE, THE FOLLOWING INSULATION MINIMUM VALUES SHOULD BE USED.
- R-49 ROOF.
 - R-23 WALLS.
 - R-38 FLOORS

- FLOOR PLAN GENERAL NOTES:**
- ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ALL CODE REFERENCES IN THESE DOCUMENTS REFER TO THE LATEST VERSION OF THE INTERNATIONAL RESIDENTIAL CODE AND OVERRULE ALL CONFLICTING DESIGNER NOTE(S).
 - THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BOTH ON THE PLANS AND IN THE FIELD. NOTIFY ARCHITECT AND BUILDER OF ANY DISCREPANCIES AND CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - BUILDER TO CONSULT COMPLETE SUBDIVISION PLANS FOR SPECIFIC UTILITY EASEMENTS AND OTHER PERTINENT INFORMATION.
 - BUILDER TO FIELD VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS, HOSE BIBS AND OTHER ASSOCIATED ITEMS. BUILDER IS TO HAVE ALL EXISTING UTILITIES LOCATED BY ITS RESPECTIVE AUTHORITY, AND CONNECTIONS TO THOSE UTILITIES SHOULD TAKE THE MOST DIRECT ROUTE TO THE BUILDING.
 - IF A GEOTECHNICAL REPORT HAS BEEN PREPARED, IT HAS BEEN PROVIDED TO THE OWNER BY THEIR CONSULTANT. IF APPLICABLE, THE REPORT IS AVAILABLE FOR REVIEW AS AN AID IN PLANNING AND EXECUTING ALL AREAS OF WORK FOR THE PROJECT. THE REPORT DATA IS PROVIDED FOR REFERENCE ONLY, AND IS NOT TO BE CONSIDERED A PART OF THESE CONTRACT DOCUMENTS. WHILE IT IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND/OR COMPLETENESS IS NOT GUARANTEED BY THE ARCHITECT.
 - BUILDER TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH ELEVATION FROM STRUCTURAL DRAWINGS AND FINAL GRADING.
 - COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE BUILDER.
 - ALL WINDOWS TO BE DOUBLE PANED AND "LOW E" TECHNOLOGY UNO OR PER BUILDER SPEC. BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE. TEMPERED GLASS IS TO BE PROVIDED PER CODE.
 - STRUCTURAL DESIGN AND TRUSS AND FLOOR FRAMING DESIGN BY OTHERS.
 - CABINET DESIGN AND RELATED MILLWORK DRAWINGS ARE TO BE PROVIDED BY OTHERS. ANY CABINET ELEVATIONS SHOWN ARE FOR REFERENCE ONLY.
 - ALL EXTERIOR DOORS LEADING TO UNHEATED AREAS ARE TO BE WEATHER-STRIPPED.
 - VERIFY WITH BUILDER IF GYP BOARD CORNERS ARE TO BE RADIUSED PRIOR TO DRYWALL INSTALLATION. FRAMING AT CABINetry TO BE COORDINATED TO ALLOW FOR THE RADIUS TO TERMINATE AT OR BEFORE THE FACE OF CABINET.
 - TAKE CARE TO PROTECT ALL NEIGHBORING PROPERTY ENHANCEMENTS.
 - DO NOT SCALE DOCUMENTS.
 - ALL FLUES AND WALLS TO BE FIRE-STOPPED.
 - MANUFACTURERS INSTALLATION INSTRUCTIONS ARE TO BE STRICTLY FOLLOWED FOR THE INSTALLATION OF ALL FIREPLACES. PROVIDE COMBUSTION AIR TO ALL FIREPLACES.
 - USE SELF-CLOSING, TIGHT FITTING AND FIRE RATED GARAGE TO HOUSE DOORS ONLY. MEET LOCAL CODE.
 - ALL STAIR ASSEMBLIES OF 36" IN WIDTH OR GREATER SHALL HAVE A MINIMUM OF THREE STRINGERS.
 - PROVIDE GUTTERS AND DOWNSPOUTS (OR CHAINS PER PLANS). ON DOWNSPOUTS, A MINIMUM 4'-0" EXTENSION IS REQUIRED. SPLASH BLOCKS MAY ALSO BE USED, BUT MUST BE A MINIMUM OF 36" IN LENGTH. MATCH ANY EXISTING NEIGHBORHOOD STANDARDS THAT MIGHT EXIST.
 - ALL STONE TO BE THIN CUT REAL STONE OR PREMANUFACTURED STONE. RE: ELEVATION DRAWINGS. PROVIDE STONE OR STUCCO PROFILE "INTEL" ABOVE AND BELOW "SILL" WINDOW, AND AS NOTED ON EXTERIOR ELEVATIONS.
 - ALL BRICK TO HAVE ROWLOCK OR SOLDIER COURSE BRICK CAP WITH FLASHING AND TRIM OVER ROWLOCK OR SOLDIER. U.N.O.

