



DEVELOPMENT SERVICES CURRENT PLANNING

410 East Fifth Street • Loveland, CO 80537
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www.cityofloveland.org

PRELIMINARY FINDINGS AND DETERMINATIONS

Type II Zoning Permit Bighorn RV Storage Special Review #951

Posted: May 24, 2019

TITLE: Bighorn RV Storage, Special Review #951

LOCATION: The site is located at the northwest corner of N. Garfield Ave (Hwy 287) and 57th Street

APPLICANT: Bighorn Loveland, LLC

STAFF CONTACT: Noreen Smyth, Current Planning

APPLICATION TYPE: Combined Special Review and Site Development Plan, Application #18-116

STAFF RECOMMENDATION: Staff recommends that the Current Planning Manager preliminarily approve this special review allowing for a recreational vehicle storage business, subject to the conditions listed in Sections VIII of this report.

I. ATTACHMENTS

1. Site Development/Special Review Plan
2. Public Improvement Construction Plans
3. Traffic Study (excerpts)

II. SITE DATA

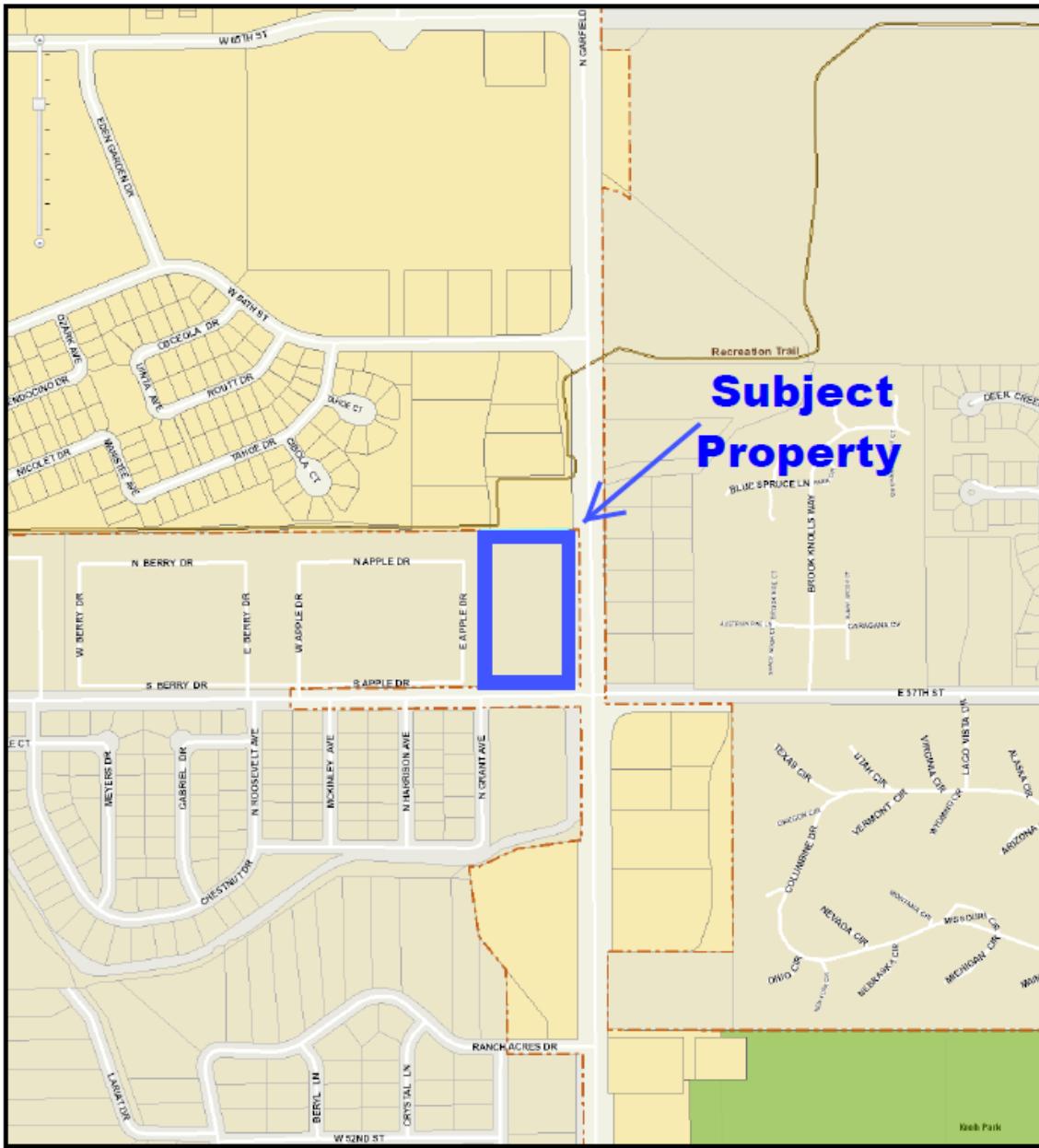
EXISTING USE	Vacant
PROPOSED USE	Indoor Recreational Vehicle Storage
AREA	5.02 acres
EXISTING ZONING.....	Larimer County B Business, to be City of Loveland B Developing Business on annexation
ADJACENT ZONING & USE- North	PUD; Commercial
ADJACENT ZONING & USE - East.....	Larimer County C Commercial; Vacant
ADJACENT ZONING & USE- South	Larimer County B Business; Vacant
ADJACENT ZONING & USE - West	Larimer County MI Multiple Family; Mobile Home Park
UTILITY SERVICE – WATER.....	City of Loveland
UTILITY SERVICE – SEWER	City of Loveland
UTILITY SERVICE – ELECTRIC.....	Currently Xcel, Upon annexation it will become a part of the City of Loveland service area

III. PROPERTY DESCRIPTION

The 5.02-acre rectangular subject lot is currently undeveloped. It is near the north end of the city, at the northwest corner of the intersection of Garfield Ave (Highway 287) and 57th Street. The subject property underwent annexation hearings in 2018. The annexation was approved contingent on the submittal and approval of a special review application, with B-Developing Business zoning assigned. Thus, while the annexation is not yet finalized, if and when the special review that is the topic of this report is approved, the annexation will then be finalized.

The subject property is a rectangular area of land, roughly 400 feet by 600 feet in dimension. The easternmost part of the property, adjacent to N. Garfield Avenue, has a permanent ditch easement for the Louden Irrigating Canal & Reservoir Company. The Louden ditch runs through this area in a north-south direction.

IV. VICINTIY MAP



V. PROJECT DESCRIPTION

The proposal under consideration with this report is a recreational vehicle storage facility. Self storage facilities are a special review use in the B-Developing Business district. The facility will include 191 units, 41 of which will be smaller, non-RV storage units.

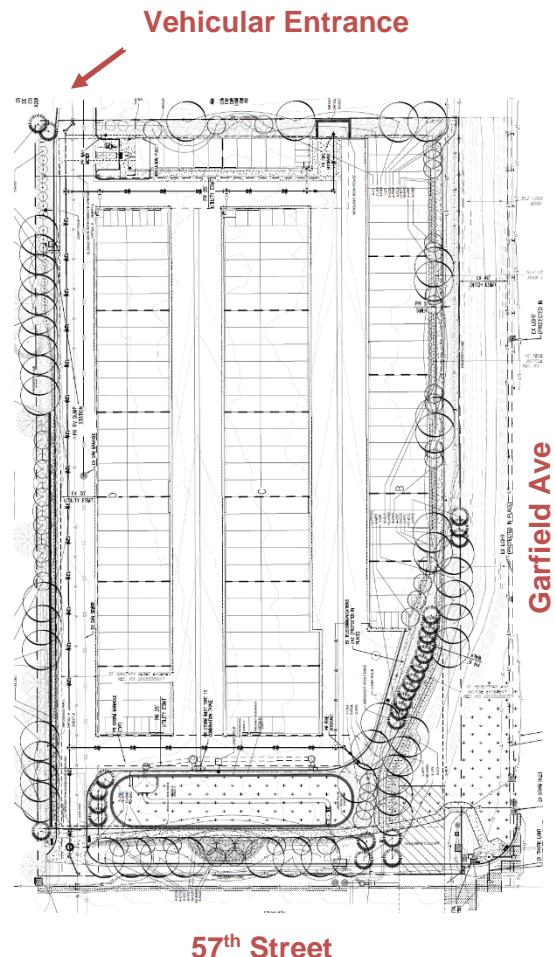
The site plan includes three long storage buildings situated in a north-south direction, a smaller storage building situated in an east-west direction near the north property line, and a detention facility near the south property line. A small office will be attached to the end of one of the storage buildings.

The development will include one vehicular entrance point through the adjacent Peakview Commercial Park; see Finding 2 and 3d below for a detailed description of vehicular access.

Landscape bufferyards will be planted along all property lines. Required street trees and public sidewalk will be installed along the adjacent public streets.

The buildings reflect enhanced architectural design for all elevations visible from public streets, as required by the Highway 287 Corridor Plan; see Finding 3c below for a detailed description of the elevations and associated building materials/colors.

Attached for reference are the Site Development Plan, which includes the site plan, landscape plan, photometric plan, and building elevations. Also attached are the public improvement construction plans.



VI. KEY ISSUES

The city's development review staff has not identified key issues associated with this special review application, nor were any voiced by neighbors at the neighborhood meeting.

VII. BACKGROUND

The annexation of the property under consideration in this staff report was approved by the City Council in June 2018, bringing the parcel within the limits of the City of Loveland and the B-Developing Business district as the "Bighorn Addition", contingent on the submittal and approval of a special review application.

VIII. STAFF, APPLICANT, AND NEIGHBORHOOD INTERACTION

- A. Notification:** A letter advertising the neighborhood meeting was sent out by the applicant on April 30, 2019 to all neighbors within the distance defined in the Loveland Municipal Code. Meeting notice signs were also posted on the property on April 30, 2019.
- B. Neighborhood Response:** A neighborhood meeting was held at 5:30 pm on May 15, 2019 in the Development Center. Two attendees were at the meeting along with city staff and the applicant's consultant. Questions from attendees centered on the site and building design, with a couple of questions about traffic and about the adjacent ditch. One attendee voiced support for the proposal and the other attendee did not directly indicate objection or support.

D. Project Schedule

1. An application for Special Review #935 was filed with the Current Planning Division on July 30, 2018.
2. A neighborhood meeting for the special review was held on May 15, 2019 in the City of Loveland Development Center. The applicant's consultant and two neighbors attended the meeting.
3. The staff preliminary findings and determination will be posted on May 24, 2019.
8. The public review period for the staff preliminary findings and determination is from May 24, 2019 to June 3, 2019.
9. The final findings and determination for the special review is anticipated to be posted on June 4, 2019 and the appeal period will be from June 4, 2019 to June 24, 2019.
10. If the special review is approved, the applicant will proceed to the submittal of the final civil construction plans, followed by site work permit and building permit applications.

IX. FINDINGS AND ANALYSIS

The Municipal Code Title 18 references below relate to the code that was in effect at the time of the submittal of the application that is the subject of this report. Title 18 has been amended since the time of the application submittal, and thus the section numbers and associated text below do not relate to the current Municipal Code Title 18.

Finding 1. *That the proposed special review use meets the purposes set forth in Section 18.04.010 of the Loveland Municipal Code.*

The proposed development of and RV storage business on the subject property will meet the purposes set forth in the Loveland Municipal Code. Unsafe or unhealthy conditions are not

anticipated to be created by the development of the proposed storage business, and the health and welfare of area residents and business owners should not be negatively impacted.

Finding 2. *That the effects of the proposed special review use on the surrounding neighborhood and the public in general will be ameliorated.*

The effects of this use on the surrounding property owners will be lessened through the site layout, landscaping, and screening of the project. An existing six foot privacy fence that provides screening between the subject property and the adjacent mobile home park to the west will be preserved, with additional trees planted along the west property line to partially screen the property to a height taller than the fence. Sidewalk will be added along 57th Street on the south side of the development, and new sidewalk will replace an existing informal asphalt path along Garfield Avenue (Highway 287) on the east side of the development. Landscape bufferyards containing a combination of deciduous trees, evergreen trees, ornamental trees, and shrubs are situated along the north, south, and east property lines, limiting potential impacts of the use to surrounding areas. Higher-quality architectural design than would commonly be included with storage facilities has been required of all building elevations visible from public streets in order to maintain the existing commercial character of Garfield Avenue.

Customers of the business will be required to enter and exit at the northwest corner of the property, accessing this entrance point through an existing drive in the Peakview Commercial Park to the north. There is an established access easement on this drive. While there is a curb cut onto the property off of 57th Street, it is designated for emergency access only, which will be enforced with a locked gate.

Finding 3. *That in assessing the potential effects of the proposed special review use, at a minimum, the following matters have been considered:*

3a. *Type, size, amount, and placement of landscaping;*

The landscape plan includes the required bufferyards along all property lines, including the required street trees along the two adjacent public streets. Certain leniencies to landscape standards have been sought by the applicant, and are supported by staff, due to the presence of the screening fence along the west property line and the presence of utilities along the south and east property line. The purpose of the bufferyard standards are still met with the proposed plan.

3b. *Height, size, placement, and number of signs;*

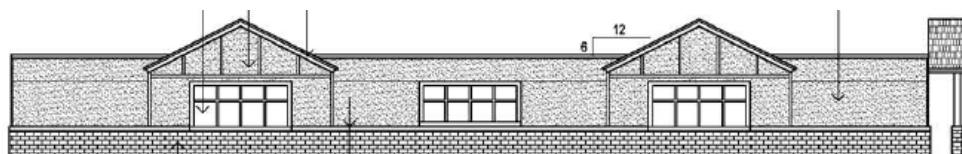
The applicant has not submitted signage information with the special review. Signage will be reviewed at the time of the submittal of a sign permit application, and must meet all code requirements for signage.

3c. Use, location, number, height, size, architectural design, materials, and colors of buildings;

The use, location, number, height, and size of the buildings should not have a negative impact on the neighborhood. The commercial architectural standards of the Municipal Code are met with the elevations that face public streets. These standards require exterior wall articulation, changes in roof line, inclusion of building openings, and inclusion of features providing architectural detail. Of note, the street-facing elevations will include dormers and spandrel glazed storefront windows, and there will be a tower-style element at the end of one of the buildings. The office will include a covered area outside the main door.



Garfield Ave Elevation



North Elevation



57th Street Elevation of building nearest Garfield Ave

The materials will include a CMU wainscot base, stucco walls, and shingle roofing. The colors will be neutral tones of beige, green and dark red. The overhead doors will be metal of a color matching the stucco walls.



3d. Configuration and placement of vehicular and pedestrian access and circulation;

Immediately to the north of the subject property is a detention area for the adjacent Peakview Commercial Park, and to the north of it is an existing right in/right out driveway serving Peakview. The driveway has an access easement extending to the northwest corner of the subject property, and visitors to the subject property will utilize this access point. Interior to the development will be three long north-south drive lanes accessing the storage units, with shorter east-west drive lane connecting these.

Public sidewalk will be provided along both 57th Street and Garfield Avenue (Highway 287).

3e. Amount and configuration of parking;

The Municipal Code requires one off-street parking space per 300 sq ft of office area plus 1 for every employee. The on-site office, situated just inside the entrance point at the northwest portion of the subject property, is 300 sq ft in size, and the required 2 parking spaces (one of which is accessible) is provided. For storage facilities, customers generally park in front of their unit when they need to park a vehicle. Four bicycle parking spaces are also provided near the office.

3f. Amount, placement, and intensity of lighting;

A photometric plan meeting the standards of the code has been submitted. There will be two pole-mounted full cut-off lights near west side of the property and one pole-

mounted light, full cut-off near the southeast side of the property. Wall-mounted lights will be on any sides of building that contain overhead doors.

3g. *Hours of operation;*

The on-site manager will generally keep office hours. However, customers will have key codes that will enable them to access the property at any time. It is not anticipated that there will be extensive interest in overnight access by customers.

3h. *Emissions of noise, dust fumes, glare and other pollutants.*

Traffic noise is not expected to be problematic, as uses of this nature do not generate a large amount of traffic. A noise study demonstrating an anticipated ability to meet the city's noise standards has been submitted. The potential for dust fumes, glare and other pollutants from vehicles on the site should be alleviated by the privacy fence and landscape bufferyards.

Finding 4. *Except as may be varied in accordance with this special review permit, the special review site plan conforms to the restrictions and regulations set forth in the Loveland Municipal Code for the zoning district in which the special review use is located.*

The proposed special review meets this finding. The site plan meets the requirements of the B-Developing district with the exception of the north (side yard) setback. Through the special review, the applicant is requesting a 15 ft north setback instead of the conventionally required 25 ft setback. The adjacent neighbor, the owner and developer of the Peakview Commercial Development, has submitted a letter of no objection to the reduced setback. Given that the immediately adjacent property is a detention facility, staff does not object to the reduced setback at this location. The civil construction plans submitted with the special review are still undergoing staff review for compliance with all code requirements, which are anticipated to be able to be met.

Finding 5. *The special review site plan meets the requirements set forth in the Section 16.41 – Adequate Community Services – of the Loveland Municipal code.*

Transportation: Staff believes that this finding can be met, due to the following:

- A Traffic Impact Study (TIS), prepared by Harris Kocher Smith, has been submitted with the Big Horn RV Storage Special Review/Site Development Plan (SDP) and Public Improvement Construction Plans (PICP) which demonstrates that the existing and proposed transportation system, can adequately serve the proposal.
- Access to the development will be provided at the northwest corner of the development which leads to a right-in/right-out access on US-287 via private streets. A secondary emergency only access will be provided on 57th Street.
- The TIS has demonstrated that all of the proposed accesses, street connections and intersections comply with LCUASS standards and meet the City's Adequate

Community Facilities (ACF) requirements.

- The proposed RV storage development is estimated to generate approximately 178 average daily trips (ADT), 13 weekday AM peak hour trips, and 18 weekday PM peak hour trips.
- In conclusion, the development of the subject property pursuant to any of the uses permitted by right under the zoning district will not adversely impact any existing City infrastructure. A positive determination of adequacy for transportation facilities for the proposed application has been made under the provisions of paragraph i, above.

Fire: Staff believes that this finding can be met, due on the following:

- The development site will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.
- The Bighorn RV Storage development will not negatively impact fire protection for the subject development or surrounding properties.

Water/Wastewater: This development is situated within the City's current service area for both water and wastewater. The existing duplex currently has City of Loveland water and wastewater service. Staff believes that this finding can be met, due to the following:

- The proposed development will not negatively impact City water and wastewater facilities.
- The proposed public facilities and services are adequate and consistent with the City's utility planning and provides for efficient and cost-effective delivery of City water and wastewater service.

Stormwater: Staff believes that this finding can be met, due to the following:

- This special review site plan complies with the Adequate Community Services ordinance outlined in the Loveland Municipal Code.

Power: This development is situated within the City's current service area for power. Staff believes that this finding can be met, due to the following:

- The proposed development will not negatively impact City power facilities.
- The proposed public facilities and services are adequate and consistent with the City's utility planning and provides for efficient and cost-effective delivery of City power.

X. CONDITIONS OF APPROVAL

Transportation

1. All public improvements shall comply with the Larimer County Urban Area Street Standards (LCUASS).
2. The developer agrees to acquire and dedicate, at no cost to the City, any rights-of-way necessary for the required street improvements associated with this development.

3. Prior to the issuance of any building permits within the Big Horn First Addition Big Horn/Loveland RV Storage, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct the following public improvements unless already designed and constructed by others:

a) All adjacent street improvements on 57th Street to the 4-lane arterial standard including pavement widening, bike lane, curb & gutter and detached sidewalk as shown on the City approved Public Improvement Construction Plans titled Big Horn/Loveland RV Storage prepared by Harris Kocher Smith.

b) All public sidewalk improvements along US-287 as shown on the City approved Public Improvement Construction Plans titled Big Horn/Loveland RV Storage prepared by Harris Kocher Smith.

4. Prior to the issuance of any building permits within the Big Horn First Addition Big Horn/Loveland RV Storage, the Developer shall provide a cash-in-lieu payment to the City for the widening of pavement and new curb & gutter along the adjacent frontage of US-287 for the construction of a bike lane in the future. The cash-in-lieu amount will be determined by the City Public Works Engineering Division based on current construction and material unit costs.

5. City signed Site Development Plans (including any associated Public Improvement Construction Plans), or the issuance of building permits, does not allow any construction within public street or alley rights-of-way or pedestrian easements. A separate City Development Construction Permit or Street right-of-way (ROW) Work Permit must be obtained by the Developer and/or his Contractor at the City Project Engineering office (and approved by Project Engineering) prior to any repair or construction of sidewalk, curb and gutter, driveway accesses, or any other construction in City street or alley rights-of-way or pedestrian easements, (this includes all items proposed in rights-of-way such as utility street cuts, sidewalk ramps, construction staging proposed in street, landscaping, traffic control, etc.). (Call 970-962-2510 to discuss details to obtain a ROW Work Permit).

6. All trees, shrubs, and other plant materials located within clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of the Larimer County Urban Area Street Standards (LCUASS). Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet and shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity. Trees are also required to be kept limbed up a minimum of 8' above all street sidewalks.

Planning

1. Before issuance of a Certificate of Occupancy by the city, the Developer shall install all landscape as shown on the approved landscape plans, unless financial security is filed by the Developer with the city to assure installation at a later date acceptable to the city.

I. EXECUTIVE SUMMARY

Bighorn Loveland, LLC is proposing to develop the vacant property in the northwest corner of US 287 and E 57th Street located in the City of Loveland, CO into a recreational vehicle (RV) storage development of approximately 5 acres tentatively named "Loveland RV Storage".

The proposed project is projected to generate 178 daily vehicle trips of which 13 are projected to be generated during the AM peak hour and 18 are projected to be generated during the PM peak hour.

Access to the project is proposed to be gained by accessing the existing stub-ended commercial access road at the northwest corner of the property with ultimate connectivity with US 287 through an existing RIRO intersection just south of Schwab Tire.

The results of the analysis of intersections affected by this development are as follows:

1. The existing Schwab Tire right-in/right-out intersection on US 287 is projected to continue operate with acceptable operations through 2037.
2. The US 287 and E 57th Street intersection will experience negligible effects from the addition of the traffic from the RV Storage development.

Therefore, based on the analyses contained in this traffic study, it is concluded that the study-area roadway system can accommodate the proposed Loveland RV Storage development with the recommended access improvements with negligible impact on the study-area roadway system.

II. INTRODUCTION

A. Project Overview

Bighorn Loveland, LLC is proposing to develop the vacant property in the northwest corner of US 287 and E 57th Street located in the City of Loveland, CO into a recreational vehicle (RV) storage development of approximately 5 acres named “Loveland RV Storage”.

The parcel is currently undeveloped. The rectangular-shaped property is bounded on the north by a tire store named Les Schwab Tires, on the east by US 287, on the south by E 57th Street, and on the west by mobile home single-family residential.

Access to the project is proposed to be gained by accessing the existing stub-ended commercial access road at the northwest corner of the property with ultimate connectivity with US 287 through an existing RIRO intersection. Also, a chained access point on E 57th Street will be constructed for emergency access only.

See Figure 2 for a graphical representation of the proposed access point.

B. Purpose of Study

The purpose of this study is to evaluate the impact of the vehicular trips projected to be generated by the proposed Loveland RV Storage development on the nearby intersections and roadway system. The study includes 2017, 2019 (year of anticipated build-out), and 2037 (long-range horizon year) analysis horizons.

B. Study Area

The study area encompasses the existing roadway system in the vicinity of the project site. Specifically, the following existing intersections will receive traffic from the project and therefore were evaluated:

- US 287 and Schwab Tires RIRO
- US 287 and E 57th Street

See Figures 1 and 2 for a graphical representation of the general area of the Loveland RV Storage project and the proposed site plan, respectively.

III. EXISTING CONDITIONS

A. Existing Traffic Volumes

Existing (2017) peak-hour intersection turning-movement traffic-volume counts were collected for this study at the following intersections in February, 2017:

- US 287 and Schwab Tires RIRO
- US 287 and E 57th Street

A summary of the existing (2017) peak-hour intersection turning-movement traffic volume counts is graphically illustrated in Figure 3. Detailed traffic-volume-count data are provided in Appendix "A".

B. Existing Roadway System

The existing transportation network in the vicinity of the subject property is graphically illustrated in Figure 1. The following narrative provides a description of the study-area roadways and associated intersections as they exist in 2017:

Study Area Roadways:

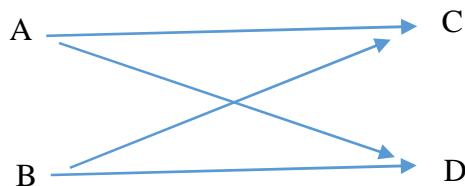
- US 287 is classified as a 4-Lane Arterial in the City of Loveland Transportation Plan. It consists of two travel lanes in each direction with curb-and-gutter on the east and west sides. There are separate left and right turn lanes at major intersections.. The posted speed limit is 55 mph. It is projected to be a six-lane arterial in 2037.
- East 57th Street is classified as a 4-Lane Arterial in the City of Loveland Transportation Plan. It consists of one travel lane in each direction with curb-and-gutter on the north and south sides. There are separate left and right turn lanes at major intersections.. The posted speed limit is 35 mph. It is projected to be a four-lane arterial in 2037.



for two cycle lengths, not the empirical value. The observed value can be found using SimTraffic. The simulation was run for an average of five arrival scenarios over a 60-minute period vs. the two cycle lengths in Synchro. The Queuing and Blocking report for the worst case shows a Maximum Observed Queue of 204 feet on the inside lane and 242 feet on the outside lane. This demonstrates that the reduction in the storage length is acceptable even in the worst case scenario.

Weaving Distance

The distance between the 3/4 movement access and the right in only access is approximately 450 feet. The City staff requested an analysis of the “weaving” of the exiting vehicles from the 3/4 movement and the entering vehicles to the right in only access. Unfortunately, though, no methodology is available in the HCM 2010 to determine the level of service characteristics of a weave section on an arterial highway. If this were a freeway, it would be considered an A type as shown below. This type of weave can be analyzed using the HCS Software.



For the HCS analysis, the following volumes were assumed from the right turn entry volume into the commercial of very conservative 200 vph and an eastbound right turn volume of approximately 200 vph.

- A to C 2100 vph
- B to D 0 vph
- B to C 82 vph
- A to D 68 vph

The weave encompasses three lanes and the travel speed was set at 45 mph. The results indicate that the weave section will operate at LOS B with a mean speed of 35.79 mph and density of 14.55 pc/mi/ln. The HCS report does not print well. It is available for reference from ATC on request.

PEDESTRIAN and BICYCLE IMPACT EVALUATIONS

Presently there are no pedestrian or bicycle facilities on site. Nor are there any on the adjacent properties. They will be installed on the site and along US-287 per Loveland and LCUASS standards.

MITIGATION MEASURES

None are required to meet the ACF requirements.

CONCLUSIONS and RECOMMENDED IMPROVEMENTS SUMMARY

The study and operations analyses contained herein provides sufficient evidence that the recommended access locations and type will function within acceptable traffic engineering parameters promulgated by FHWA, AASHTO, MUTCD, CDOT, and LCUASS. The access locations and type are essential for safe and smooth transitions on and off the highway and to reduce to the greatest extent unnecessary on-site circulation.



57th St. Access

Although Loveland has agreed to a 3/4 movement on 57th St., the analysis shows that a full-movement with a westbound left turn in movement, will function safely and would reduce traffic turning left at US-287 and left again at the 3/4 movement access on US-287. The northbound left turn out will operate at LOS F in the 2021 and 2036 PM Peak Hour conditions. However, the LOS F is acceptable and normal for unsignalized intersections. Also, LOS F is ACF compliant at unsignalized intersections. A variance will be required for the intersection spacing from US-287.

3/4 Movement Access on US-287

This intersection will be located at the southern end of the property and will be shared with the adjacent property owner. The potential trip generation from redevelopment of the adjacent property was included in the trip generation worksheet. The southbound left turn will be created by restriping the existing painted median. Traffic islands will be installed similar to the Wal-Mart entrance on 64th St. They will prohibit the left turn out movement. The critical southbound left turn will function at an acceptable LOS and is ACF compliant.

Right Turn Only Access on US-287

This access located 500 feet south of 57th St. is essential for reasonable access to the lots on the north end of the property. The access will operate very efficiently in all conditions. Note that HCM 2010 does not analyze intersections without a stop condition. The location meets CDOT criteria for spacing, however it will require a variance to the LCUASS spacing standards.

Acceleration and Deceleration Lanes

On US-287 a continuous accel/decel lane will be included for both access locations. The lane will be constructed to CDOT standards. Most of the present shoulder lane can be used for the continuous accel/decel lane. On 57th St., Loveland has recommended a right turn deceleration lane. The analysis shows that it is not warranted. The maximum right turn in peak hour volume is 15. At 35 mph and an approach leg is over 500 vph requires a right turn lane when the right turn in volume exceeds 40 vph. See Figure 8-4 in LCUASS.

Bike Lanes and Sidewalks

A 7' bike lane will be installed on US-287 frontage per Loveland standards. A detached sidewalk will be constructed as well.

ADEQUACY STATEMENT

In my professional opinion, the transportation facilities will be adequate and available to serve the proposed development within one year of the full build out of the project and that it meets or exceeds the applicable adopted level of service provided in Section 4.5 of the LCUASS standards. Per Title 16.41.110 of the Loveland Municipal Code, the proposed development will adhere to one or all the provisions defined in Paragraphs A through E.

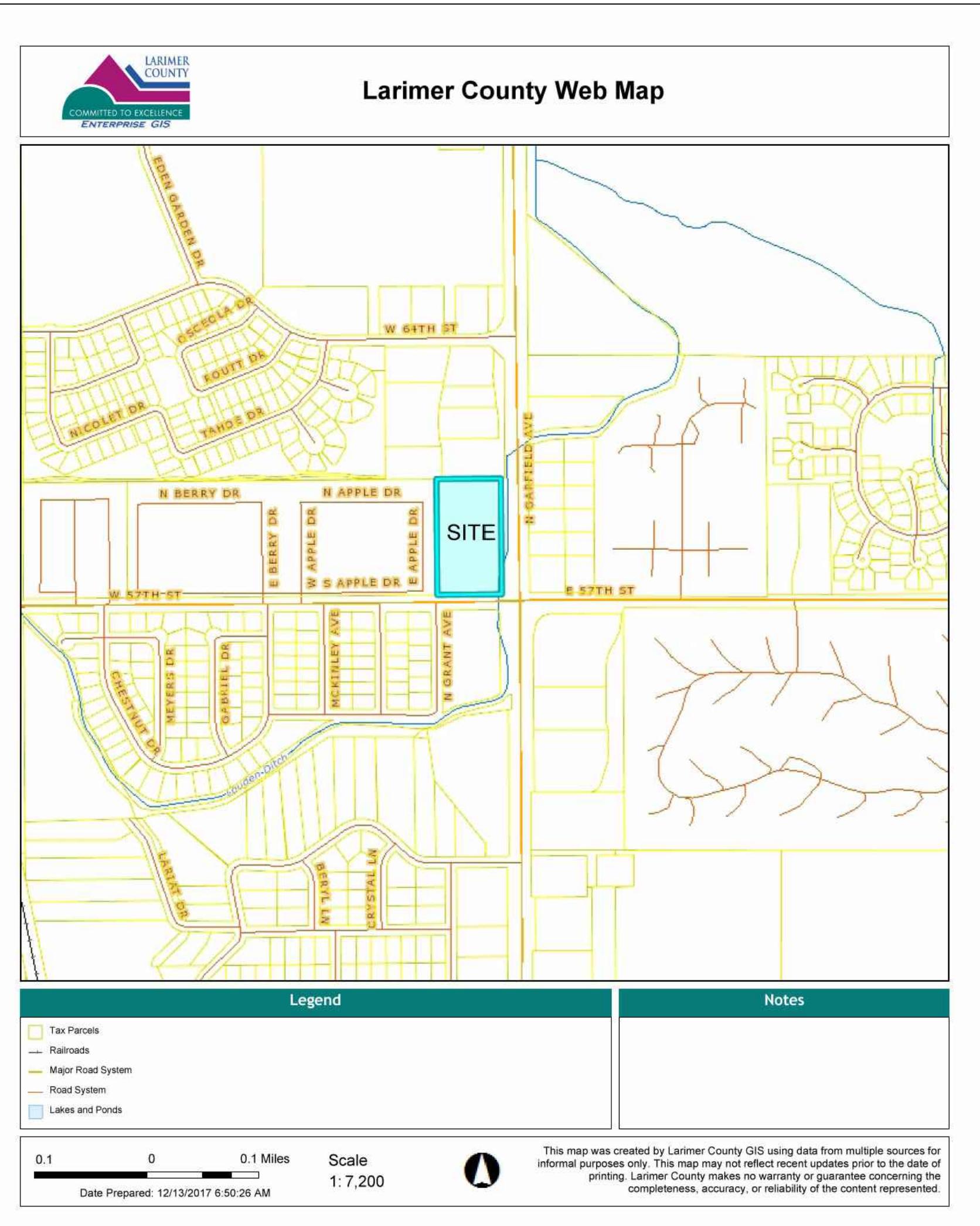
SITE DATA	
ZONING	B
SITE ACREAGE	5.02 Acres
LAND USE	INDOOR STORAGE
BUILDINGS SQUARE FOOTAGE	79,592 sq. ft. Total Foot Print
BUILDING OCCUPANCY	Group S-1
TYPE OF CONSTRUCTION	11-B
PARKING SPACES REQUIRED	Standard Spaces 1 Handicap Spaces 1/25 1 OFFICE=300 Sq Ft 1 1 SPACE/300=1 4
LANDSCAPING/ OPEN SPACE	51,562 sq.ft. = 23.57% of site
PAVING	87,517 sq.ft. = 40.03% of site
BUILDINGS	79,592 sq.ft. = 36.40% of site
TOTAL	218,671.2 sq ft =100% of site

BIGHORN RV STORAGE LLC

USE BY SPECIAL REVIEW/SITE DEVELOPMENT PLAN

BIGHORN FIRST ADDITION

SITUATED IN THE SOUTHEAST 1/4 SECTION 26, TOWNSHIP 6 NORTH, RANGE 69, WEST OF THE 6TH P.M.



CITY OF LOVELAND VICINITY MAP

NOT TO SCALE

OWNER/APPLICANT/DEVELOPER:

BIGHORN LOVELAND LLC
 CDM Properties
 13 Corporate Plaza Dr
 Newport Beach, CA
 (949) 632-3848

PLANNER

PLANSCAPES
 980 NORWAY MAPLE DRIVE
 LOVELAND, CO 80538
 (970)-988-5301

ENGINEER/SURVEYOR:

Horris, Kocher Smith
 1120 Lincoln Street Suite 1000
 Denver Colorado
 (303) 623-6300

ARCHITECT

Sy-Bazz Architecture
 1615 California Street #210
 Denver Colorado 80202
 (303) 300-6898

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CONDITIONS

PW-Transportation:

1. All public improvements shall comply with the Larimer County Urban Area Street Standards (LCUASS).
2. The developer agrees to acquire and dedicate, at no cost to the City, any rights-of-way necessary for the required street improvements associated with this development.
3. Prior to the issuance of any building permits within the Big Horn First Addition Big Horn/Loveland RV Storage, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct the following public improvements unless already designed and constructed by others:
 - a) All adjacent street improvements on 57th Street to the 4-lane arterial standard including pavement widening, bike lane, curb & gutter and detached sidewalk as shown on the City approved Public Improvement Construction Plans titled Big Horn/Loveland RV Storage prepared by Harris Kocher Smith.
 - b) All public sidewalk improvements along US-287 as shown on the City approved Public Improvement Construction Plans titled Big Horn/Loveland RV Storage prepared by Harris Kocher Smith.
4. Prior to the issuance of any building permits within the Big Horn First Addition Big Horn/Loveland RV Storage, the Developer shall provide a cash-in-lieu payment to the City for the widening of pavement and new curb & gutter along the adjacent frontage of US-287 for the construction of a bike lane in the future. The cash-in-lieu amount will be determined by the City Public Works Engineering Division based on current construction and material unit costs.
5. City signed Site Development Plans (including any associated Public Improvement Construction Plans), or the issuance of building permits, does not allow any construction within public street or alley rights-of-way or pedestrian easements. A separate City Development Construction Permit or Street right-of-way (ROW) Work Permit must be obtained by the Developer and/or his Contractor at the City Project Engineering office (and approved by Project Engineering) prior to any repair or construction of sidewalk, curb and gutter, driveway accesses, or any other construction in City street or alley rights-of-way or pedestrian easements, (this includes all items proposed in rights-of-way such as utility street cuts, sidewalk ramps, construction staging proposed in street, landscaping, traffic control, etc.). (Call 970-962-2510 to discuss details to obtain a ROW Work Permit).
6. All trees, shrubs, and other plant materials located within clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of the Larimer County Urban Area Street Standards (LCUASS). Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet and shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity. Trees are also required to be kept limbed up a minimum of 8' above all street sidewalks.

Water/Wastewater:

1. The Owner shall provide the City Water/Wastewater Division the gate access code and a 24 hour contact phone number prior to Building Permit Certificate of Occupancy.

SPECIAL REVIEW OWNER'S CERTIFICATION AND SIGNATURE BLOCKS

Property Owner

The undersigned agree that the real property described in the application for Special Review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto. The undersigned also understands that if construction of all improvements is not completed and if the Special Review uses are not established within three years of the date of approval, or other completions date or dates established in a development agreement approved by the City, the City may take an action to declare the permit and Special Review Plans abandoned and null and void.

STATE OF COLORADO)
) ss COUNTY OF LARIMER
)

The foregoing agreement was acknowledged before me this _____ day of _____, 20____, by _____ . Witness my hand

and official seal.

My commission expires _____

Notary Public

Current Planning Manager Approval Certificate

This Special Review is approved, subject to all conditions set forth hereon, by the Current Planning Manager of the City of Loveland, Larimer County, Colorado, this _____ day of _____, 20_____.

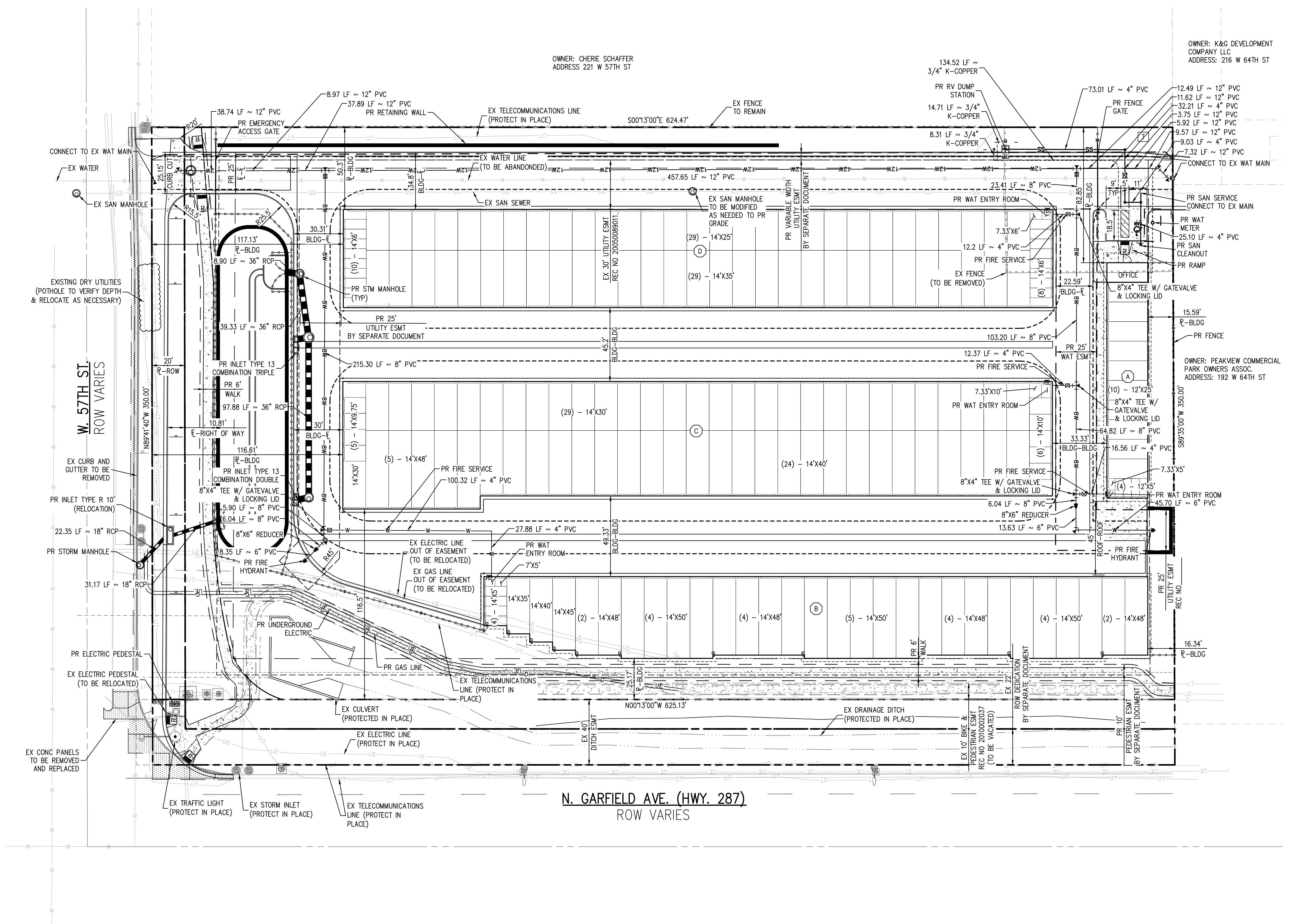
Current Planning Manager

BIGHORN RV STORAGE LLC
BIGHORN RV STORAGE
SITE DEVELOPMENT PLAN

LOVELAND

COVER SHEET

DATE 07/24/2018
 JOB NO.
 DRAWN RM
 CHECKED RM
 REVISED 11/14/2018
 03/06/2019



Know what's below.
Call before you dig.

NOTED: MC
**CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES**

0 0
SCALE: 1" = 30'
DESIGNED BY: JMN
CHECKED BY: MSM
APRIL 2014



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

BIGHORN LOVELAND LLC

USE BY SPECIAL REVIEW OVERALL SITE PLAN

ISSUE DATE: 07/03/2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11/12/2018	PER CITY OF LOVELAND COMMENTS
02/25/2019	PER CITY OF LOVELAND COMMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO.
2



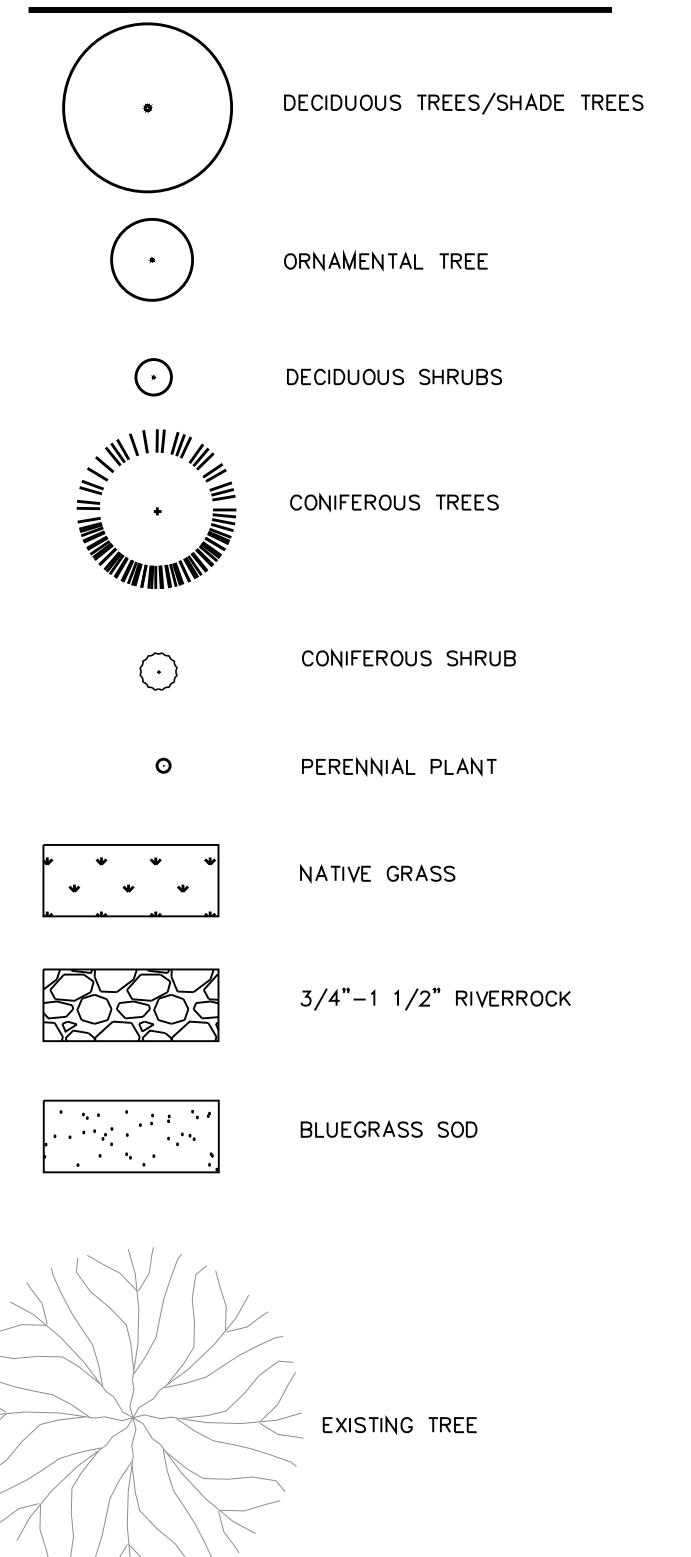
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
DECIDUOUS TREES					
GTS	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Locust	2" cal	B+B	4
GD	<i>Gymnocladus dioicus</i>	Kentucky Coffee Tree	2" cal	B+B	5
GTK	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Locust	2" cal	B+B	4
TAR	<i>Tilia americana</i> 'Greenspire'	Greenspire Linden	2" cal	B+B	4
QR	<i>Quercus robur</i>	English Oak	2" cal	B+B	3
AFA	<i>Acer x freemannii</i> 'Autumn Blaze'	Autumn Blaze Maple	2" cal	B+B	8
CO	<i>Celtis occidentalis</i>	Western Hackberry	2" cal	B+B	9
APC	<i>Acer platanoides</i> 'Columnar'	Columnar Norway Maple	2" cal	B+B	6
QRF	<i>Quercus Robur</i> 'Crimson Spire'	Crimson Spire Columnar Oak	2" cal	B+B	4
ORNAMENTAL TREES					
AGA	<i>Amelanchier alnifolia</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" cal.	B+B	5
CCI	<i>Crataegus crus-galli</i> inermis	Thornless Cockspur Hawthorn	1.5" cal.	B+B	12
CC	<i>Cercis canadensis</i>	Eastern Redbud	1.5" cal.	B+B	3
MSS	<i>Malus</i> Spring Snow	Spring Snow Crab	1.5" cal.	B+B	4
CBC	<i>Carpinus betulus</i> 'Columnaris'	European Columnar Hornbeam	1.5" cal.	B+B	8
PCA	<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Pear	1.5" cal.	B+B	8
EVERGREEN TREES					
PPFG	<i>Picea pungens</i> 'Fastigiata'	Columnar Blue Spruce	6' ht.	B+B	12
PPG	<i>Picea pungens</i> glauca	Colorado Blue Spruce	6' ht.	B+B	3
PN	<i>Pinus nigra</i>	Austrian Pine	6' ht.	B+B	6
JVS	<i>Juniperus virginiana</i> 'Skyrocket'	Skyrocket Juniper	5 gal.	6' o.c.	1
EVERGREEN SHRUBS					
JSB	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	5 gal.	4' o.c.	35
PMP	<i>Pinus mugo</i> 'Pumilo'	Dwarf Mugo Pine	5 gal.	4' o.c.	4
JHBC	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	5 gal.	5' o.c.	80
JSC	<i>Juniperus sabina</i> 'Calgary Carpet'	Calgary Carpet Juniper	5 gal.	5' o.c.	43
DECIDUOUS SHRUBS					
BTC	<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	5 gal.	5' o.c.	50
SJN	<i>Spiraea japonica</i> "Neon Flash"	Neon Flash Spirea	5 gal.	3' o.c.	0
EAC	<i>Euonymus alata</i> 'Compacta'	Dwarf Burning Bush	5 gal.	3' o.c.	13
SMP	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	5 gal.	4' o.c.	10
SV	<i>Syringa vulgaris</i>	Albert Holden Lilac	5 gal.	8' o.c.	23
PFK	<i>Potentilla fruticosa</i> 'Kathryn Dykes'	Kathryn Dykes Potentilla	5 gal.	3' o.c.	8
CDC	<i>Cotoneaster dammeri</i> 'Coral Beauty'	Coral Beauty Cotoneaster	5 gal.	5' o.c.	18
PFG	<i>Potentilla fruticosa</i> 'Gold Drop'	Gold Drop Potentilla	5 gal.	3' o.c.	78
SJP	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	5 gal.	3' o.c.	12
SxV	<i>Spiraea vanhouttei</i> 'Renaissance'	Vanhoutte Spirea	5 gal.	6 o.c.	18

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

NOTE: SHORT GRASS PRAIRIE NATIVE SEED
MIXTURE. THIS MIXTURE IS TO BE
USED BETWEEN OCTOBER 15th AND March 30TH
ONLY AT A RATE OF 30-75 PLS/LBS/ACRE

LANDSCAPE LEGEND



BIGHORN RV STORAGE SITE DEVELOPMENT PLAN

COLORADO

LANDSCAPE PLAN

This detailed architectural site plan illustrates the layout of Lot 3, Block 1, Peakview Commercial First Subdivision. The plan shows the property boundaries and various easements and utility lines. Key features include:

- Properties:** STEELE FAMILY, LLP (OWNER: K DEVELOPMENT COMPANY) at 221 W 57TH ST and K DEVELOPMENT COMPANY at 264TH S.
- Utilities:** PR RV DUMP STATION, EX SAN SEWER, EX SAN MANHOLE, PR STORM MANHOLE (TYP), PR 25' UTILITY ESMT, PR STORM INLET TYPE 13 COMBINATION TRIPLE, PR FIRE HYDRANT, EX TELECOMMUNICATIONS LINE (PROTECTED IN PLACE), and various utility poles and boxes.
- Landscaping:** RETAINING WALL, PROPERTY LINE, and various trees and shrubs.
- Structures:** HOUSE WITH SOLAR PANELS, GATE POST WROUGHT IRON SLIDING GATE/INOX BOX, FENCE PILLAR, IRRIGATION P.O.C., and utility buildings.
- Other:** ROW VARIES, GARFIELD AVE. (HWY. 287), and various property lines and easements.