- WINDOW NOTES:** (FINAL SPEC PER BUILDER ALWAYS)
- WINDOWS FINISH BY BUILDER SPEC.
 - PROVIDE LOW-E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
 - GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERED GLASS NEEDS.
 - GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
 - PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE WRAP AND SEALANT.
 - REF. BUILDING ELEVATIONS FOR WINDOW OPERATION.
 - BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW PER CODE.
 - TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" ARC OF A DOOR, EITHER CLOSED OR OPEN.
 - AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
 - GLASS USED IN DOORS.
 - PLACED LESS THAN 18" AFF AND GREATER THAN 9 SF IN SIZE.
 - AT BATHTUB AND SHOWER LOCATIONS



GENERAL PLAN NOTES:

1. GC TO REVIEW ALL DRAWINGS PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES OR INCONSISTENCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO CONSTRUCTION.
3. ALL SUB-CONTRACTORS ARE TO WORK OFF OF FULL SETS OF DOCUMENTS.
4. DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
5. GC TO VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. IN THE EVENT OF A DISCREPANCY BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS WILL ALWAYS SUPERSEDE ARCHITECTURAL.
7. IF TRUSSES USED, A STATE LICENSED TRUSS COMPANY MUST PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER AND GC FOR REVIEW PRIOR TO FABRICATION.
8. ALL VENTING SHALL BE ROUTED TO THE BACK SIDE (NON-STREET/ENTRY) SIDE OF THE ROOF RIDGE AND BE PAINTED TO MATCH BASE ROOF COLOR.

INSULATION NOTES:

GC TO PROVIDE FINAL INSULATION OPTIONS PER CODE AND PER BUILDERS SPEC. UNLESS NOTED OTHERWISE, THE FOLLOWING INSULATION MINIMUM VALUES SHOULD BE USED.

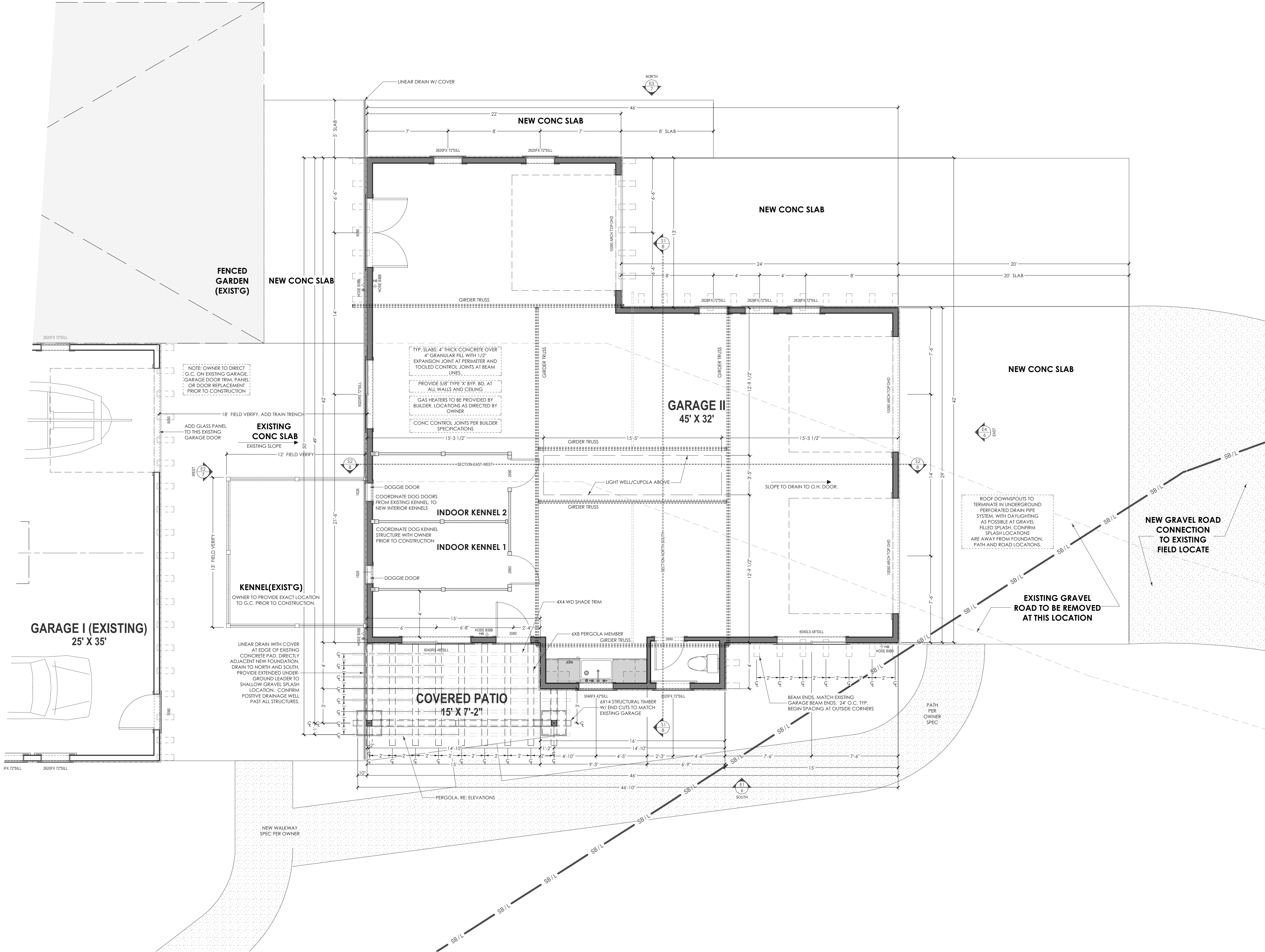
1. R-49 ROOF.
2. R-23 WALLS.
3. R-38 FLOORS

FLOOR PLAN GENERAL NOTES:

1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ALL CODE REFERENCES IN THESE DOCUMENTS REFER TO THE LATEST VERSION OF THE INTERNATIONAL RESIDENTIAL CODE AND OVERRULE ALL CONFLICTING DESIGNER NOTE(S).
2. THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BOTH ON THE PLANS AND IN THE FIELD. NOTIFY ARCHITECT AND BUILDER OF ANY DISCREPANCIES AND CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. BUILDER TO CONSULT COMPLETE SUBDIVISION PLANS FOR SPECIFIC UTILITY EASEMENTS AND OTHER PERTINENT INFORMATION.
4. BUILDER TO FIELD VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS, HOSE BIBS AND OTHER ASSOCIATED ITEMS. BUILDER IS TO HAVE ALL EXISTING UTILITIES LOCATED BY ITS RESPECTIVE AUTHORITY, AND CONNECTIONS TO THOSE UTILITIES SHOULD TAKE THE MOST DIRECT ROUTE TO THE BUILDING.
5. IF A GEOTECHNICAL REPORT HAS BEEN PREPARED, IT HAS BEEN PROVIDED TO THE OWNER BY THEIR CONSULTANT. IF APPLICABLE, THE REPORT IS AVAILABLE FOR REVIEW AS AN AID IN PLANNING AND EXECUTING ALL AREAS OF WORK FOR THE PROJECT. THE REPORT DATA IS PROVIDED FOR REFERENCE ONLY, AND IS NOT TO BE CONSIDERED A PART OF THESE CONTRACT DOCUMENTS. WHILE IT IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND/OR COMPLETENESS IS NOT GUARANTEED BY THE ARCHITECT.
6. BUILDER TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH ELEVATION FROM STRUCTURAL DRAWINGS AND FINAL GRADING.
7. COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE BUILDER.
8. ALL WINDOWS TO BE DOUBLE PANED AND "LOW E" TECHNOLOGY UNO OR PER BUILDER SPEC. BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE. TEMPERED GLASS IS TO BE PROVIDED PER CODE.
9. STRUCTURAL DESIGN AND TRUSS AND FLOOR FRAMING DESIGN BY OTHERS.
10. CABINET DESIGN AND RELATED MILLWORK DRAWINGS ARE TO BE PROVIDED BY OTHERS. ANY CABINET ELEVATIONS SHOWN ARE FOR REFERENCE ONLY.
11. ALL EXTERIOR DOORS LEADING TO UNHEATED AREAS ARE TO BE WEATHER-STRIPPED.
12. VERIFY WITH BUILDER IF GYP BOARD CORNERS ARE TO BE RADIUS'D PRIOR TO DRYWALL INSTALLATION. FRAMING AT CABINERY TO BE COORDINATED TO ALLOW FOR THE RADIUS TO TERMINATE AT OR BEFORE THE FACE OF CABINET.
13. TAKE CARE TO PROTECT ALL NEIGHBORING PROPERTY ENHANCEMENTS.
14. DO NOT SCALE DOCUMENTS.
15. ALL FLUES AND WALLS TO BE FIRE-STOPPED.
16. MANUFACTURERS INSTALLATION INSTRUCTIONS ARE TO BE STRICTLY FOLLOWED FOR THE INSTALLATION OF ALL FIREPLACES. PROVIDE COMBUSTION AIR TO ALL FIREPLACES.
17. USE SELF-CLOSING, TIGHT FITTING AND FIRE RATED GARAGE TO HOUSE DOORS ONLY. MEET LOCAL CODE.
18. ALL STAIR ASSEMBLIES OF 36" IN WIDTH OR GREATER SHALL HAVE A MINIMUM OF THREE STRINGERS.
19. PROVIDE GUTTERS AND DOWNSPOUTS (OR CHAINS PER PLANS). ON DOWNSPOUTS, A MINIMUM 4'-0" EXTENSION IS REQUIRED. SPLASH BLOCKS MAY ALSO BE USED, BUT MUST BE A MINIMUM OF 36" IN LENGTH. MATCH ANY EXISTING NEIGHBORHOOD STANDARDS THAT MIGHT EXIST.
20. ALL STONE TO BE THIN CUT REAL STONE OR PREMANUFACTURED STONE. RE: ELEVATION DRAWINGS. PROVIDE STONE OR STUCCO PROFILE "INTEL" ABOVE AND BELOW "SILL" WINDOW, AND AS NOTED ON EXTERIOR ELEVATIONS.
21. ALL BRICK TO HAVE ROWLOCK OR SOLDIER COURSE BRICK CAP WITH FLASHING AND TRIM OVER ROWLOCK OR SOLDIER, U.N.O.

WINDOW NOTES: (FINAL SPEC PER BUILDER ALWAYS)

1. WINDOWS FINISH BY BUILDER SPEC.
2. PROVIDE LOW-E GLASS ON ALL WINDOWS SUBJECT TO OPINION OF WINDOW SUPPLIER.
3. GC AND WINDOW SUPPLIER TO VERIFY EGRESS REQUIREMENTS AND TEMPERED GLASS NEEDS.
4. GC AND WINDOW SUPPLIER TO VERIFY FINAL ROUGH OPENINGS.
5. PROVIDE ALL FLASHING AND COUNTER FLASHING, MEMBRANE WRAP AND SEALANT.
6. REF. BUILDING ELEVATIONS FOR WINDOW OPERATION.
7. BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW PER CODE.
8. TEMPER GLASS WHEN: (AND/OR AS DIRECTED PER LOCAL CODE)
 - LOCATION IS WITHIN A 24" ARC OF A DOOR, EITHER CLOSED OR OPEN.
 - AREAS SUBJECT TO IMPACT BY HUMANS OR ANIMALS.
 - GLASS USED IN DOORS
 - PLACED LESS THAN 18" AFF AND GREATER THAN 9' SF IN SIZE.
 - AT BATHTUB AND SHOWER LOCATIONS



1

FLOOR PLAN - MAIN LEVEL PLAN

SCALE: 1/4"=1'-0"

PLAN REVISIONS

Number Date Description

FLOOR PLAN
MAIN LEVEL PLAN

DATE:

7/31/2019

TOTAL SHTS:

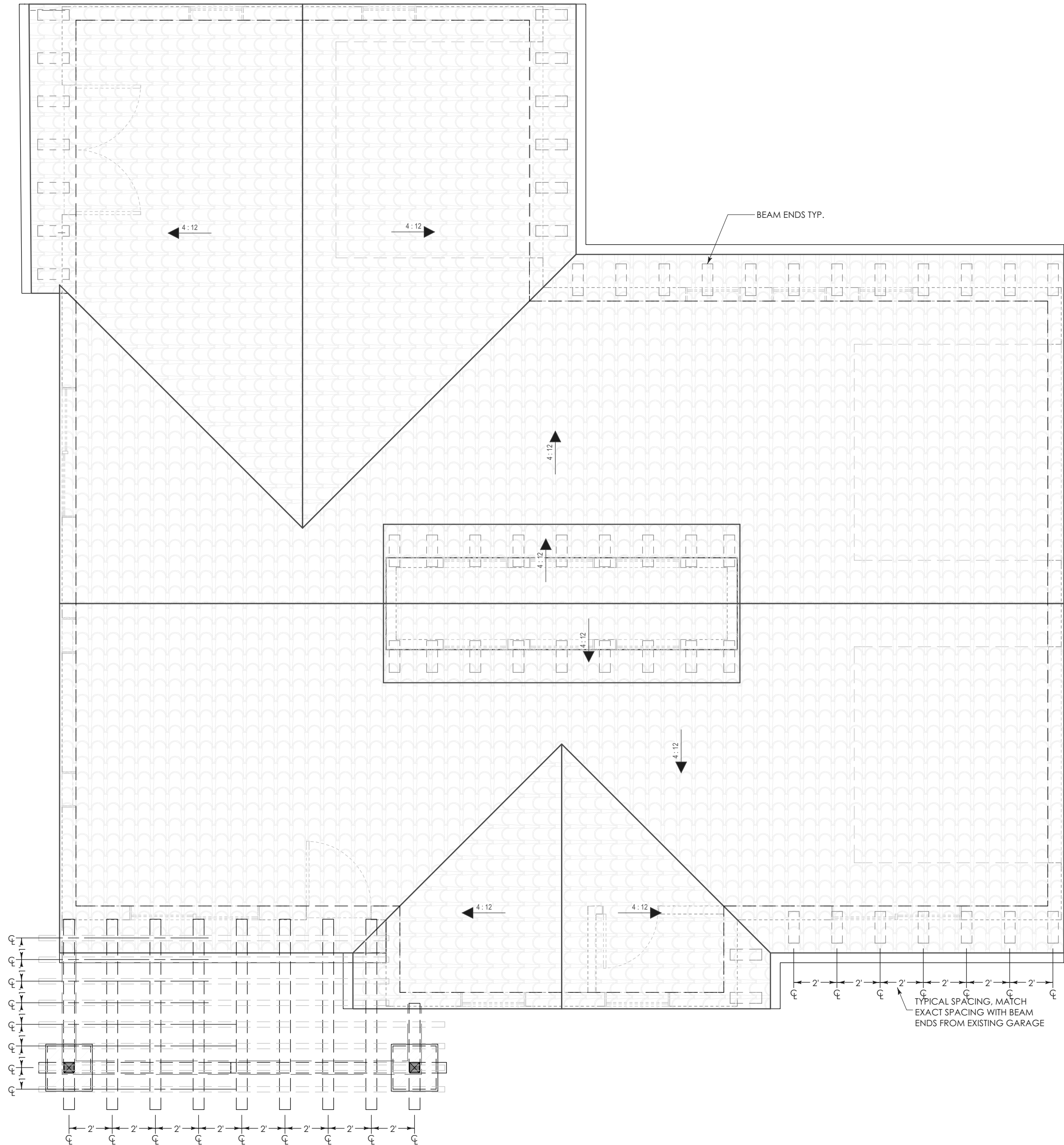
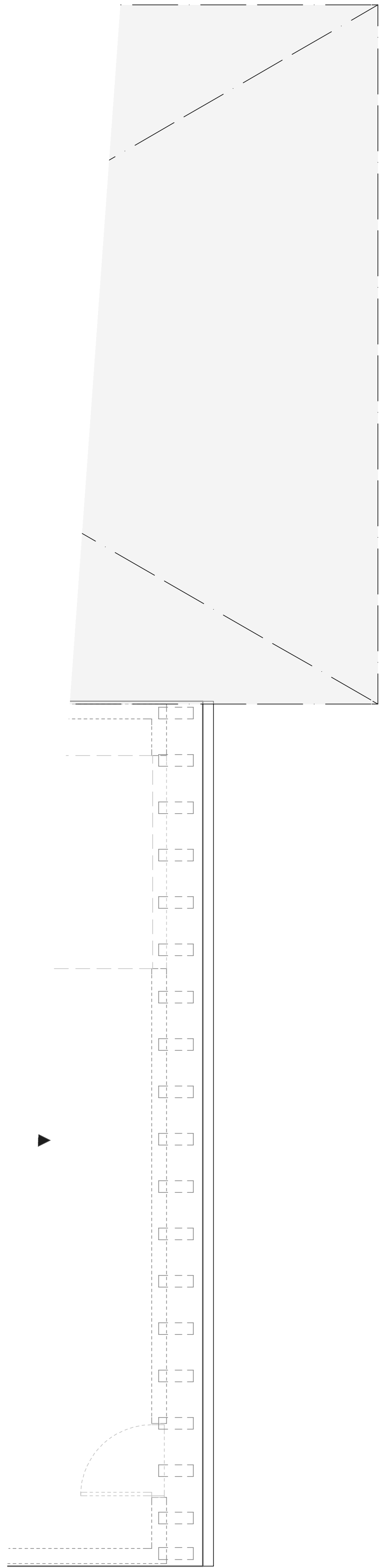
4 of 8