The plan is annotated with numerous labels and codes, such as REC. NO. 20000086995, REC. NO. 2005008011, REC. NO. 20100020237, REC. NO. 2006006071, REC. NO. 2006007111, and REC. NO. 2006007111. It also includes a legend for symbols and a north arrow.

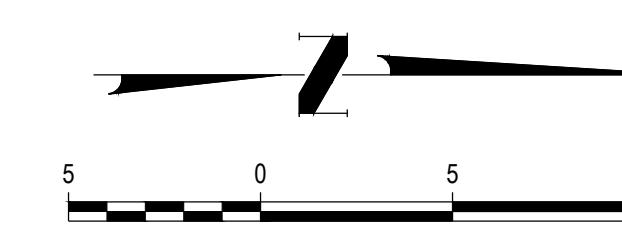
BUFFERYARD REQUIREMENTS

EAST Side Zoned HIGHWAY 287 - 600' Bufferyard D (Area restricted by ditch easement, utilities, and pedestrian path easement)					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER	PLANTS REQUIRED	PLANTS PROPOSED	
4- CANOPY TREES	25'	.8	20	20	
4 - ORNAMENTAL	25'	.8	20	20	
35 - SHRUBS	25'	.8	168	168	
3 - EVERGREEN TREES	25'	.8	15	15	

NORTH SIDE Empty Lot 300' Bufferyard A					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER	PLANTS REQUIRED	PLANTS PROPOSED	
1 - CANOPY TREES	15'	1.00	3	3	
1 - ORNAMENTAL	15'	1.00	3	3	
3 - SHRUBS	15'	1.00	9	11	

SOUTH SIDE MAJOR ATRTERIAL 57th STREET - 300' Bufferyard D (Area restricted by ditch easement and utilities and conc. culvert)					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER	PLANTS REQUIRED	PLANTS PROPOSED	
4- CANOPY TREES	15'	1.00	12	8	
4 - ORNAMENTAL	15'	1.00	12	11	
35 - SHRUBS	15'	1.00	105	96	
3 - EVERGREEN TREES	15'	1.00	9	7	

WEST SIDE MOBILE HOME PARK - 635' Bufferyard E (Area restricted by solar panel locations on neighboring property)					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER 6' PRIVACY FENCE	PLANTS REQUIRED	PLANTS PROPOSED	PLANTS EXISTING
5- CANOPY TREES	15'	1.25	40	16	10 LOCATED ALONG THE FENCE LINE ON BOTH SIDE OF PROPERTY LINE
6 - ORNAMENTAL	15'	1.25	47.7	6	
30 - SHRUBS	15'	1.25	239	126	
4 - EVERGREEN TREES	15'	1.25	31.8	3	1



GENERAL LANDSCAPE NOTES

1. All living plants required by the City of Loveland Site Development Performance Standards and Guidelines shall be maintained in a live and healthy state. Dead or unhealthy plants shall be immediately replaced with the size and type of plants required on the site development plan and by the City of Loveland Site Development Performance Standards and Guidelines
2. Scheduled sizes stated represent minimum caliper and height. Sizes provided may exceed minimum required, but in no event shall smaller plant material sizes be
3. Plant material shall be in accordance with ANA specifications for #1 grade.
4. The developer shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other construction does not preclude installation and maintenance of landscape elements on this plan.
5. Landscape areas, unless otherwise noted shall be irrigated with an automatic underground irrigation system.
6. No shrubs shall be planted within five feet (5') radius or trees within ten feet (10') of water meters, fire hydrants, or sanitary sewer manholes.
7. Existing permanent landscape disturbed or damaged by construction shall be restored to its original condition, prior to final acceptance.
8. Areas designated "turf" shall be sodded with a bluegrass blended sod, installed on a prepared soil subgrade.
9. Soil amendments (including organic matter and fertilizers) that are appropriate for the intended plant materials, design of the site and soil conditions should be selected and used. Soil should be tilled and amendments incorporated to a minimum depth of 6 inches. The following schedule specifies the minimum solid amendment requirements per 1000 square feet of landscape area:
 - Bluegrass and High-Water Plantings: 3 cubic yards
 - Shrubs, Peennials and Moderate to Low-Water Plantings: 2 cubic yards
 - Xeric and Very Low-Water Plantings (ie. Native Mixes): 1 cubic yard or comparable treatment
10. Rock and Bark mulch shall consist of 3" of material laid over stabilized weed barrier except in detention pond area
11. The property owner or business association will be responsible for the maintenance and upkeep of all landscaping on site and within the abutting rights-of-way.
12. Roll top edging shall be used between irrigated turf and mulch areas
13. Developer shall be responsible for all on-site landscaping.
14. Developer shall be responsible for providing irrigation for all landscaping.
15. All trees, shrubs, and other plant materials located within clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of the Larimer County Urban Area Street Standards (LCUASS). Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet and shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity. Trees are also required to be kept limbed up a minimum of 8' above all street sidewalks.
16. Non-irrigated Native Grass Shall be seeded and irrigated with temporary irrigation to establishment.
17. Underground utilities shall be located prior to installation of landscape. Plant material may be adjusted as to not conflict with utilities

OWNER

Bighorn Loveland, LLC
190 Newport Center Dr., #200
Newport Beach, CA 92660

LANDSCAPE ARCHITECT

Planscapes
980 Norway Maple Drive
Loveland, Colorado
970-988-5301

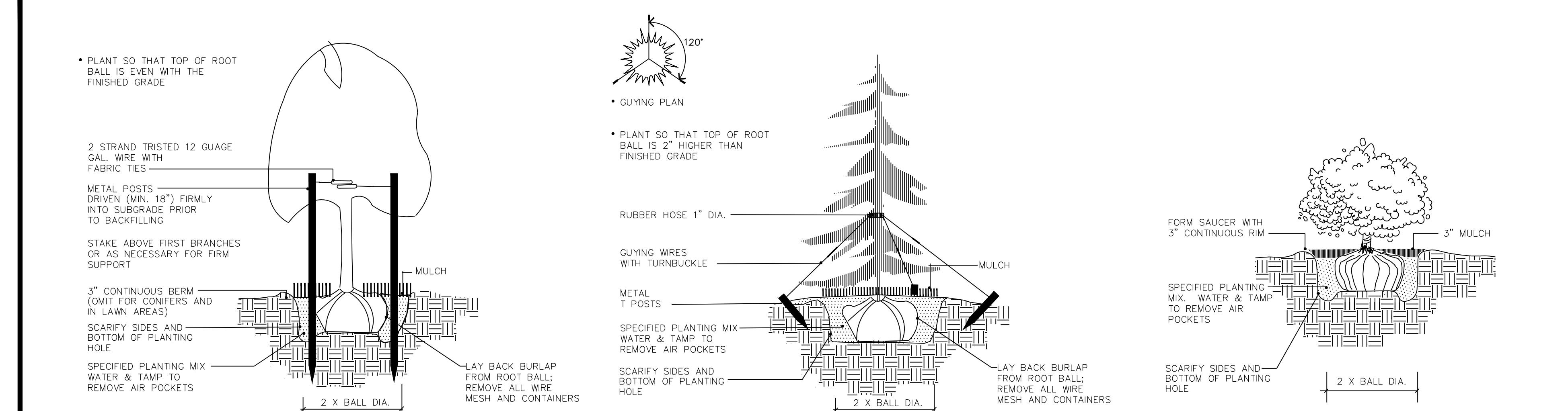
EN G I N E E R

Harris Kocher Smith
1120 Lincoln Street, Suite 100
Denver, Colorado 80203
(303)623-6300

BIGHORN RV STORAGE LLC
BIGHORN RV STORAGE
SITE DEVELOPMENT PLAN

COVELAND
COLORADO

LANDSCAPE DETAILS



A TREE PLANTING – VERTICAL STAKES

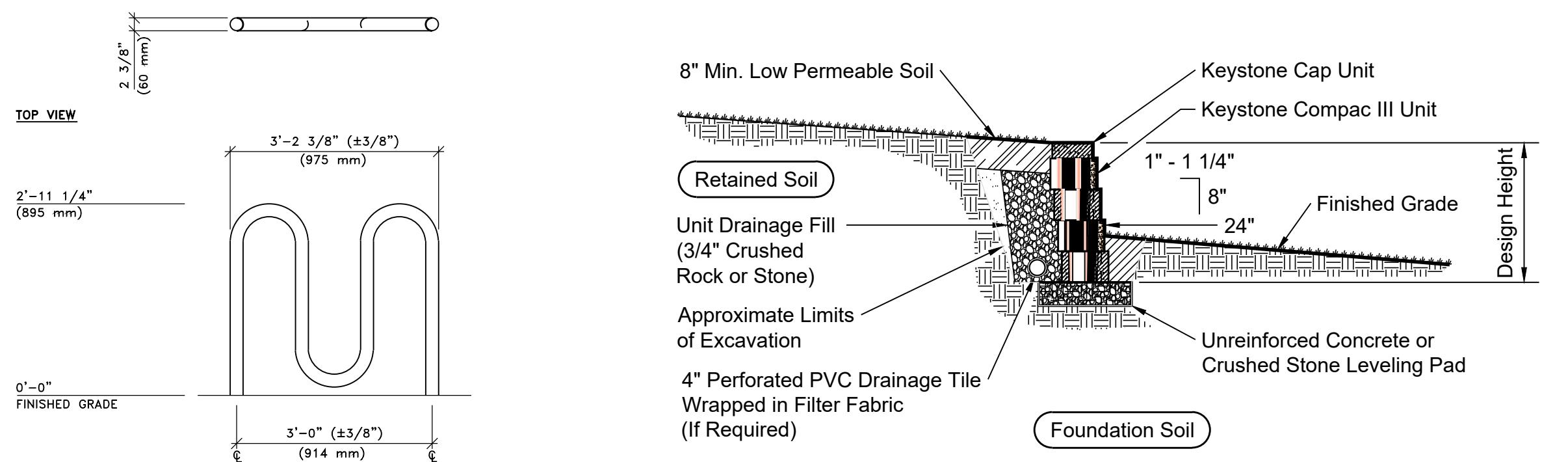
NOT TO SCALE

CONIFER TREE PLANTING – GUY WIRES



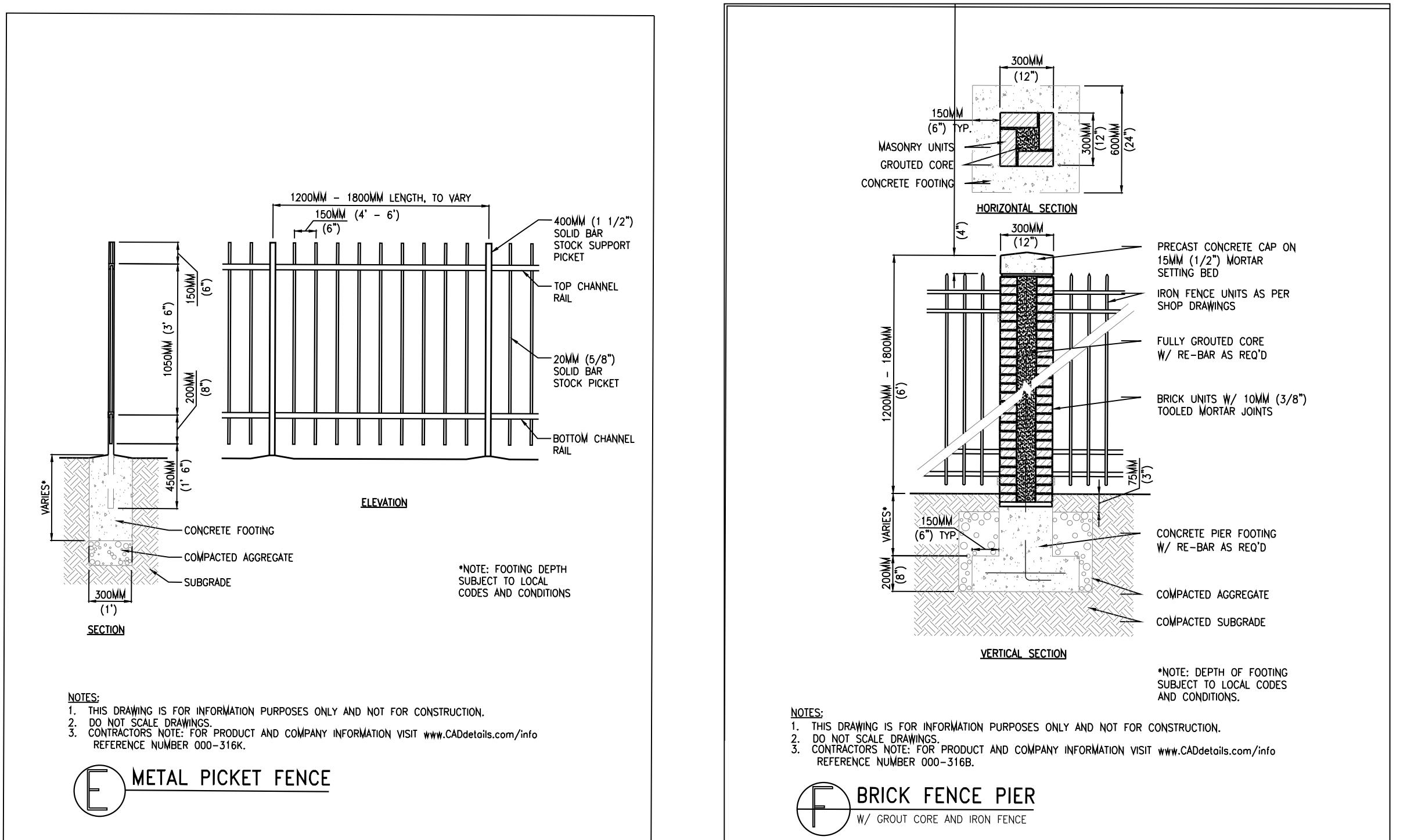
SHRUB PLANTING

NOT TO SCALE



D BIKE RACK

Typical Gravity Wall Section



REFERENCE NUMBER UUU-316K.

METAL PICKET FENCE

MAIN DRAWING (Top View):

- VEHICLE DETECTION LOOP:** Located on the left side of the gate opening.
- BOLLARD:** Located on the left side of the gate opening.
- SEE LOOP SIZING CHART BELOW:** Reference for loop dimensions.
- VEHICLE DETECTION LOOP:** Located on the right side of the gate opening.
- FLEX TYPE CONDUIT STUBBED INTO CATCH PORTAL SEE SHEET 5:** Located on the left side of the gate opening.
- PHOTOEYE CONDUIT - SEE SHEET 5:** Located on the right side of the gate opening.
- KINETIC GATE OPERATOR:** Located in the center of the gate opening.
- 202 [8] TO GATE IN OPEN POSITION:** Dimension from the bottom of the gate opening to the gate operator.
- 4000 TYP. [157] U max.:** Total height of the gate structure.
- D - NET GATE OPENING:** Total width of the gate opening.
- A:** Dimension from the bottom of the gate opening to the bottom of the bollard.
- B:** Dimension from the bottom of the gate opening to the bottom of the pedestal.
- C - MODELS 85 & 95 ONLY:** Dimension from the bottom of the gate opening to the bottom of the keypad.
- 25mm [1] CONDUIT KEYPAD / CARD READER PEDESTAL TO GATE CONTROLLER - BY OTHERS:** Conduit connection to the gate controller.
- KEYPAD / CARD READER PEDESTAL / BOLLARD LOCATIONS:** Suggested locations for the keypad and bollards.
- NOTE:** SUGGESTED PEDESTAL AND BOLLARDS LOCATIONS ARE SHOWN FOR REFERENCE ONLY. PEDESTALS AND BOLLARDS ARE SUPPLIED BY OTHERS UNLESS OTHERWISE SPECIFIED AT TIME OF ORDER.
- Ø356 [14] FOOTING x 1829 [72] DEPTH c/w 19 [3/4] CONDUIT FROM CONTROLLER STUB-UP LOCATION:** Conduit connection from the controller stub-up location.
- 25mm [1] CONDUIT KEYPAD / CARD READER PEDESTAL TO GATE CONTROLLER - BY OTHERS:** Conduit connection to the gate controller.
- Ø533 [21] STEEL REINFORCING RINGS SPACED @ 305 [12] O/C MAX. DOUBLE RINGS AT THE TOP:** Reinforcing rings for the concrete pile.
- 6 PCES. 15M REBAR VERTICALS:** Vertical rebar for the concrete pile.
- Ø610 [24]:** Diameter of the concrete pile.
- 1219 [48] PILE DEPTH:** Depth of the concrete pile.
- FACTOR PILE DEPTH SHOULD BE 1016 [40] BELOW FROST LINE:** Factor for pile depth.
- PILE IS CAST 30 [1.2] BELOW THE HIGHEST ELEVATION ALONG GATE TRAVEL. SEE SHEET 3 FOR MORE DETAILS:** Cast depth of the pile.
- NOTE:** REAR GATE REST PORTAL IS RECOMMENDED ONLY IF GATE SIZE IS EQUAL TO OR GREATER THAN 8.5m [335].

DETAIL C - CATCH PORTAL CONDUIT:

- CATCH PORTAL:** The portal where the gate opens.
- Ø610 [24] CONCRETE PILE - SEE DETAIL B:** The concrete pile supporting the portal.
- FLEX CONDUIT STUBBED INTO CATCH PORTAL FLANGE PLATE LOCATION:** The location where the flex conduit is stubbed into the catch portal flange plate.

DETAIL D - CONTROLLER CONDUIT:

- POWER / COMMUNICATION WIRING STUB-UP LOCATIONS USE FLEX TYPE CONDUIT:** The locations for power and communication wiring stub-up using flex type conduit.
- KINETIC GATE OPERATOR:** The operator mechanism for the gate.

Delta Model **D - NET OPENING [IN]** **LW - LOOP WIDTH [IN]**

30	2925 [115]	1524 [60]
40	3975 [157]	2438 [96]
50	4875 [192]	3658 [144]
60	5775 [227]	4572 [180]
70	7075 [279]	5486 [216]
85	8275 [341]	6401 [252]
95	9175 [376]	7315 [288]
120	12075 [475]	10058 [396]

Product must be installed in accordance with ASTM: F-2200 & UL325

WALLACE PERIMETER SECURITY
90 Lowson Crescent
Winnipeg, Manitoba, Canada, R3P 2H8
Phone: 1-866-300-1110
Fax: 1-204-284-1868
www.wallaceperimetersecurity.com

DETAIL B - CONCRETE PILE:

Ø533 [21] STEEL REINFORCING RINGS SPACED @ 305 [12] O/C MAX. DOUBLE RINGS AT THE TOP:

6 PCES. 15M REBAR VERTICALS:

Ø610 [24]:

1219 [48] PILE DEPTH:

FACTOR PILE DEPTH SHOULD BE 1016 [40] BELOW FROST LINE:

PILE IS CAST 30 [1.2] BELOW THE HIGHEST ELEVATION ALONG GATE TRAVEL. SEE SHEET 3 FOR MORE DETAILS:

NOTE: REAR GATE REST PORTAL IS RECOMMENDED ONLY IF GATE SIZE IS EQUAL TO OR GREATER THAN 8.5m [335].

Delta Gate Standard Dimensions Suggested Loop and Pedestal Locations:

Description: **Delta Gate Standard Dimensions Suggested Loop and Pedestal Locations**

Customer / Project Name: _____

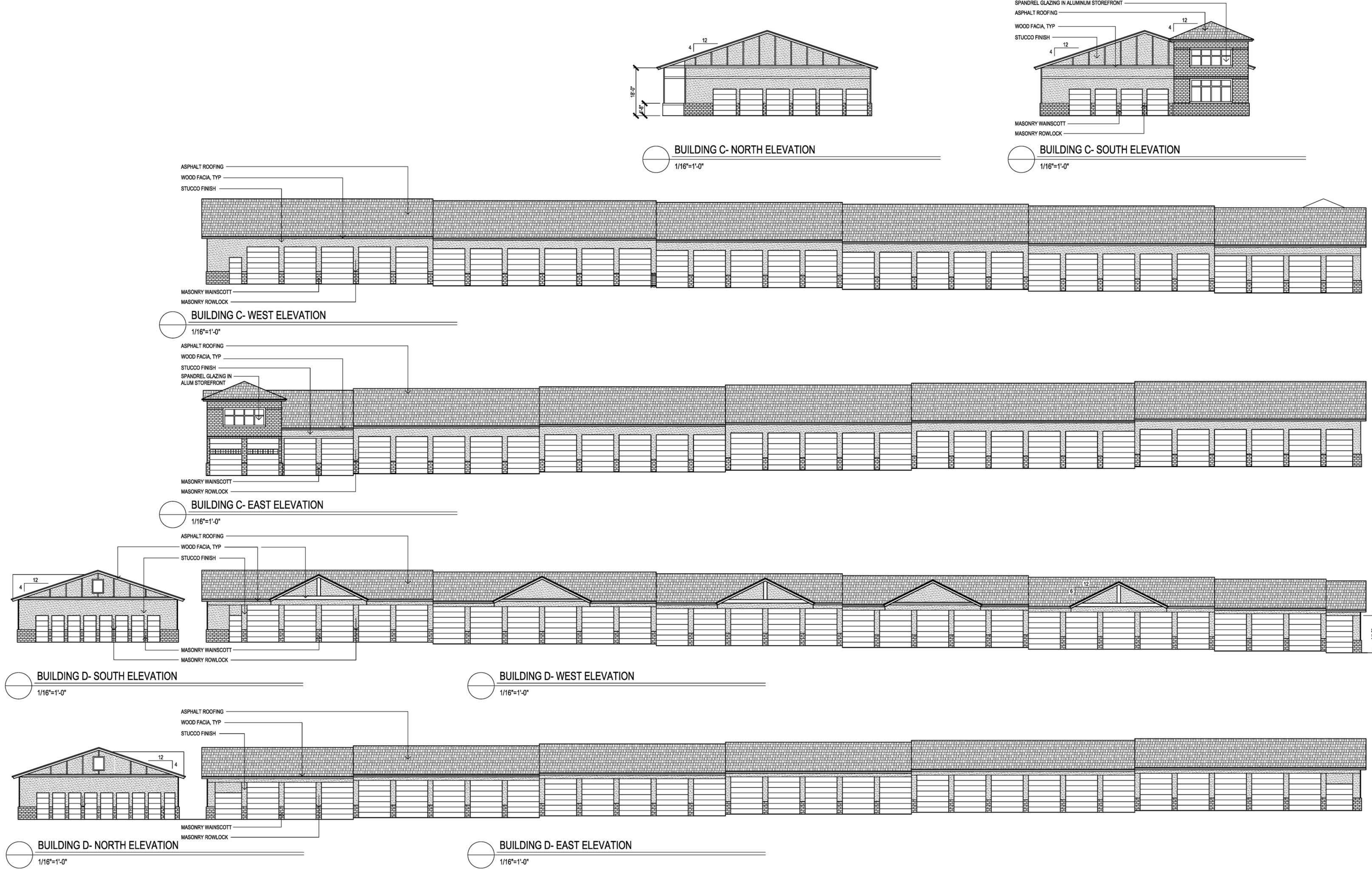
Finish: **SEE NOTES**

Date: **7/7/2017**

Drawing No. **Rev.** **Sheet:**

DELTA-07-07-17 **2 of 5**

Proposed Automatic Gate Model 70



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CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.

DESIGNED BY: DRAFTER
CHECKED BY: REVIEWER
DRAWN BY: DRAFTER



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

BIGHORN LOVELAND LLC

USE BY SPECIAL REVIEW
ELEVATIONS

ISSUE DATE: 06-29-2018	PROJECT #: 170108
DATE	REVISION COMMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

5
OF



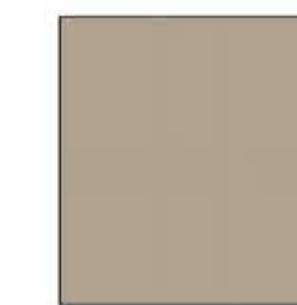
EXTERIOR OVERHEAD
ROLL-UP DOOR
COLOR: SALUTE



MASONRY
SPLIT FACED CMU
COLOR: MOJAVE BROWN



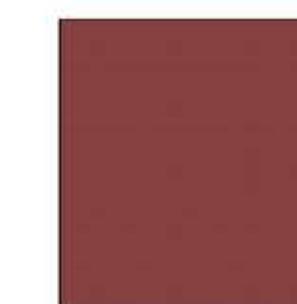
ASPHALT SHINGLES
COLOR: BLAK OAK



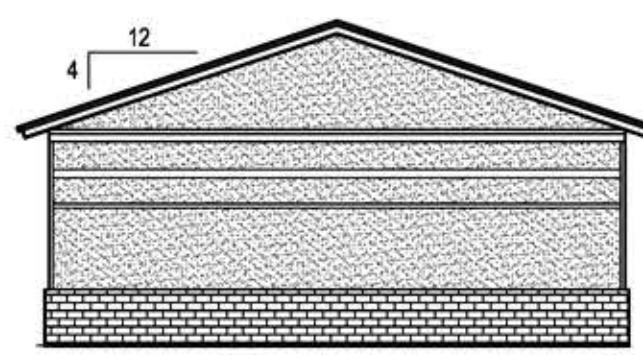
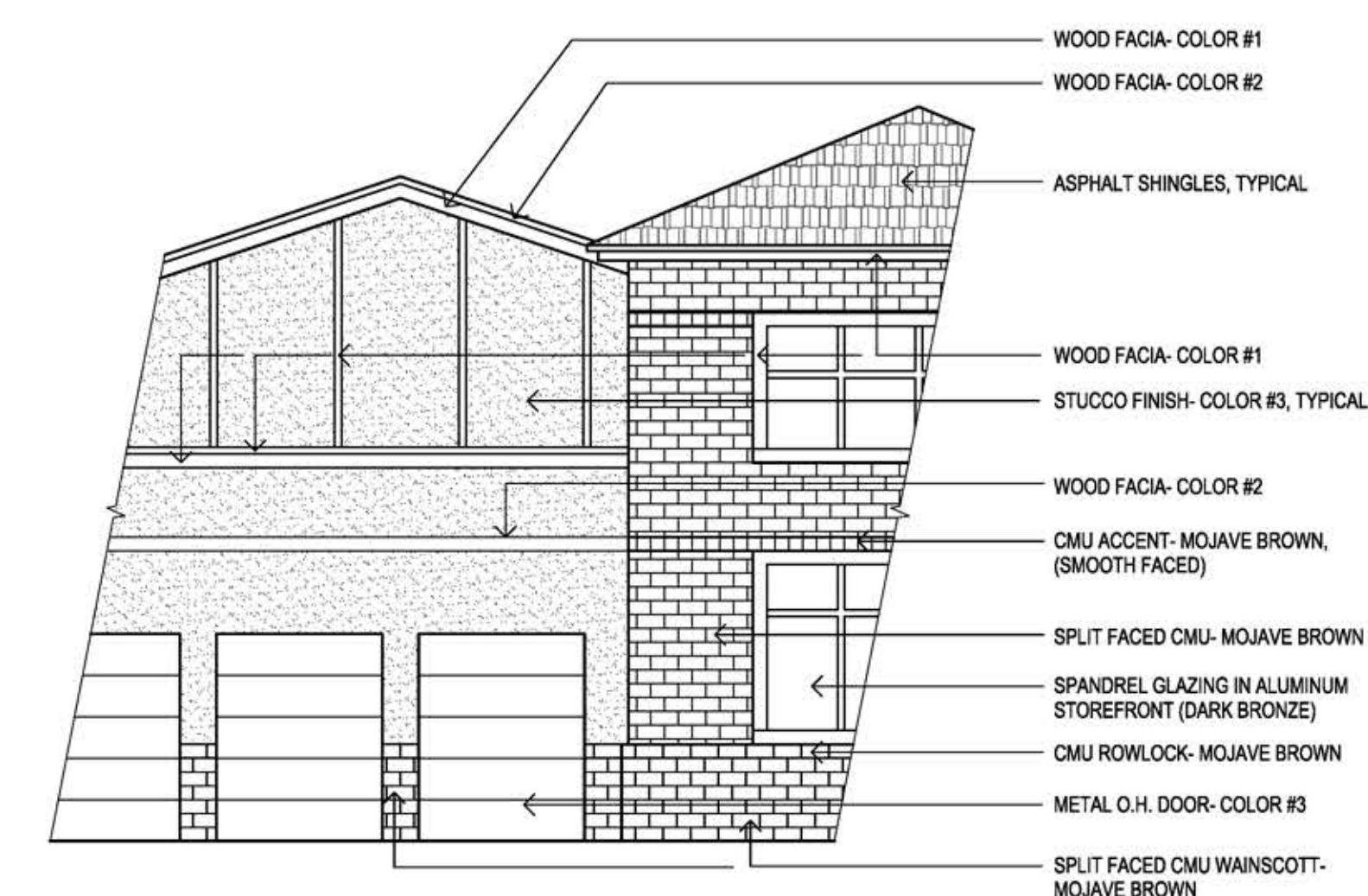
HIGHLIGHT- COLOR #1
PAINT
SW 9166
COLOR: DRIFT OF MIST



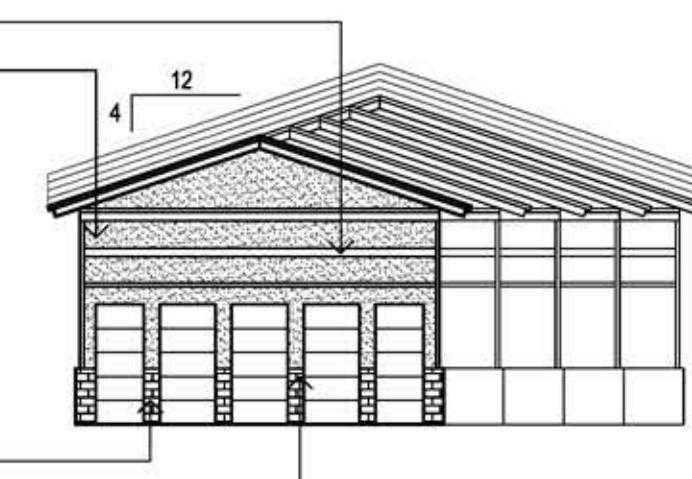
HIGHLIGHT- COLOR #2
PAINT
SW 7046
COLOR: ANONYMOS



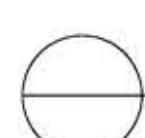
BODY OF BUILDINGS- COLOR #3
STUCCO:
SAND FINISH
PAINT
SW 7582
COLOR: SALUTE



BUILDING B- NORTH ELEVATION
1/16"=1'-0"



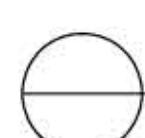
BUILDING B- SOUTH ELEVATION
1/16"=1'-0"



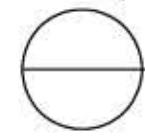
BUILDING MATERIALS



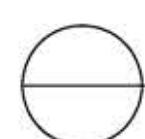
TYPICAL BUILDING MATERIALS/ COLORS
1/16"=1'-0"



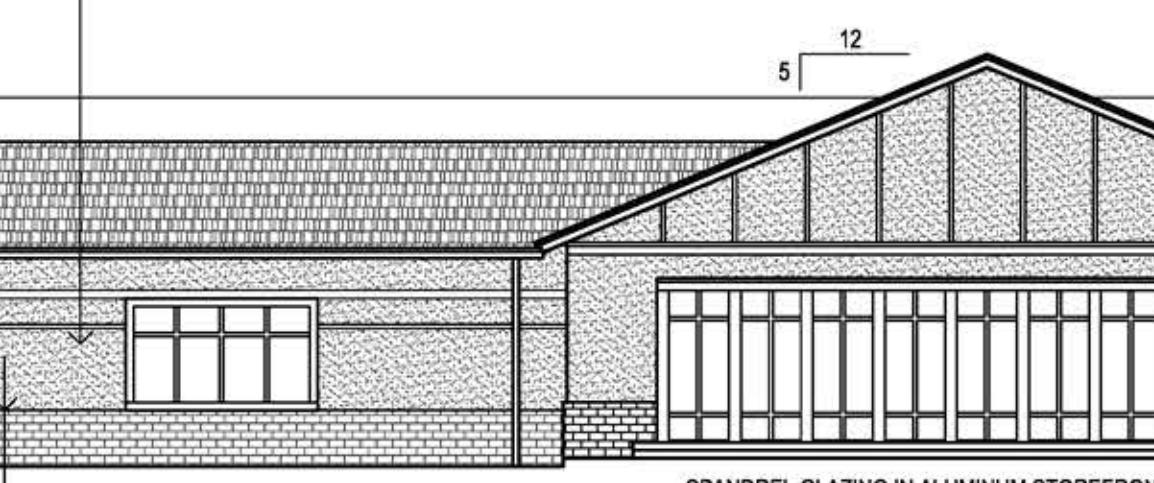
BUILDING B- WEST ELEVATION
1/16"=1'-0"



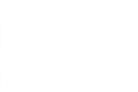
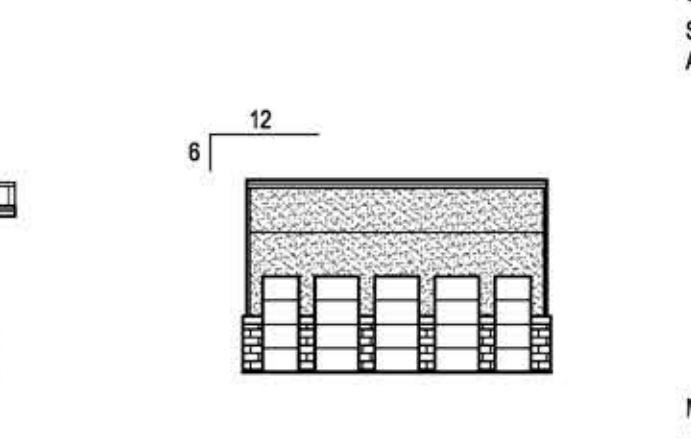
BUILDING B- BEYOND
1/16"=1'-0"



BUILDING A- SOUTH ELEVATION
1/16"=1'-0"



BUILDING A- NORTH ELEVATION
1/16"=1'-0"



BUILDING A- WEST ELEVATION
1/16"=1'-0"

ISSUE DATE: 06-29-2018	PROJECT #: 170108
DATE	REVISION COMMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO.
6
OF



FILEPATH: C:\PROJCTS\170108\CAD\LOAD AND STORAGE - SDP\TITLEBLOCK\DRAWING LAYOUT\DRAWING
6 SHEET 1 OF 19 6/29/2018 10:45 AM BY: TOM SEBERT
PLOTTED: MON 06/26/2017 10:45 AM BY: TOM SEBERT

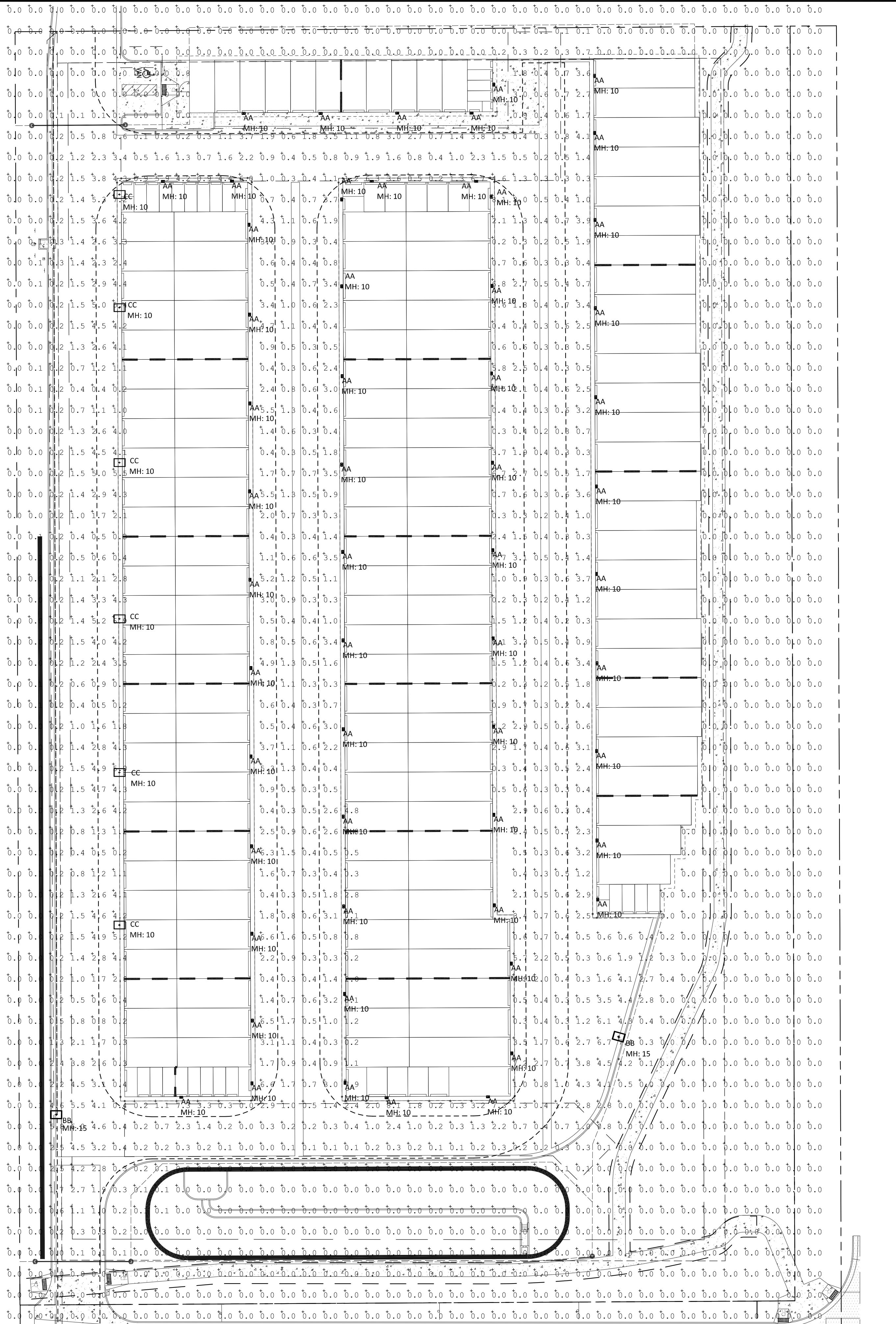
Know what's below.
Call before you dig.



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

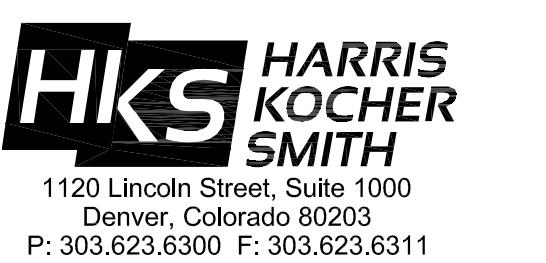
BIGHORN LOVELAND LLC

USE BY SPECIAL REVIEW
ELEVATIONS



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
 OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
 UTILITIES.

DESIGNED BY: DRAFTER
 CHECKED BY: REVIEWER
 DRAWN BY: DRAFTER



1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

THE GUGGENHEIM COMPANY

LOVELAND STORAGE
 PHOTOMETRICS

ISSUE DATE: 06-29-2018	PROJECT #: 170108	PRELIMINARY NOT FOR CONSTRUCTION
DATE	REVISION COMMENTS	
11-12-2018	PER CITY COMMENT	
02-25-2019	PER CITY COMMENT	
#	#	
#	#	
#	#	
#	#	
#	#	

SHEET NO.
 6 OF 7

Lumark

DESCRIPTION
The patented Lumark CrossTour- LED Wall Pack Series of luminaires provides an architectural style of higher bright, energy efficient, and rugged outdoor lighting. The back box, stainless steel housing along with a sealed and gasketed optical compartment make the CrossTour impervious to contaminants. The luminaire is designed for facade/copy illumination, post-tension, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include residential, commercial, apartment buildings, institutions, schools, stairways and loading docks to name a few.

SPECIFICATION FEATURES

Construction
• **Optical**
• **Electrical**
• **Warranty**
• **DIMENSIONS**
• **ESCUTCHEON PLATES**
• **CERTIFICATION DATA**
• **TECHNICAL DATA**
• **EP A**
• **SHIPPING DATA**
• **EATON**

Lumark

Catalog # AA
Project Date
Comments
Prepared by

POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTORB	XTORB-W	XTORB-Y									
Delivered Lumen	1,418	1,286	1,277	2,108	1,997	2,176	2,375	2,429	2,426	2,395	2,405	2,406
Delivered Lumens (Watt)	1,005	999	940	1,495	1,472	1,399	2,068	1,965	3,138	3,121	2,956	2,956
ULC Rating ¹	BL-U-09-Q0											
CCT (K)	5,000	4,000	3,000	5,000	4,000	5,000	5,000	4,000	3,000	5,000	4,000	3,000
CRF (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watt)	12W	12W	12W	16W	16W	26W	26W	26W	36W	36W	36W	36W

NOTES 1. Includes end cap and lens. 2. ULC Rating does not apply to floodlighting.

XTOR CROSSTOUR LED

POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTORB	XTORB-W	XTORB-Y									
Delivered Lumen	1,418	1,286	1,277	2,108	1,997	2,176	2,375	2,429	2,426	2,395	2,405	2,406
Delivered Lumens (Watt)	1,005	999	940	1,495	1,472	1,399	2,068	1,965	3,138	3,121	2,956	2,956
ULC Rating ¹	BL-U-09-Q0											
CCT (K)	5,000	4,000	3,000	5,000	4,000	5,000	5,000	4,000	3,000	5,000	4,000	3,000
CRF (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watt)	12W	12W	12W	16W	16W	26W	26W	26W	36W	36W	36W	36W

NOTES 1. Includes end cap and lens. 2. ULC Rating does not apply to floodlighting.

LUMEN MAINTENANCE

CURRENT DRAW

Voltage	Model Series	XTORB	XTORB-W	XTORB-Y	XTORB	XTORB-W	XTORB-Y
120V	0.010A	0.015A	0.02A	0.03A	0.04A	0.05A	
240V	0.006A	0.009A	0.013A	0.017A	0.02A	0.025A	
249V	0.006A	0.009A	0.013A	0.017A	0.02A	0.025A	
277V	0.006A	0.009A	0.013A	0.015A	0.02A	0.025A	
347V	0.008A	0.009A	0.010A	0.012A	0.015A	0.016A	

EATON

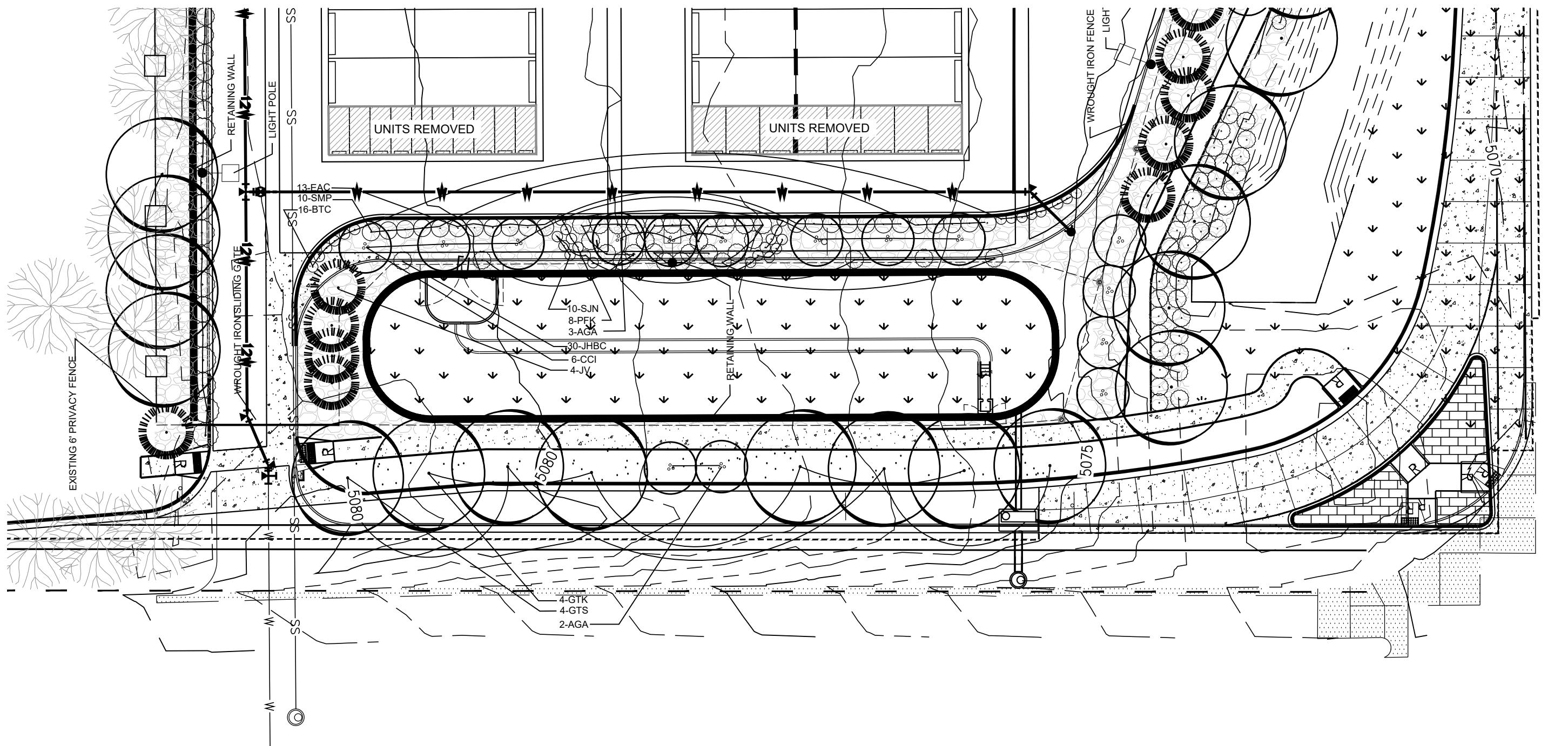
Lumen Maintenance Graph

NOTES 1. Includes end cap and lens. 2. ULC Rating does not apply to floodlighting.

XTOR CROSSTOUR LED

ORDERING INFORMATION

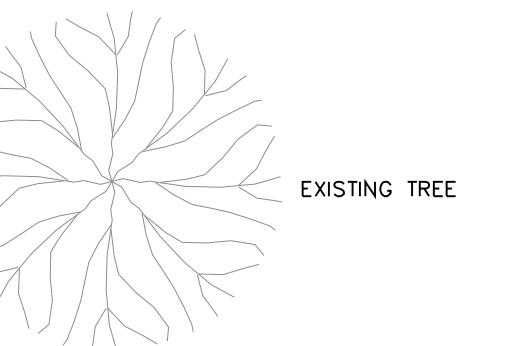
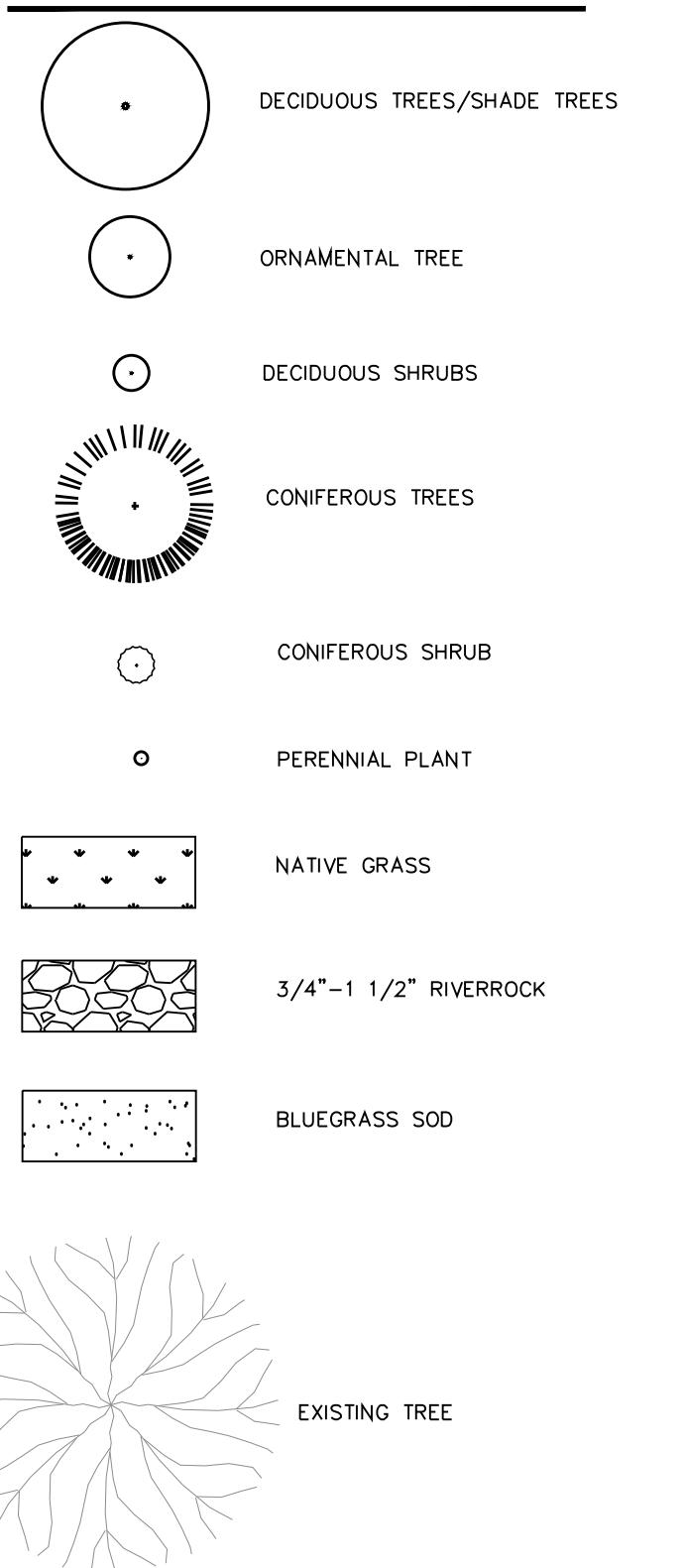
Sample Number: XTORB-W-120V	LED Color	Housing Color	Options (Add on If So Spec'd)	Accessories (Order Separately)
XTORB-120V, 5000K, Carbon Bronze	(Black)-Bright-White	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	(Black)-Dark-White	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	Black	Black	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K, Carbon Bronze	White	White	PC-120V-120V-120V	WOLXTORB-120V-120V
XTORB-120V, 5000K,				


PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
DECIDUOUS TREES					
GTS	<i>Gleditsia triacanthos inermis</i> 'Shadem'	Shademaster Locust	2" cal	B+B	4
GTK	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Locust	2" cal	B+B	4
ORNAMENTAL TREES					
AGA	<i>Amelanchier alnifolia</i> 'Autumn Brill'	Autumn Brilliant Serviceberry	1.5" cal	B+B	5
CCI	<i>Crataegus crus-galli</i> inermis	Thornless Cockspur Hawthorn	1.5" cal	B+B	6
EVERGREEN TREES					
JVS	<i>Juniperus virginiana</i> 'Skyrocket'	Skyrocket Juniper	5 gal.	6' o.c.	4
EVERGREEN SHRUBS					
JSB	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	5 gal.	4' o.c.	0
PMP	<i>Pinus mugo</i> 'Pumilio'	Dwarf Mugo Pine	5 gal.	4' o.c.	0
JHBC	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	5 gal.	5' o.c.	30
JSC	<i>Juniperus sabina</i> 'Calgary Carpet'	Calgary Carpet Juniper	5 gal.	5' o.c.	0
DECIDUOUS SHRUBS					
BTC	<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Japanese Barber	5 gal.	5' o.c.	16
SJN	<i>Spiraea japonica</i> 'Neon Flash'	Neon Flash Spirea	5 gal.	3' o.c.	10
EAC	<i>Euonymus alata</i> 'Compactus'	Dwarf Burning Bush	5 gal.	3' o.c.	13
SMP	<i>Syringa meyeri</i> 'Pallida'	Dwarf Korean Lilac	5 gal.	4' o.c.	10
PKF	<i>Potentilla fruticosa</i> 'Kathryn Dykes'	Kathryn Dykes Potentilla	5 gal.	3' o.c.	8

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

NOTE: SHORT GRASS PRAIRIE NATIVE SEED MIXTURE. THIS MIXTURE IS TO BE USED BETWEEN OCTOBER 15th AND MARCH 30TH ONLY AT A RATE OF 30.75 PLS LBS/ACRE

LANDSCAPE LEGEND


LOVELAND

BIGHORN RV STORAGE LLC
BIGHORN RV STORAGE
SITE DEVELOPMENT PLAN

LANDSCAPE PLAN
FUTURE ROAD WIDENING

DATE 07/24/2018
JOB NO.
DRAWN RM
CHECKED RM
REVISED 11/14/2018
03/06/2019

30 0 30 60
SCALE: 1" = 30'

GENERAL NOTES

PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
- THE DEVELOPER IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE CITY OF LOVELAND, AS BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE CITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE CITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
- ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT C/G ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
- THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AT THE DISCRETION OF THE WATER UTILITY PROVIDER, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
- WHEN APPLICABLE, THE DEVELOPER SHALL HAVE ON SITE AT ALL TIMES, EACH OF THE FOLLOWING:

 - THE NOTICE OF INTENT (NOI)
 - BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
 - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB

- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE

- THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE THROWN ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING, IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE, THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON-OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARF SURFACE OR LANDSCAPING. THE DEVELOPER SHALL USE STANDARD EROSION CONTROL TECHNIQUES DESCRIBED IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD).
- THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.
- THE DESIGNER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARK FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE INFORMATION PROVIDED IS FOR THE USE OF THE LOCAL ENTITY ENGINEER.
- BENCHMARK—LOVELAND'S 1995 LEVEL NET SURVEY.
- BM NUMBER H409, ELEV = 5055.69,
- DESCRIPTION: STAINLESS STEEL ROD ENCASED IN PIPE WITH NGS LOGO LID LOCATED NEAR THE INTERSECTION OF N GARFIELD AVENUE AND 50TH STREET.
- UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
- EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- OVERLOT GRADING CONSTRUCTION MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PHONE (303) 692-3500.
- A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR BEFORE WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
- THE DEVELOPER IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS, AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN, DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
- AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
- THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
- PAVING SHALL NOT START UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE LOCAL ENTITY ENGINEER AND SUBGRADE COMPACTNESS TESTS ARE TAKEN AND ACCEPTED BY THE LOCAL ENTITY ENGINEER.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE, IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S), REGARDLESS OF THE OPTION USED, ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE ENGINEERING DIVISION APPROVES THE FINAL REPORT.
- ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
- PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOODPLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.
- STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
- ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS: (UST).
- APPROVED VARIANCES ARE LISTED AS FOLLOWS: (PLAN SET MUST HAVE A LIST OF ALL APPLICABLE VARIANCES FOR THE PROJECT)

STREET IMPROVEMENTS NOTES

- ALL STREET CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS AS WELL AS THE STREET IMPROVEMENTS NOTES LISTED HERE.
- A PAVING SECTION DESIGN, SIGNED AND STAMPED BY A COLORADO LICENSED ENGINEER, MUST BE SUBMITTED TO THE LOCAL ENTITY ENGINEER FOR APPROVAL, PRIOR TO ANY STREET CONSTRUCTION ACTIVITY, (FULL DEPTH ASPHALT SECTIONS ARE NOT PERMITTED AT A DEPTH GREATER THAN 8 INCHES OF ASPHALT). THE JOG MIX SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PLACEMENT OF ANY ASPHALT.
- WHERE PROPOSED PAVING ADJOINS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT, A MINIMUM DISTANCE OF 12 INCHES FROM THE EXISTING EDGE, TO CREATE A CLEAN CONSTRUCTION JOINT. THE DEVELOPER SHALL BE REQUIRED TO REMOVE EXISTING PAVEMENT TO A DISTANCE WHERE A CLEAN CONSTRUCTION JOINT CAN BE MADE. WHEEL CUTS SHALL NOT BE ALLOWED UNLESS APPROVED BY THE LOCAL ENTITY ENGINEER IN LOVELAND.
- STREET SUBGRADES SHALL BE SCARIFIED THE TOP 12 INCHES AND RE-COMPACTED PRIOR TO SUBBASE INSTALLATION. NO BASE MATERIAL SHALL BE LAIN UNTIL THE SUBGRADE HAS BEEN INSPECTED AND APPROVED BY THE LOCAL ENTITY ENGINEER.
- WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE INSPECTOR BEFORE ANY CUTS ARE MADE. CUTTING AND PATCHING SHALL BE DONE IN CONFORMITY WITH CHAPTER 25, RECONSTRUCTION AND REPAIR. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE LOCAL ENTITY ENGINEER. ALL OVERLAY WORK SHALL BE COORDINATED WITH ADJACENT LANDOWNERS SUCH THAT FUTURE PROJECTS DO NOT CUT THE NEW ASPHALT OVERLAY WORK.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THESE PLANS OR AS OTHERWISE SPECIFIED IN M.U.T.C.D. (INCLUDING COLORADO SUPPLEMENT) AND AS PER THE RIGHT-OF-WAY PERMIT TRAFFIC CONTROL PLAN.
- THE DEVELOPER IS REQUIRED TO PERFORM A GUTTER WATER FLOW TEST IN THE PRESENCE OF THE LOCAL ENTITY INSPECTOR, AND PRIOR TO INSTALLATION OF ASPHALT. GUTTERS THAT HOLD MORE THAN $\frac{1}{4}$ INCH DEEP OR 5 FEET LONGITUINALLY, OF WATER, SHALL BE COMPLETELY REMOVED AND RECONSTRUCTED TO DRAIN PROPERLY.
- BENCHMARK—LOVELAND'S 1995 LEVEL NET SURVEY.
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- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE, IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S), REGARDLESS OF THE OPTION USED, ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE ENGINEERING DIVISION APPROVES THE FINAL REPORT.
- ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
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GRADING DRAINAGE AND SEDIMENT/EROSION CONTROL NOTES

- THE EROSION CONTROL INSPECTOR MUST BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION ON THIS SITE.
- THERE SHALL BE NO EARTH-DISTURBING ACTIVITY OUTSIDE THE LIMITS DESIGNATED ON THE ACCEPTED PLANS.
- ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND EROSION CONTROL REPORT.
- AT ALL TIMES DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION INCLUDING KEEPING THE PROPERTY SUFFICIENTLY WATERED SO AS TO MINIMIZE WIND BLOWN SEDIMENT. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
- PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPPING, GRADING, UTILITY INSTALLATIONS, STOCKPILING, FILLING, ETC.) SHALL BE KEPT IN A ROUGHENED CONDITION BY RIPPING OR DISKING ALONG LAND CONTOURS UNTIL MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL MEASURES ARE INSTALLED. NO SOILS IN AREAS OUTSIDE PROJECT STREET RIGHTS-OF-WAY SHALL REMAIN EXPOSED BY LAND DISTURBING ACTIVITY FOR MORE THAN THIRTY (30) DAYS BEFORE REQUIRED TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED/MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE LOCAL ENTITY.
- IN ORDER TO MINIMIZE EROSION POTENTIAL, ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES SHALL:

 - BE INSPECTED AT A MINIMUM OF ONE EVERY TWO (2) WEEKS AND AFTER EACH SIGNIFICANT STORM EVENT AND REPAVED OR RECONSTRUCTED AS NECESSARY IN ORDER TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
 - REMAIN IN PLACE UNTIL SUCH TIME AS ALL THE SURROUNDING DISTURBED AREAS ARE SUFFICIENTLY STABILIZED AS DETERMINED BY THE EROSION CONTROL INSPECTOR.
 - BE REMOVED AFTER THE SITE HAS BEEN SUFFICIENTLY STABILIZED AS DETERMINED BY THE EROSION CONTROL INSPECTOR.

- WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
- THE CONTRACTOR SHALL CLEAN UP ANY INADVERTENT DEPOSITED MATERIAL IMMEDIATELY AND MAKE SURE STREETS ARE FREE OF ALL MATERIALS BY THE END OF EACH WORKING DAY.
- ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
- NO SOIL STOCKPILE SHALL EXCEED TEN (10) FEET IN HEIGHT. ALL SOIL STOCKPILES SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY SURFACE ROUGHENING, WATERING, AND PERIMETER SILT FENCING. ANY SOIL STOCKPILE REMAINING AFTER THIRTY (30) DAYS SHALL BE SEDED AND MULCHED.
- THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT AND BEFORE TURNING THE MAINTENANCE OVER TO THE LOCAL ENTITY OR HOMEOWNERS ASSOCIATION (HOA).
- CITY ORDINANCE AND COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. THE DEVELOPER SHALL AT ALL TIMES TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- A DESIGNATED AREA SHALL BE PROVIDED ON SITE FOR CONCRETE TRUCK CHUTE WASHOUT. THE AREA SHALL BE CONSTRUCTED SO AS TO CONTAIN WASHOUT MATERIAL AND LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY WATERWAY DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ACTIVITIES THE CONCRETE WASHOUT MATERIAL WILL BE REMOVED AND PROPERLY DISPOSED OF PRIOR TO THE AREA BEING RESTORED.
- TO ENSURE THAT SEDIMENT DOES NOT MOVE OFF OF INDIVIDUAL LOTS ONE OR MORE OF THE FOLLOWING SEDIMENT/EROSION CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED UNTIL THE LOTS ARE SUFFICIENTLY STABILIZED, AS DETERMINED BY THE EROSION CONTROL INSPECTOR, (WITHIN LOVELAND GMA AND CITY LIMITS ONLY).

 - BELOW ALL GUTTER DOWNSPOUTS.
 - OUT TO DRAINAGE SWALES.
 - ALONG LOT PERIMETER.
 - OTHER LOCATIONS, IF NEEDED.

- CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE DEVELOPER SHALL IMPLEMENT WHATEVER MEASURES ARE DETERMINED NECESSARY, AS DIRECTED BY THE CITY/COUNTY.
- A VEHICLE TRACKING PAD SHALL BE INSTALLED WHEN NEEDED FOR CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO PERSONAL VEHICLES EXITING EXISTING ROADWAYS. NO EARTHEN MATERIALS, I.E. STONE, DIRT, ETC. SHALL BE PLACED IN THE CURB & GUTTER OR ROADWAY AS A RAMP TO ACCESS TEMPORARY STOCKPILES, STAGING AREAS, CONSTRUCTION MATERIALS, CONCRETE WASHOUT AREAS, AND/OR BUILDING SITES.
- ADD NOTES TO REFLECT THE STORMWATER RUNOFF CONTROL PLAN OF THE INDIVIDUAL DEVELOPMENT.

WATERLINE NOTE

- THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE WATER UTILITY.

PUBLIC WATER/WASTEWATER STANDARD NOTES

- IN ADDITION TO MEETING APPLICABLE LCUASS, STATE OR FEDERAL STANDARDS, ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF PUBLIC WATER AND WASTEWATER SYSTEM IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS SET FORTH IN THE CITY OF LOVELAND WATER AND WASTEWATER DEVELOPMENT STANDARDS AND LCUASS, RELATING TO WATER AND/OR WASTEWATER SYSTEMS, THE CITY OF LOVELAND WATER AND WASTEWATER DEVELOPMENT STANDARDS SHALL TAKE PRECEDENCE.
- IN CASES OF CONFLICT BETWEEN THESE SIGNED P.I.C.P.'S AND APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
- IN CASES OF CONFLICT BETWEEN THE CITY OF LOVELAND WATER AND WASTEWATER DEVELOPMENT ST

WARRANTY DEED
(REC. NO. 20000086995)
OWNER: STEELE FAMILY, L.
ADDRESS: 221 W 57TH S

LOT 3, BLOCK 1, PEAKVIEW COMMERCIAL
PARK FIRST SUBDIVISION
OWNER: K&G DEVELOPMENT COMPANY LLC
ADDRESS: 216 W 64TH ST

SITE STATISTICS

Site Statistics	
Building	Area
Office	300 SF
Building A	3,300 SF
Building B	19,264 SF
Building C	31,052 SF
Building D	26,040 SF
Unit Size	Unit Count
7' X 5'	1
7.33' X 5'	1
7.33' X 6'	1
7.33' X 10'	1
12' X 5'	4
12' X 25'	10
14' X 5'	4
14' X 6'	18
14' X 9.75'	5
14' X 10'	6
14' X 25'	29
14' X 30'	30
14' X 35'	30
14' X 40'	25
14' X 45'	1
14' X 48'	17
14' X 50'	13

**Know what's below.
Call before you dig.**

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

A scale bar at the top of the drawing shows a horizontal line with two vertical tick marks. The tick mark on the left is labeled '0' and the tick mark on the right is labeled '30'. Below the scale bar, the text 'SCALE: 1" = 30' is written. At the bottom of the drawing, there is a thick black horizontal line. Below this line, the text 'DESIGNED BY: JMN' is written in the first column, 'CHECKED BY: MSM' in the second column, and 'DRAWN BY: JMN' in the third column.



1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

BIGHORN RV STORAGE LLC

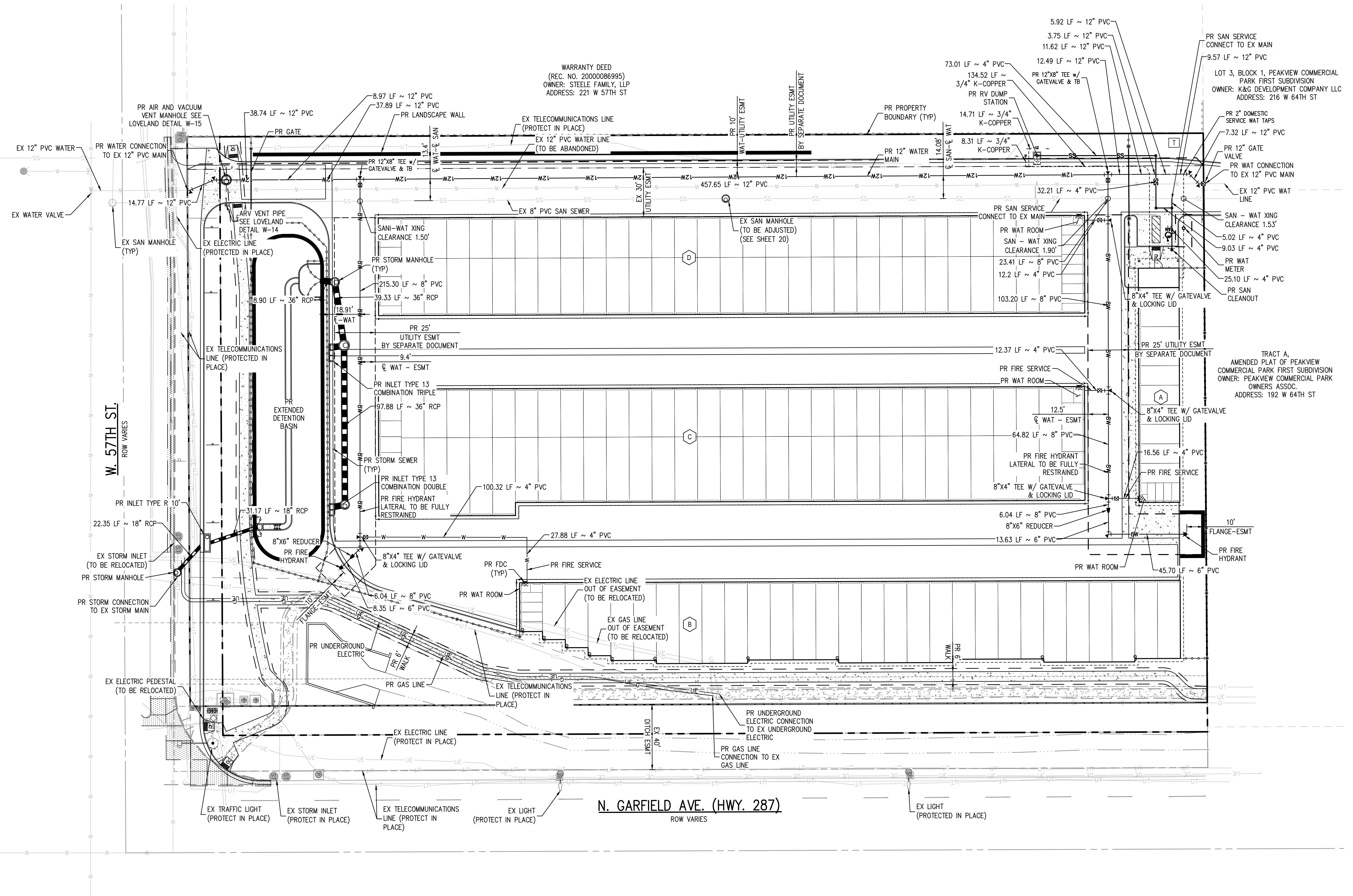
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS

OVERALL SITE PLAN

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
7-12-2018	PER CITY OF LOVELAND COMMENTS
7-25-2019	PER CITY OF LOVELAND COMMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO. 3 OF 37



NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THE VERTICAL/HORIZONTAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



**Know what's below.
Call before you dig.**

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.

30' 0'

SCALE: 1" = 30'

DESIGNED BY: JMN
CHECKED BY: MSM
DRAWN BY: JMN



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PUBLIC IMPROVEMENTS CONSTRUCTION PLANS

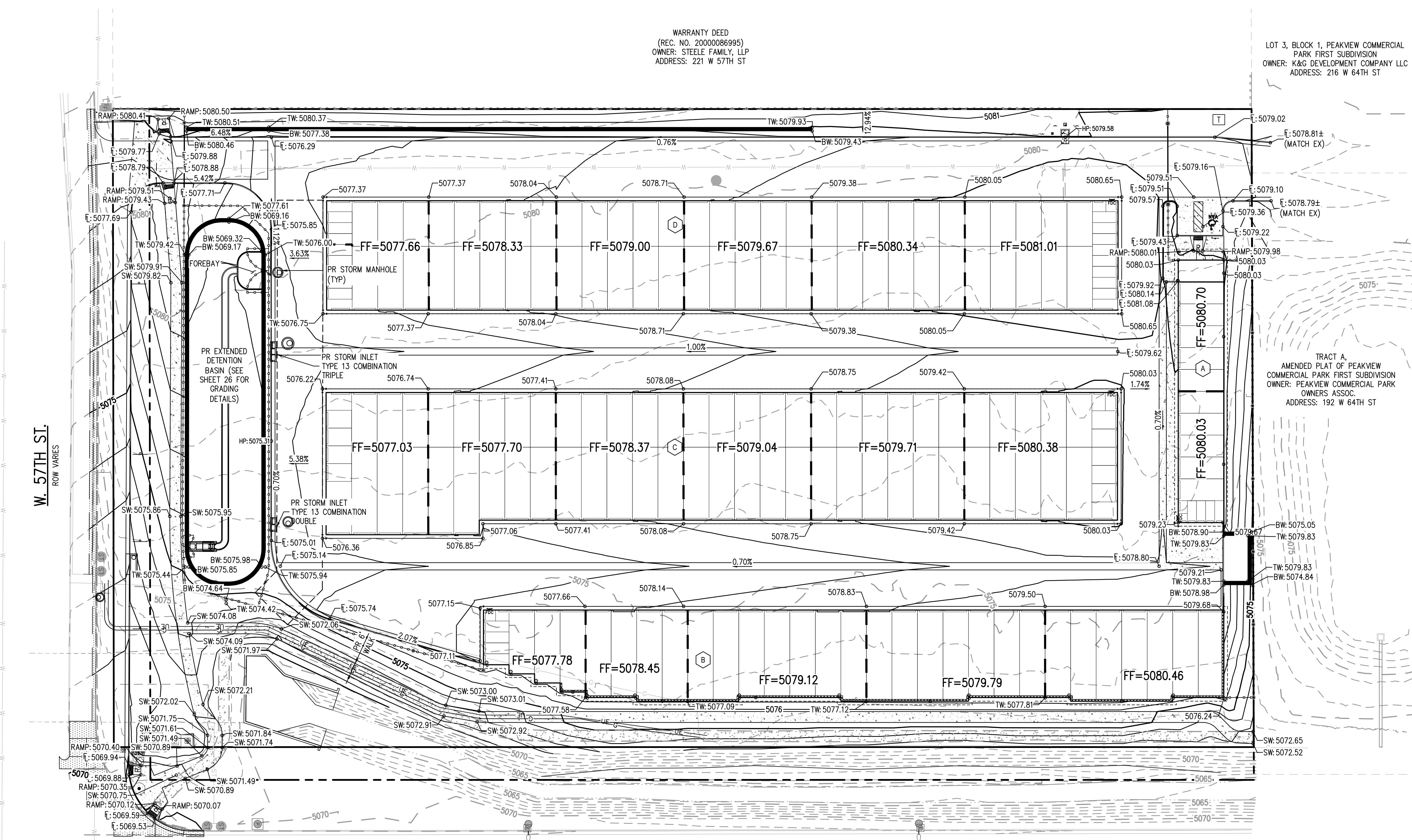
OVERALL UTILITY PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO.
4 OF 37

WARRANTY DEED
(REC. NO. 20000086995)
OWNER: STEELE FAMILY, LLC
ADDRESS: 221 W 57TH ST

LOT 3, BLOCK 1, PEAKVIEW COMMERCIAL
PARK FIRST SUBDIVISION
OWNER: K&G DEVELOPMENT COMPANY LLC
ADDRESS: 216 W 64TH ST



NOTES:

1. THE TOP OF FOUNDATION ELEVATIONS SHOWN ARE THE MINIMUM ELEVATIONS REQUIRED FOR PROTECTION FROM THE 100 YEAR STORM. THE LOWEST OPENING ELEVATIONS SHOWN ARE AT LEAST ONE FOOT ABOVE THE 100 YEAR STORM ELEVATION OF ADJACENT STREETS, CHANNELS, DITCHES, SWALES OR OTHER DRAINAGE FACILITIES. MINIMUM FINISHED FLOOR ELEVATIONS ABOVE 100 YEAR WATER SURFACE IN STREETS, CHANNELS, DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES, AS ILLUSTRATED BY THE MASTER GRADING PLAN ARE TO BE SHOWN.
2. CONTRACTOR TO FIELD VERIFY ROADWAY WIDENING IMPROVEMENTS CLEARANCE WITH EXISTING BOX CULVERT.

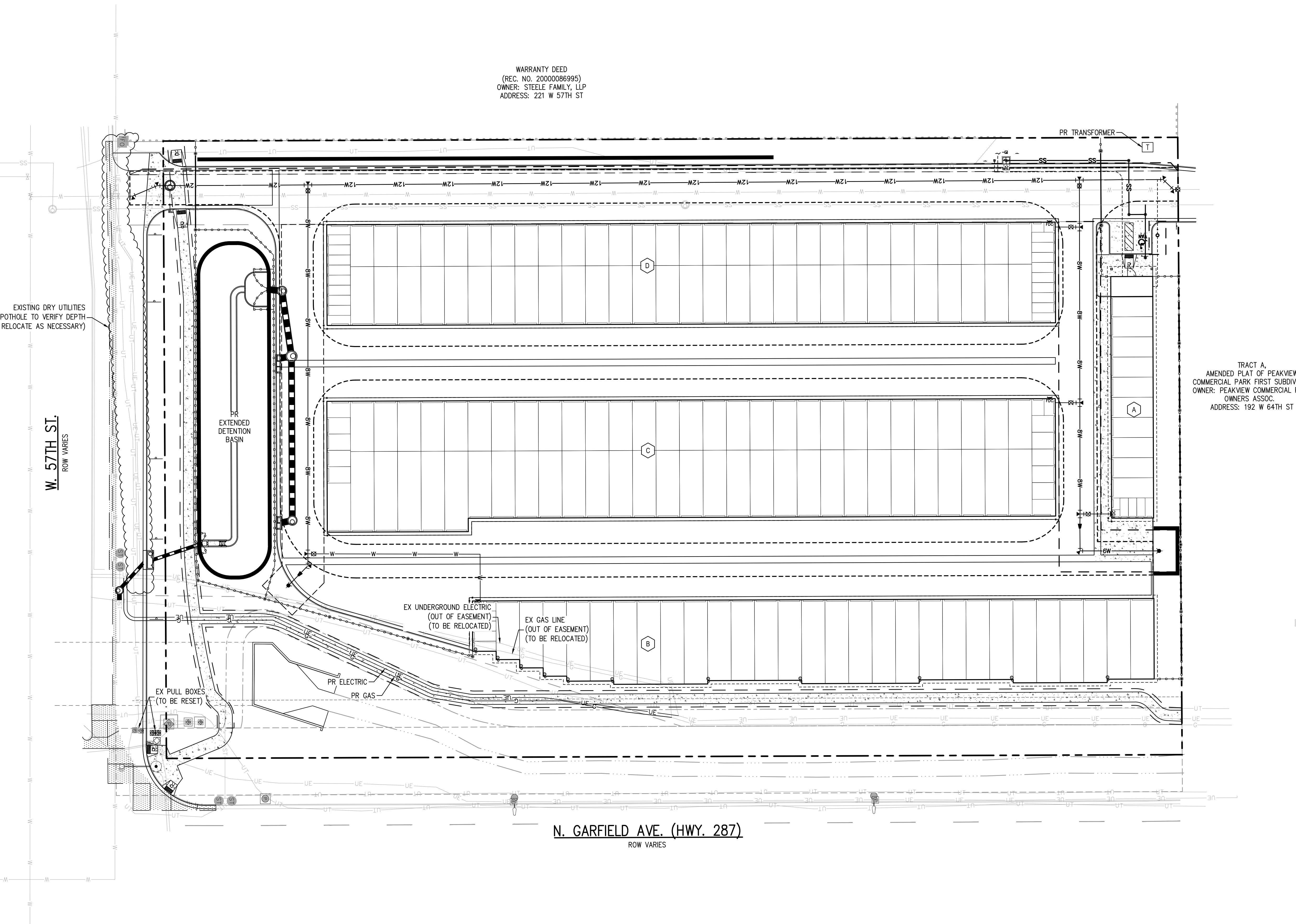
GENERAL GRADING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS ARE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL STATE AND/OR FEDERAL REGULATIONS AND STANDARDS, INCLUDING BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
2. CROSS SLOPES ALONG THE ACCESSIBLE ROUTE OR AT LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. LONGITUDINAL SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED 5%. LONGITUDINAL SLOPES ON RAMPS SHALL NOT EXCEED 8.33%. RAMPS, EXCEPT CURB RAMPS, SHALL HAVE HANDRAILS ON BOTH SIDES.
4. GUTTER SLOPES AT THE CURB RAMPS SHALL NOT EXCEED 5%.
5. GUTTER PANS SURROUNDING HANDICAP SPACES SHALL MATCH THE SLOPE OF THE ADJACENT PAVEMENT WITH A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
6. ALL GRADES ARE FINISHED GRADE, UNLESS OTHERWISE NOTED.
7. ROCK MULCH, IF PLACED UPSTREAM OF CONCRETE FLATWORK OR GRASSED AREA, SHALL BE PLACED ON TOP OF FINISHED GRADE SHOWN ON THESE PLANS. ROCK MULCH AREAS SHALL BE DESIGNED AND CONSTRUCTED TO ADEQUATELY DRAIN AND NOT RETAIN WATER. ALL LANDSCAPE EDGE MATERIALS SHALL NOT PREVENT DRAINAGE TO PASS THROUGH.
8. ALL GRADES ADJACENT TO THE BUILDINGS SHALL BE AT MINIMUM 8-INCHES BELOW FINISHED FLOOR ELEVATION, UNLESS OTHERWISE NOTED.
9. NON-PAVED GRADES ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 10% FOR 10'. ALL PAVED GRADES ATTACHED TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 1%, UNLESS OTHERWISE NOTED.
10. ALL GRADES FOR WALLS ARE FINISHED GRADE ELEVATIONS AT BOTTOM OF FRONT FACE (BW) AND TOP-BACK OF WALL (TW). THE WALL ELEVATIONS DO NOT INDICATE FOUNDATION DEPTHS OR ELEVATIONS. RETAINING WALL DETAILS SHALL BE PROVIDED BY OTHERS.
11. REFER TO STRUCTURAL PLANS FOR BUILDING FOUNDATION STEP LOCATIONS WHEN APPLICABLE.
12. FINISH FLOOR ELEVATIONS ARE REPRESENTATIVE OF THE HIGHEST POINT ON SLAB AT THE BACK OF STORAGE UNIT AND ARE FOR INFORMATION ONLY. REFER TO STRUCTURAL PLANS FOR BUILDING SLAB GRADES.
13. PORTIONS OF STAIRS THAT DO NOT MEET THE MINIMUM 4-INCH RISER HEIGHT (DUE TO AN ADJACENT SLOPING PUBLIC WAY) SHALL HAVE A DISTINCTIVE MARKING STRIPE, 1-INCH TO 2-INCHES IN WIDTH, WITH A SLIP-RESISTANT SURFACE, IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE REGULATIONS.
14. SEE LANDSCAPE ARCHITECT PLANS FOR HEIGHT AND TOP OF COURTYARD AMENITIES (PLANTER CURBS, SEAT WALLS, BENCHES, FIRE WALL, MEDIA WALL, BARS, AND GRILLS).
15. TOP STEP ELEVATIONS FOR STOOPS AND PATIOS ARE SHOWN FOR REFERENCE ONLY. TOP OF STEPS AND PATIO ELEVATIONS SHALL BE COORDINATED WITH ARCHITECTURAL PLANS/DETAILS AND AS-BUILT STOOP/PATIO ELEVATIONS.
16. ELECTRICAL TRANSFORMER PADS AND AC-UNIT PADS ARE TO BE SET A MINIMUM OF 2-INCHES ABOVE THE ADJACENT FINISHED GRADE AROUND THE PERIMETER OF THE PAD. CONTRACTOR SHALL PROVIDE A CONCRETE TURNDOWN AS NECESSARY. CONTRACTOR IS TO VERIFY POSITIVE DRAINAGE AWAY FROM, AND AROUND, ALL ELECTRICAL PADS AND AC-UNIT PADS.
17. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL ENGINEERING REPORT.
18. CONTRACTOR SHALL ENSURE ACCESSIBLE EXTERIOR DOORS AND GATES ARE CONSTRUCTED WITH ADEQUATE LANDING WIDTH AND DEPTH TO COMPLY WITH APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) MANEUVERING CLEARANCES AT DOOR REQUIREMENTS (BASED ON THE DIRECTION OF APPROACH OF THE SIDEWALK).

GENERAL GRADING NOTES:

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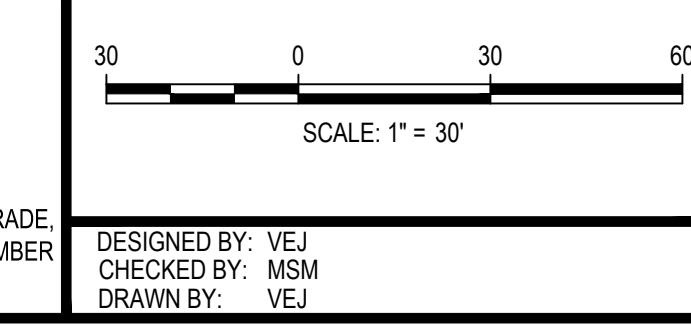


NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THE VERTICAL/HORIZONTAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.



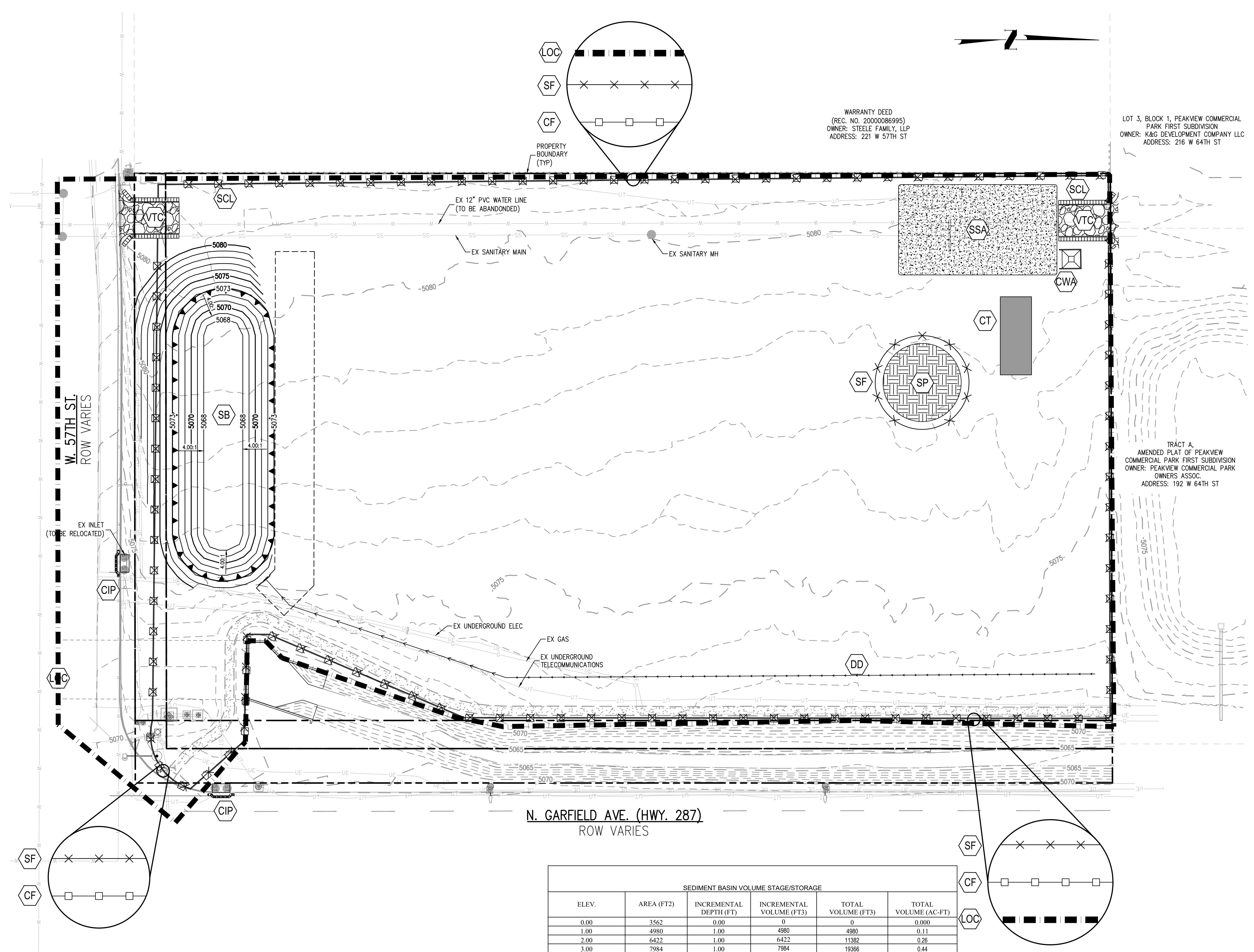
BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
DRY UTILITY PLAN

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11-12-2018	PER CITY OF LOVELAND COMMENTS
02-25-2019	PER CITY OF LOVELAND COMMENTS

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6 OF 37



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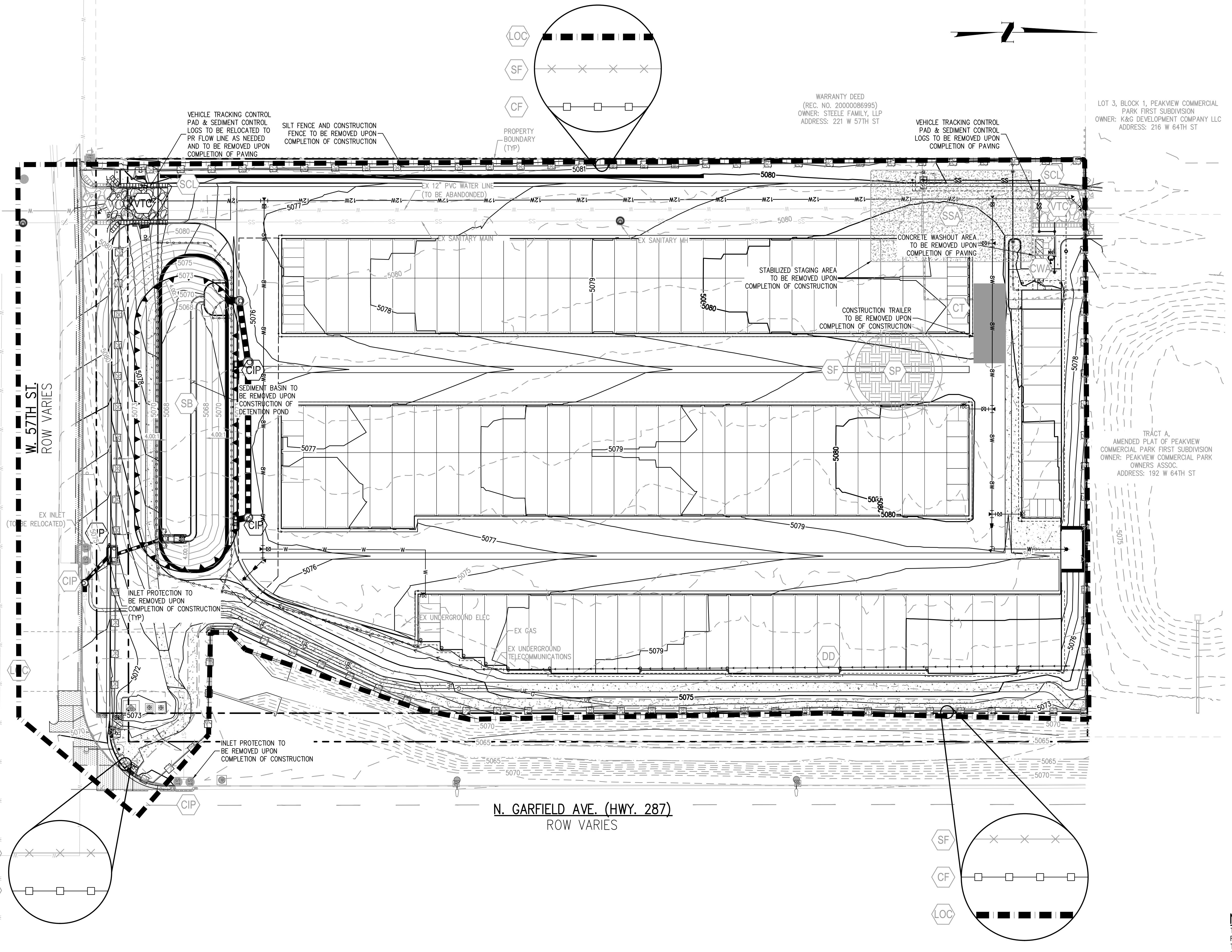
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS

STORMWATER MANAGEMENT PLAN - INITIAL

SEDIMENT BASIN VOLUME STAGE/STORAGE					
ELEV.	AREA (FT2)	INCREMENTAL DEPTH (FT)	INCREMENTAL VOLUME (FT3)	TOTAL VOLUME (FT3)	TOTAL VOLUME (AC-FT)
0.00	3562	0.00	0	0	0.000
1.00	4980	1.00	4980	4980	0.11
2.00	6422	1.00	6422	11382	0.26
3.00	7984	1.00	7984	19366	0.44
4.00	9646	1.00	9646	29012	0.66
5.00	11409	1.00	11409	40421	0.93

<u>EROSION CONTROL BMP LEGEND:</u>			
LIMITS OF CONSTRUCTION			
CONSTRUCTION FENCE (6' CHAIN LINK W/ MESH PRIVACY SCREEN)			
SILT FENCE			
SEDIMENT CONTROL LOG			
STABILIZED STAGING AREA			
CONSTRUCTION TRAILER			
STOCKPILE AREA			
EHICLE TRACKING CONTROL			
ONCRETE WASHOUT AREA			
SEDIMENT BASIN			
CURB INLET PROTECTION			
DIVERSION DITCH			

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EROSION CONTROL BMP LEGEND:

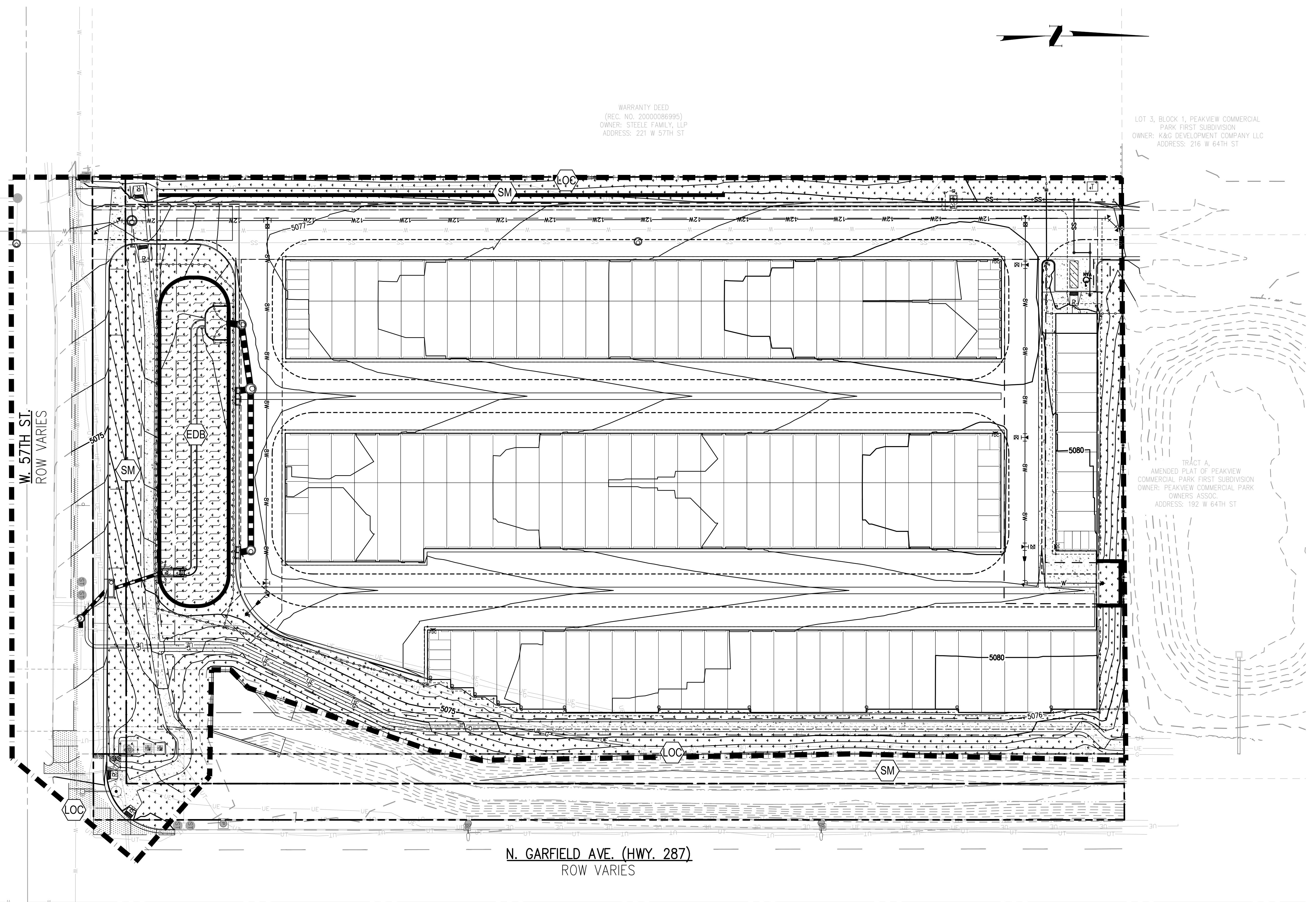
IMITS OF CONSTRUCTION	LOC		
CONSTRUCTION FENCE (CHAIN LINK W/ MESH PRIVACY SCREEN)	CF		
SILT FENCE	SF		
EDIMENT CONTROL LOG	SCL		
ABILIZED STAGING AREA	SSA		
CONSTRUCTION TRAILER	CT		
STOCKPILE AREA	SP		
LE TRACKING CONTROL	VTC		
CRETE WASHOUT AREA	CWA		
SEDIMENT BASIN	SB		
URB INLET PROTECTION	CIP		

NOTE:

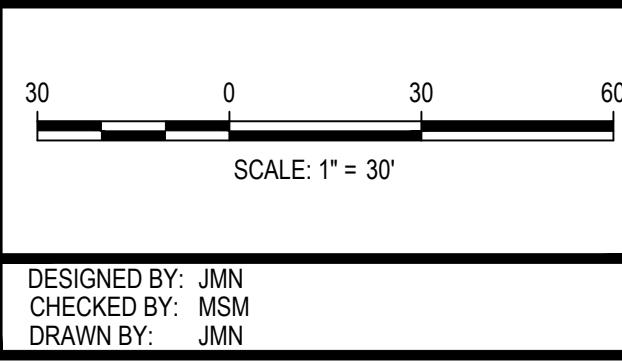
NOTE: THE TOP OF FOUNDATION ELEVATIONS SHOWN ARE THE MINIMUM ELEVATIONS REQUIRED FOR PROTECTION FROM THE 100 YEAR STORM. THE LOWEST OPENING ELEVATIONS SHOWN ARE AT LEAST ONE FOOT ABOVE THE 100 YEAR STORM ELEVATION OF ADJACENT STREETS, CHANNELS, DITCHES, SWALES OR OTHER DRAINAGE FACILITIES. MINIMUM FINISHED FLOOR ELEVATIONS ABOVE 100 YEAR WATER SURFACE IN STREETS, CHANNELS, DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES, AS ILLUSTRATED BY THE MASTER GRADING PLAN ARE TO BE SHOWN.