SHEET:

ROOF NOTES: —

BUILDER SPEC AND LOCAL CODES OVERALL ALL NOTES:

1. ALL ROOF FRAMING 24" O.C. UNO
2. ALL RAKE OVERHANGS 20", UNO. ALL GABLE OVERHANGS HAVE NO OVERHANGS.
3. ATTIC VENTILATION: REQUIRED PER CODE, BY BUILDER
4. WALL HEADERS; (2) 2 X 10 DF 2 TYP. UNO-PER STRUCTURAL
5. MATCH SPANISH TILE ROOFING OF EXISTING HOME. INSTALL PER MANUFACTURERS SPECIFICATIONS.
6. APPLY ICE & WATER SHIELD AT ALL EAVES, RIDGES, AND VALLEYS. DEFER TO LOCAL CODE OTHERWISE.
7. TITANIUM FELT UNDERLAYMENT, TYPICAL THROUGHOUT ROOF
8. ROUTE ALL ROOF PENETRATIONS THROUGH NON-STREET SIDE OF ROOF.
9. GUTTER AND DOWNSPOUT (TYP.), MATCH EXISTING HOME.
10. ALL ROOF SLOPES TO BE: 4:12 UNLESS NOTED OTHERWISE.
11. PROVIDE ROOF CRICKETS AS NECY. FOR DRAINAGE.



1

ROOF PLAN - PLAN + NOTES
SCALE: 1/4"=1'-0"

PLAN REVISIONS
Number Date Description

ROOF PLAN
PLAN + NOTES

PROJECT NAME
PROJECT ADDRESS
SUBDIVISION NAME
CITY AND STATE
X-XXX XXX
X-STORY XXXXXXXX STYLE

DATE:

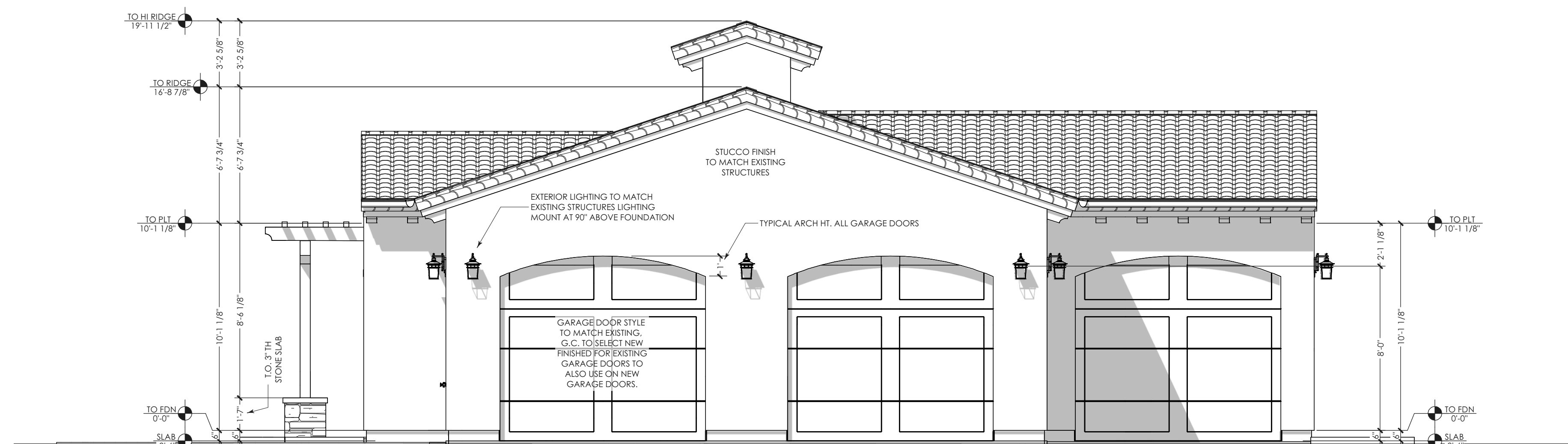
7/31/2019

TOTAL SHTS:

5 of 8

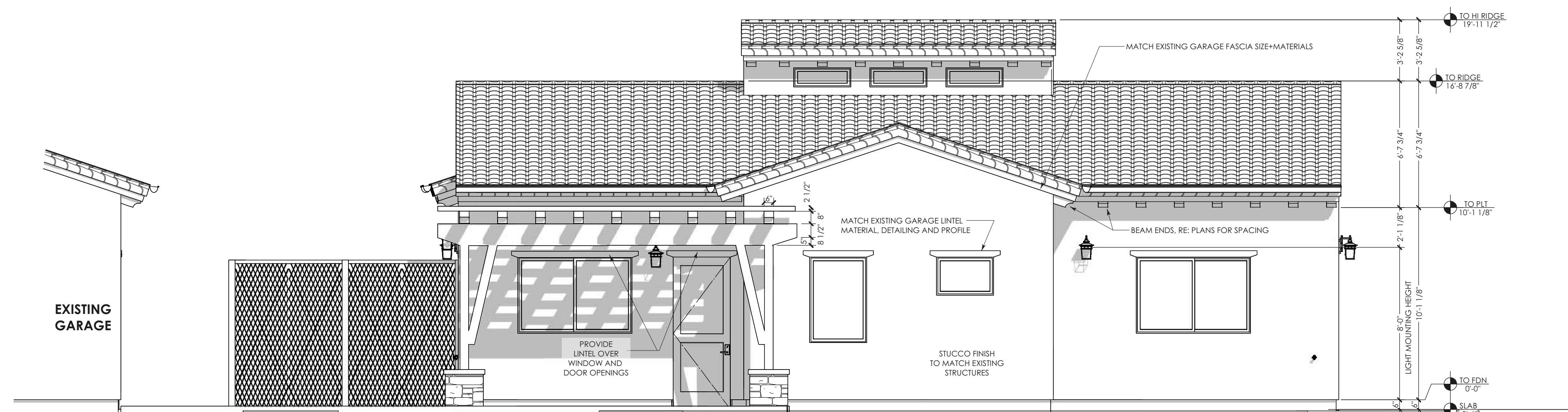
SHEET:

5



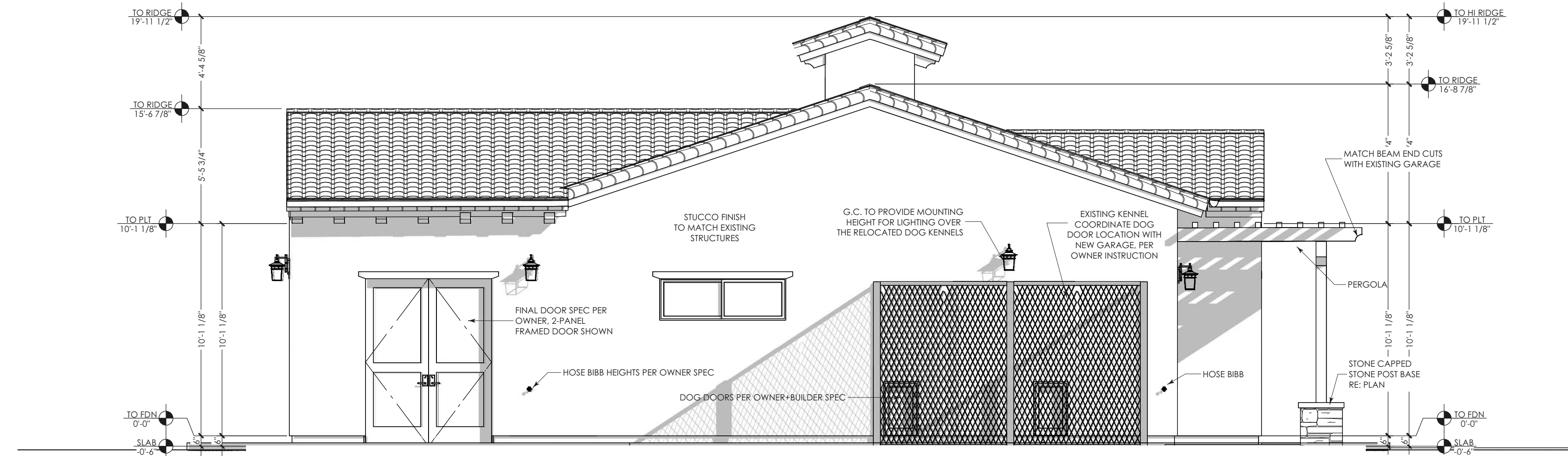
EAST - RIGHT

2 **EXTERIOR ELEVATIONS - FRONT + RIGHT**
SCALE: 1/4"=1'-0"