EROSION CONTROL BMP LEGEND:

LIMITS OF CONSTRUCTION	LOC	
CONSTRUCTION FENCE (6' CHAIN LINK W/ MESH PRIVACY SCREEN)	CF	
EXTENDED DETENTION BASIN	EDB	
SILT FENCE	SF	
SEEDING AND MULCHING	SM	



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SMITH
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HarrisKocherSmith.com

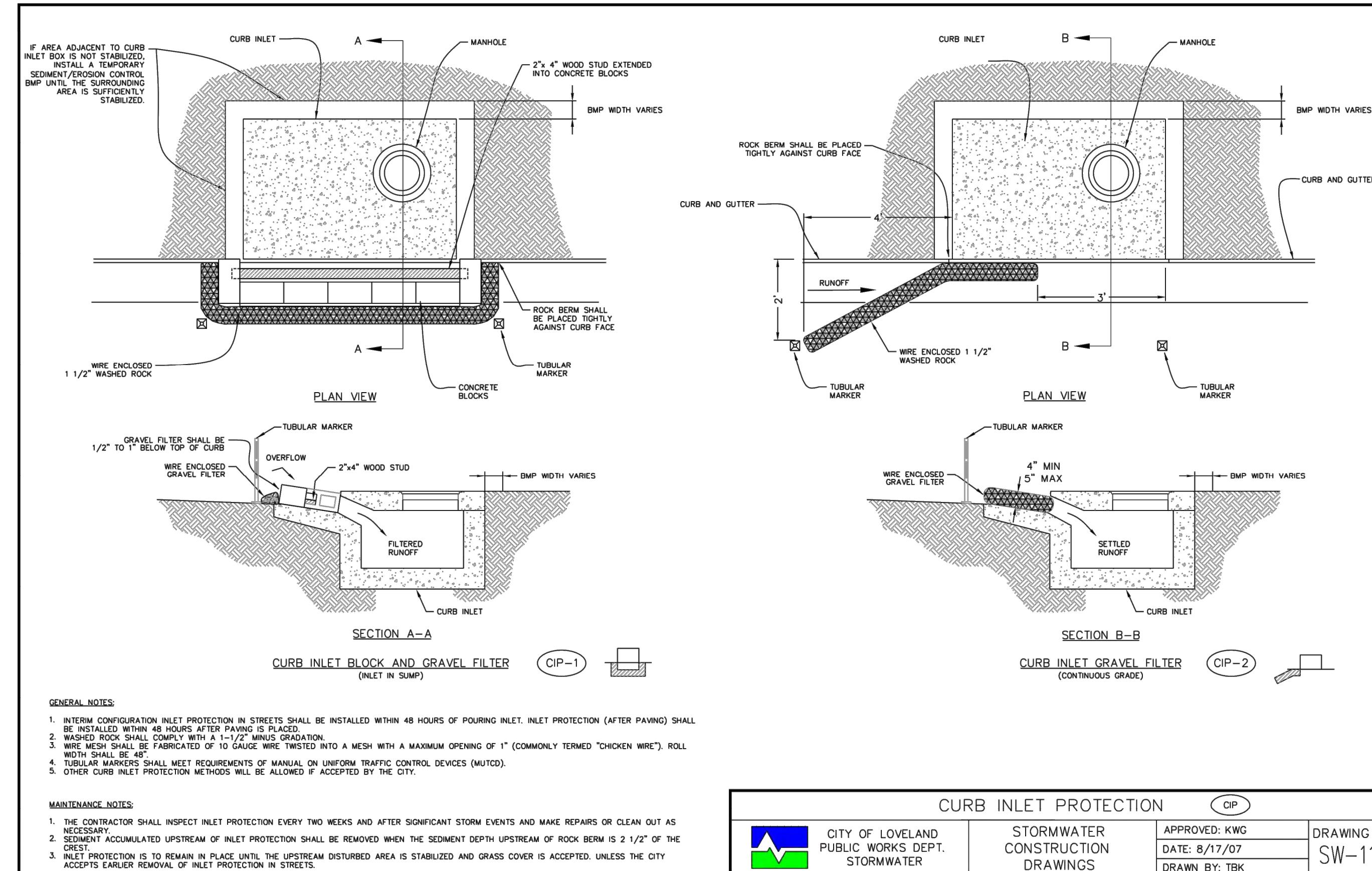
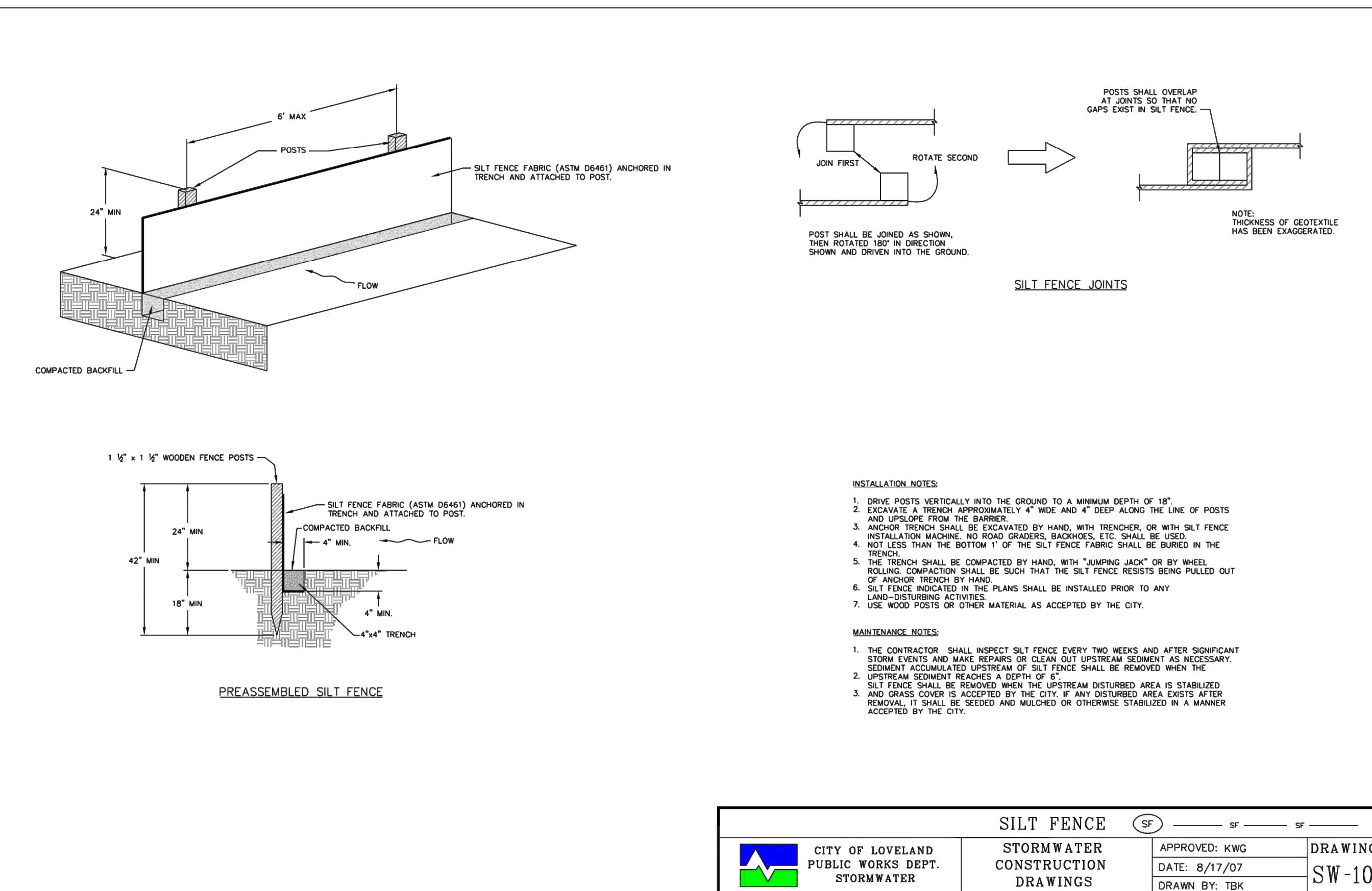
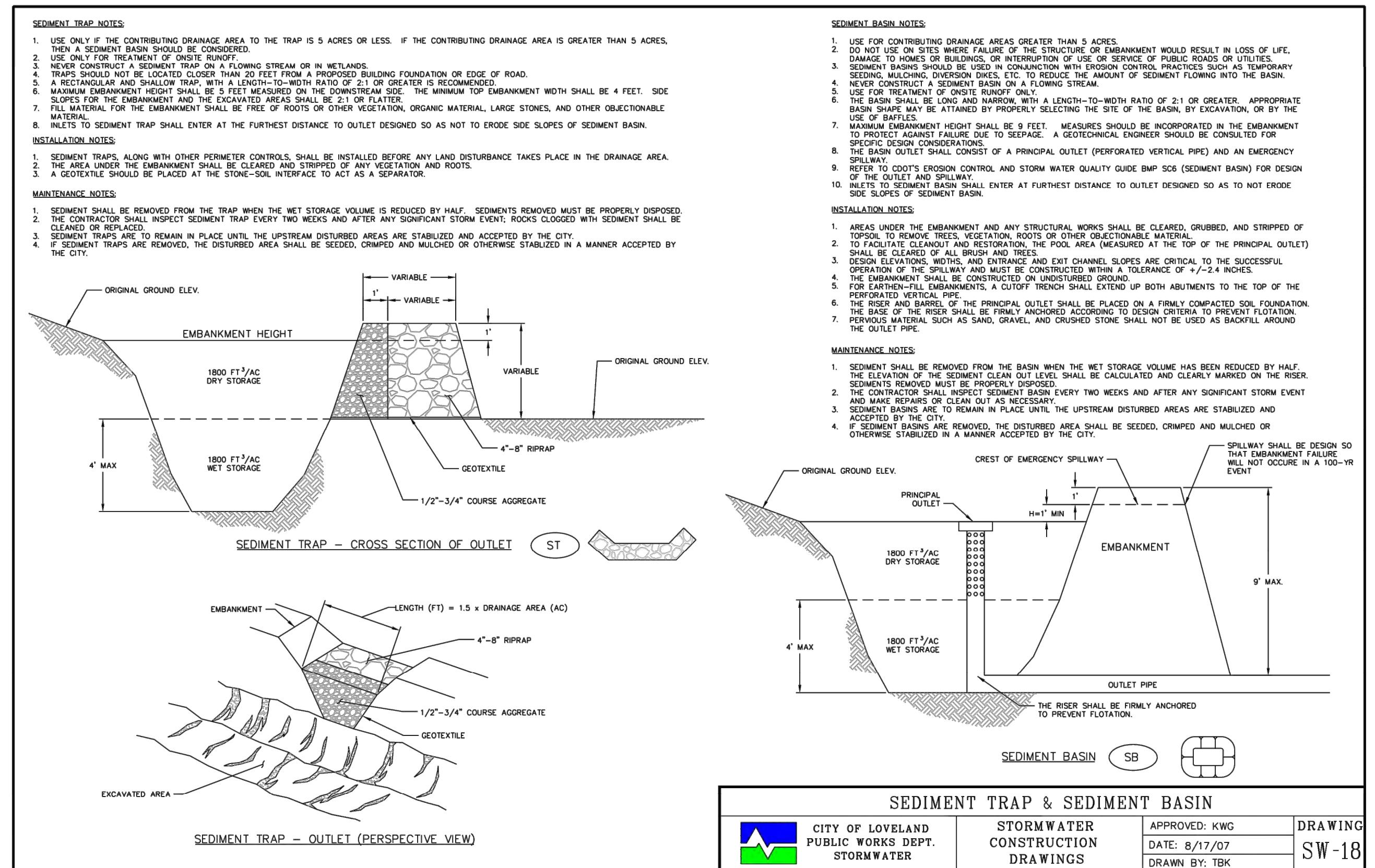
BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
STORMWATER MANAGEMENT PLAN - FINAL

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11-12-2018	PER CITY OF LOVELAND COMMENTS
02-25-2019	PER CITY OF LOVELAND COMMENTS

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9 OF 37



Know what's below.
Call before you dig.

1-800-822-8888
PLOTTED/WEB/2019/3911A BY TIM HOFMAN
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

HKS HARRIS
KOCHE
SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

DESIGNED BY: JMN
CHECKED BY: MSM
DRAWN BY: JMN

BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
STORMWATER MANAGEMENT PLAN - DETAILS

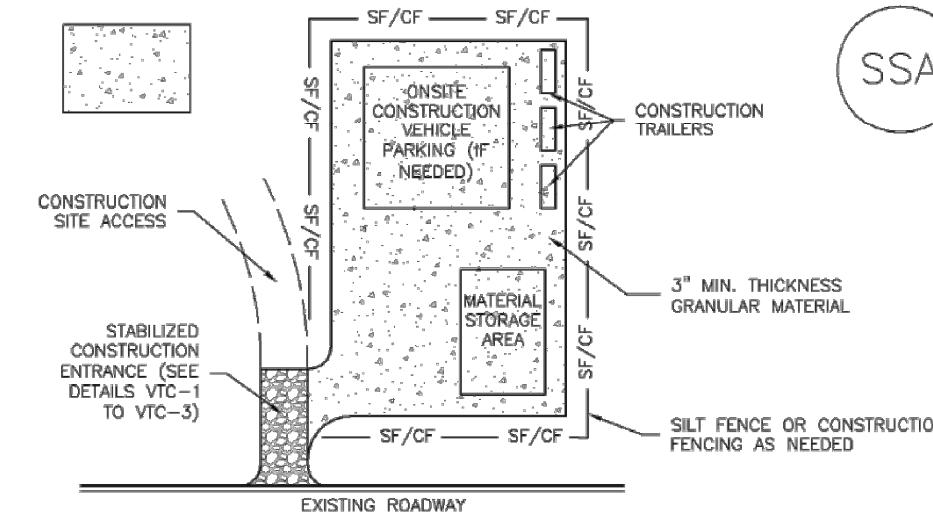
ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11-12-2018	PER CITY OF LOVELAND COMMENTS
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Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR
-LOCATION OF STAGING AREA(S).
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, ASHTO #3 COARSE AGGREGATE OR #6 (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMP EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND AS NECESSARY MAINTAIN.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REPAVED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District SSA-3
Urban Storm Drainage Criteria Manual Volume 3

SM-6

Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

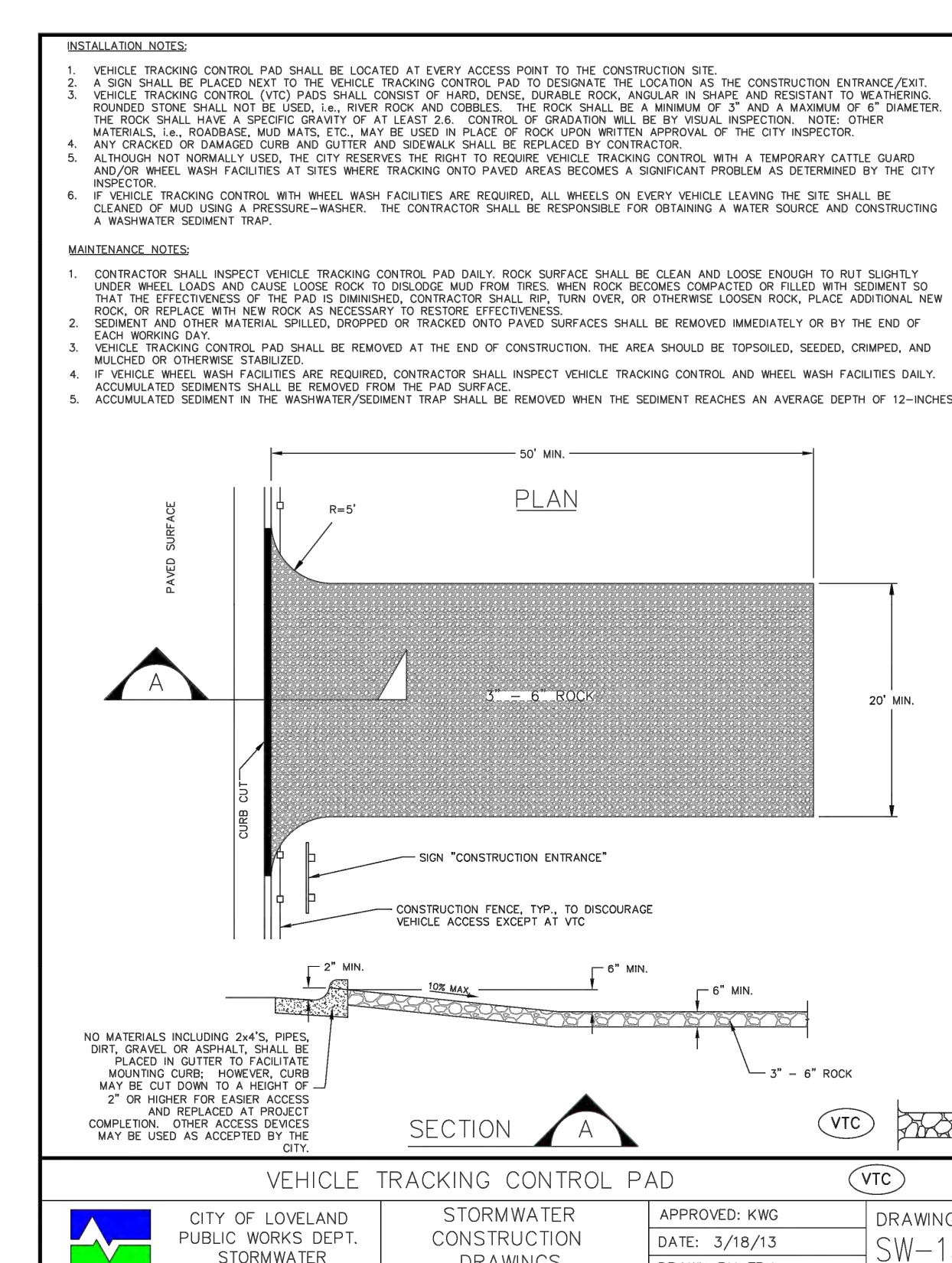
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.

6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDING, AND MULCHING OR OTHER APPROVED MEASURES AS DETERMINED BY THE LOCAL JURISDICTION.

NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

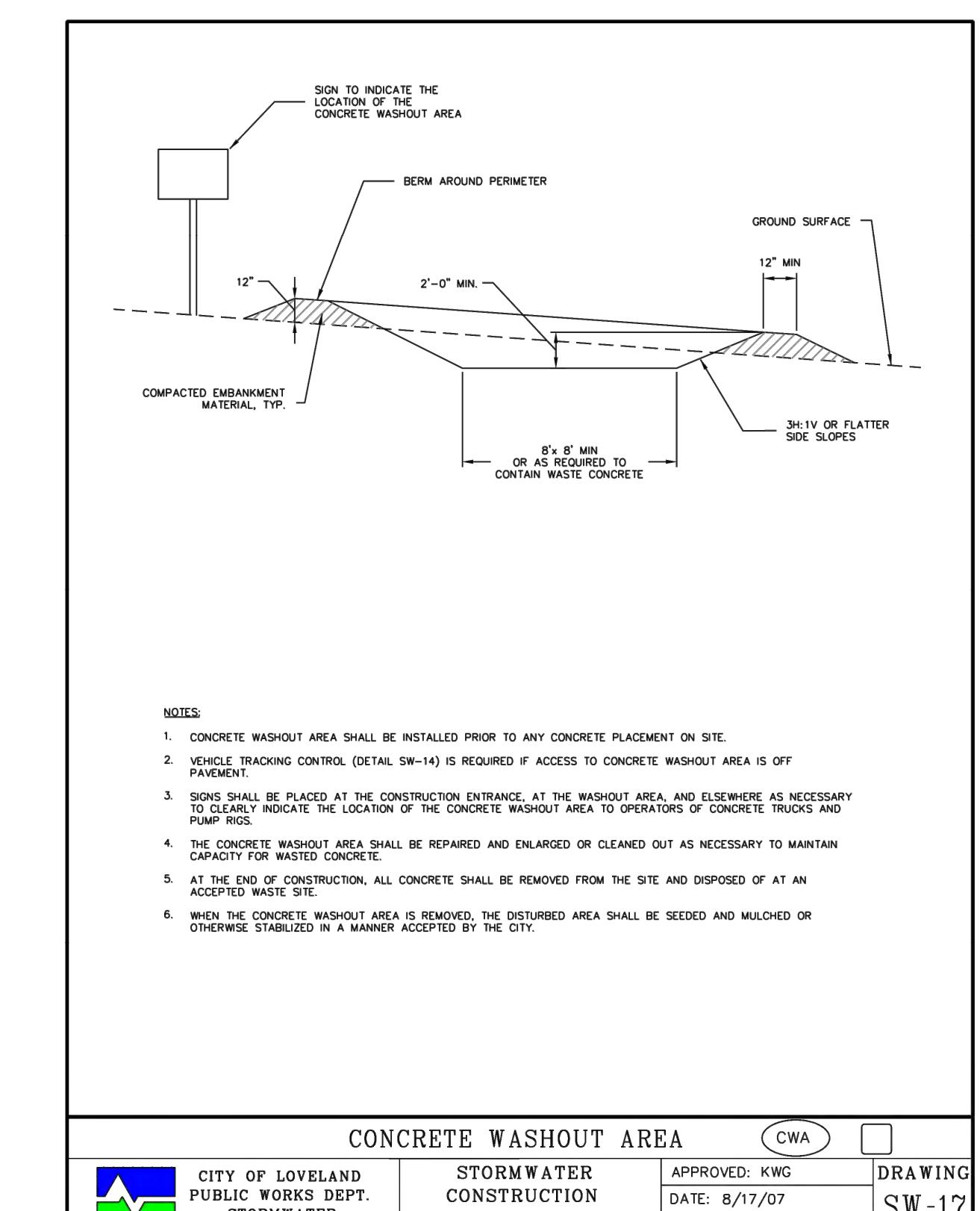
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)



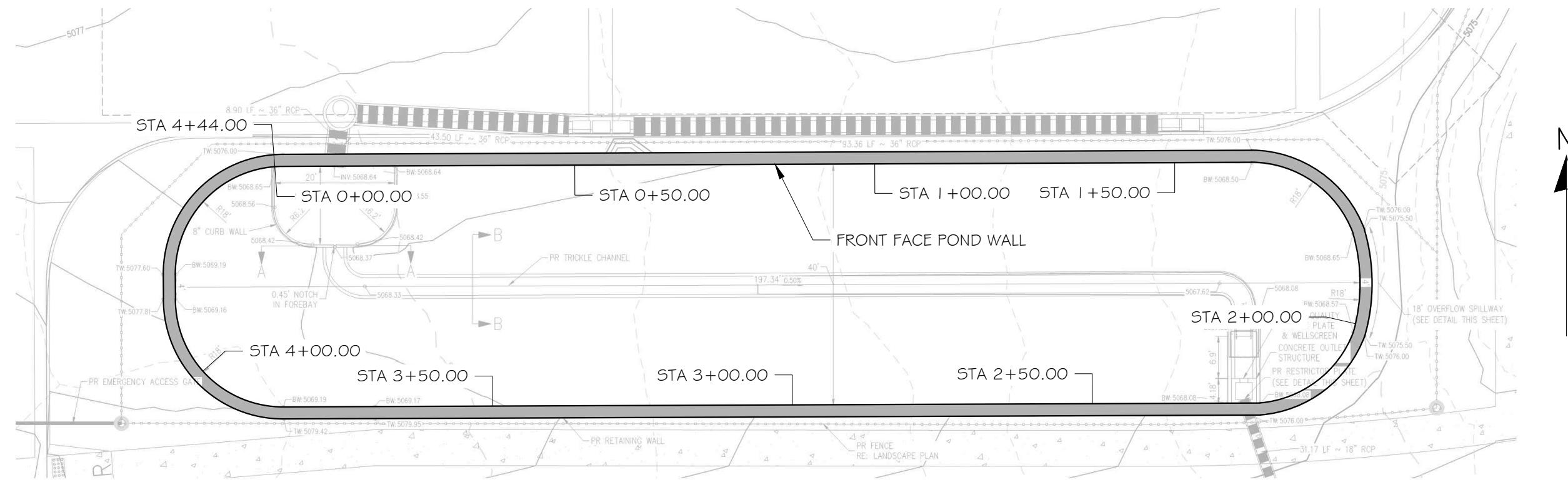
VEHICLE TRACKING CONTROL PAD (VTC)

CITY OF LOVELAND PUBLIC WORKS DEPT. STORMWATER	STORMWATER CONSTRUCTION DRAWINGS	APPROVED: KWG DATE: 3/18/13 DRAWN BY: TBK	DRAWING SW-15
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SSA-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

CONCRETE WASHOUT AREA (CWA)

CITY OF LOVELAND PUBLIC WORKS DEPT. STORMWATER	STORMWATER CONSTRUCTION DRAWINGS	APPROVED: KWG DATE: 8/17/07 DRAWN BY: TBK	DRAWING SW-17
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1 PLAN VIEW OF POND WALL

12 SCALE: 1"=20'-0"

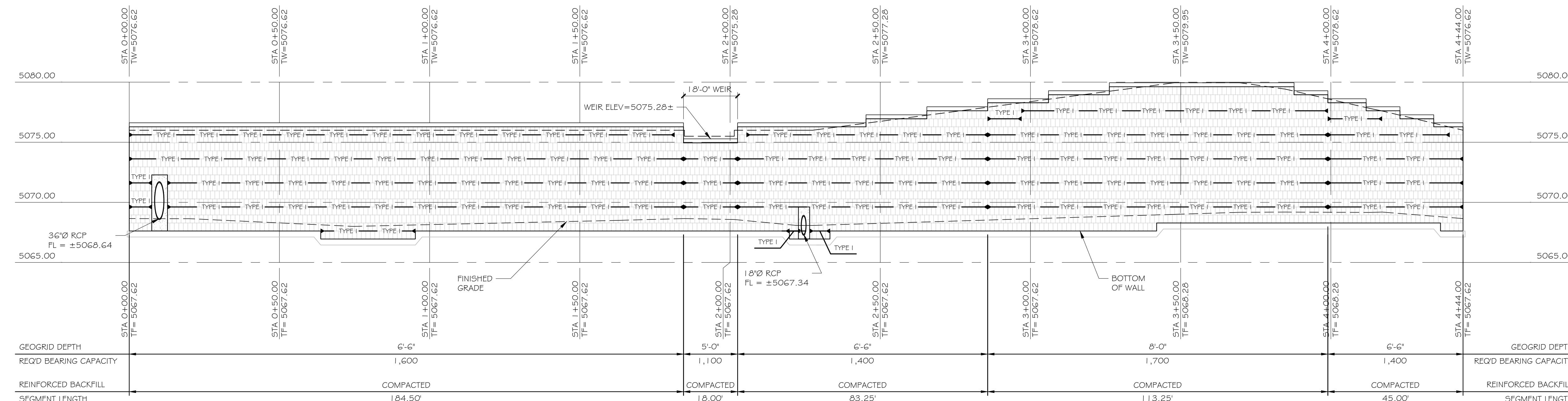
THIS WALL PLAN IS INTENDED FOR GENERAL LOCATION PURPOSES ONLY. REFER TO PROJECT SITE PLANS FOR SPECIFIC DIMENSIONS.

BLOCK PROPERTIES	
BLOCK TYPE	KEYSTONE
BLOCK STYLE	COMPAC

	DESCRIPTION	ϕ	γ
		(DEGREES)	(PCF)
FOUNDATION SOIL	LEAN CLAY	25	120
RETAINED SOIL	LEAN CLAY	25	120
REINFORCED BACKFILL	COMPACTED*	34	125

*SEE NOTES FOR ADDITIONAL INFORMATION

WALL PROPERTIES	
BACKSLOPE	H:V DEGREES
TOESLOPE	H:V DEGREES
BATTER	8 DEGREES
SETBACK	1.25 INCHES
SURCHARGE	
DEAD LOAD	0 PSF
LIVE LOAD	100 PSF



2 POND WALL ELEVATION

12 SCALE: 1"=20'-0" HORIZONTAL
SCALE: 1"=5'-0" VERTICAL

WALL ELEVATION NOTES:

1. GEORID DEPTH IS MEASURED FROM THE FRONT FACE OF BLOCK
2. SEGMENT LENGTH IS THE DISTANCE BETWEEN GRID DEPTH TRANSITIONS
3. REINFORCED BACKFILL - SEE DETAIL 1/14
4. REQD BEARING CAPACITY IS IN PSF

STRUCTURAL DESIGN HEREIN REPRESENTS A FINISHED STRUCTURE. THE GENERAL CONTRACTOR/OWNER SHALL PROVIDE ALL INTERIM BRACING, SHORING, INTERIM DRAINAGE PROVISIONS, DRAINAGE DIVERSION AND EROSION PROTECTION REQUIRED UNTIL FINAL CAPPING, PAVING, CURBING AND COMPLETION OF FINAL STORM DRAIN SYSTEM IS COMPLETE.



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DESIGNED BY: BCS
CHECKED BY: SK
DRAWN BY: MPV



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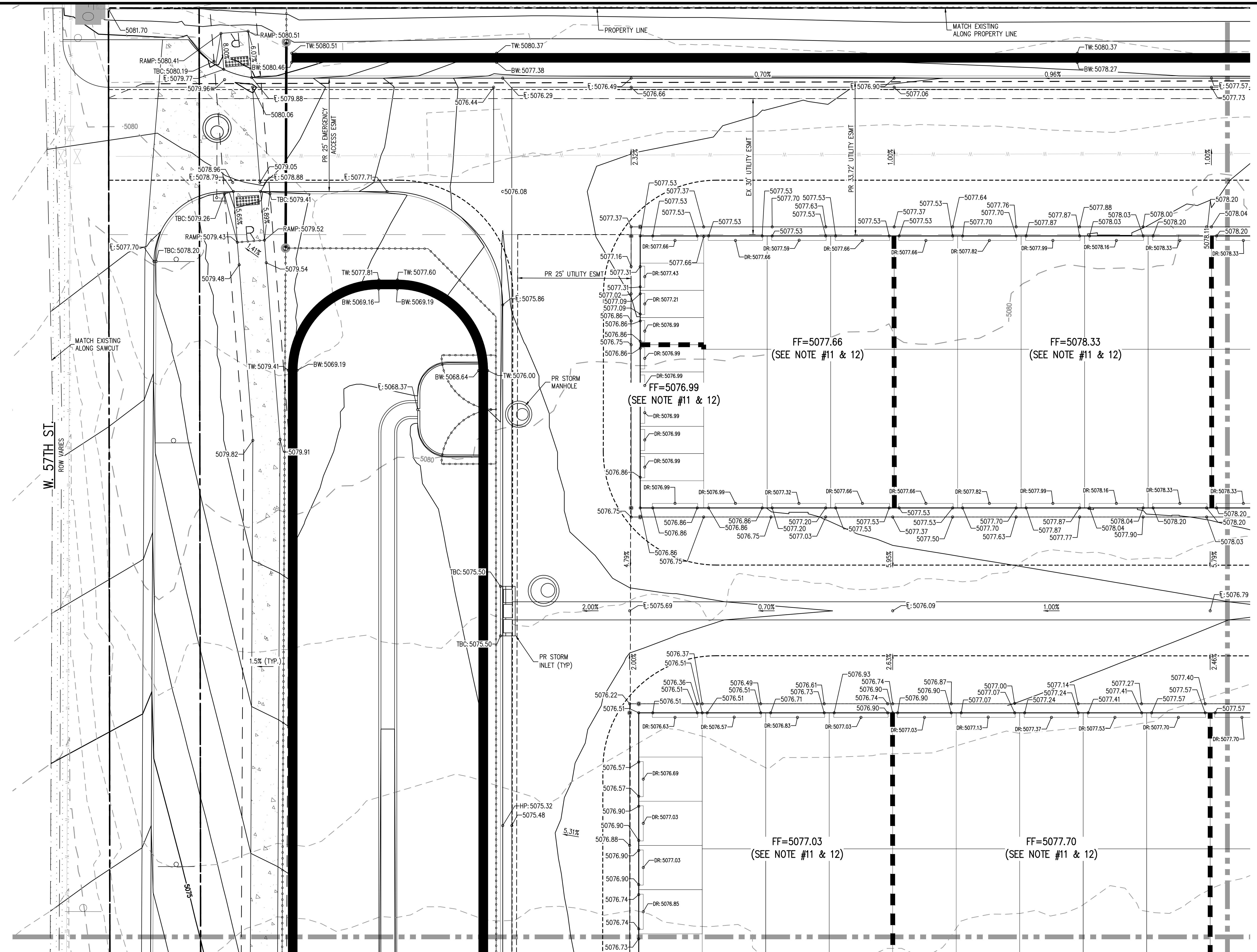
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
WALL PLAN & ELEVATIONS

ISSUE DATE: 2/18/2019	PROJECT #: 19-010
DATE	REVISION COMMENTS

ROSCH ENGINEERING
720 S CO BLVD PENTHOUSE N
DENVER, CO 80246
PHONE: 303-900-8714
FAX: 636-532-7773
ROSCH

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CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

0 10 20
SCALE: 1" = 10'

HKS HARRIS KOCHER SMITH
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P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

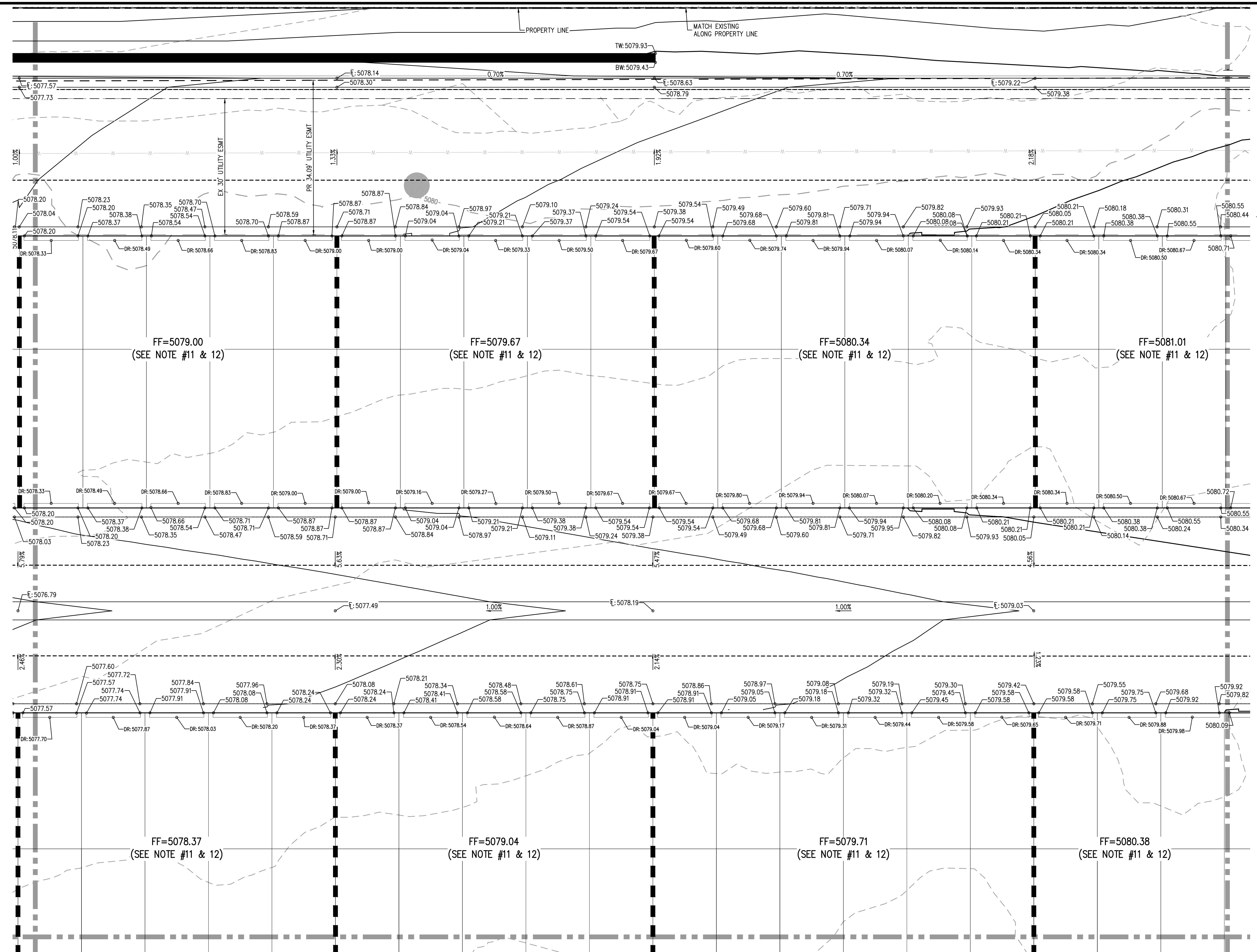
BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
DETAILED GRADING PLAN

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE 11-12-2018 02-25-2019	PER CITY OF LOVELAND COMMENTS PER CITY OF LOVELAND COMMENTS
REVISION COMMENTS	

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CONSTRUCTION

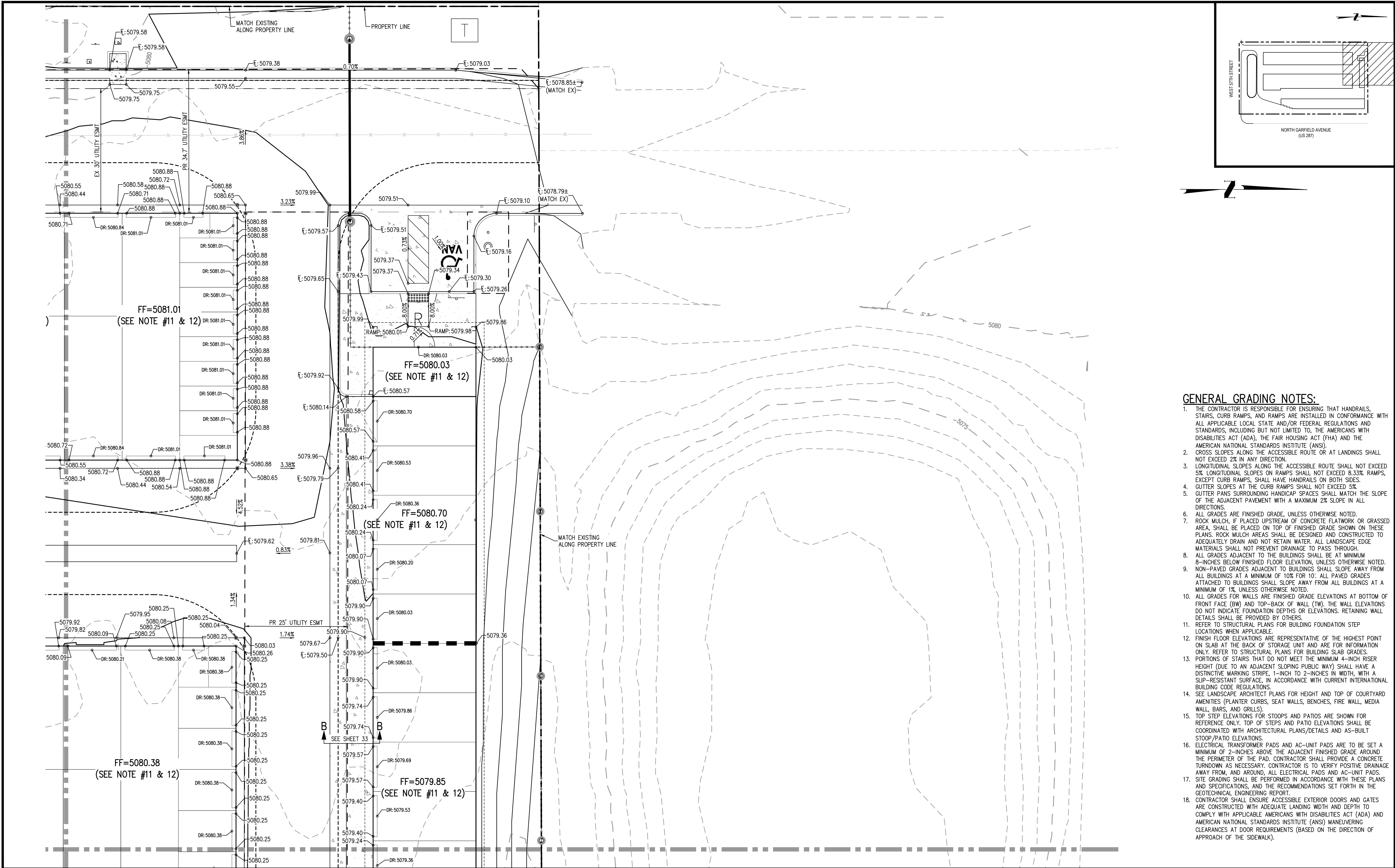
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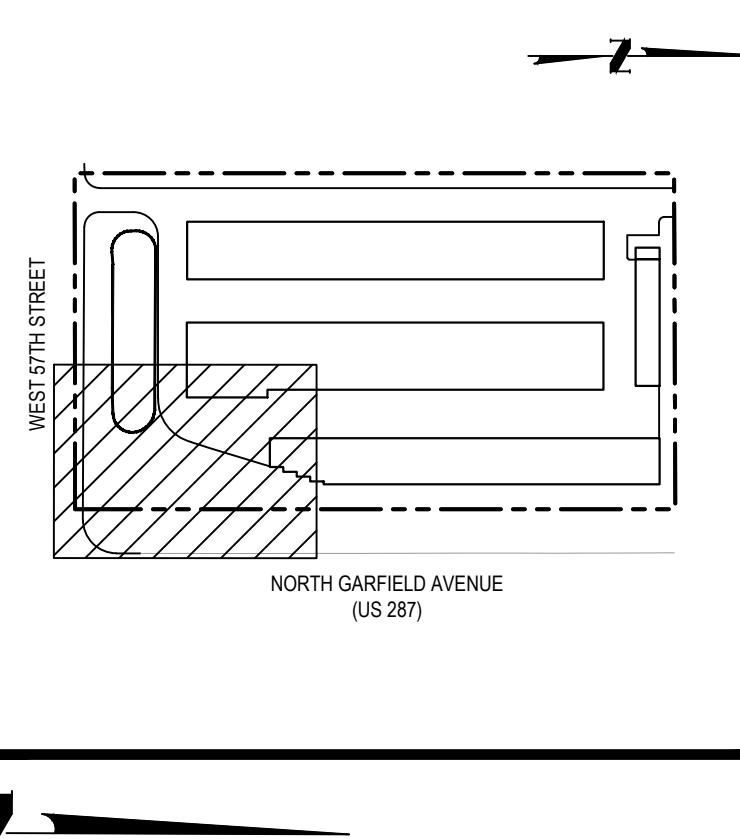
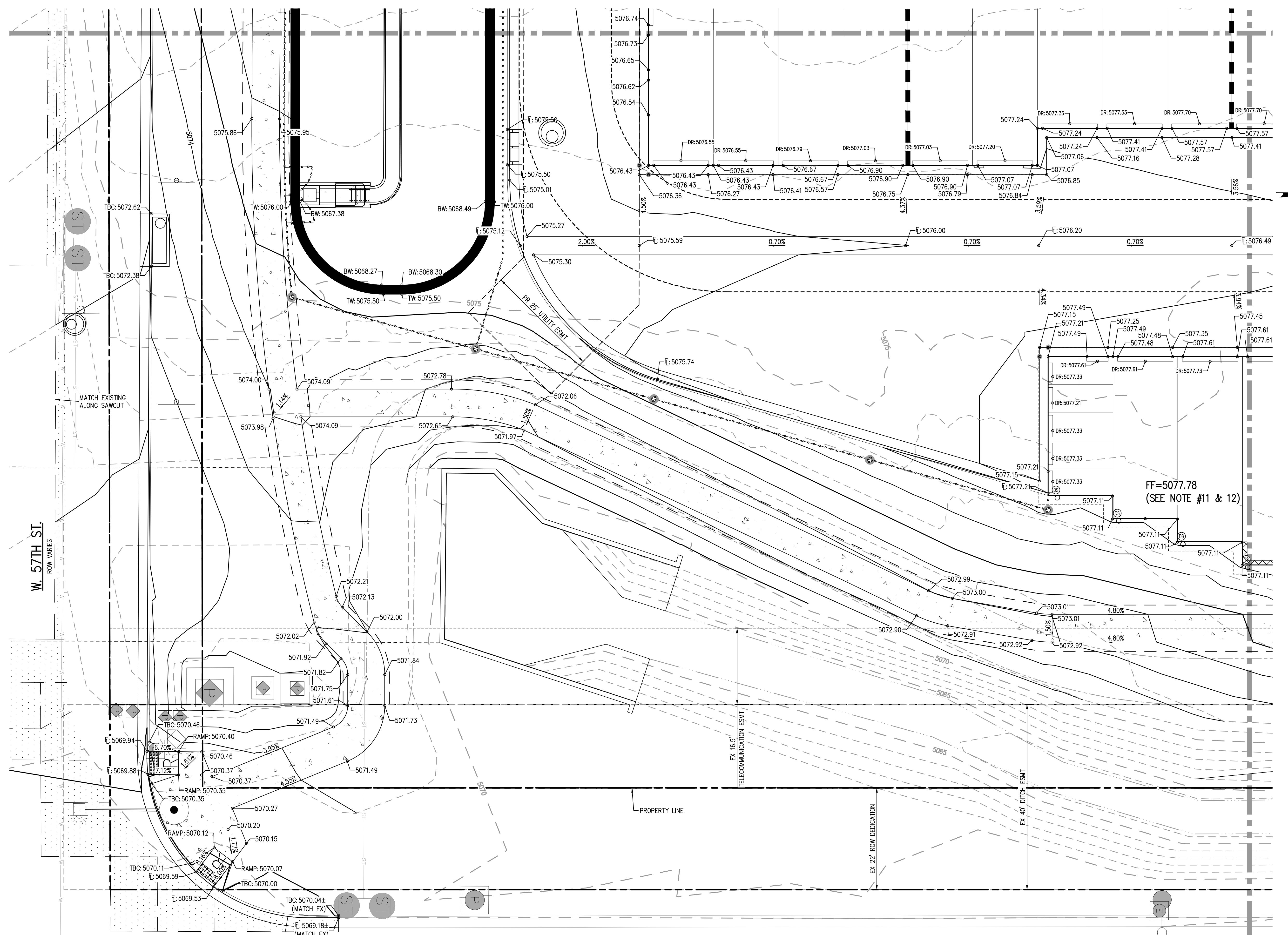


GENERAL GRADING NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS ARE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL STATE AND/OR FEDERAL REGULATIONS AND STANDARDS, INCLUDING BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- CROSS SLOPES ALONG THE ACCESSIBLE ROUTE OR AT LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- LONGITUDINAL SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED 8.33% RAMPS, EXCEPT CURB RAMPS, SHALL HAVE HANDRAILS ON BOTH SIDES.
- GUTTER SLOPES AT THE CURB RAMPS SHALL NOT EXCEED 5%.
- GUTTER PANS SURROUNDING HANDICAP SPACES SHALL MATCH THE SLOPE OF THE ADJACENT PAVEMENT WITH A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- ALL GRADES ARE FINISHED GRADE, UNLESS OTHERWISE NOTED.
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- NON-PAVED GRADES ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 10% FOR 10'. ALL PAVED GRADES ATTACHED TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 1%, UNLESS OTHERWISE NOTED.
- ALL GRADES FOR FRONT WALLS ARE FINISHED GRADE ELEVATIONS AT BOTTOM OF FRONT FACE (BW) AND TOP-BACK OF WALL (TW). THE WALL ELEVATIONS DO NOT INDICATE FOUNDATION DEPTHS OR ELEVATIONS. RETAINING WALL DETAILS SHALL BE PROVIDED BY OTHERS.
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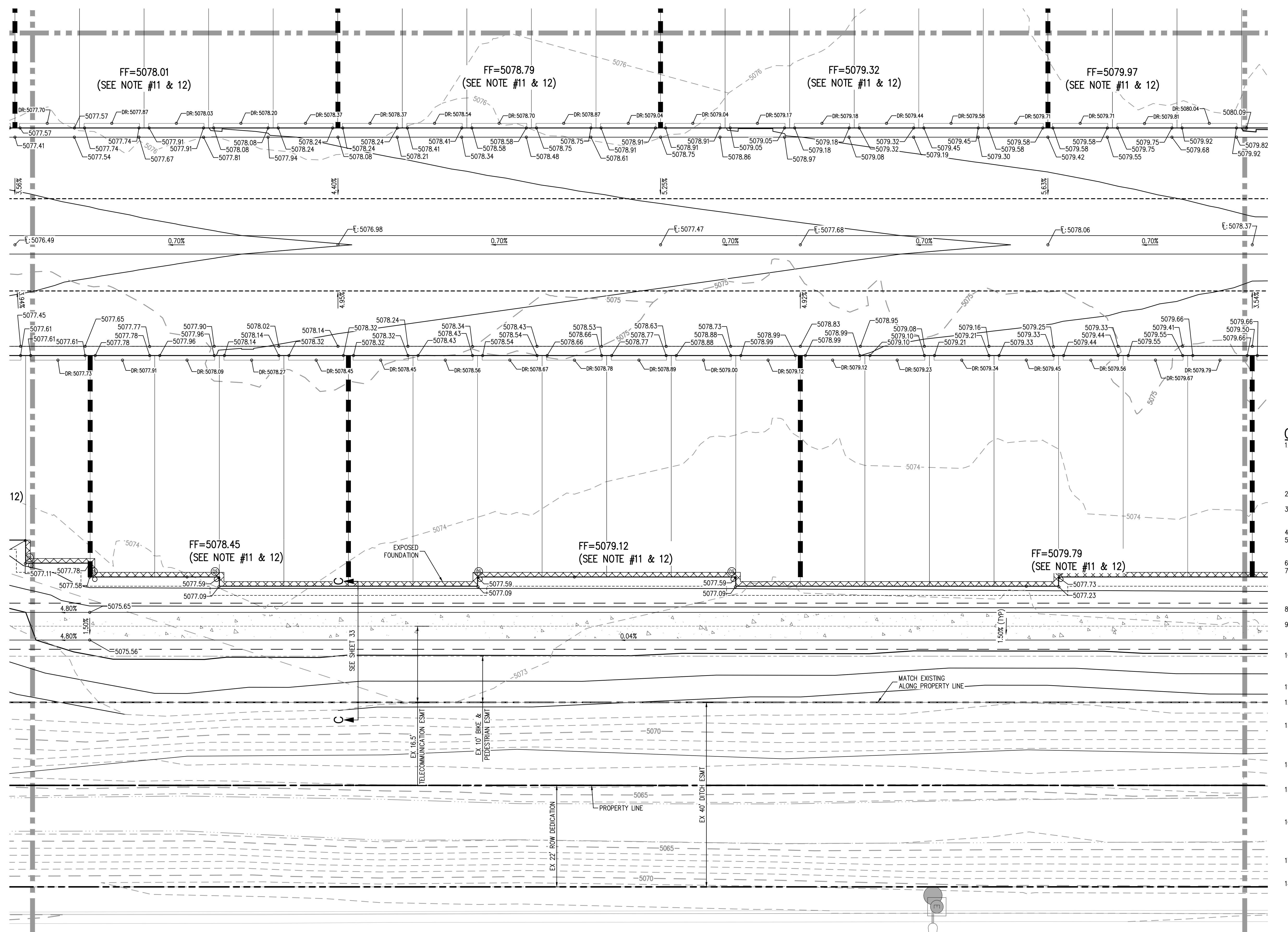


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HarrisKocherSmith.com

BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS

DETAILED GRADING PLAN



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OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.

DESIGNED BY: TEH
CHECKED BY: MSM
DRAWN BY: JMN

SCALE: 1" = 10'

HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

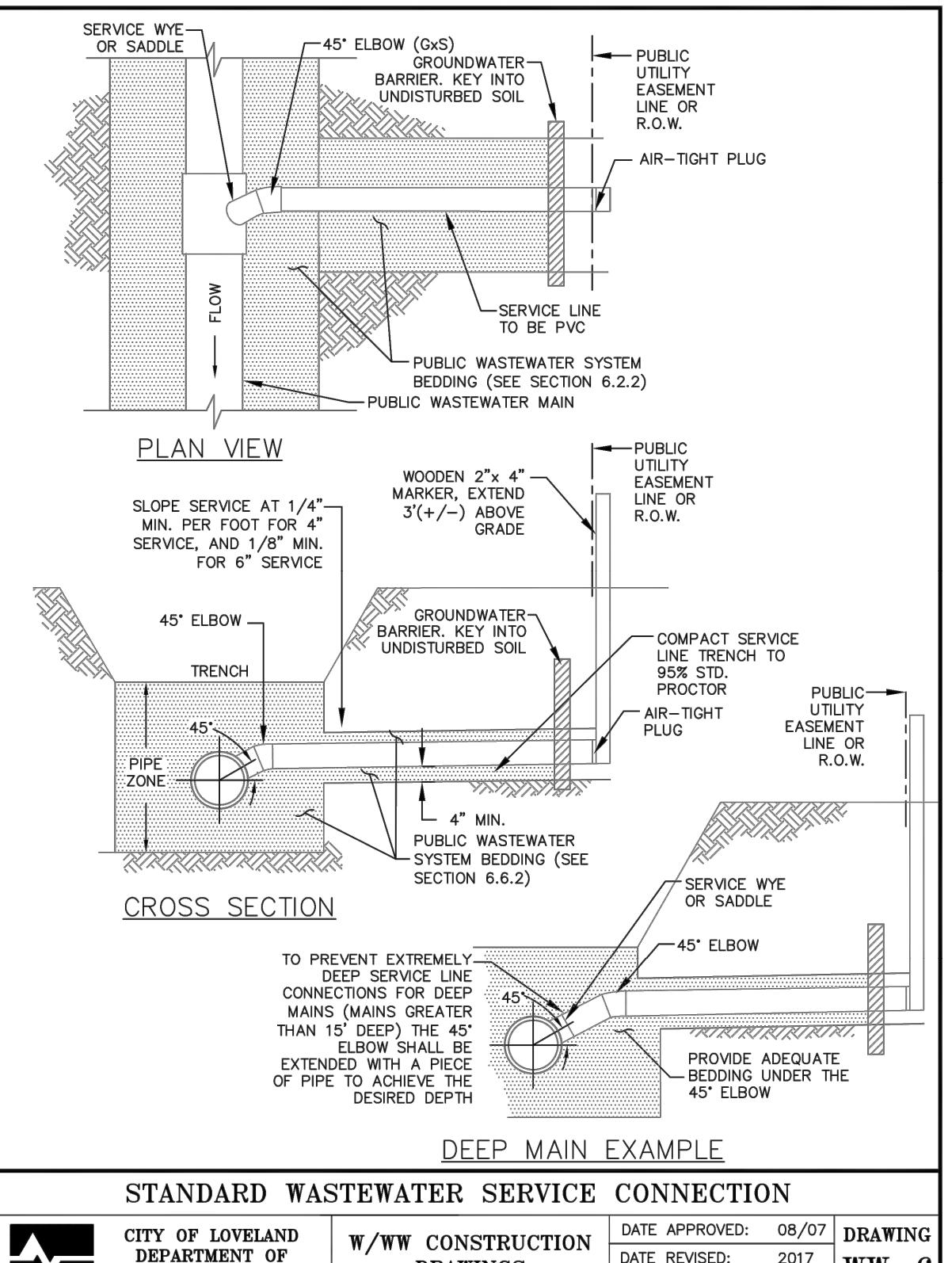
BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
DETAILED GRADING PLAN

ISSUE DATE	07-03-2018	PROJECT #	170108
DATE		REVISION COMMENTS	
11-12-2018	PER CITY OF LOVELAND COMMENTS		
02-25-2019	PER CITY OF LOVELAND COMMENTS		

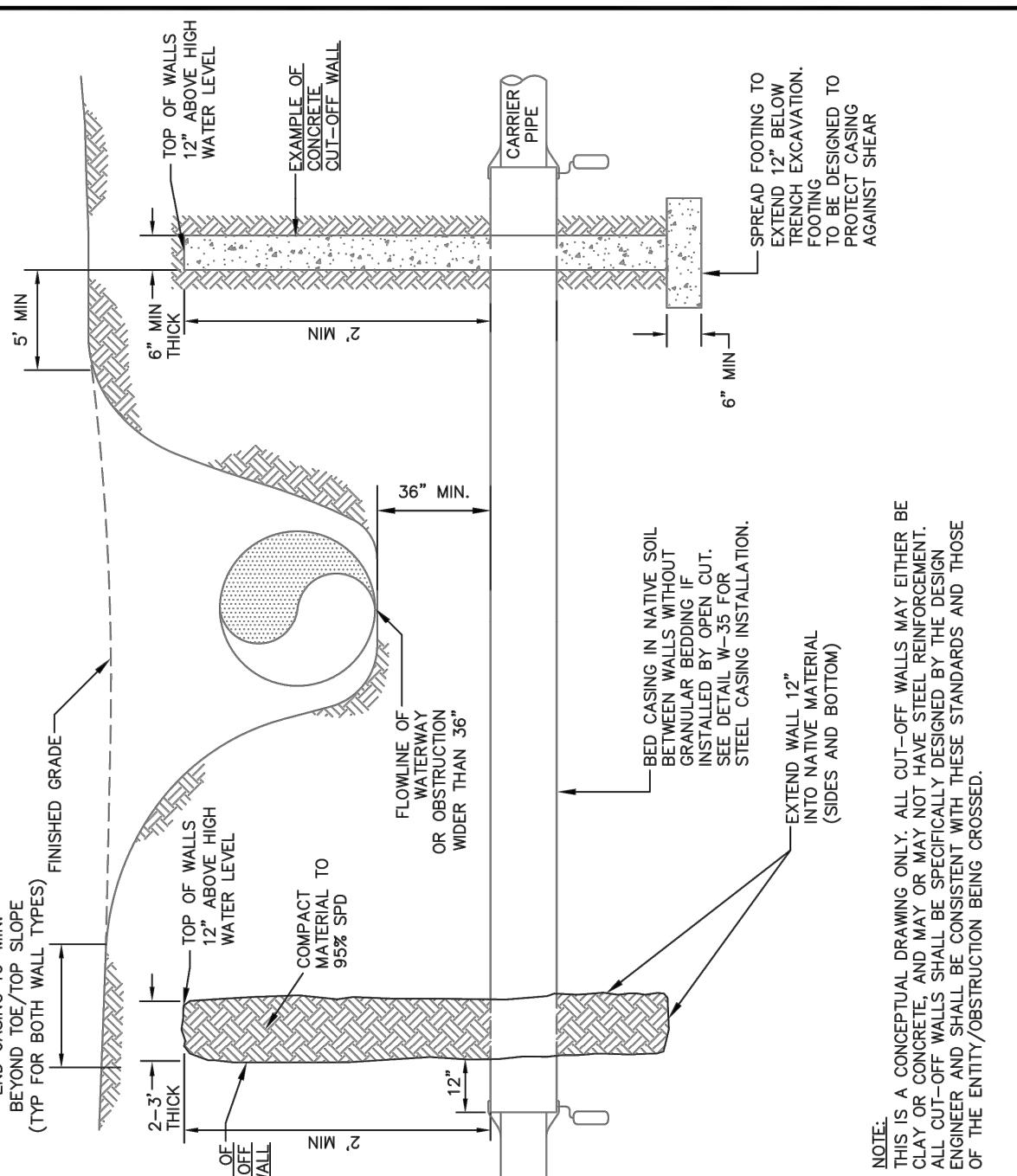
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18 OF 37



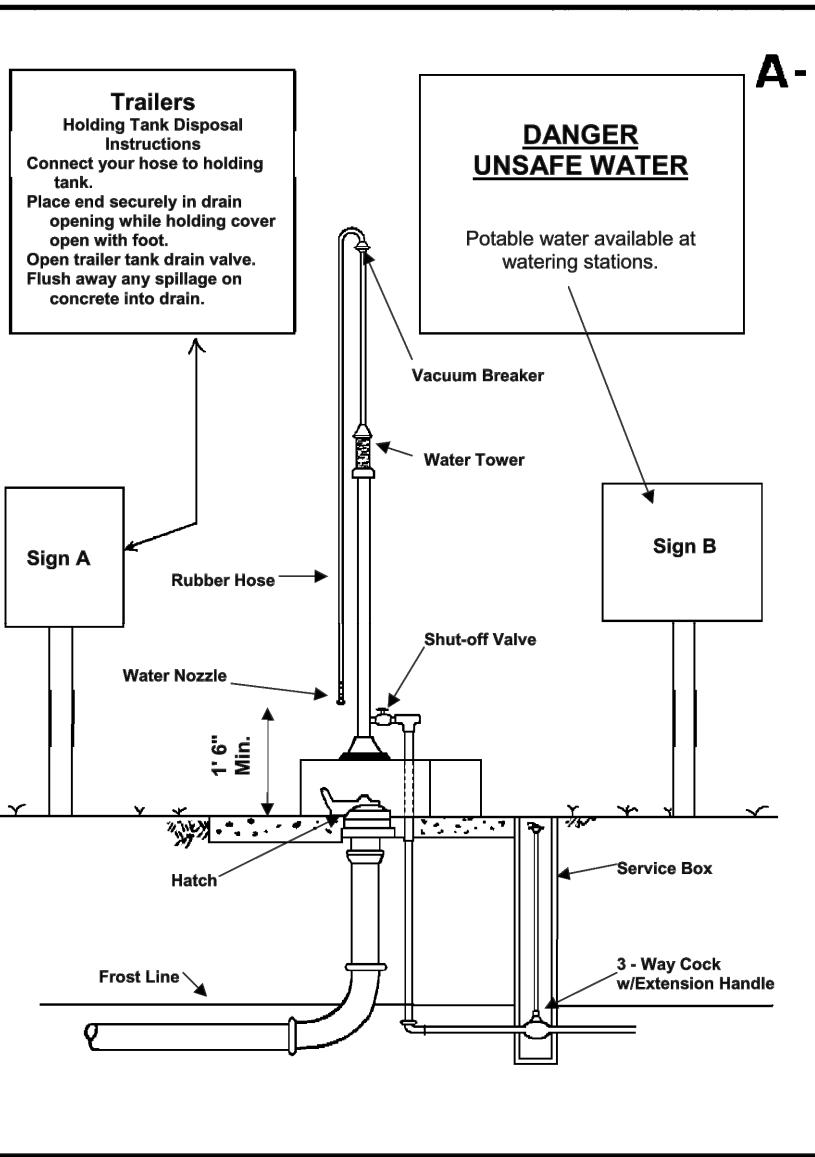
STANDARD WASTEWATER SERVICE CONNECTION

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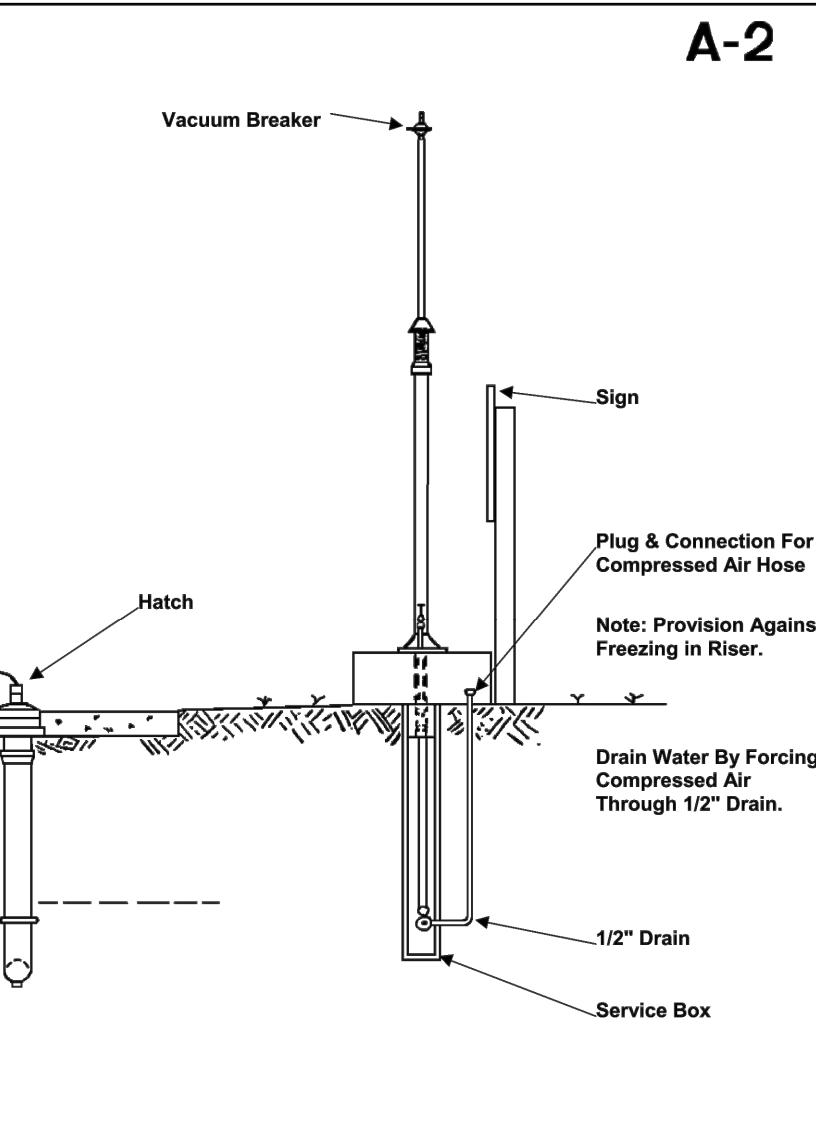


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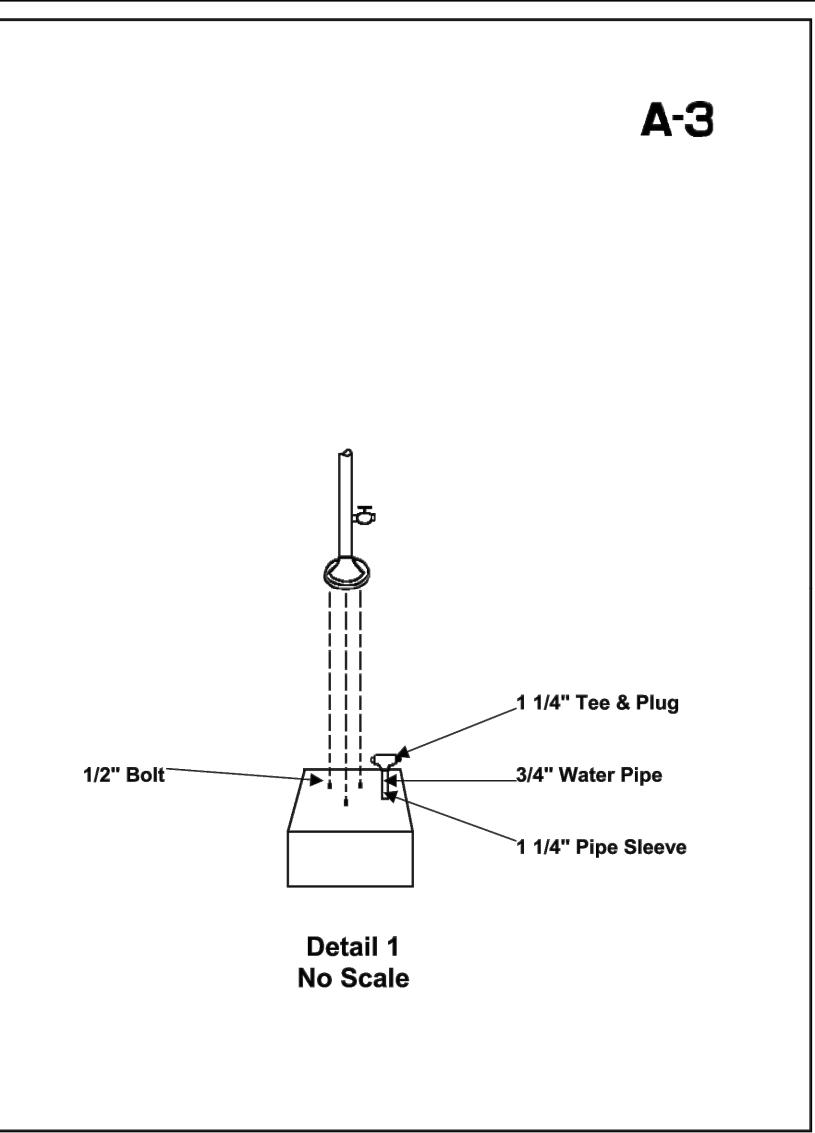
CITY OF LOVELAND DEPARTMENT OF WATER AND POWER W/WW CONSTRUCTION DRAWINGS DATE APPROVED: 08/07 DRAWING WW-7 DATE REVISED: 01/10



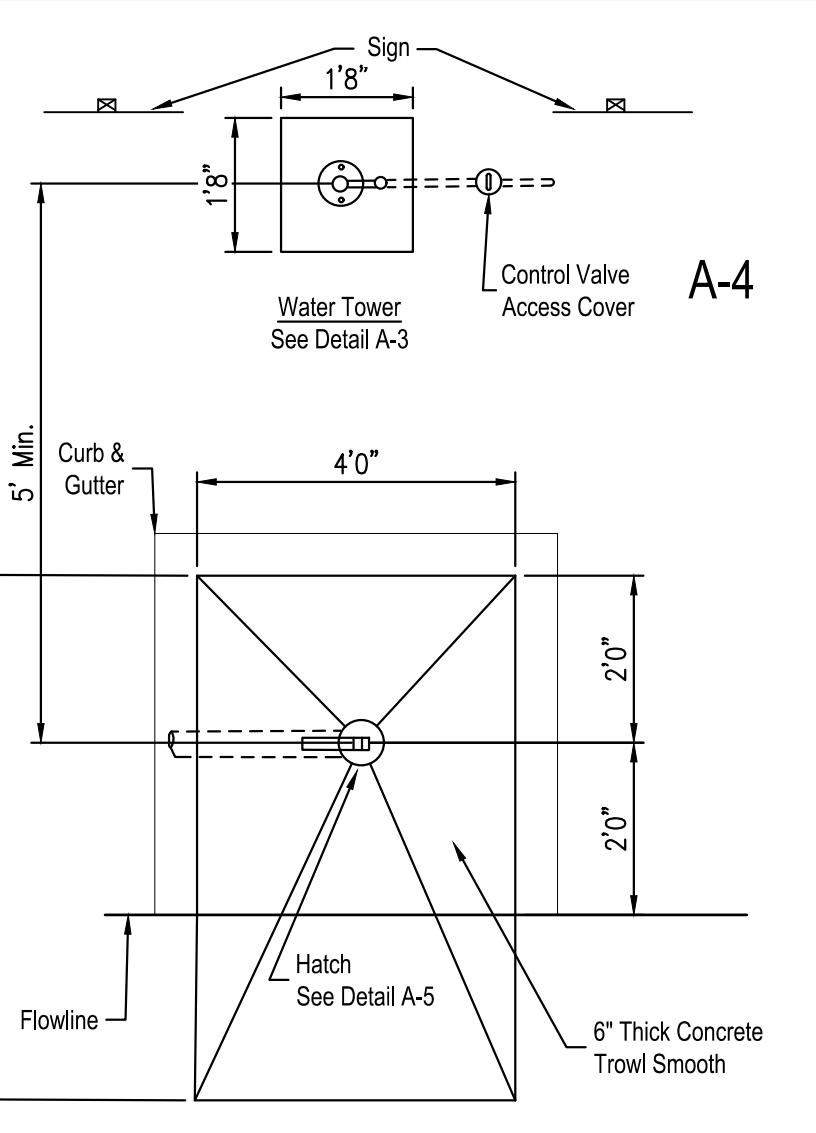
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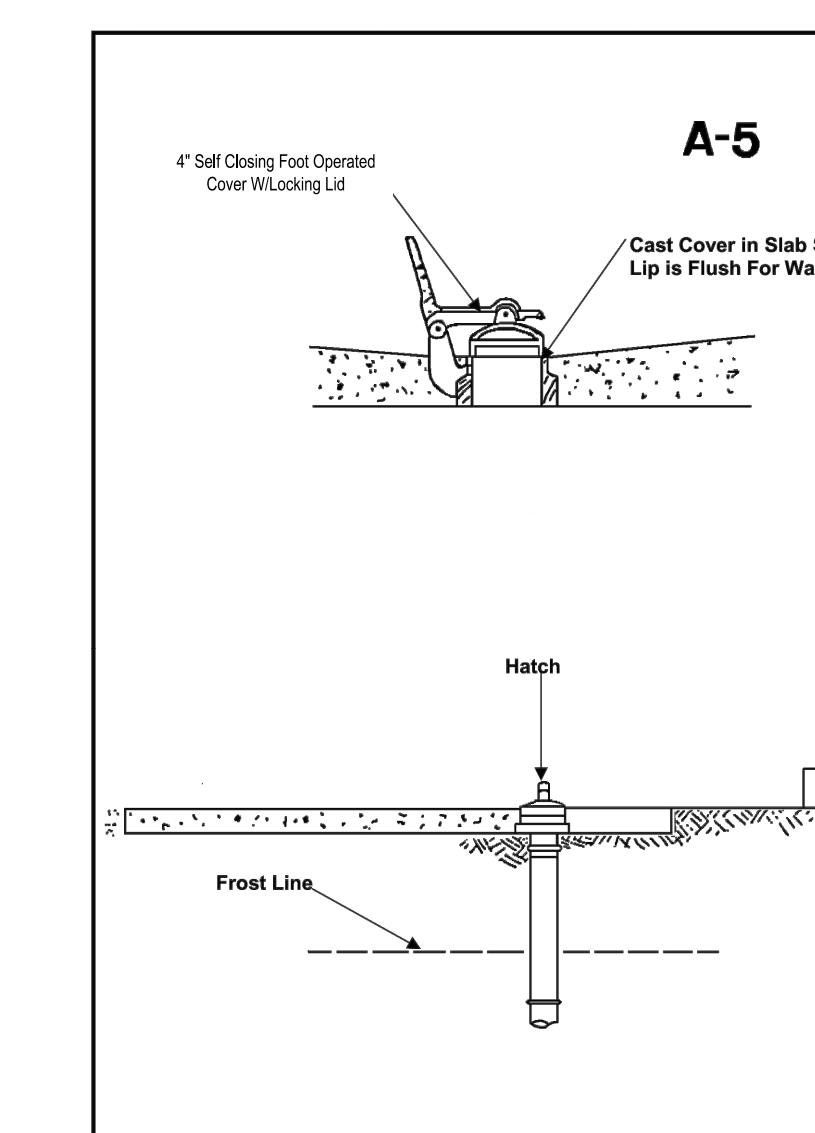
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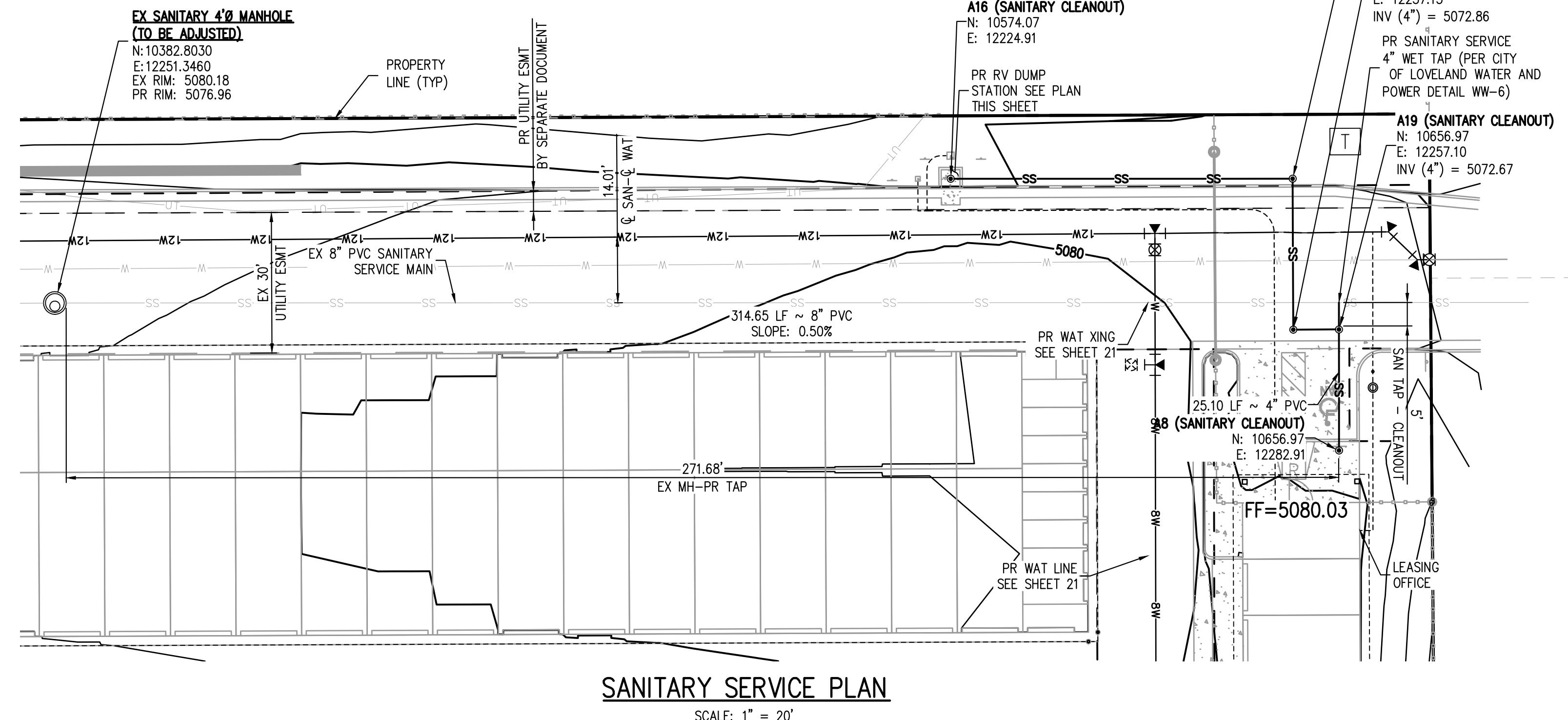
A-3



A-4



A-5



SANITARY SERVICE PLAN

SCALE: 1" = 20'

RV DUMPING STATION NOTES:

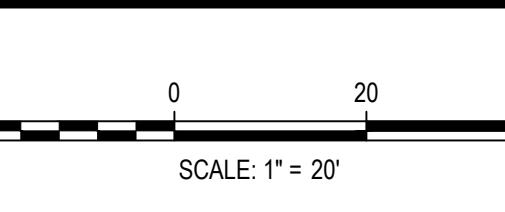
1. A SLOPED CONCRETE APRON WITH A DRAIN NO GREATER THAN 4 INCHES IN DIAMETER AT THE LOW POINT NEAR THE CENTER OF THE PAD.
2. A TIGHT FITTING DRAIN COVER W/LOCKING LID (TO PREVENT THE ESCAPE OF ODORS) EQUIPPED WITH A FOOT OPERATED ATTACHMENT OR SIMILAR DEVICE, TO OPEN THE DRAIN COVER WITHOUT DIRECTLY CONTAINING WASTE MATERIAL.
3. AN APPROVED WATER OUTLET OR HYDRANT ADJACENT TO THE DUMPING STATION FOR FLUSHING DOWN THE DRAIN PAD AFTER USE.
4. AN APPROVED ATMOSPHERIC VACUUM BREAKER ATTACHED TO THE WATER OUTLET TO PREVENT POSSIBLE BACK-SIPHONAGE INTO THE WATER SUPPLY SYSTEM. THE VACUUM BREAKER MUST BE INSTALLED DOWNSTREAM FROM THE SHUTOFF VALVE AND AT THE HIGHEST POINT.
5. AN ADEQUATE LENGTH OF FLEXIBLE HOSE FOR FLUSHING THE CONCRETE APRON AND DRAIN. A MEANS MUST BE PROVIDED TO RETRACT THE HOSE WHEN NOT IN USE SO IT DOES NOT CONTACT THE CONCRETE PAD OR REST ON THE GROUND SURFACE.
6. A SIGN MUST BE POSTED AT THE SANITARY DUMPING STATION STATING THAT THE ADJACENT WATER OUTLET IS "UNSAFE FOR DRINKING".
7. WATER AT THE DUMPING STATION MUST DISCHARGE TO AN APPROVED WASTEWATER DISPOSAL SYSTEM.

SANITARY SERVICE TABLE								
BLDG SERVICE	SAN STA @ MAIN	INV OF MAIN (@ TAP)	INV OF SERVICE (@ TAP)	INV @ BLDG CLEANOUT	BLDG FF	LENGTH (FT)	SLOPE (%)	SIZE (DIA. IN.)
LEASING OFFICE	EX MAIN IN DRIVE	5071.58	5072.58	5073.19	5078.65	30.12	2.08	4"
RV DUMP STATION	EX MAIN IN DRIVE	5071.58	5072.58	5075.05	5078.51	119.27	2.08	4"



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FILEPATH: P:\T070108\ENGINEERING\UTILITIES\SANITARY\PLAN & PROFILE\ING LAYOUT
811REF.CAD.DWG 1000x1000.dwg (1000x1000) 1000x1000.dwg (1000x1000) 1000x1000.dwg (1000x1000)
PLOTTED: WED 02/27/19 10:20 AM BY: TIM HOFFMAN



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DESIGNED BY: JMN
CHECKED BY: MSM
DRAWN BY: JMN

BIGHORN RV STORAGE LLC

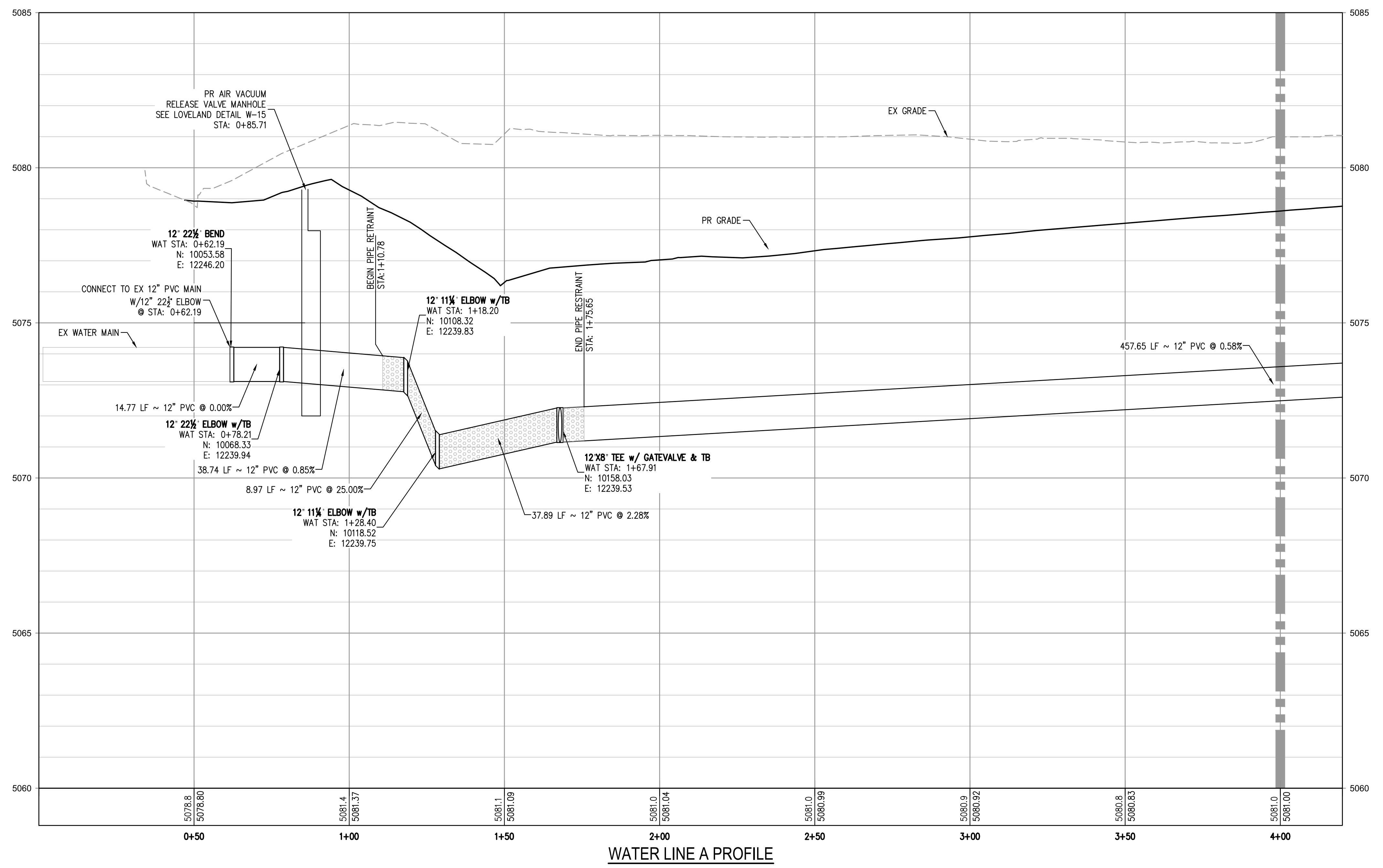
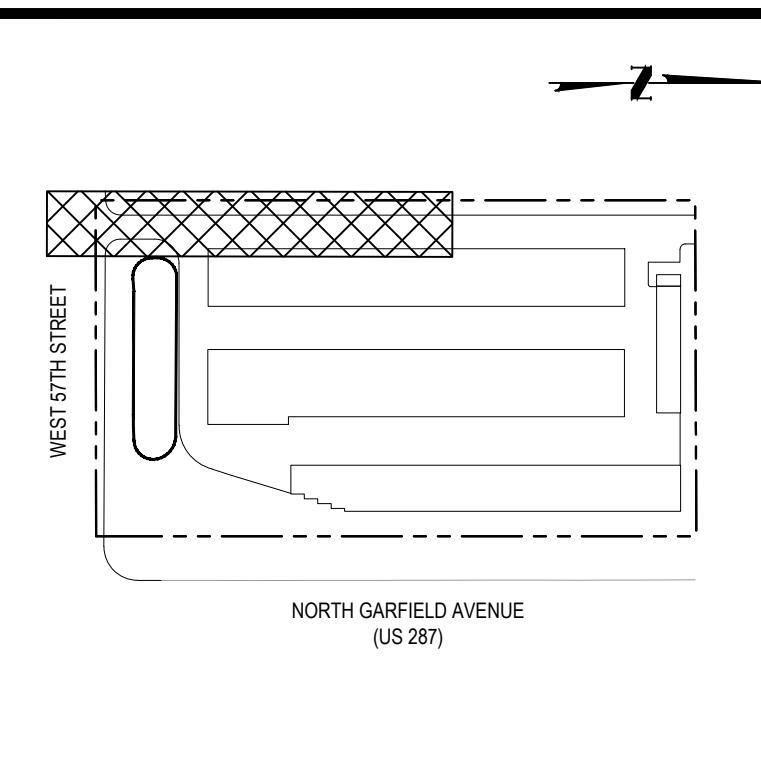
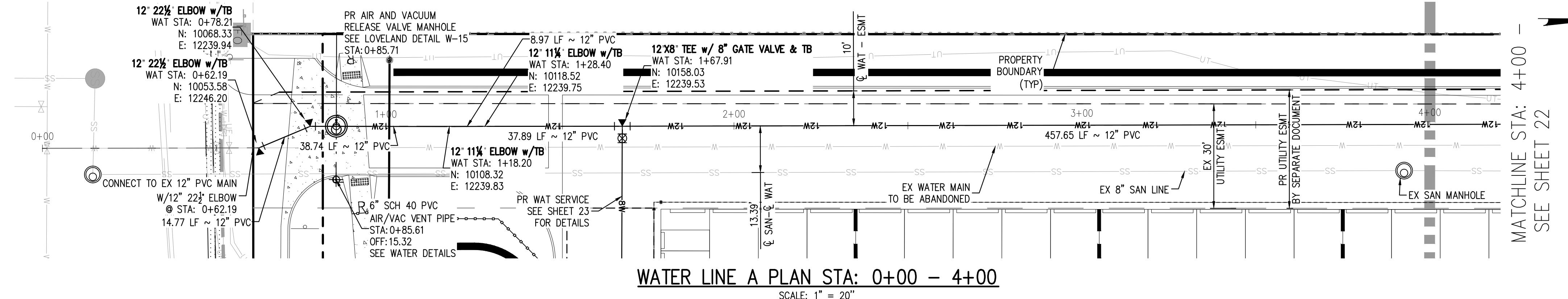
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
RV DETAILS & SANITARY SERVICE PLAN

ISSUE DATE: 07-03-2018	PROJECT #: 170108
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CONSTRUCTION

SHEET NO.
20

20 OF 37



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A scale bar at the top of the page shows a horizontal line with two vertical tick marks. The tick mark on the left is labeled '20' and the tick mark on the right is labeled '0'. Below the scale bar, the text 'SCALE: 1" = 20' is printed. At the bottom of the page, there is a thick black horizontal bar. Above this bar, the text 'DESIGNED BY: JMN' is printed. Below the bar, the text 'CHECKED BY: MSM' and 'DRAWN BY: JMN' is printed.



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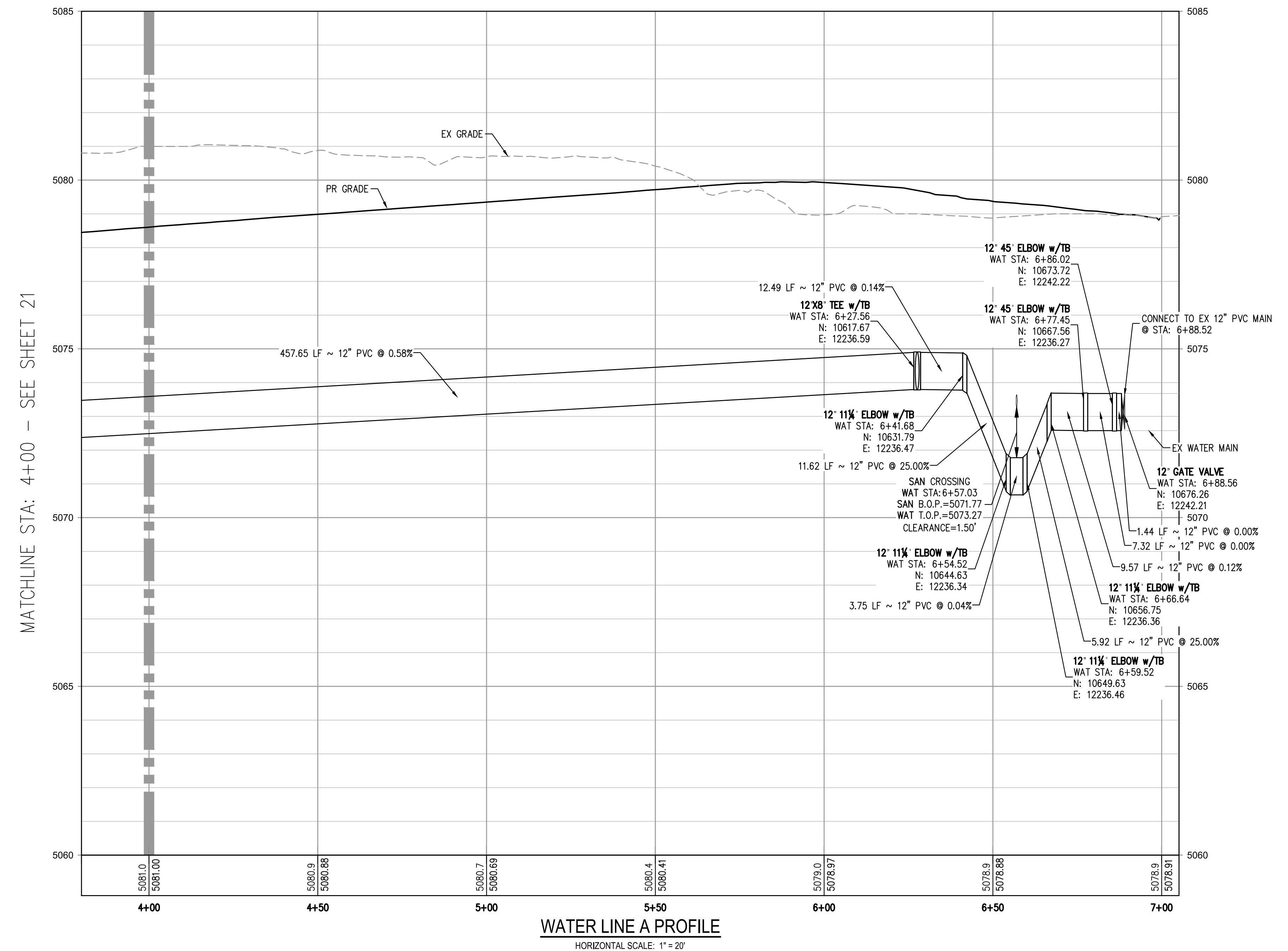
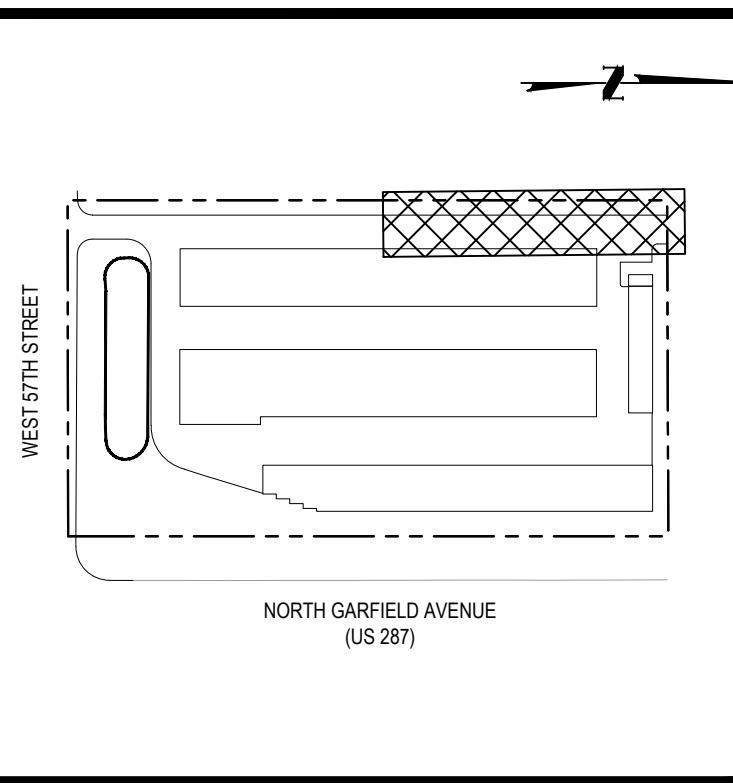
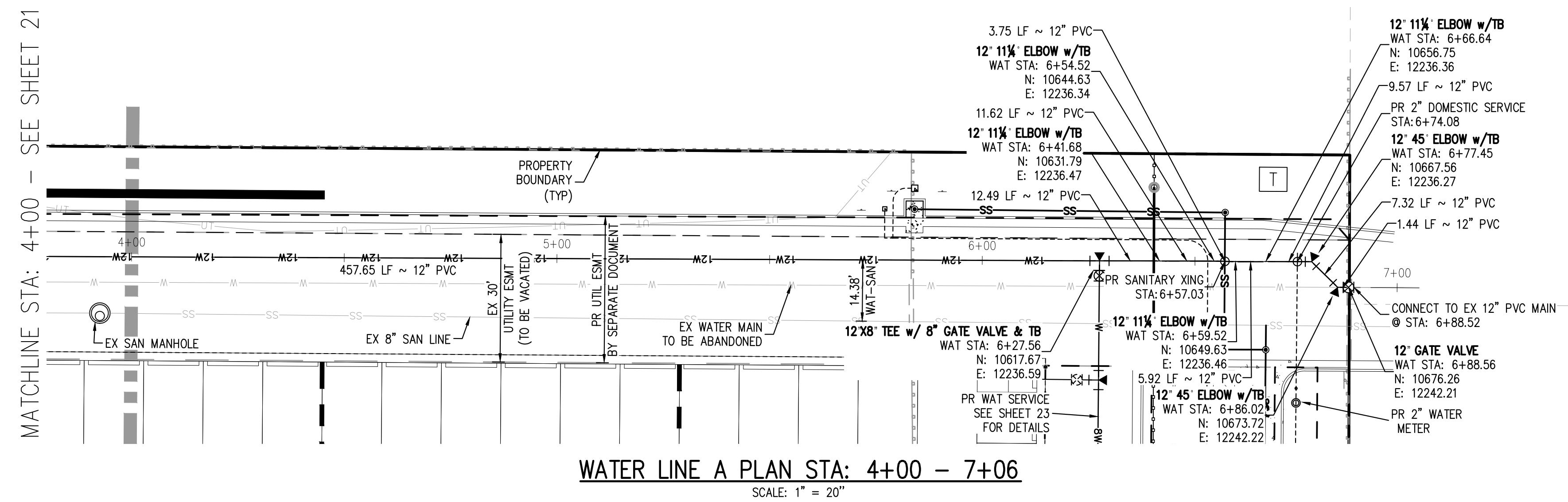
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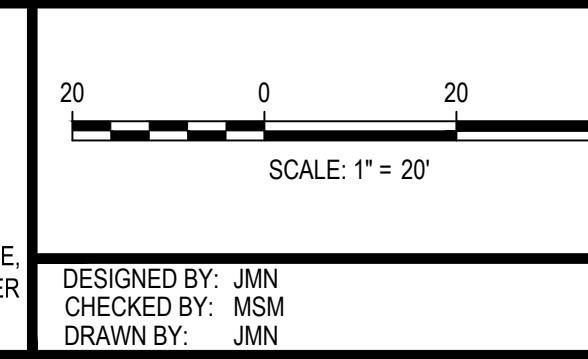
WATER LINE A PLAN & PROFILE

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21



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UTILITIES.