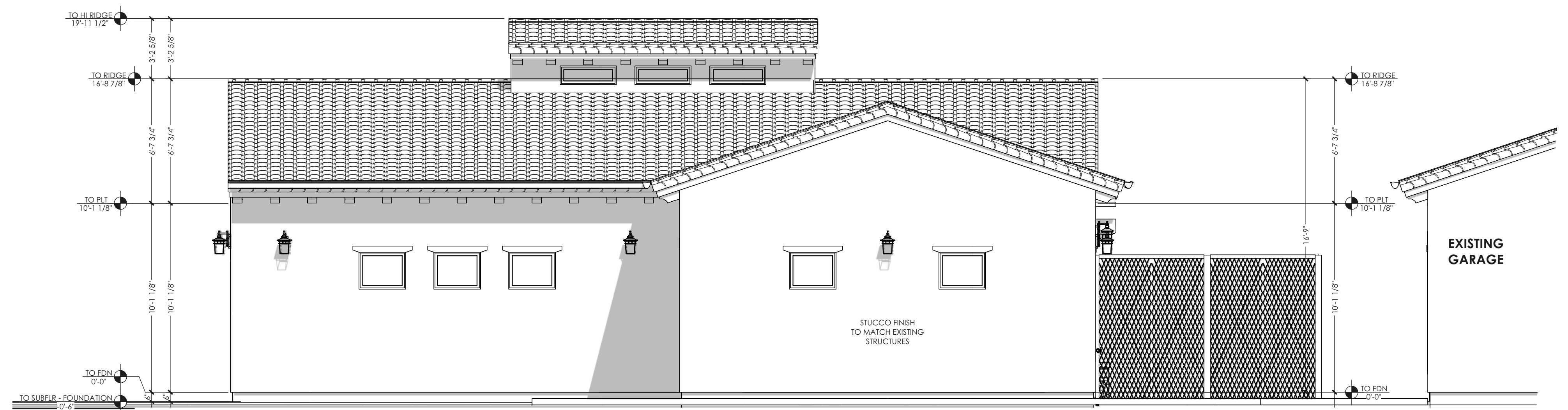
SOUTH - FRONT

1 **EXTERIOR ELEVATIONS - FRONT + RIGHT**
SCALE: 1/4"=1'-0"



WEST - LEFT

2 EXTERIOR ELEVATIONS - BACK + LEFT
SCALE: 1/4"=1'-0"



NORTH - BACK

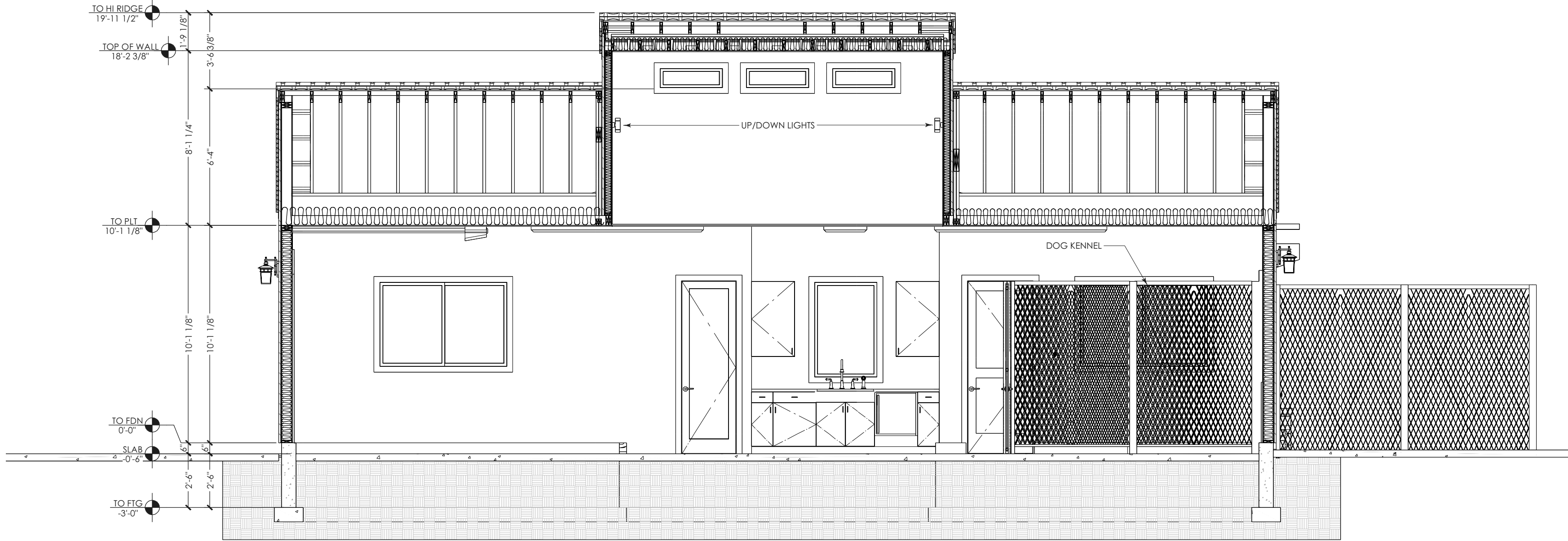
1 EXTERIOR ELEVATIONS - BACK + LEFT
SCALE: 1/4"=1'-0"

ASSEMBLY TYPES:

- AA TYPICAL EXTERIOR WALL:**
EXTERIOR FINISH PER ELEVATION ON TYVEK
WATERPROOF MEMBRANE OR TYVEK TYPE HOUSE WRAP
ON EXTERIOR SHEATHING PER STRUCTURAL ON 2X
FRAMING PER STRUCTURAL WITH INSULATION (R-23).
PROVIDE VAPOR BARRIER ONLY IF REQUIRED PER
BUILDING CODE, WITH 1/2" GYB. BOARD.
- BB TYPICAL INTERIOR WALL:**
2X FRAMING WITH INSULATION AS SHOWN ON PLANS
AND STANDARD BUILDER LOCATIONS, WITH 1/2" GYP. BD
AT EACH SIDE.
- CC TYPICAL FOUNDATION WALL:**
DRAIN SYSTEM (AS NEEDED PER SOILS REPORT) OVER
DAMP-PROOFING OVER REINFORCED CONCRETE
FOUNDATION WALL PER STRUCTURAL PLANS. VINYL
FACED INSULATION AT EXTERIOR WALLS PER CODE.
- DD TYPICAL ROOF:**
ROOFING MATERIAL PER ELEVATION ON ICE AND WATER
SHIELD WATERPROOF MEMBRANE, ON EXTERIOR
SHEATHING PER STRUCTURAL ON COLD ROOF FRAMING
ON PLYWOOD SHEATHING ON 2X RAFTERS OR
PREMANUFACTURED ROOF TRUSSES PER STRUCTURAL
WITH ATTIC INSULATION (RE: INSULATION NOTES).
PROVIDE VAPOR BARRIER ONLY IF REQUIRED PER CODE
WITH 5/8" GYP. BD. UNO OR PER BUILDER SPECS. 12"
HIGH ENERGY HEEL ASSUMED U.N.O.
- EE TYPICAL MAIN AND UPPER LEVEL FLOORS:**
FINISHED FLOOR MATERIAL PER PLAN OVER 3/4" T & G OSB
SUBFLOOR ON 11 7/8" TJI JOISTS PER STRUCTURAL WITH
1/2" GYP. BD. CEILING. PROVIDE INSULATION (RE:
INSULATION NOTES) OVER UNFINISHED SPACES.
- FF TYPICAL LOWER LEVEL FLOOR:**
BASEMENT AND CRAWL SPACE PER ENGINEERING
- GG TYPICAL SOFFIT CONST:**
PROVIDE 1X8 FASCIA BOARD, 1X6 SUBFASCIA, GUTTER
AND DOWNSPOUTS.
- JJ TYPICAL SLAB:**
CONCRETE SLAB PER STRUCTURAL. SLOPE AT 1/8" PER
1'-0" MINIMUM TO DRAIN.
- KK TYPICAL TIMBER COMPONENTS:**
S4S RFKD DOUGLAS FIR SS FOHC, COLUMNS AND
BRACKETS PER STRUCTURAL AND PER TIMBER SHOP
DRAWINGS.
- KK1 TYPICAL TIMBER COMPONENTS (ALTERNATE 1):**
S4S WESTERN RED CEDAR (WRC) FOHC GREEN #2/
BETTER APPEARANCE GRADE BEAMS, COLUMNS AND
BRACKETS PER STRUCTURAL AND PER TIMBER SHOP
DRAWINGS.

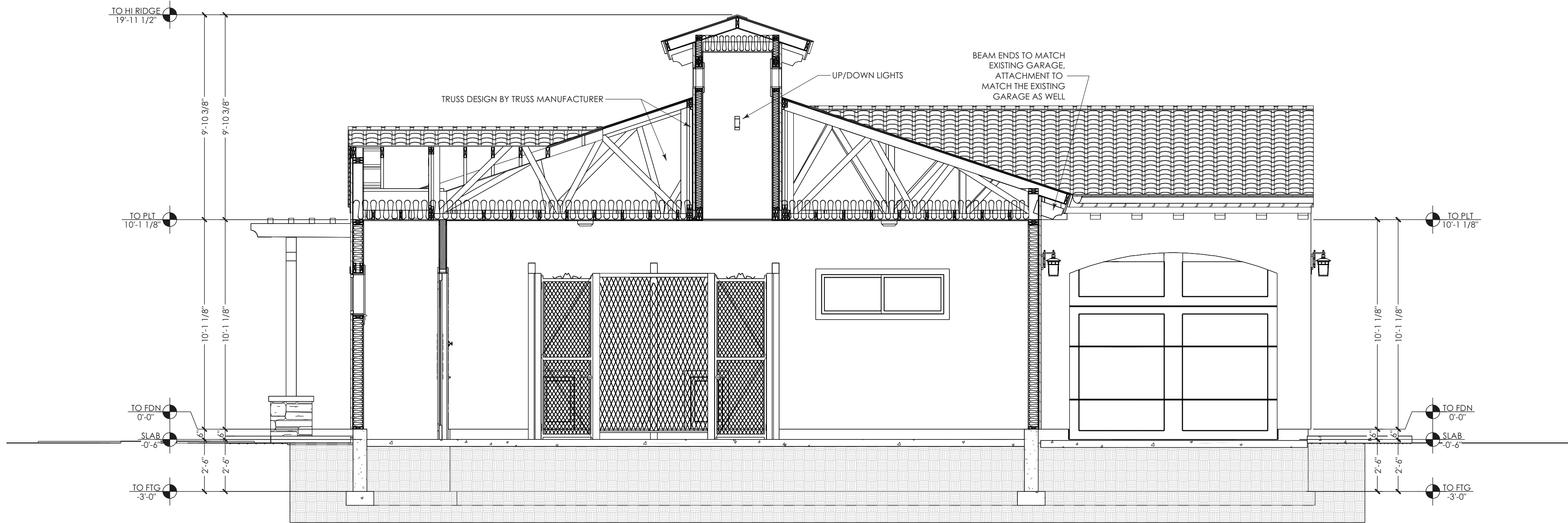
STRUCTURAL PLANS NOTE:

STRUCTURAL INFORMATION PROVIDED ON THESE PLANS IS
FOR DESIGN INTENT PURPOSES ONLY AND SHOULD BE
VERIFIED AND/OR ENGINEERED WITH STRUCTURAL DRAWINGS
BY A LICENSED STRUCTURAL ENGINEER. **IN THE EVENT**
STRUCTURAL INFORMATION VARIES BETWEEN ARCHITECTURAL
AND STRUCTURAL DRAWINGS, THE STRUCTURAL DRAWINGS
WILL SUPERSEDE ARCHITECTURAL DRAWINGS.



SECTION-EAST-WEST

2 BUILDING SECTIONS -
SCALE: 1/4"=1'-0"



SECTION-NORTH-SOUTH

1 BUILDING SECTIONS -
SCALE: 1/4"=1'-0"