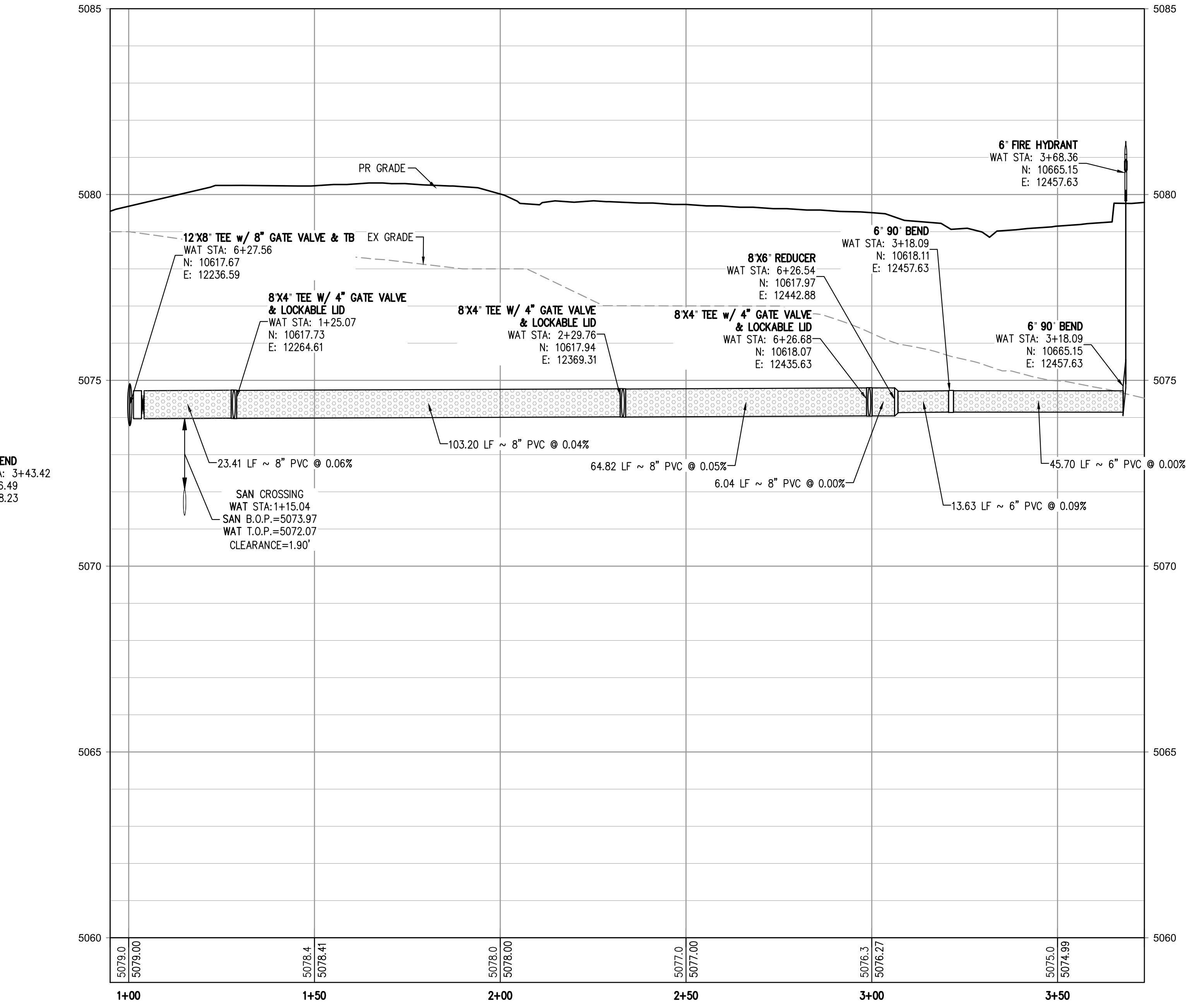
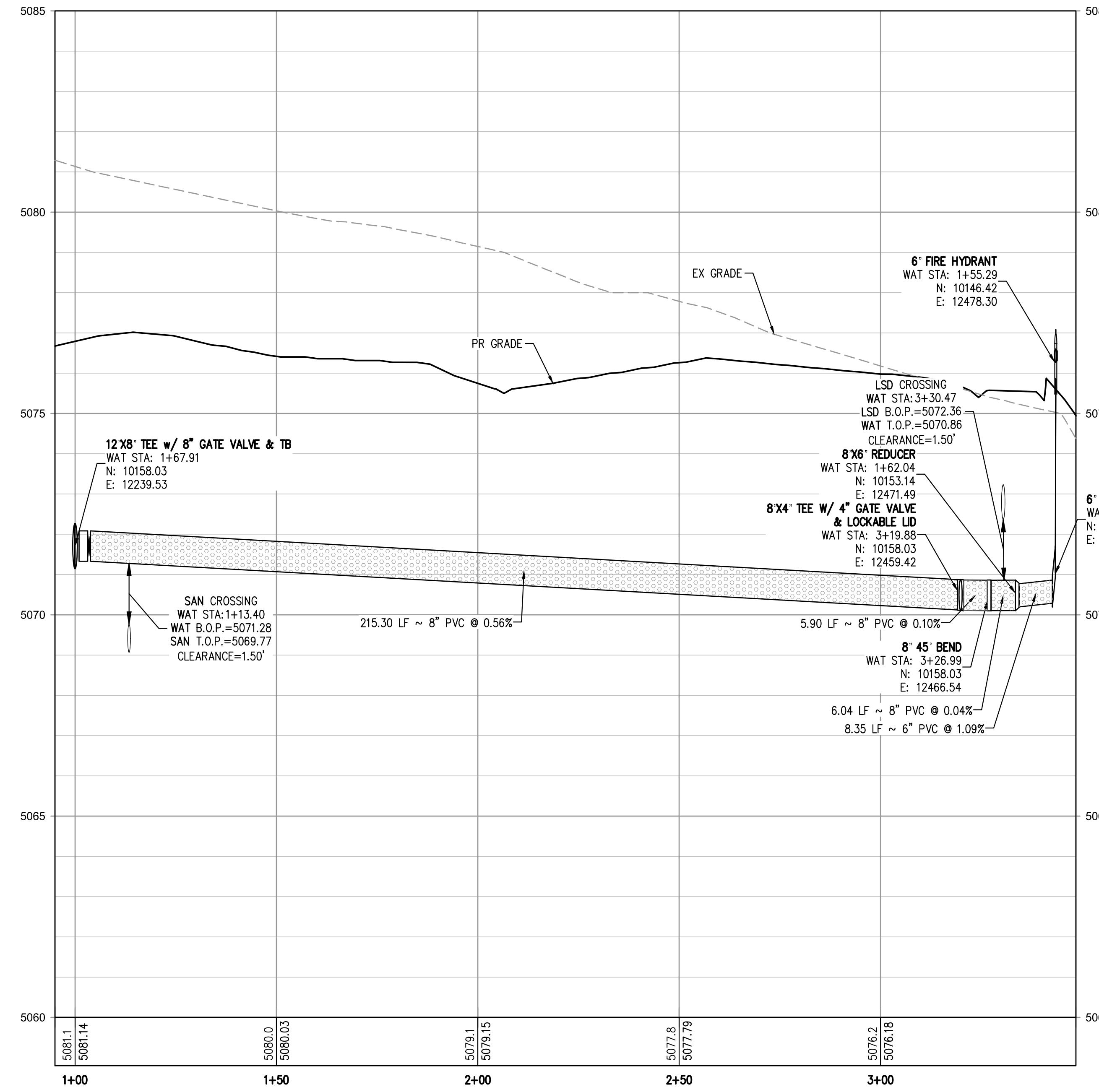
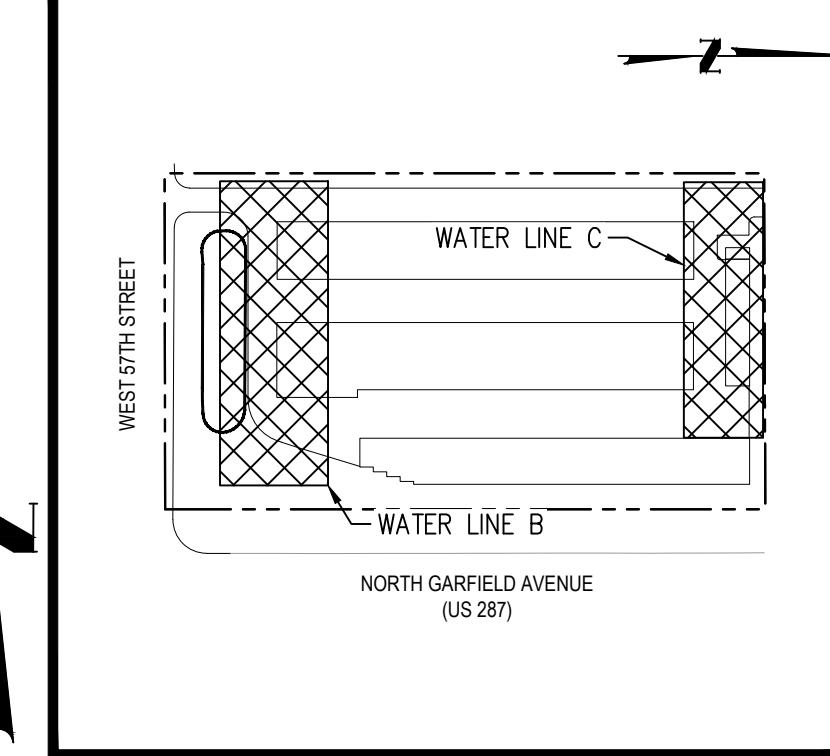
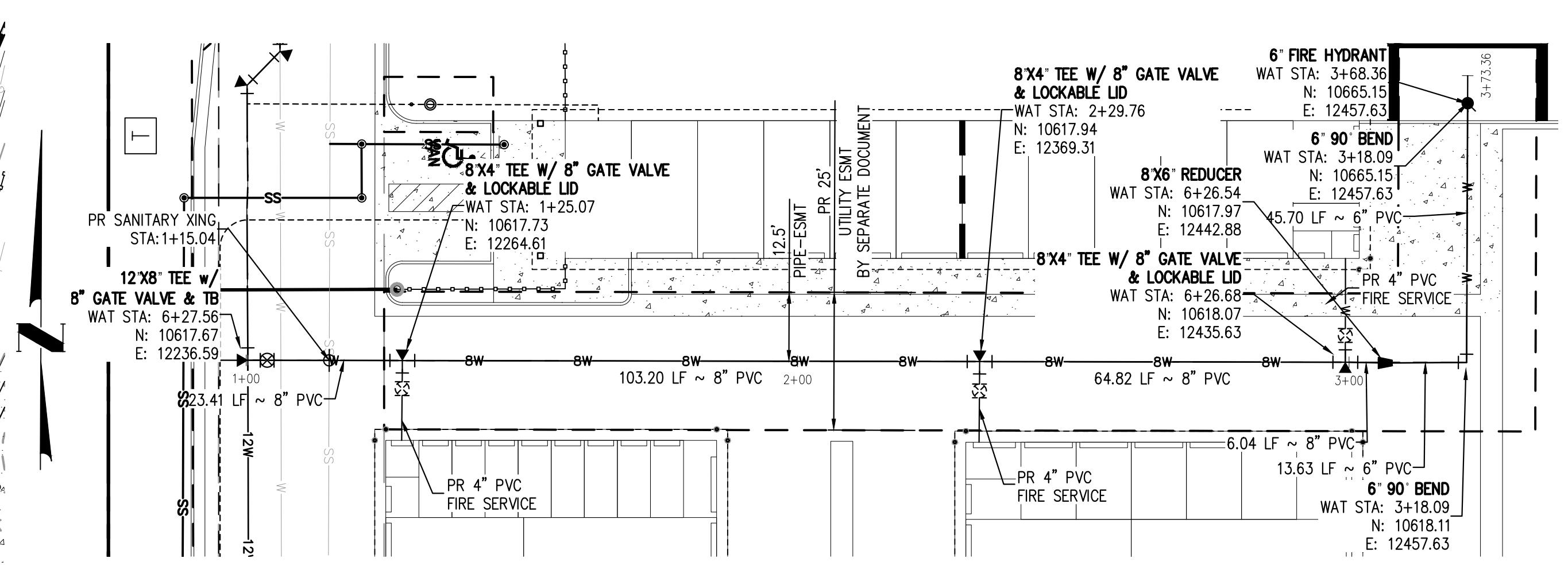
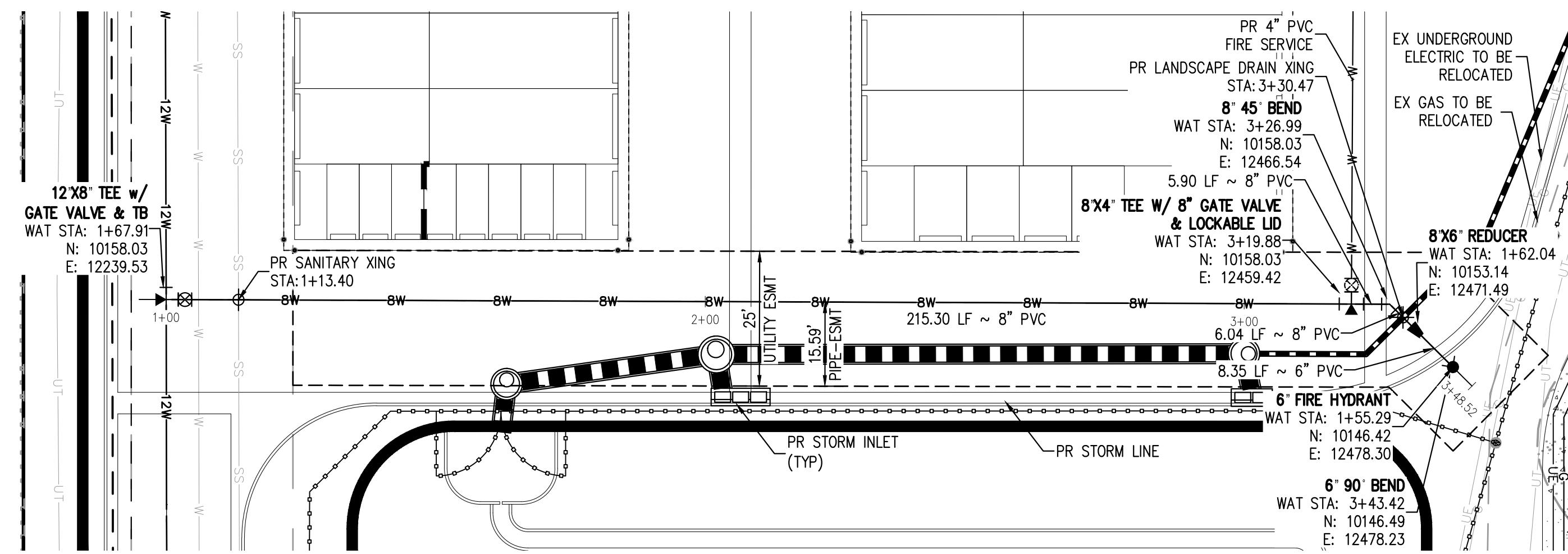
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PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
WATER LINE A PLAN & PROFILE

ISSUE DATE: 07-03-2018		PROJECT #: 170108
DATE	REVISION COMMENTS	
11-12-2018	PER CITY OF LOVELAND COMMENTS	
02-25-2019	PER CITY OF LOVELAND COMMENTS	

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SHEET NO.
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22 OF 37



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811

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UTILITIES.

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CHECKED BY: MSM
DRAWN BY: JMN

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HKS HARRIS
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HarrisKocherSmith.com

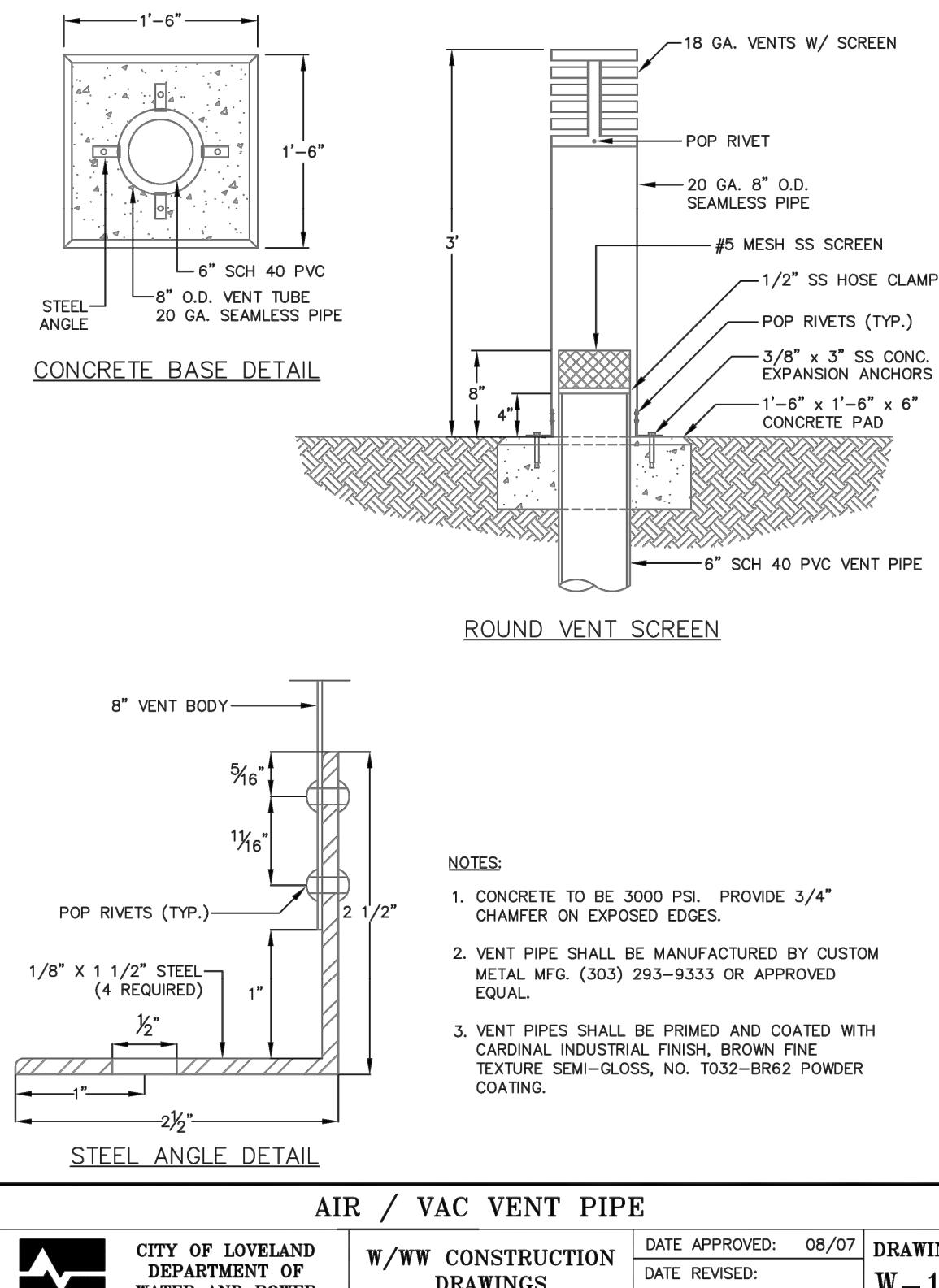
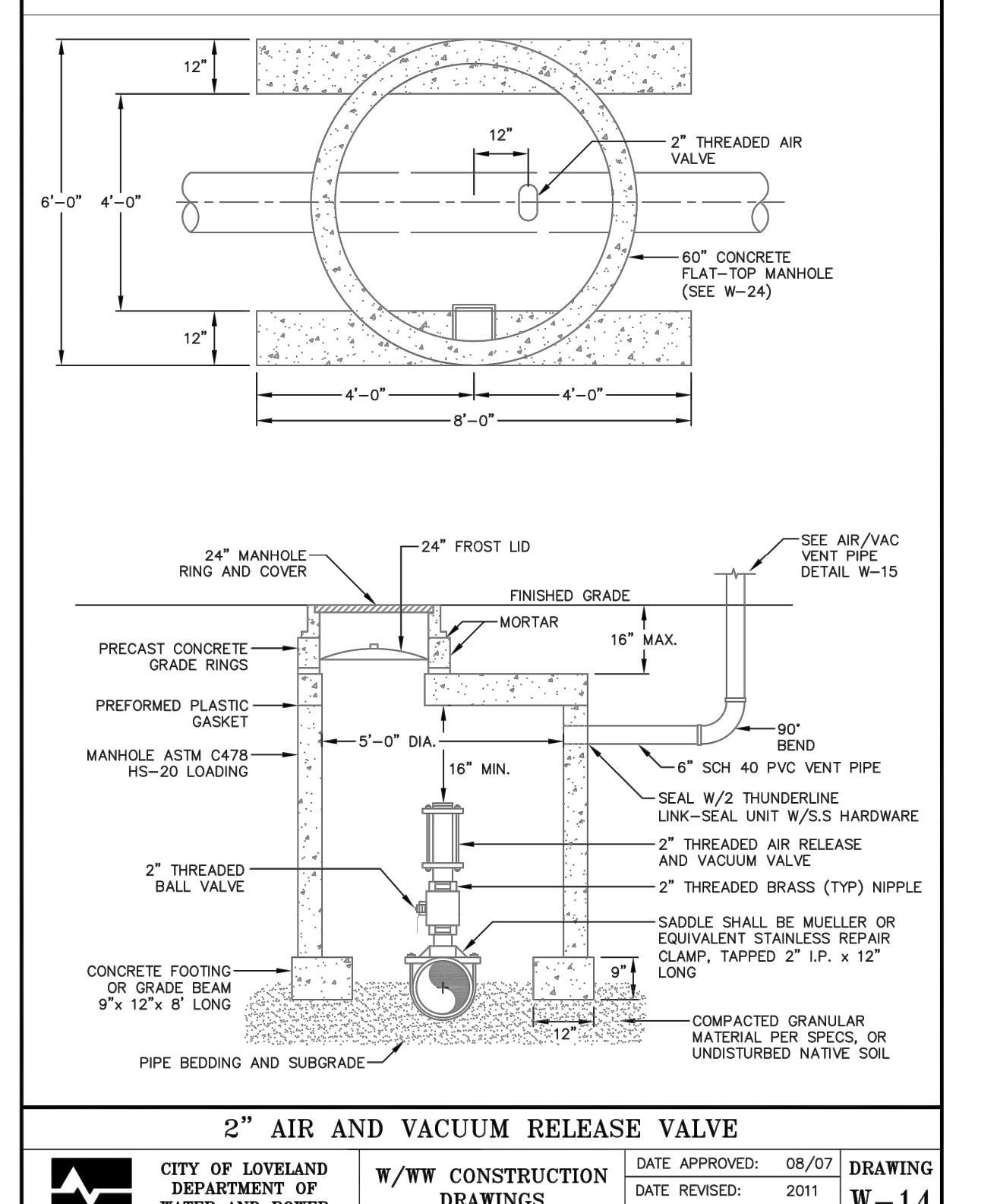
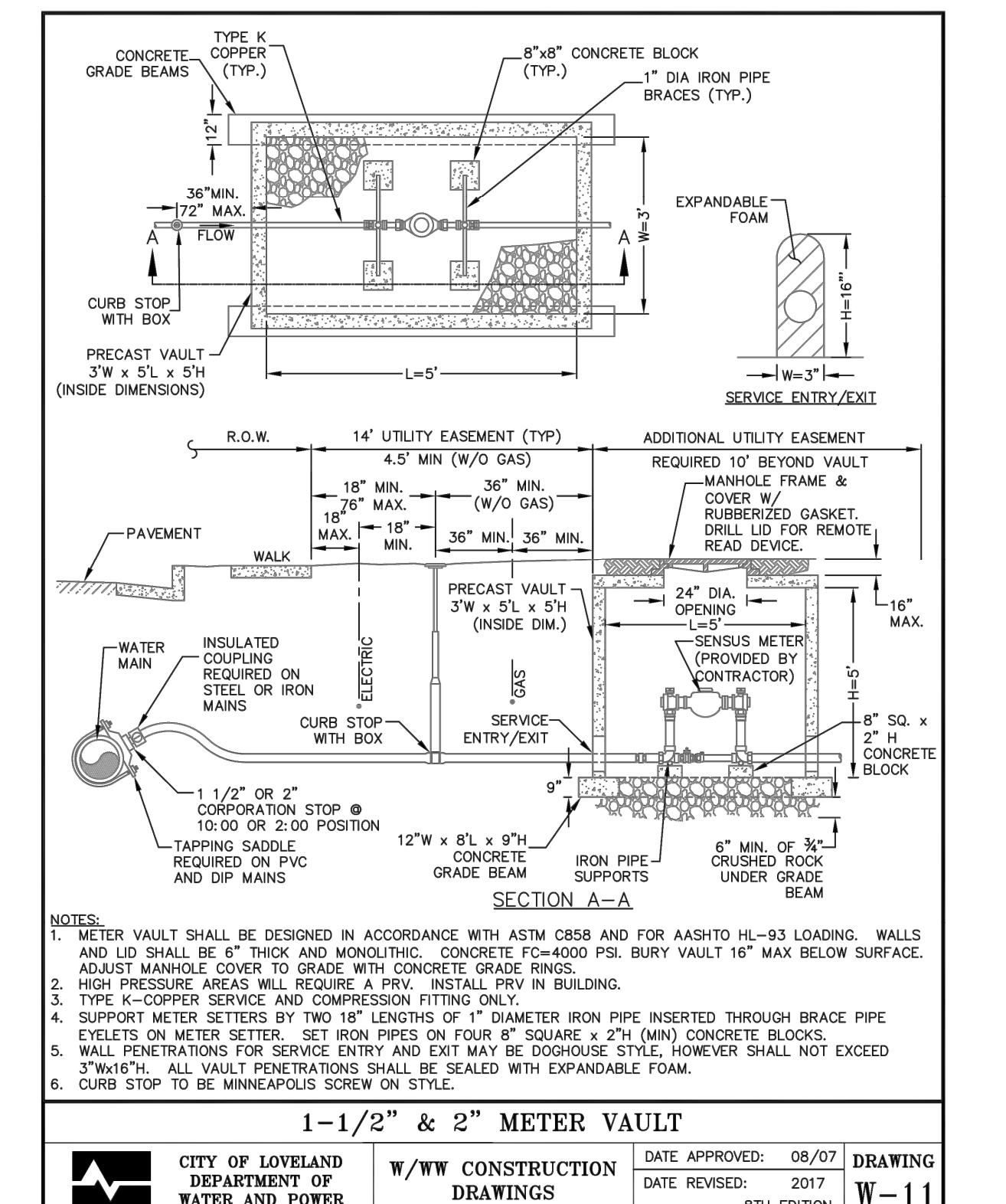
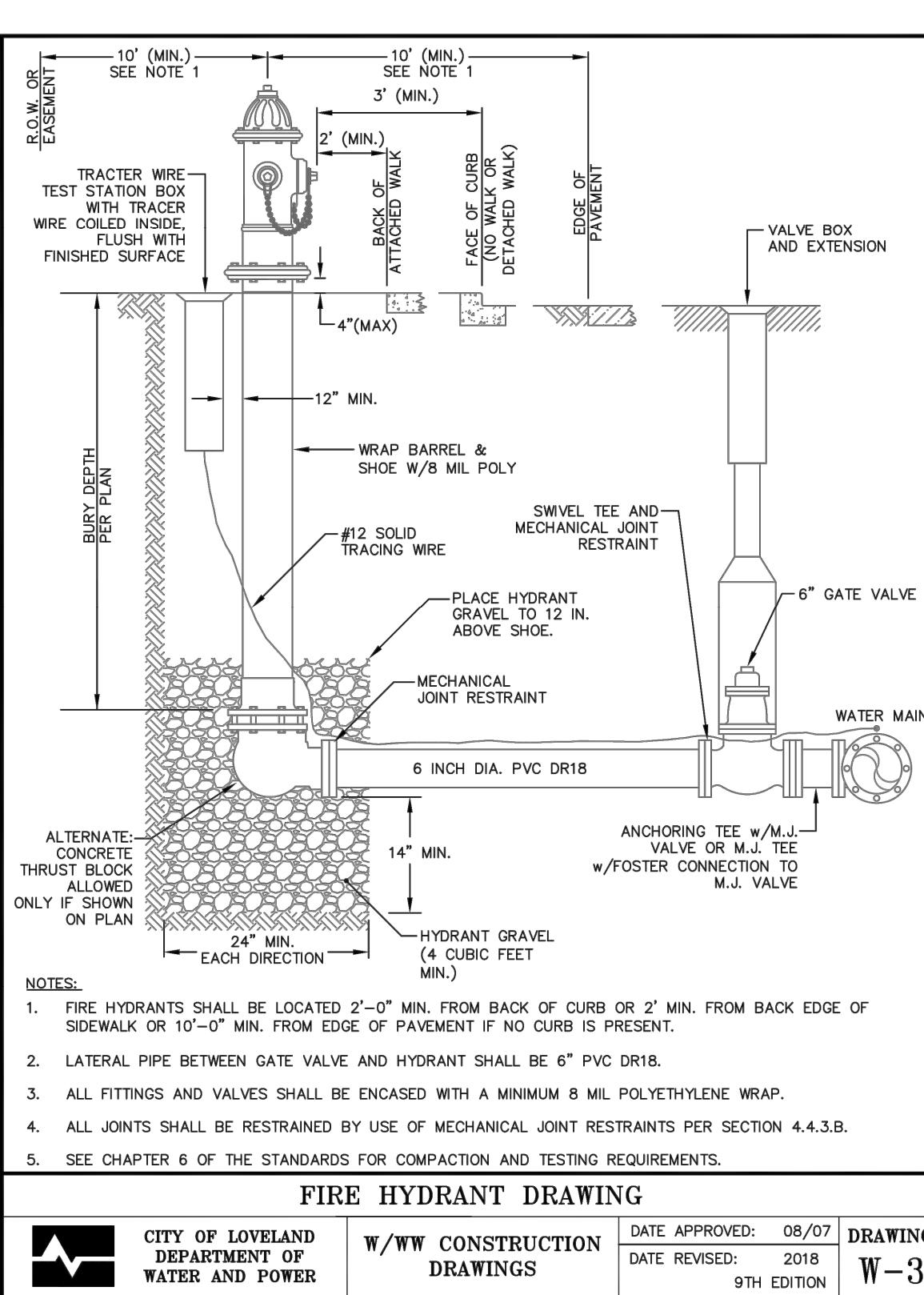
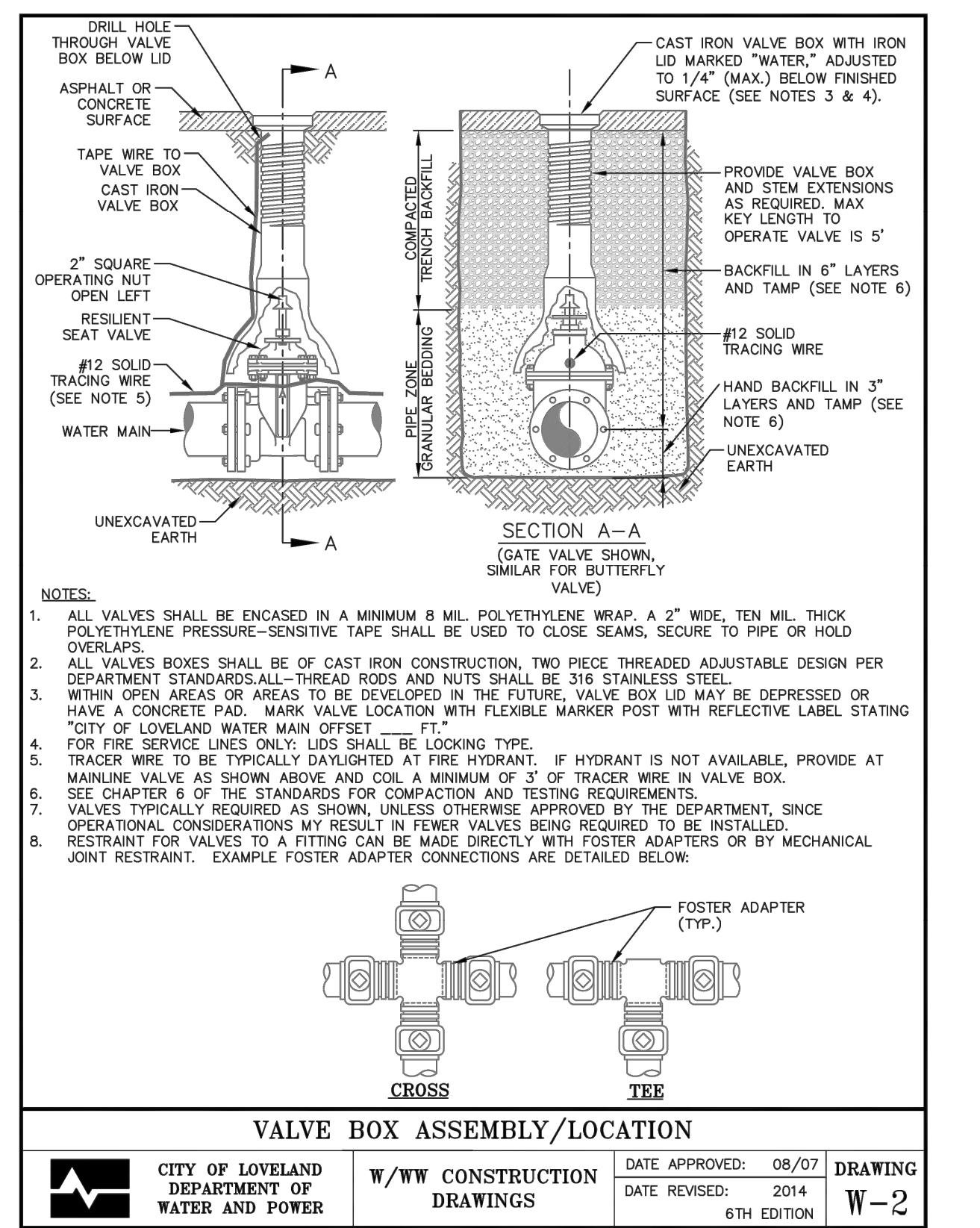
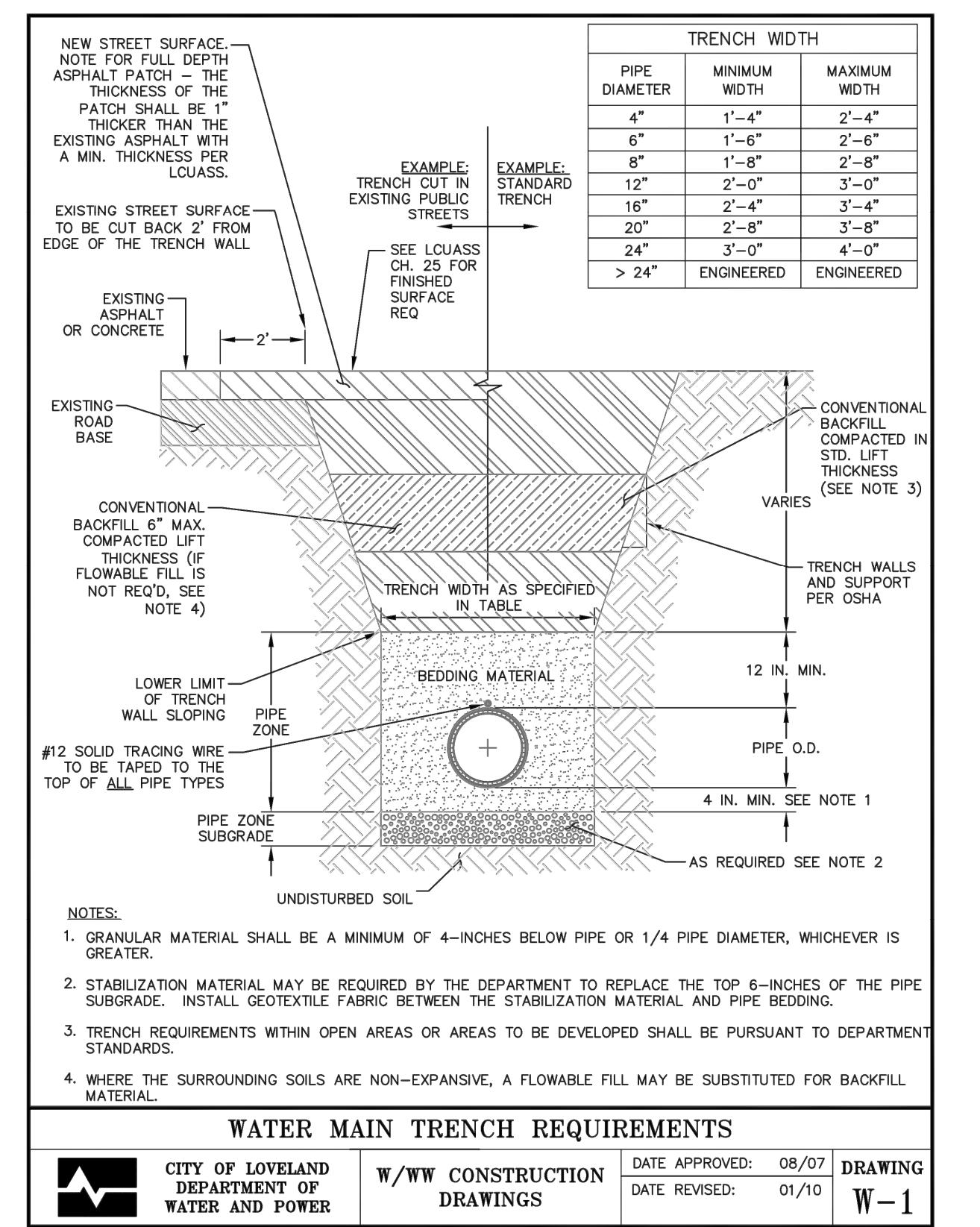
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PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
WATER LINE B & C PLAN & PROFILE

ISSUE DATE	PROJECT #	170108
DATE	REVISION COMMENTS	
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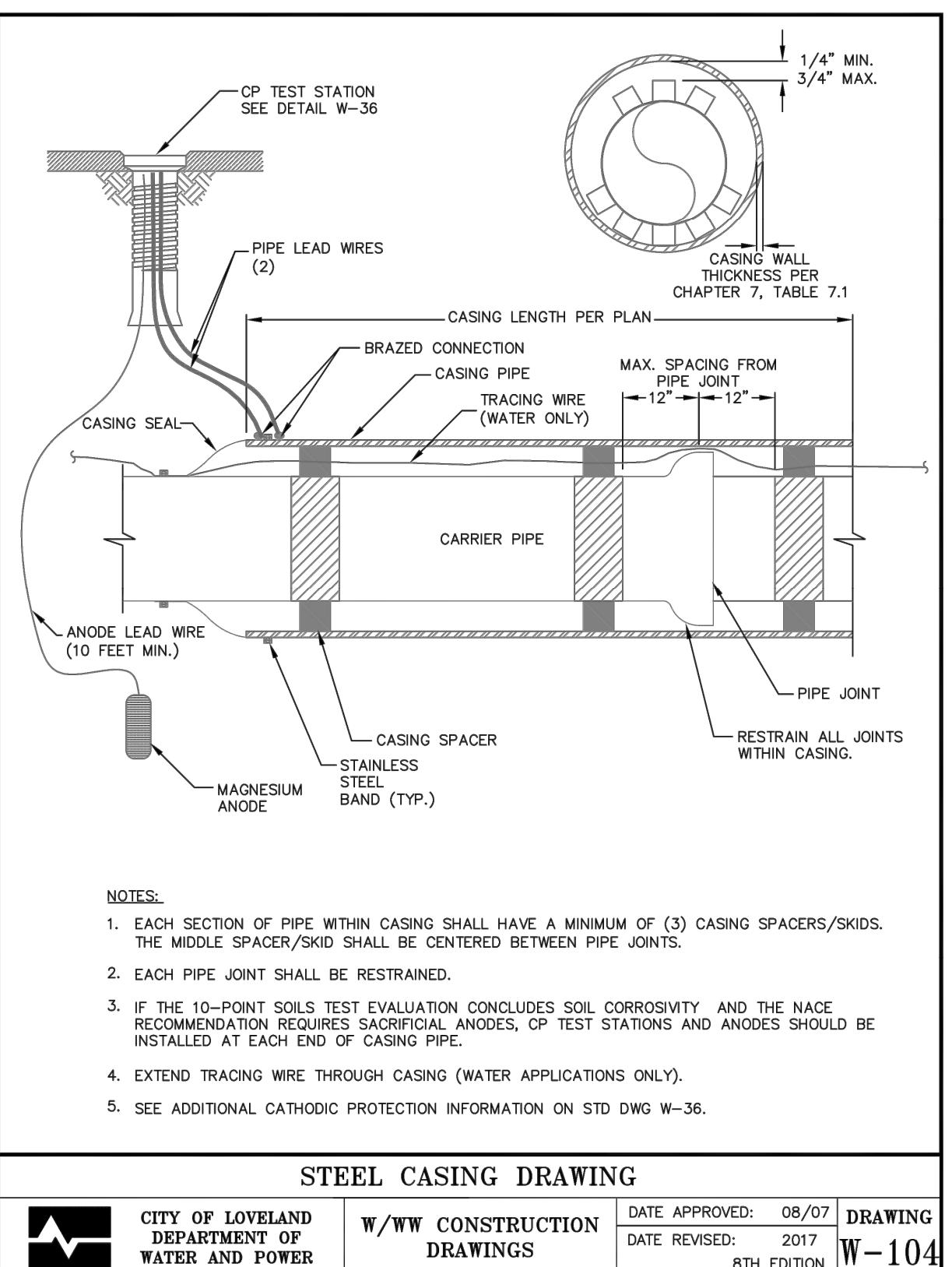
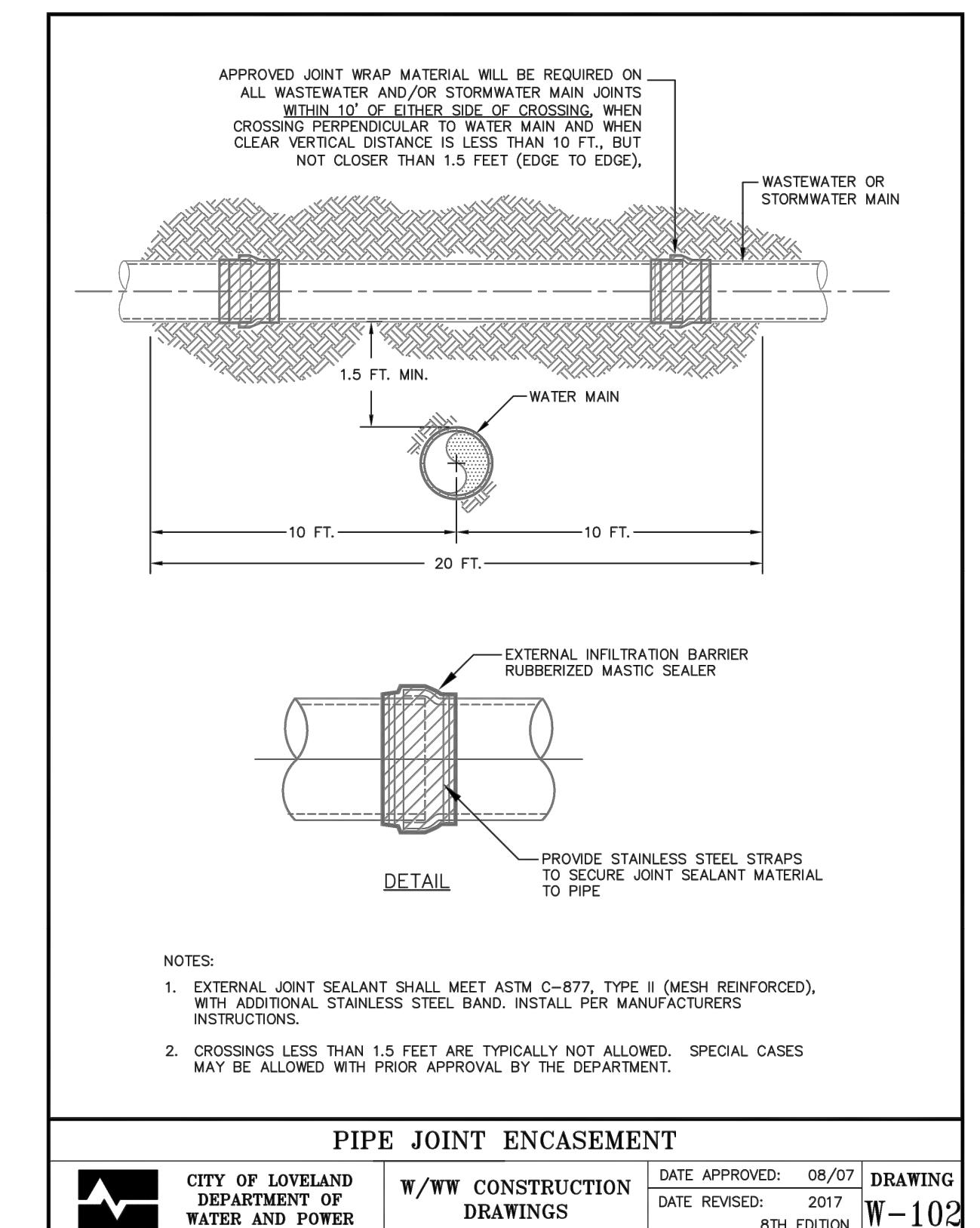
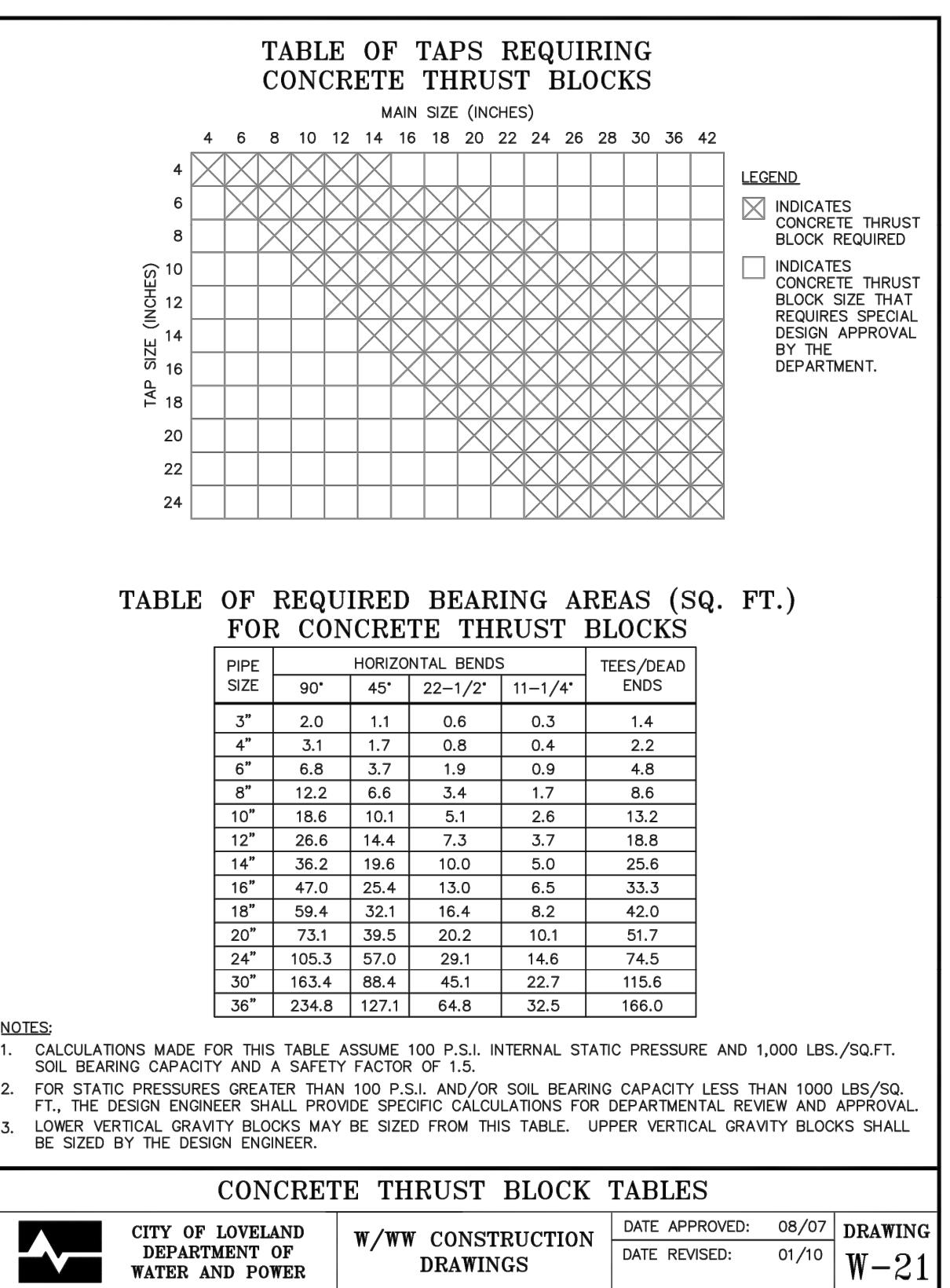
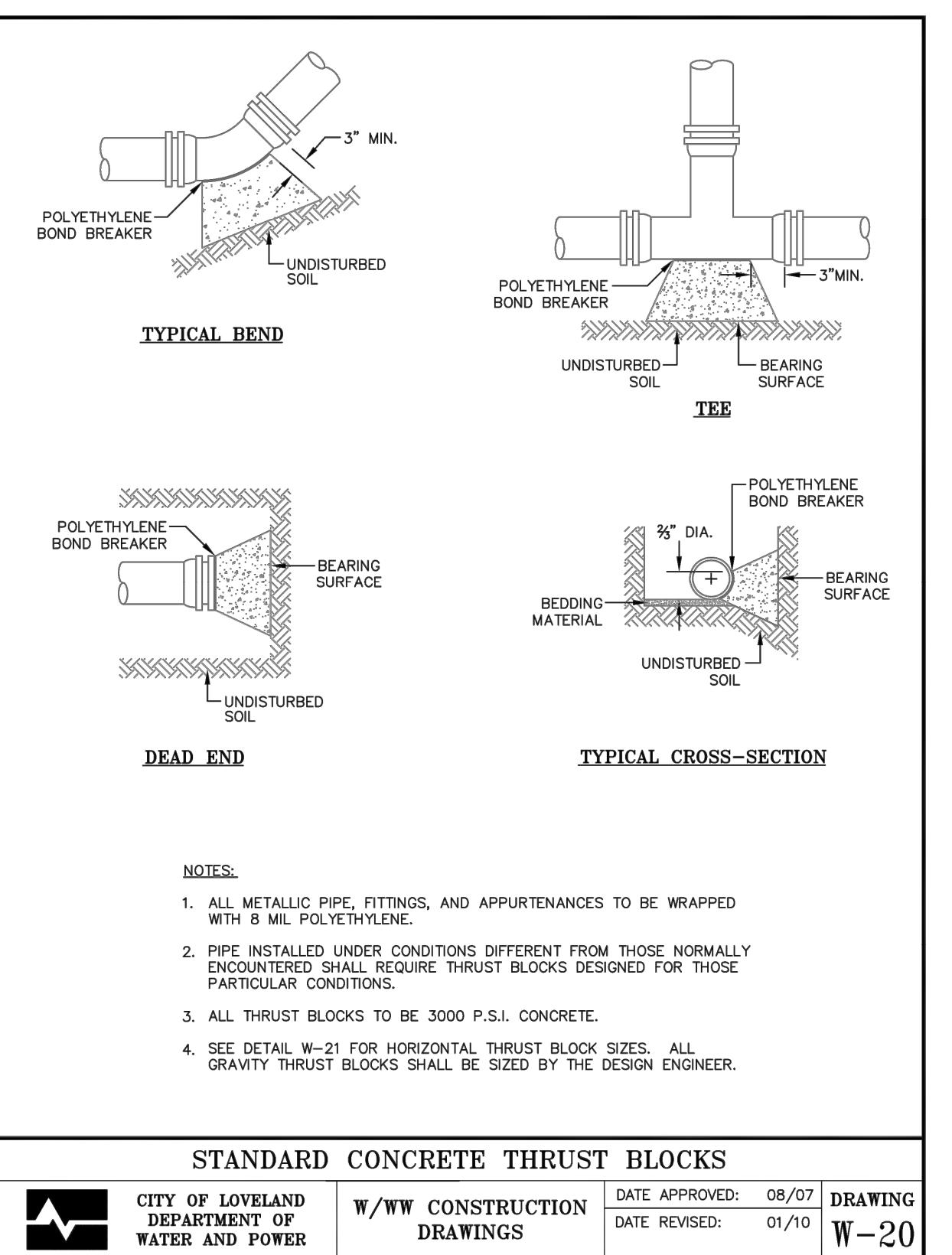
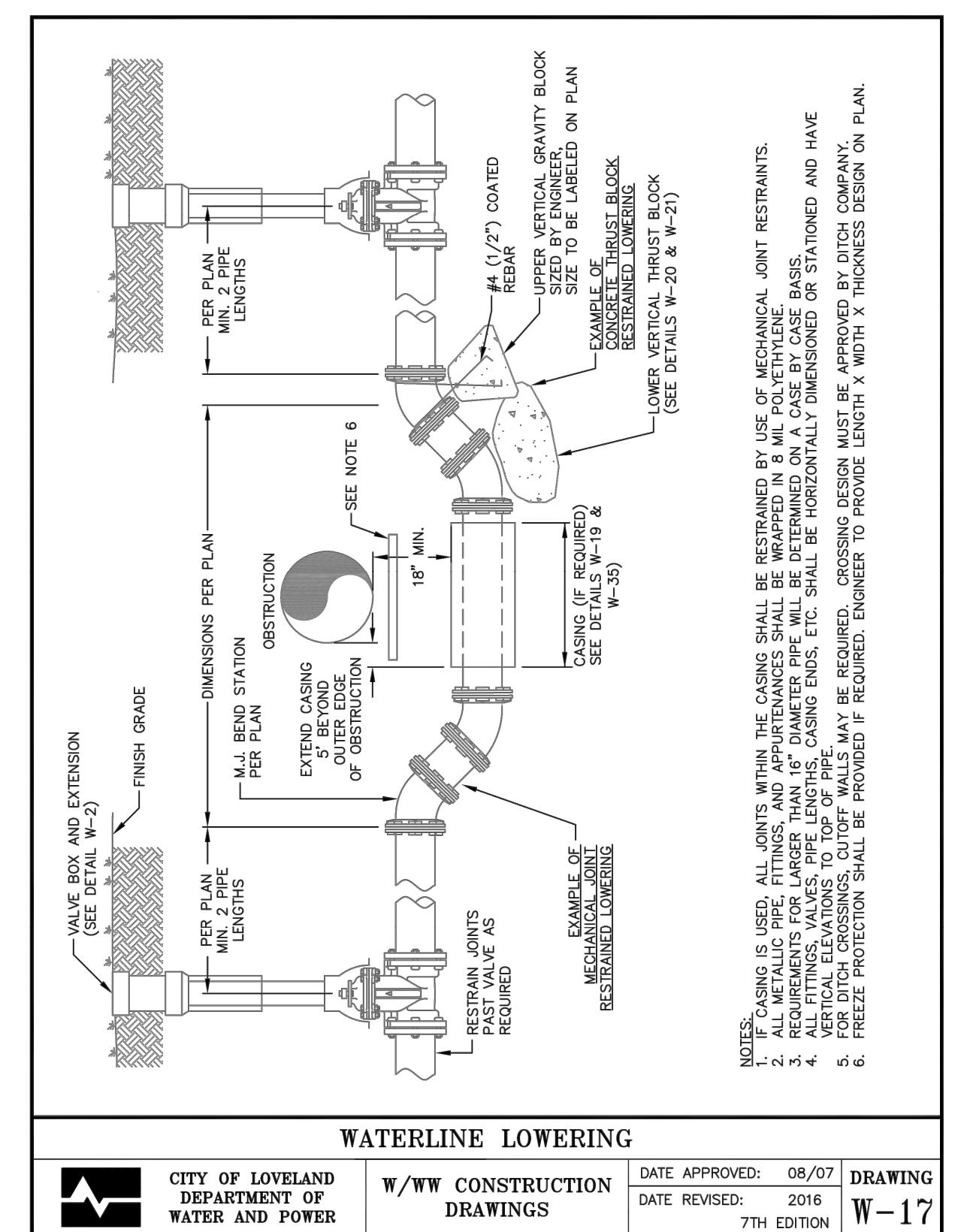
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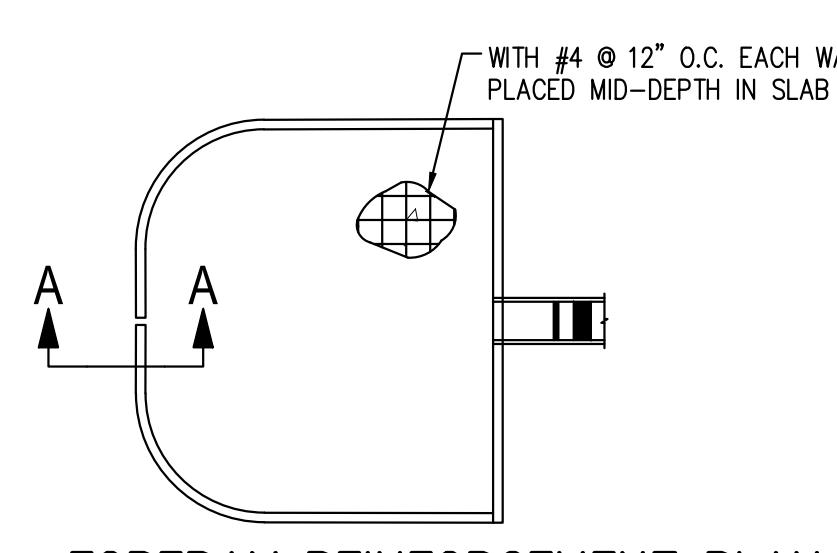
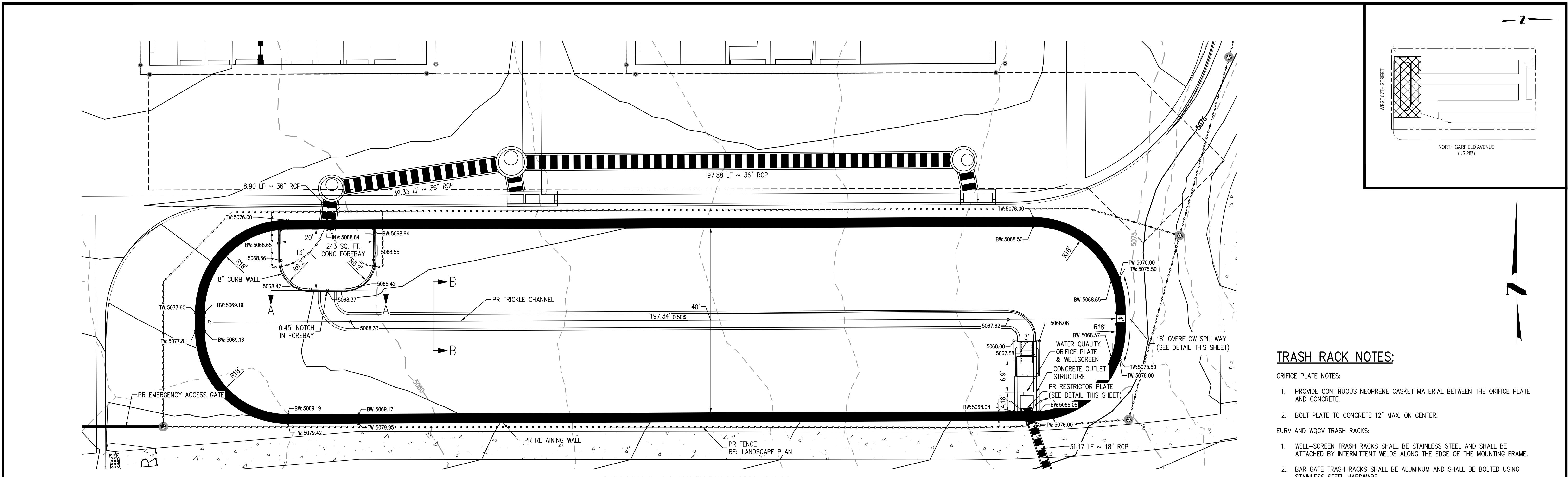
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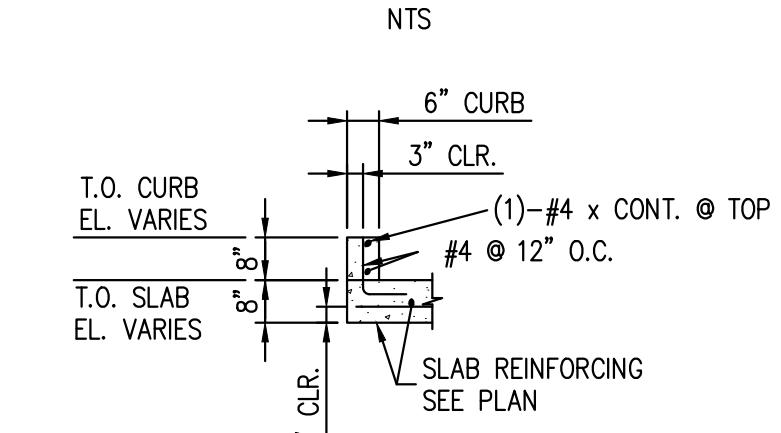
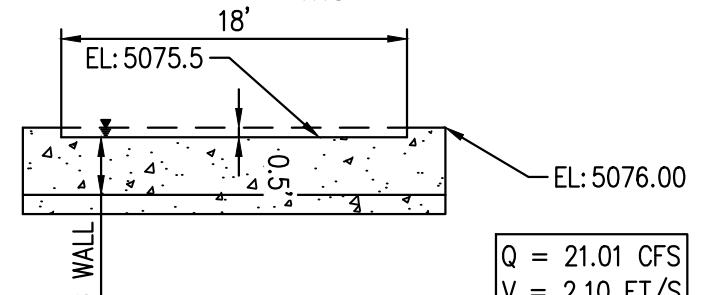
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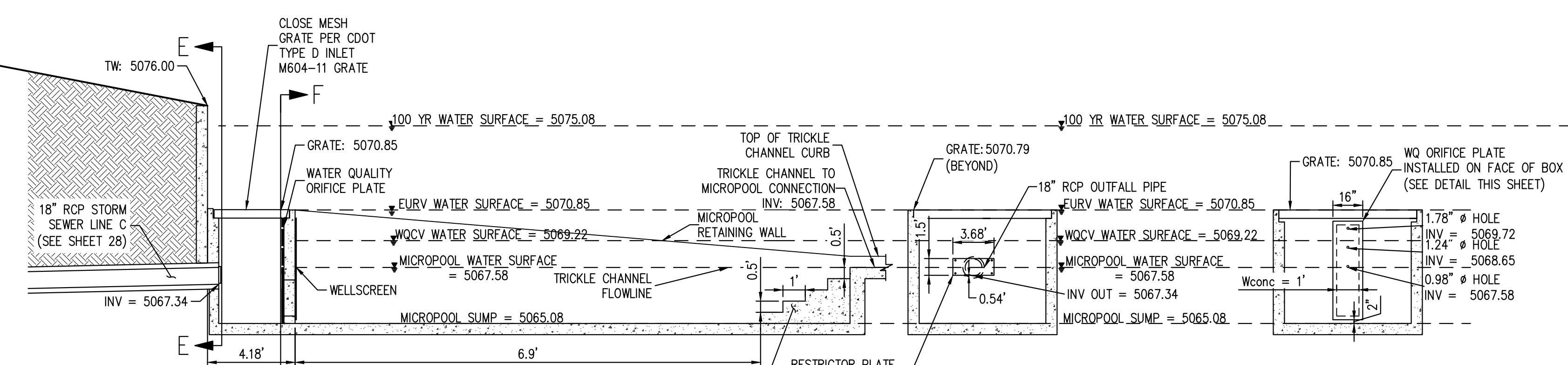


FOREBAY REINFORCEMENT PLAN

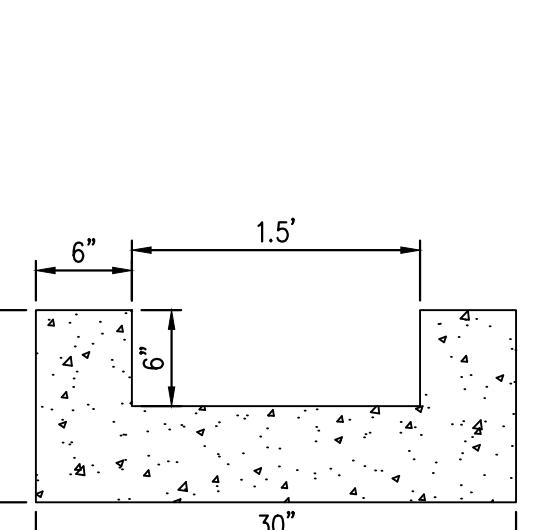
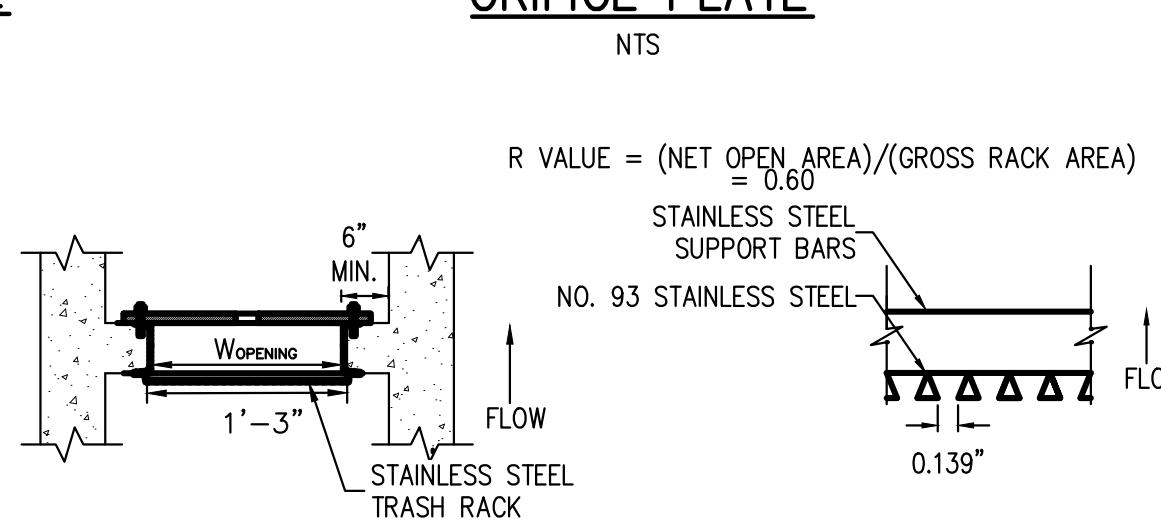
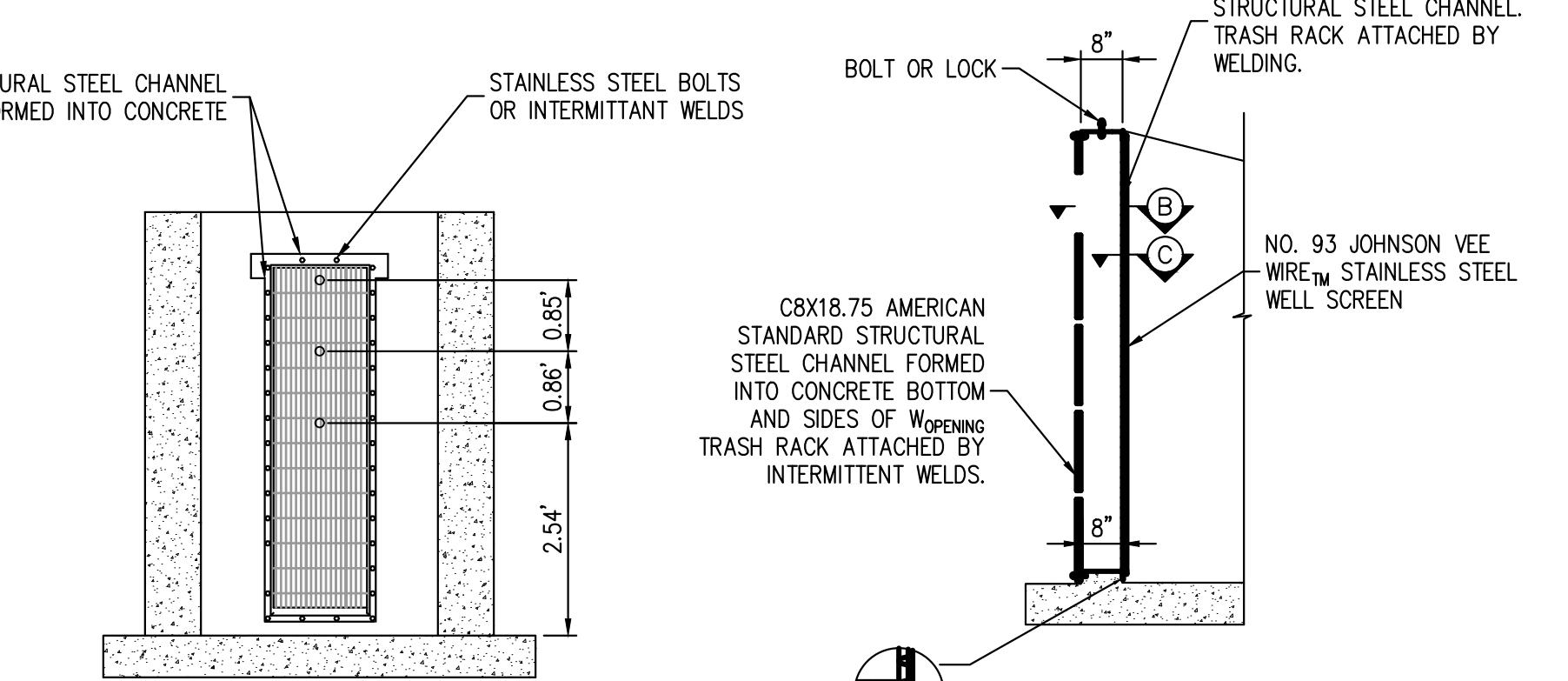
SECTION C-C
FOREBAY CURB

OVERFLOW SPILLWAY DETAIL

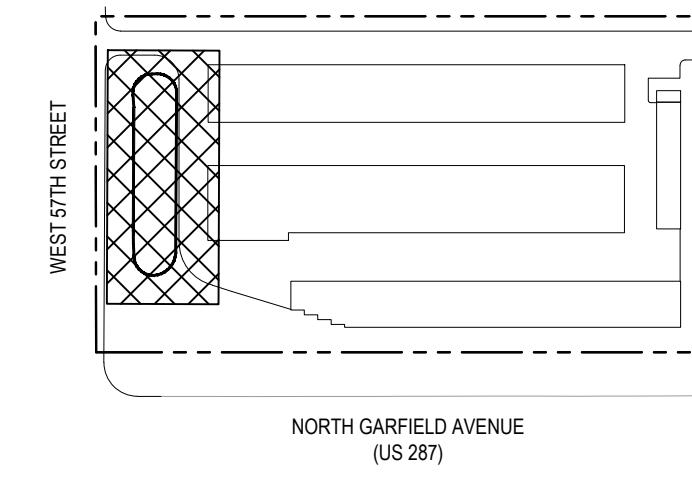
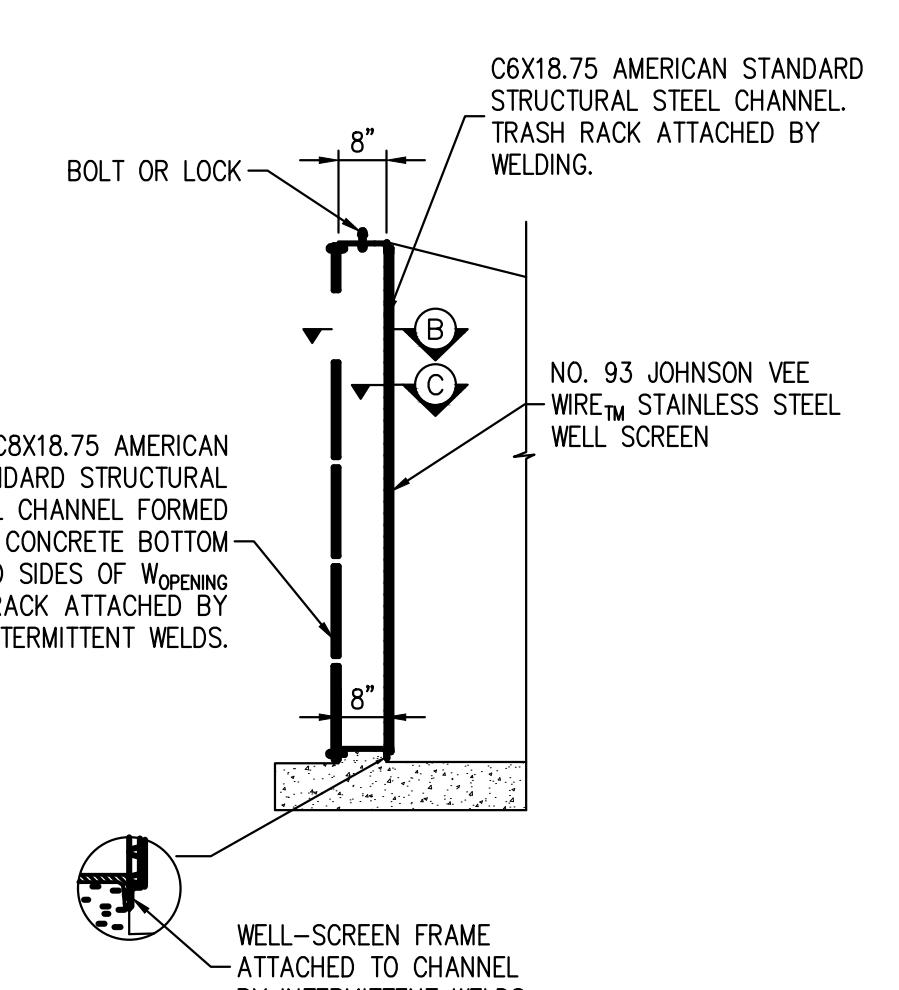
WATER QUALITY/DETENTION POND DATA				
STORAGE DESCRIPTION	STAGE (FT)	VOLUME PROVIDED (AC-FT)	RELEASE (CFS)	ELEVATION (FT)
WATER QUALITY	1.64	0.118	0.06	5076.00
EURV	3.27	0.399	0.14	5079.22
100-YEAR	7.50	1.138	0.19	5075.08
OVERFLOW SPILLWAY	8.42	1.299	21.01	5076.00



OUTLET STRUCTURE DETAIL

OUTLET STRUCTURE
SECTION E-ESECTION B-B
2' TRICKLE CHANNELOUTLET STRUCTURE
ORIFICE PLATETRICKLE CHANNEL
SECTION F-F

WELL SCREEN



TRASH RACK NOTES:

ORIFICE PLATE NOTES:

1. PROVIDE CONTINUOUS NEOPRENE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE.
2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER.

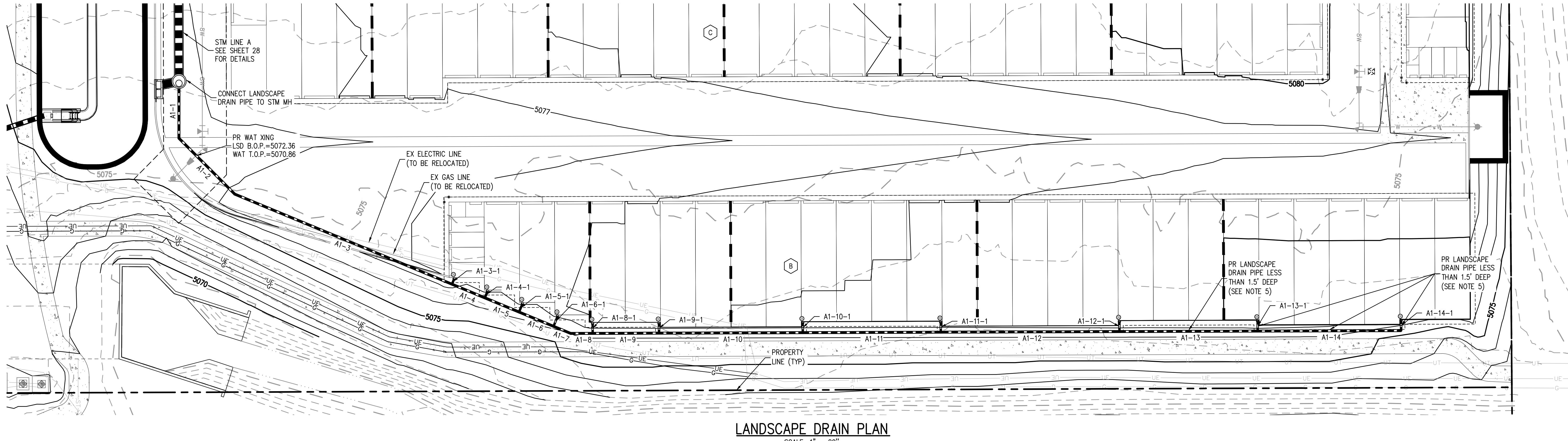
EURV AND WQCV TRASH RACKS:

1. WELL-SCREEN TRASH RACKS SHALL BE STAINLESS STEEL AND SHALL BE ATTACHED BY INTERMITTENT WELDS ALONG THE EDGE OF THE MOUNTING FRAME.
2. BAR GATE TRASH RACKS SHALL BE ALUMINUM AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
3. TRASH RACK OPEN AREAS ARE FOR SPECIFIED TRASH RACK MATERIALS. TOTAL TRASH RACK SIZE MAY NEED TO BE ADJUSTED FOR MATERIALS HAVING DIFFERENT OPEN AREA/GROSS AREA RATIO (R VALUE).
4. STRUCTURAL DESIGN OF TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.

OVERFLOW SAFETY GRATES:

1. ALL SAFETY GRATES SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED AND LOCKABLE OR BOLTABLE ACCESS PANELS.
2. SAFETY GRATES SHALL BE STAINLESS STEEL, ALUMINUM, OR STEEL. STEEL GRATES SHALL BE HOT DIP GALVANIZED AND MAY BE HOT POWDER COATED AFTER GALVANIZING.
3. SAFETY GRATES SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.
4. STRUCTURAL DESIGN OF SAFETY GRATES SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.

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GENERAL LANDSCAPE DRAIN NOTES:

1. CONTRACTOR SHALL USE 90-DEGREE WYES AT PERPENDICULAR JOINTS WHERE POSSIBLE.
2. CONTRACTOR SHALL USE CONCENTRIC REDUCERS UNLESS OTHERWISE NOTED. WHERE ECCENTRIC REDUCERS ARE USED THE INVERTS MUST MATCH.
3. CONTRACTOR SHALL USE STANDARD PVC FITTINGS WHEN POSSIBLE UNLESS OTHERWISE NOTED ON THE PLAN.
4. ALL LANDSCAPE DRAINS PIPES SHALL BE WATERTIGHT PVC, RIGID HDPE WITH SMOOTH INNER WALL, OR ENGINEER APPROVED EQUIVALENT.
5. ALL LANDSCAPE DRAIN PIPES SHALL BE A MINIMUM OF 1.5-FT DEEP (UNLESS OTHERWISE NOTED) AND SHALL HAVE A 0.50% MINIMUM SLOPE.
6. LANDSCAPE DRAINS CONNECTING TO ROOF DOWNSPOUTS SHALL BE INSTALLED WITH A RISER AND 90 DEGREE BEND MATCHING THE SIZE OF THE PIPE CONNECTING TO THE ROOF DRAIN AS CALLED OUT IN THE LANDSCAPE DRAIN TABLE.
7. ALL LANDSCAPE DRAIN CONNECTIONS TO INLETS & MANHOLES SHALL BE MADE WITH KOR-N-TEE CONNECTIONS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
8. LANDSCAPE DRAIN CONNECTIONS TO RCP STORM PIPE SHALL BE MADE WITH A KOR-N-TEE CONNECTION ACCORDING TO MANUFACTURER'S SPECIFICATIONS WITH A RISER IF NECESSARY.
9. AT ANY LOCATION WHERE MORE THAN TWO LANDSCAPE DRAIN PIPES INTERSECT AND CANNOT BE CONNECTED WITH STANDARD FITTINGS, A DRAIN BASIN SHALL BE INSTALLED. THE DRAIN BASIN SHALL BE SIZED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	INV UP	INV DOWN
A1-1	10"	19.72'	0.5%	5072.33	5072.24
A1-2	10"	31.37'	0.5%	5072.49	5072.33
A1-3	10"	93.50'	0.5%	5072.96	5072.49
A1-3-1	8"	2.31'	1.0%	5073.07	5073.05
A1-4	10"	14.15'	0.5%	5073.03	5072.96
A1-4-1	8"	2.81'	1.0%	5073.14	5073.12
A1-5	10"	14.74'	0.5%	5073.10	5073.03
A1-5-1	8"	3.56'	1.0%	5073.22	5073.19
A1-6	10"	14.83'	0.5%	5073.18	5073.10
A1-6-1	8"	4.35'	1.0%	5073.31	5073.27
A1-7	10"	7.40'	0.5%	5073.22	5073.18
A1-8	10"	8.73'	0.5%	5073.26	5073.22
A1-8-1	8"	3.87'	1.0%	5073.39	5073.35

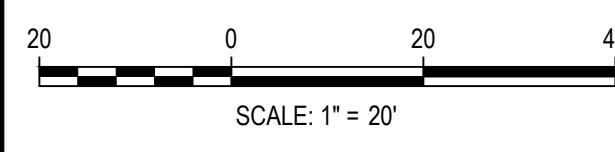
PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	INV UP	INV DOWN
A1-9	10"	26.39'	0.5%	5073.39	5073.26
A1-9-1	8"	3.88'	1.0%	5073.52	5073.48
A1-10	10"	57.16'	0.5%	5073.68	5073.39
A1-10-1	8"	3.90'	1.0%	5073.81	5073.77
A1-11	10"	54.89'	0.5%	5073.95	5073.68
A1-11-1	8"	3.92'	1.0%	5074.08	5074.04
A1-12	10"	71.05'	0.5%	5074.31	5073.95
A1-12-1	8"	3.95'	1.0%	5074.44	5074.40
A1-13	10"	54.95'	0.5%	5074.58	5074.31
A1-13-1	8"	3.97'	1.0%	5074.71	5074.67
A1-14	10"	57.05'	0.5%	5074.87	5074.58
A1-14-1	8"	3.99'	0.5%	5074.97	5074.95



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SCALE: 1" = 20'



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Denver, Colorado 80203
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HarrisKocherSmith.com

DESIGNED BY: VEJ

CHECKED BY: TEH

DRAWN BY: VEJ

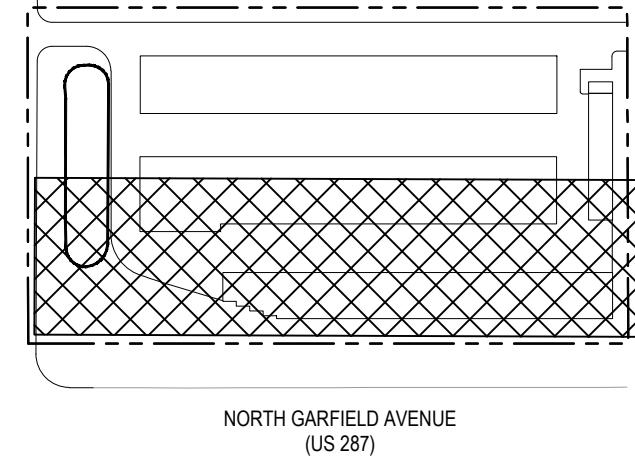
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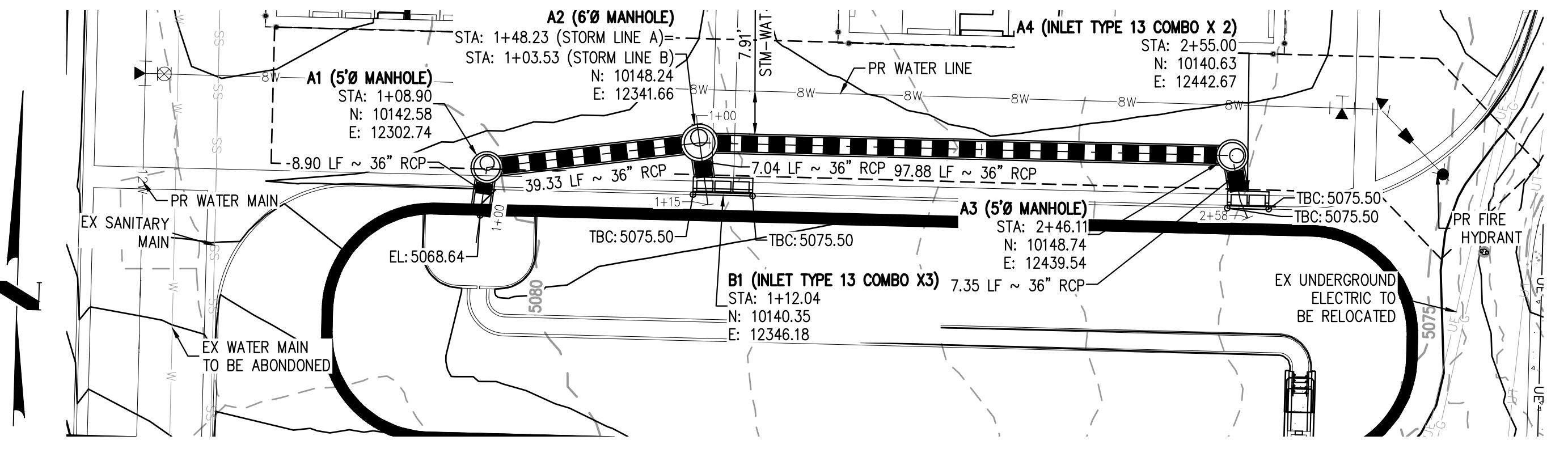
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
LANDSCAPE DRAIN PLAN

ISSUE DATE: 07-03-2018	PROJECT #: 170108
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11-12-2018	PER CITY OF LOVELAND COMMENTS
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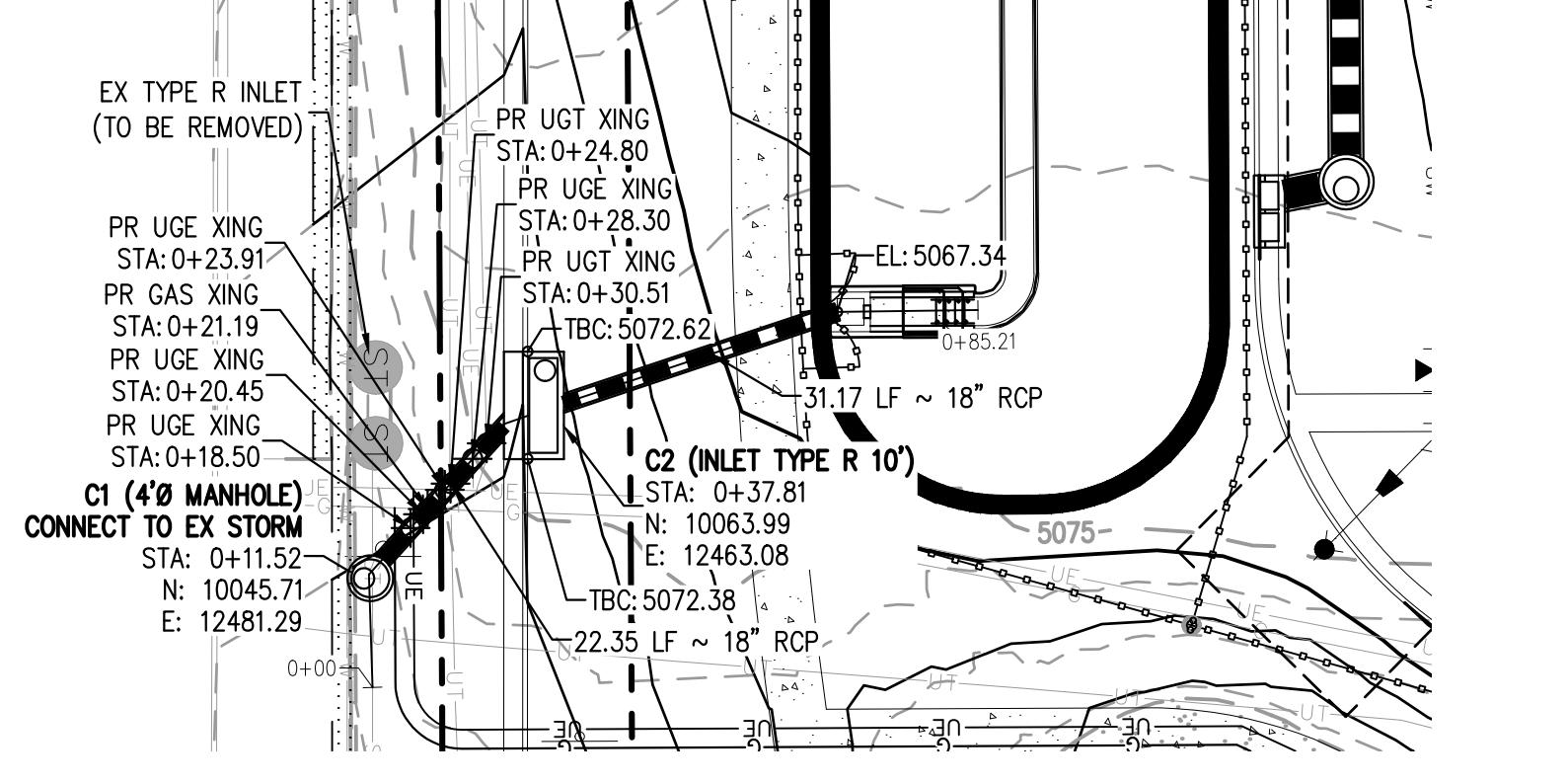
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27
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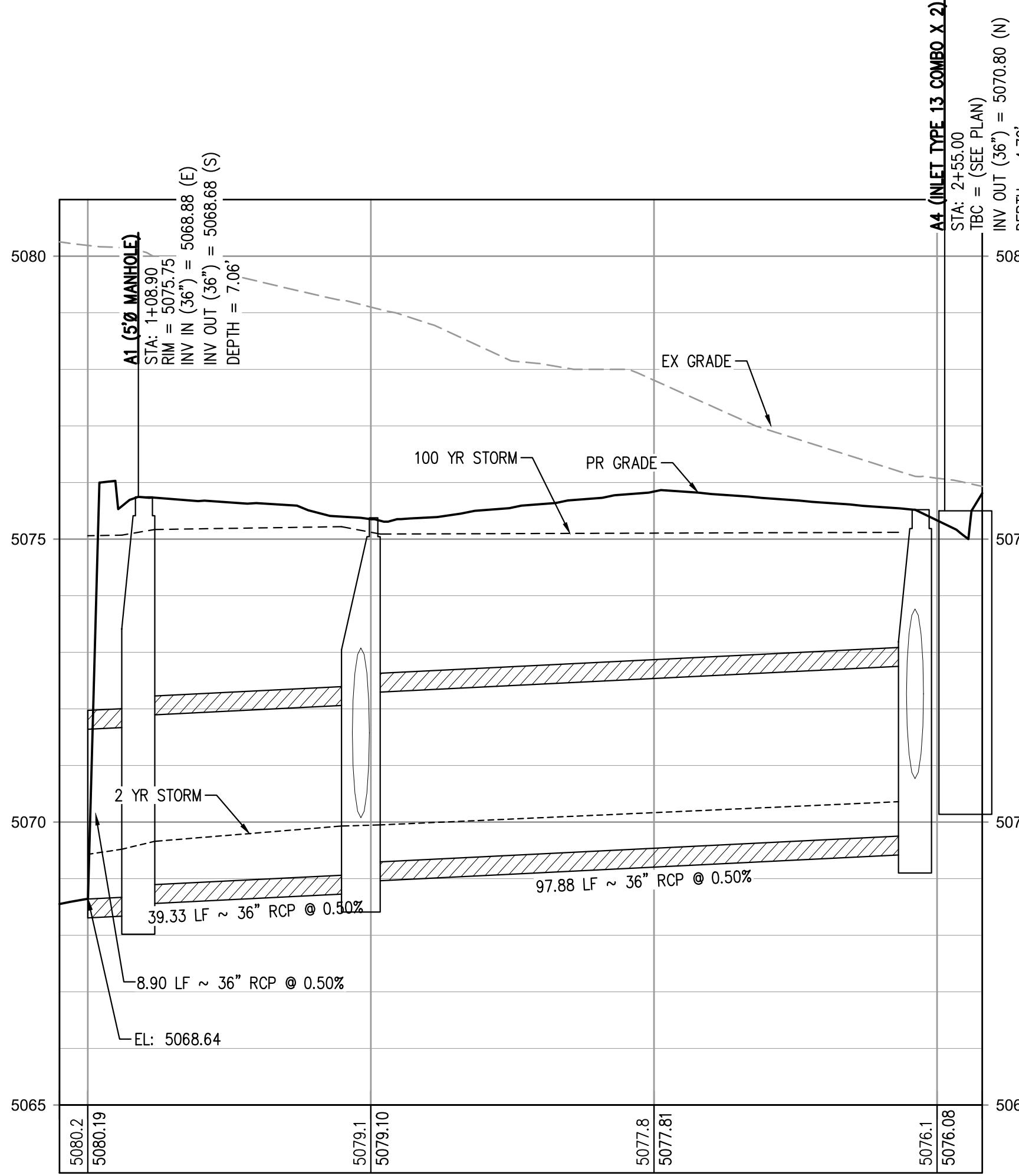
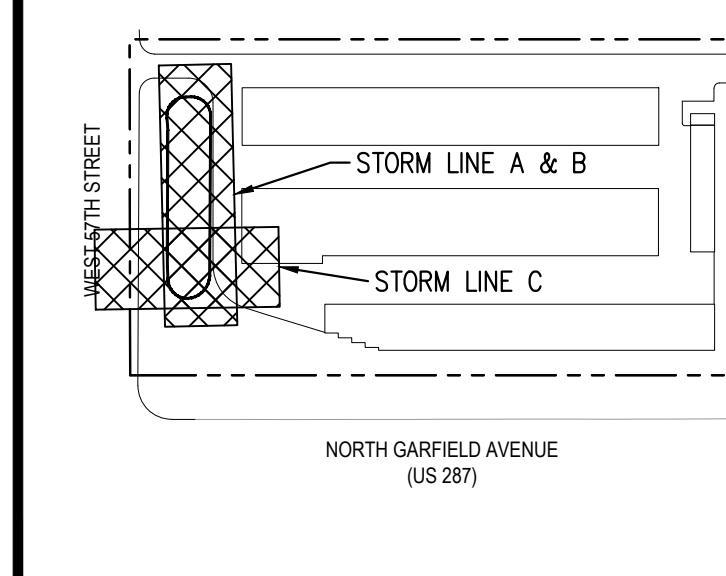




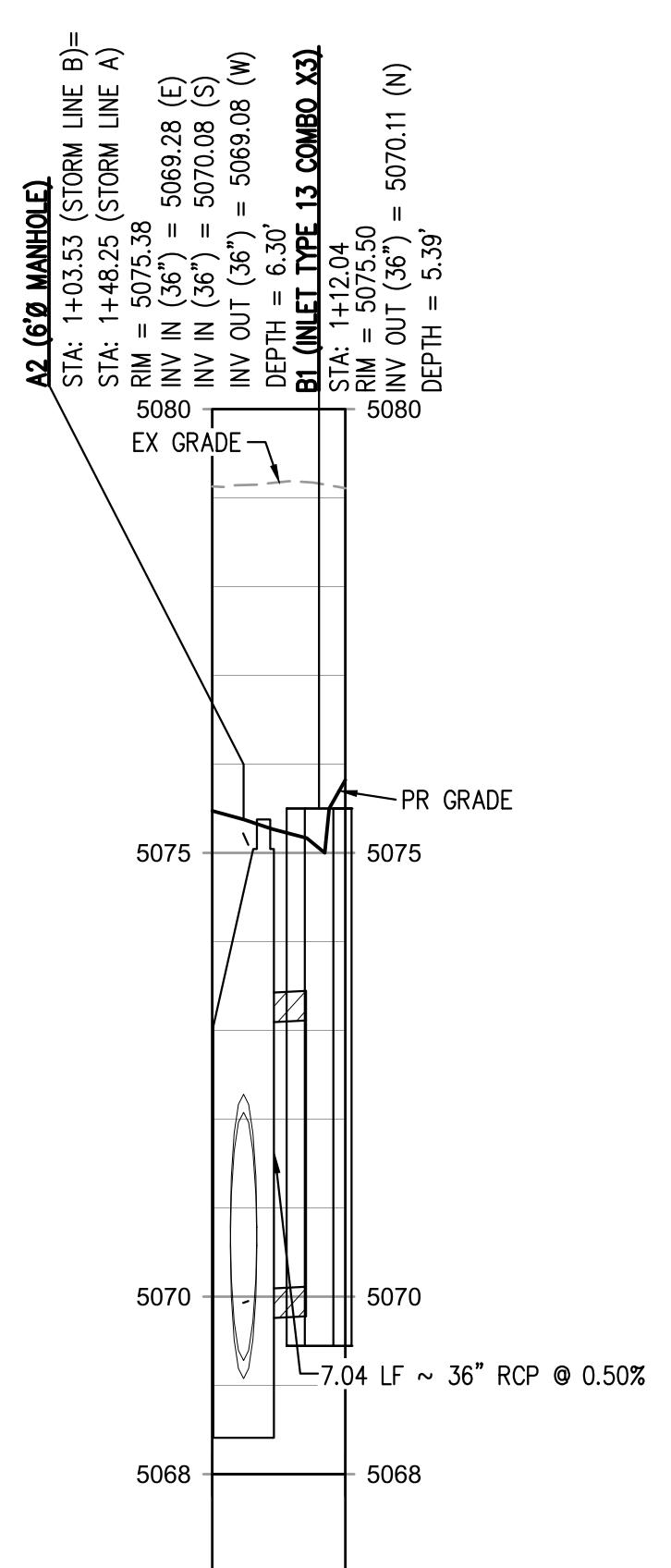
STORM LINE A & B PLAN
SCALE: 1" = 20"



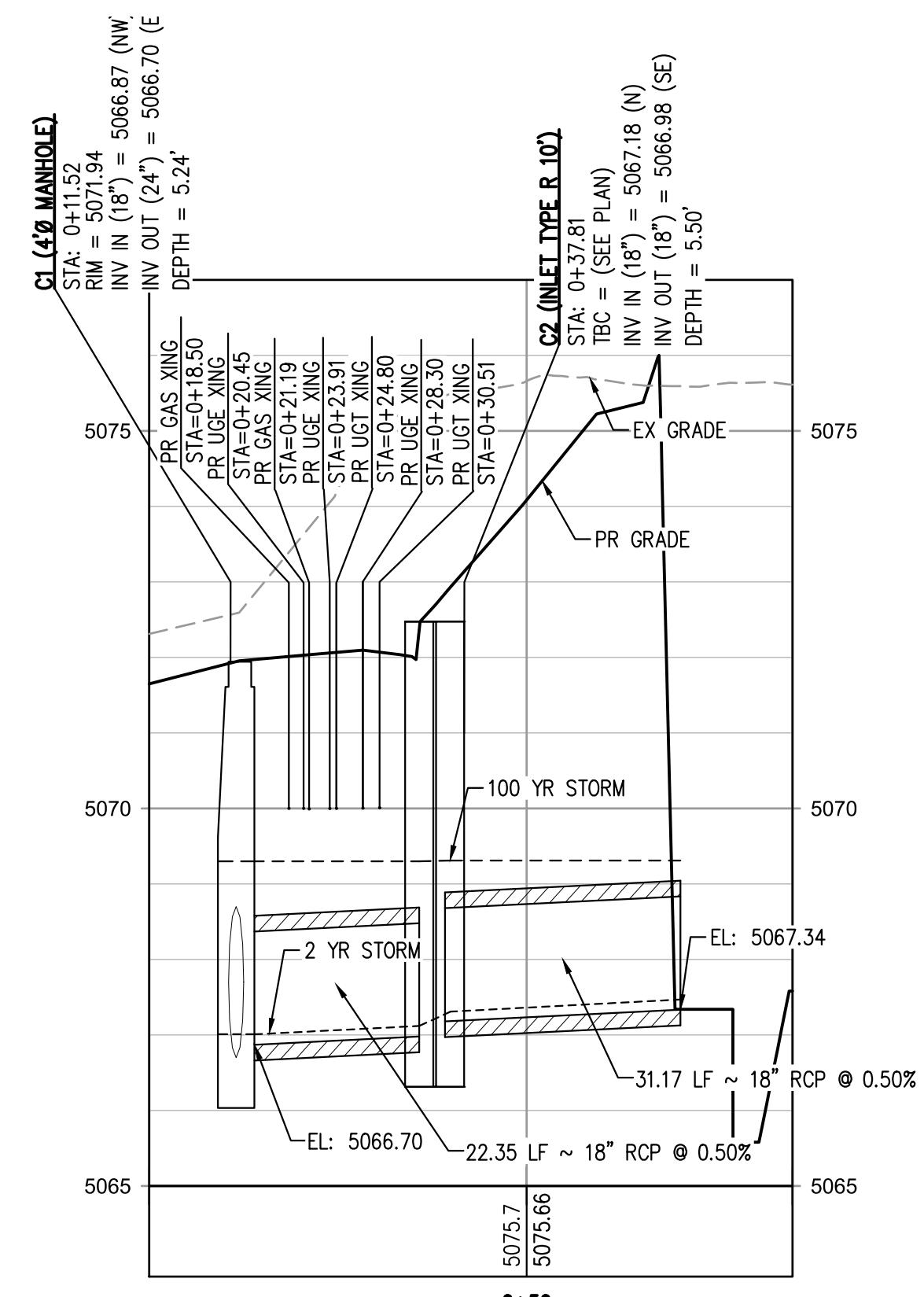
STORM LINE C PLAN
SCALE: 1" = 20"



STORM LINE A PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



STORM LINE B PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



STORM LINE C PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF LOVELAND PUBLIC WORKS STORMWATER DEVELOPMENT STANDARDS.
- ALL ON-SITE STORM SEWER AND DETENTION FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN VERTICAL/HORIZONTAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- COORDINATES ARE GIVEN AT CENTER OF STRUCTURE UNLESS OTHERWISE INDICATED.
- STATIONING IS GIVEN ALONG CENTER LINE OF PIPES UNLESS OTHERWISE INDICATED. STATIONS OF INLETS SHOWN IN PROFILES ARE AT CENTER OF STRUCTURE.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF BARREL TO CENTER OF BARREL FOR CYLINDRICAL MANHOLES, AND INSIDE FACE OF STRUCTURE TO INSIDE FACE OF STRUCTURE FOR INLETS & OTHER BOX STRUCTURES.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III, IN ACCORDANCE WITH CITY OF LOVELAND PUBLIC WORKS STORMWATER DEVELOPMENT STANDARDS.
- ALL STANDARD INLETS SHALL BE IN ACCORDANCE WITH COLORADO DEPARTMENT OF TRANSPORTATION M STANDARDS, CURRENT EDITION.
- CONTRACTOR SHALL INSTALL MODIFIED INLETS AS NEEDED IN ORDER TO ENSURE ALL STORM PIPES CONNECT PROPERLY TO THE INLET.
- ALL MANHOLES ARE ECCENTRIC UNLESS OTHERWISE NOTED. ECCENTRIC MANHOLE RIMS SHALL BE ROTATED AS SHOWN ON PLAN.
- ALL PROPOSED DRY UTILITIES (E.G. GAS, ELECTRIC, CABLE, AND TELECOMMUNICATIONS, ETC) DEPTHS AND LOCATIONS, SHALL BE INSTALLED BY THEIR RESPECTIVE UTILITY CONTRACTORS ACCORDING TO CITY OF LOVELAND STANDARDS AND REGULATIONS.
- TYPE R INLETS SHALL BE INCORPORATED INTO THE SIDEWALK WHERE APPLICABLE, AND HAVE A MAXIMUM LID CROSS SLOPE OF 1.5%.
- ALL TYPE D INLETS SHALL HAVE CLOSE-MESH GRATES, UNLESS OTHERWISE INDICATED.



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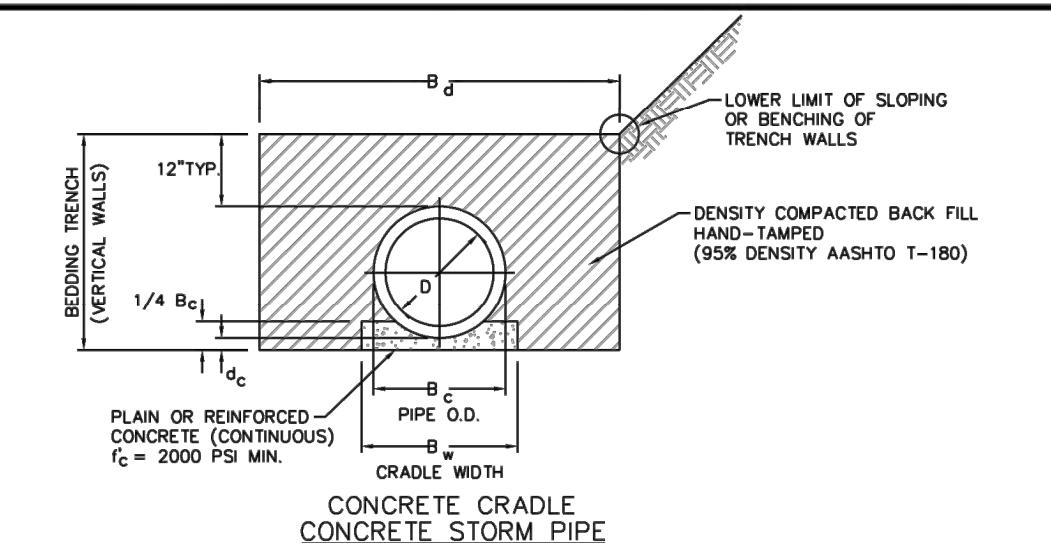
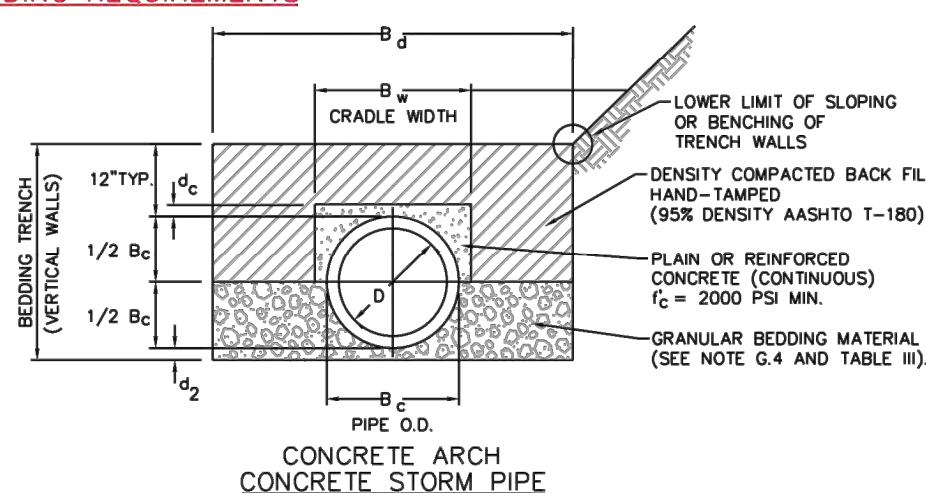
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
STORM PLAN & PROFILE

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CLASS "A" BEDDING REQUIREMENTS



NOMINAL DIAMETER (D)	MINIMAL THICKNESS (d_c)	MIN. WIDTH (B_d)
18"	4"	B_c + 8"
21" TO 24"	6"	B_c + 8"
27" TO 33"	8"	B_c + 8"
36" TO 42"	10"	1.25 B_c
48" & LARGER	1/4" D	1.25 B_c

d_c = DEPTH OF BEDDING BELOW BOTTOM OF PIPE FOR CONCRETE ARCH AND/OR DEPTH OF BEDDING ABOVE TOP OF PIPE FOR CONCRETE ARCH.

CLASS A NOTES:

1.1 THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR STRUCTURAL DESIGN OF THE CONCRETE CRADLE AND/OR CONCRETE ARCH.

CLASS "B" BEDDING REQUIREMENTS - GRANULAR BEDDING

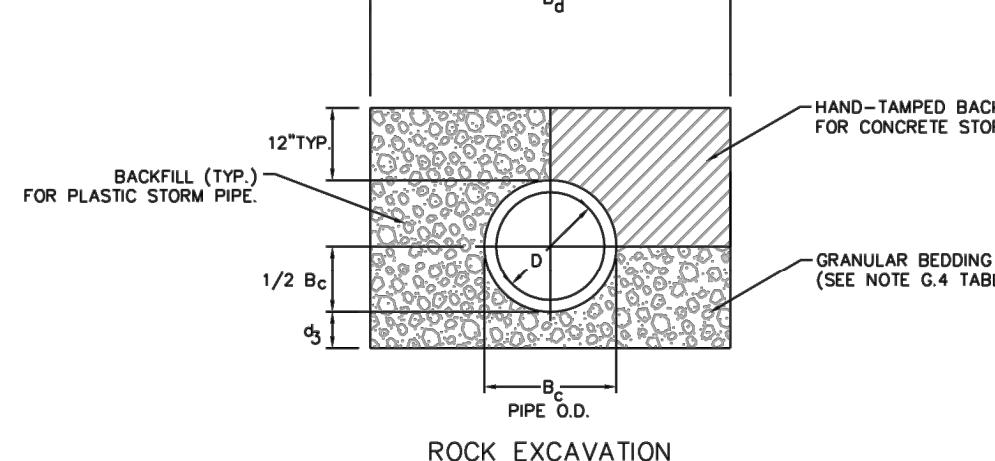
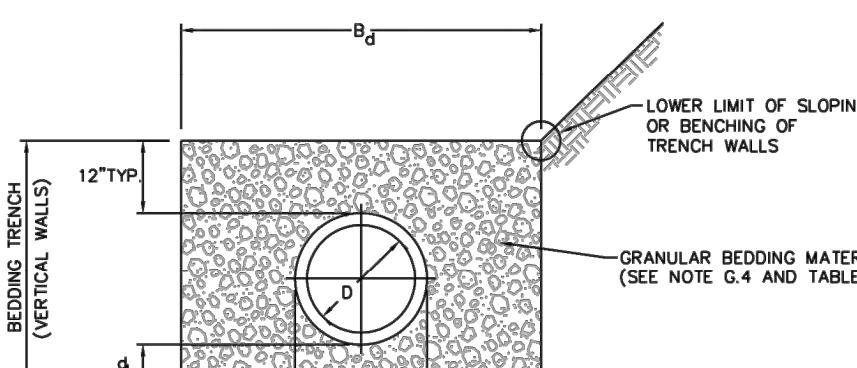


TABLE II

MIN. DEPTH OF BEDDING MATERIAL BELOW BOTTOM OF PIPE

PIPE SIZE = D*	d ₁	d ₂	d ₃
18" TO 30"	6"	3"	6"
36" TO 60"	6"	4"	6"
66" & LARGER	8"	6"	8"

* FOR ARCH OR ELLIPTICAL PIPE

D = SPAN DIMENSION

D = PIPE O.D.

d₂ = MINIMUM TRENCH WIDTH = PIPE O.D. + 16"d₃ = TRENCH WIDTH = PIPE O.D. + 30"

D = PIPE O.D. OR SPAN DIMENSION FOR ARCH OR ELLIPTICAL PIPE

d₁, d₂, d₃ = DEPTH OF BEDDING MATERIAL BELOW BOTTOM OF PIPE.

TABLE III

* CLASS 67 GRADATION

* ASTM C-33 OR ASTM D-44B

SIEVE SIZE % BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

CLASS B NOTES:

2.1 BELL HOLES SHALL BE EXCAVATED AT ALL BELL AND SPIGOT JOINTS

2.2 SUB DRAIN PIPE TO BE ACCEPTED AS A DRAINAGE SYSTEM IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE SPECIFICATIONS

2.3 BEDDING TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.4 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.5 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.6 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.7 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.8 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.9 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.10 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.11 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.12 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

NO. 4

0 - 10

NO. 8

0 - 5

2.13 TRENCH BACK FILL TO BE COMPACTED TO 95% DENSITY.

ASTM C-33

ASTM D-44B

SIEVE SIZE

%

BY WEIGHT

3/4"

90 - 100

3/8"

20 - 55

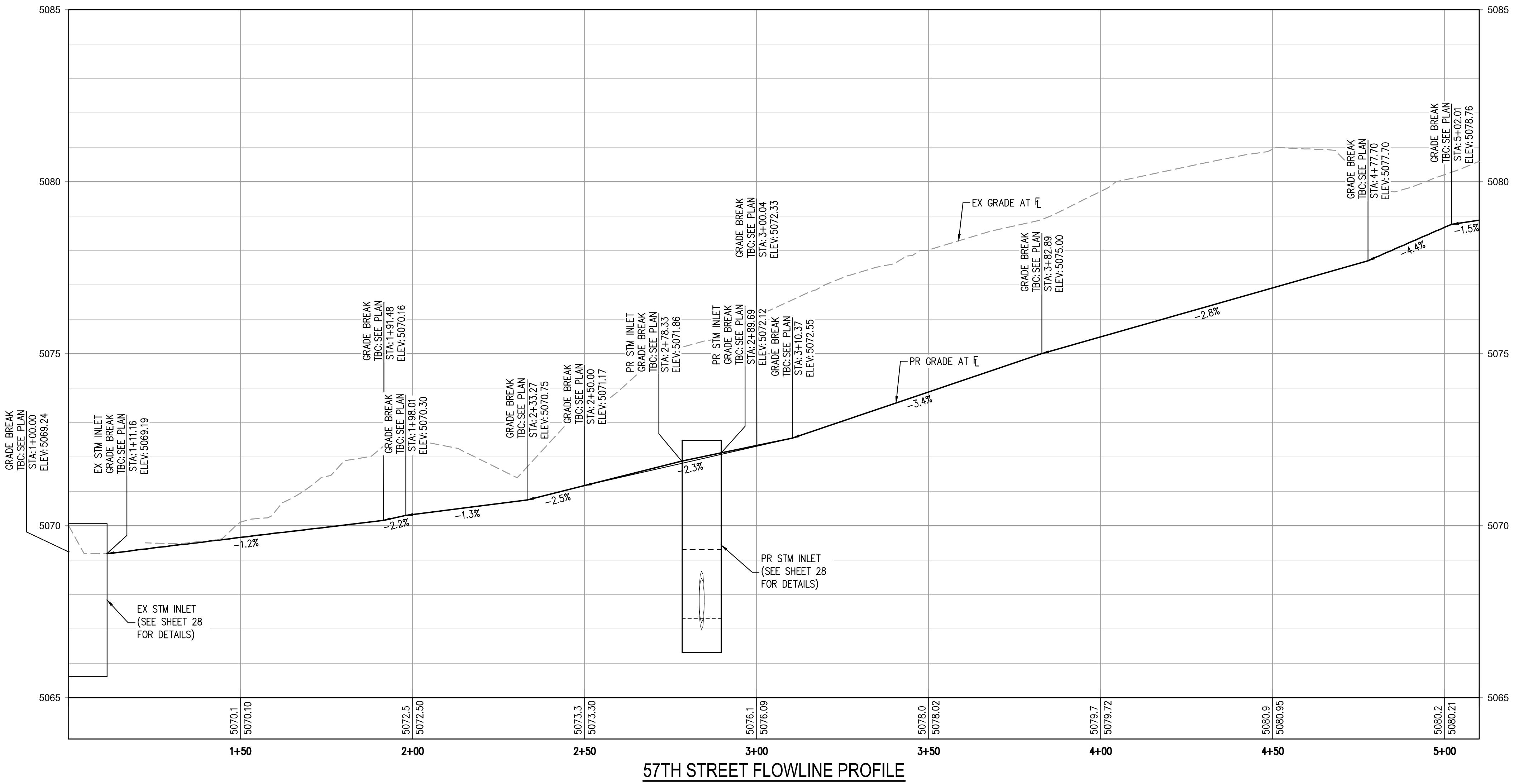
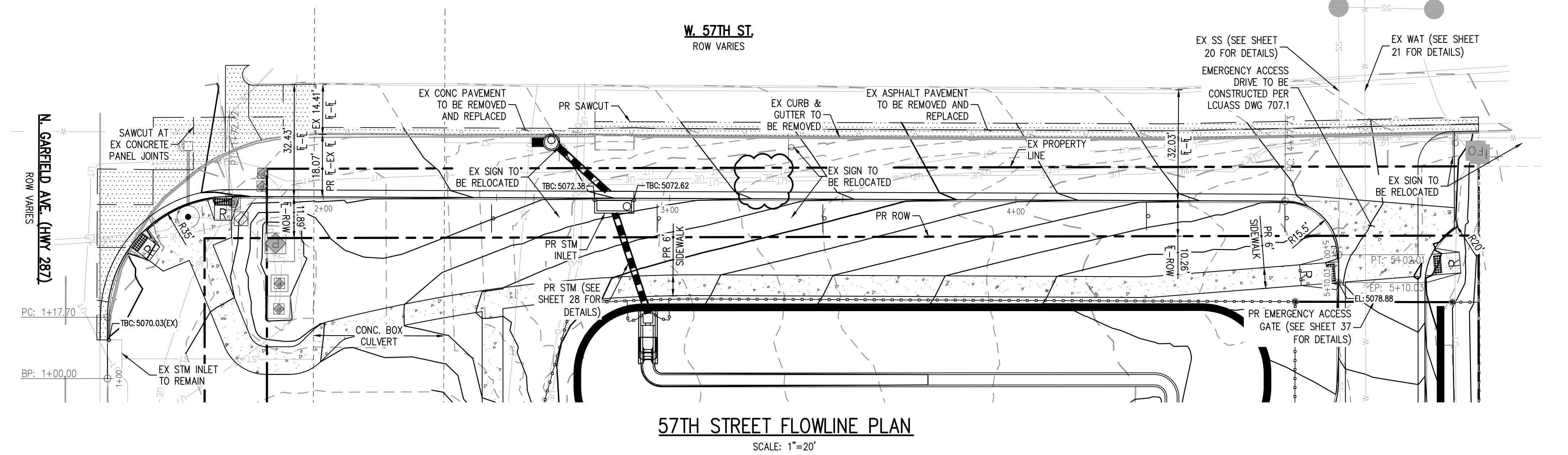
NO. 4

0 - 10

NO. 8

0 - 5

2.14



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NOTED: WE CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

SCALE: 1" = 20'



1120 Lincoln Street, Suite 10
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.0000
HarrisKocherSmith.com

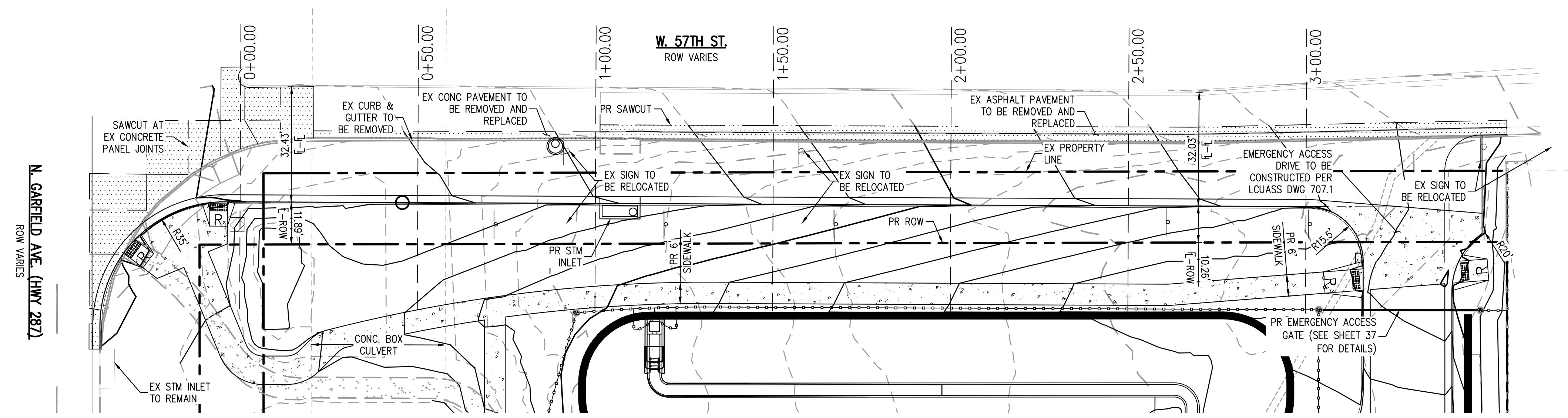
BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS

57TH STREET PLAN & PROFILE

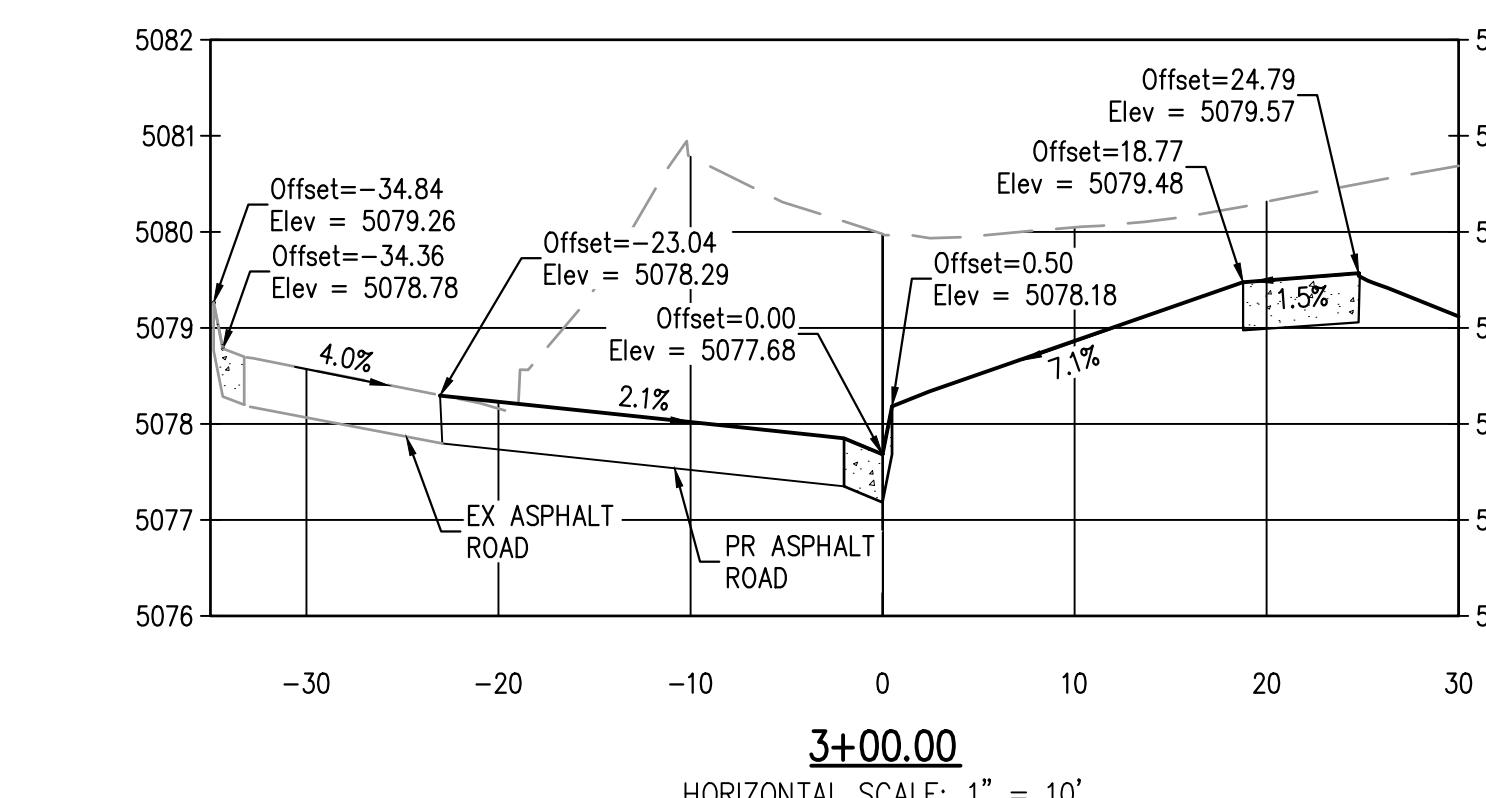
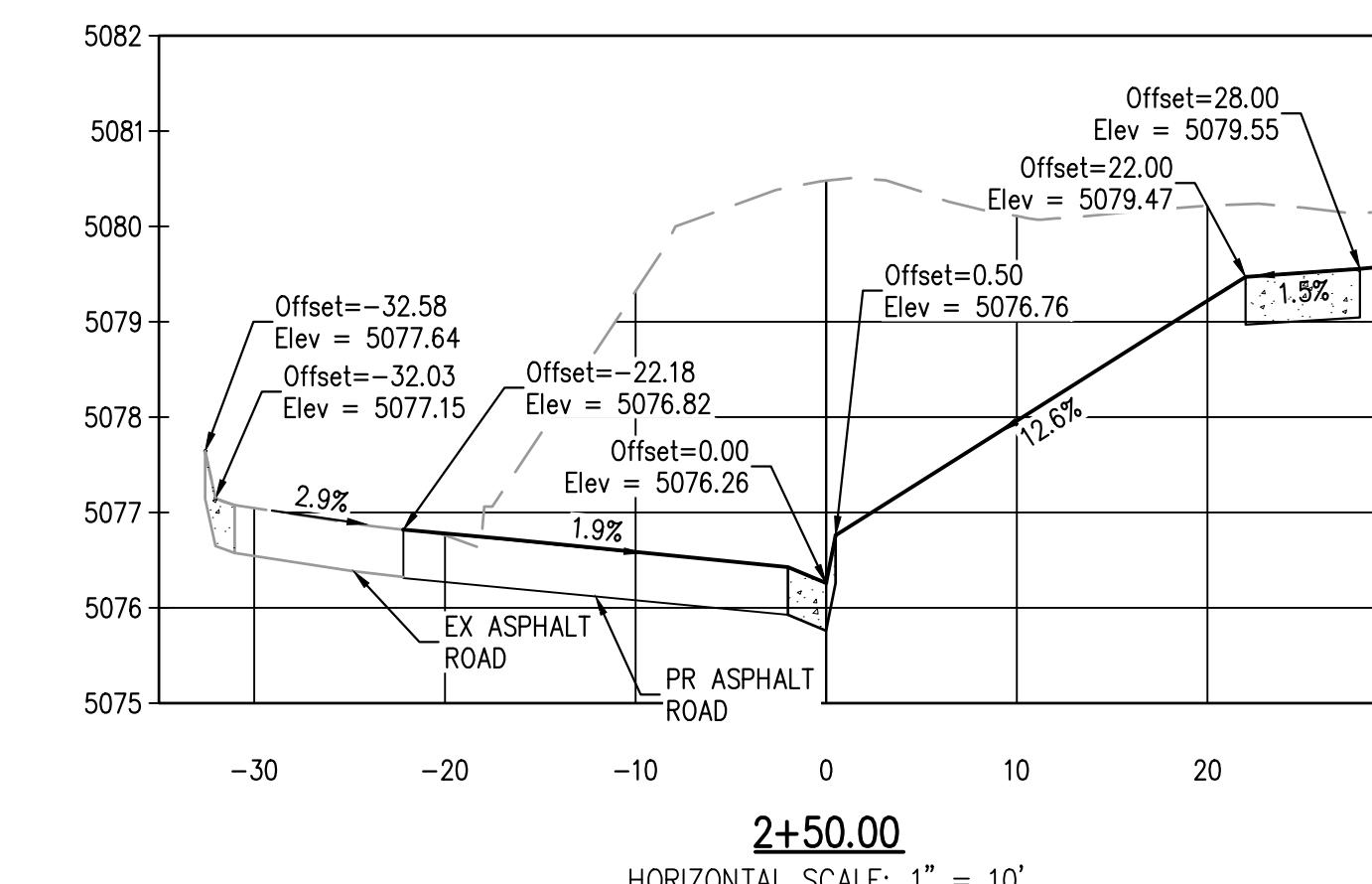
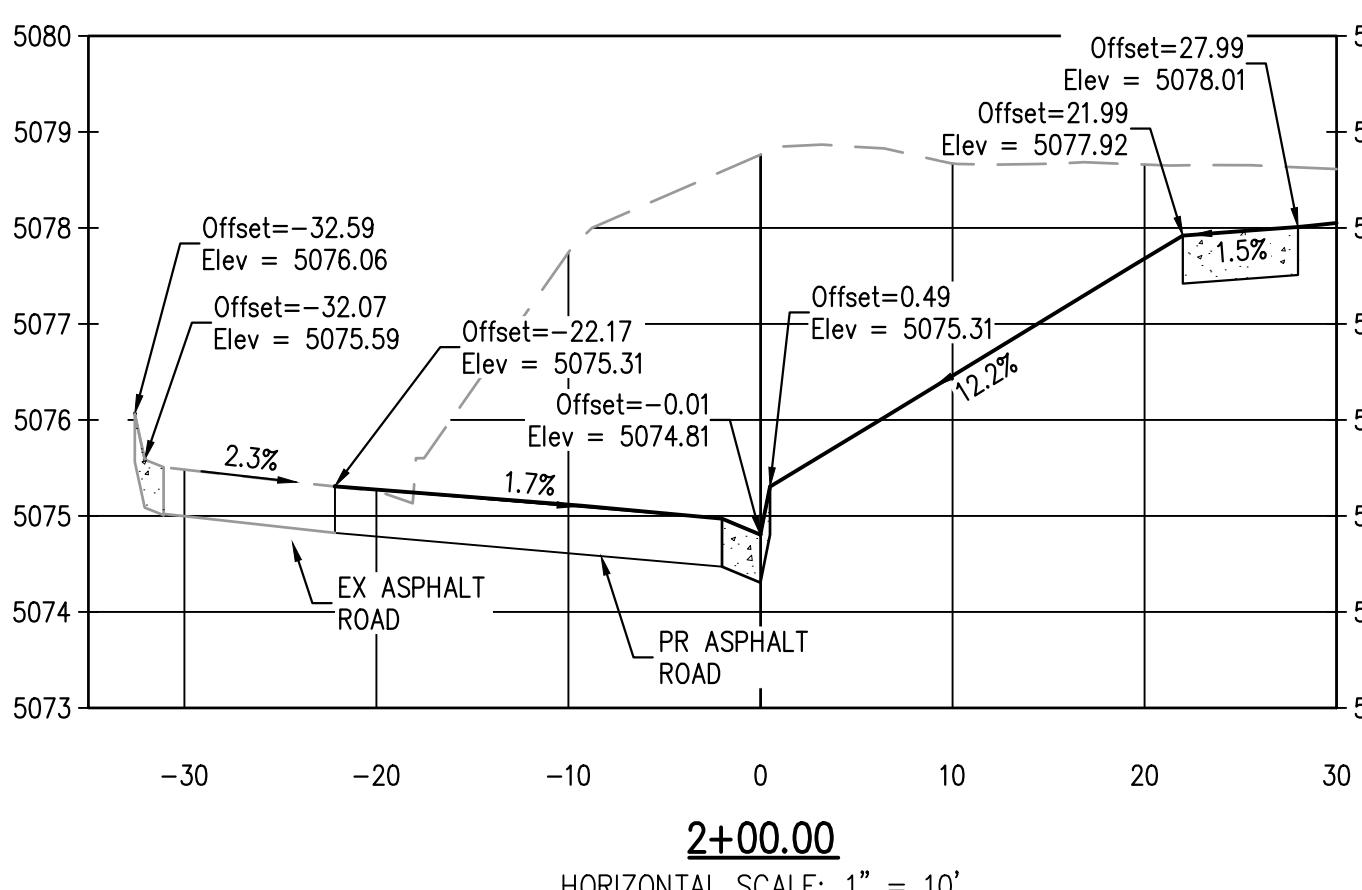
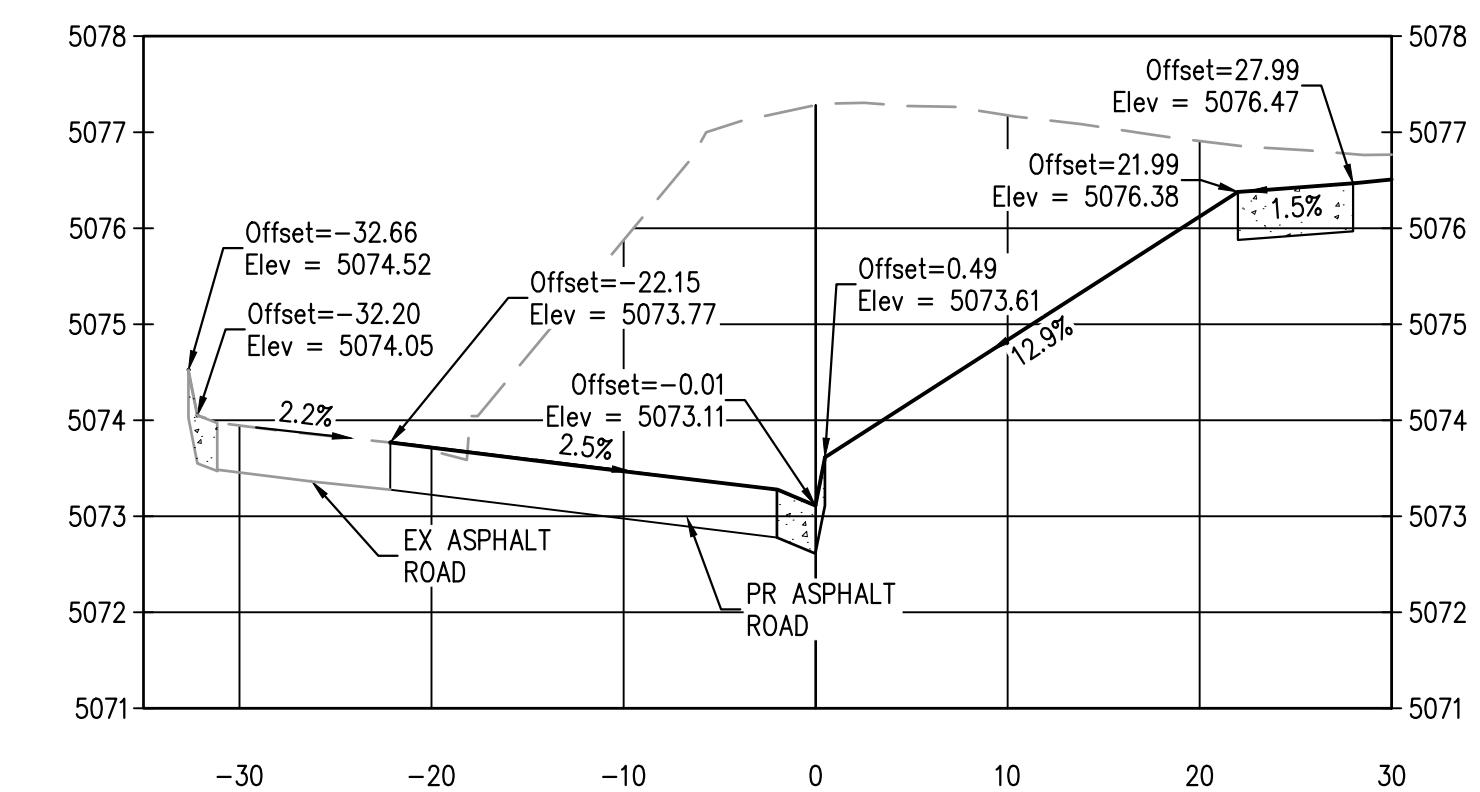
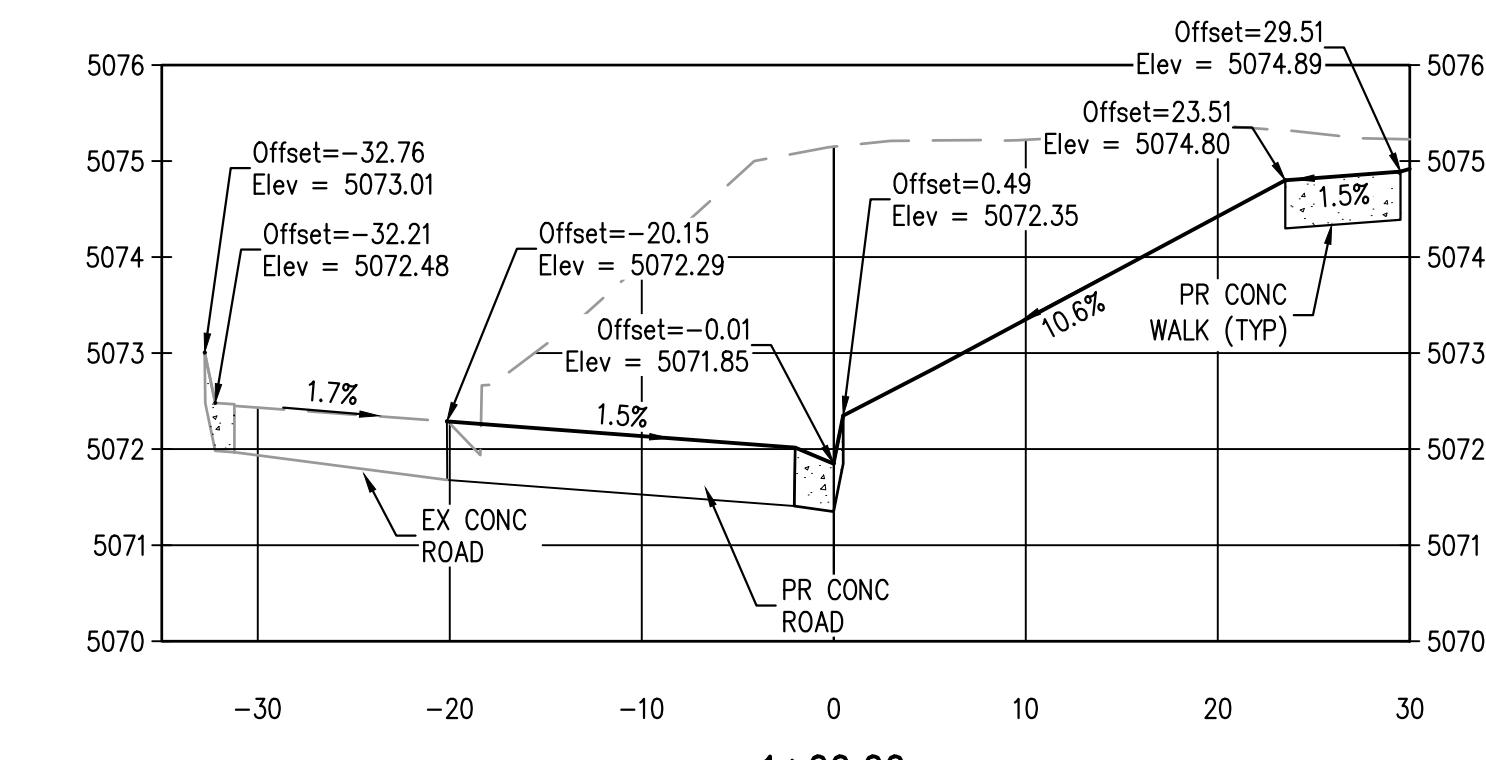
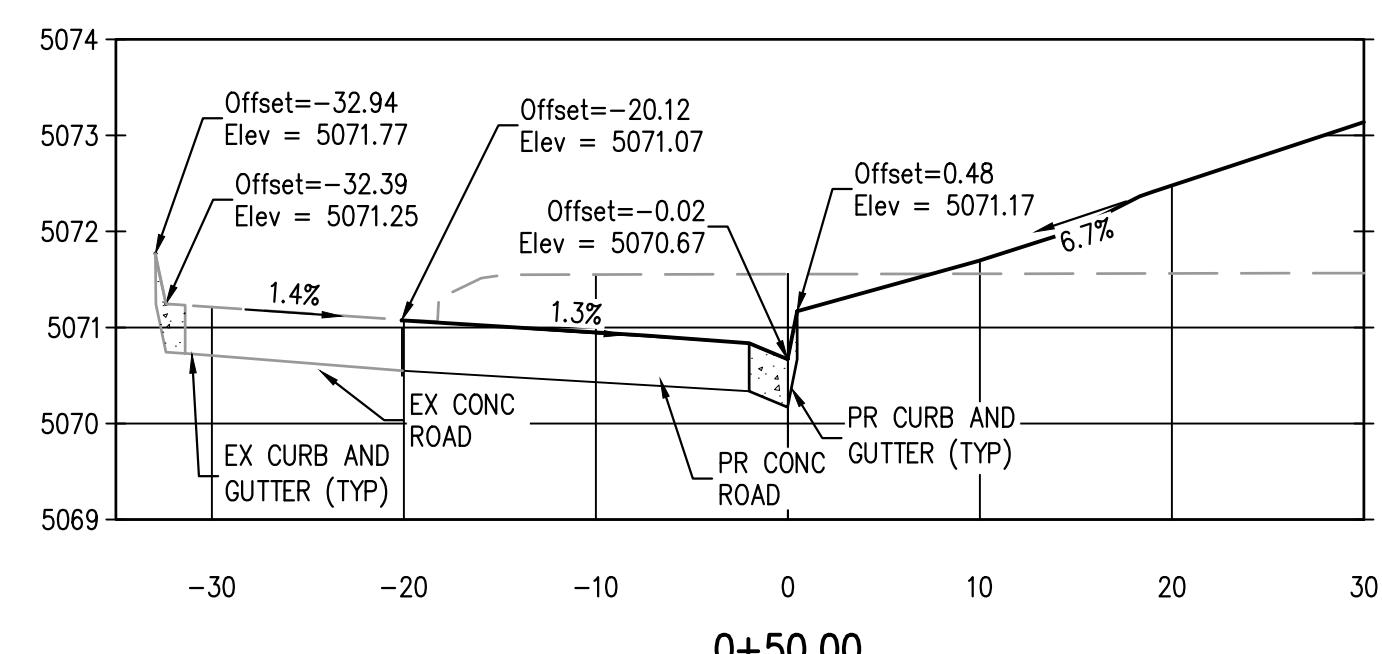
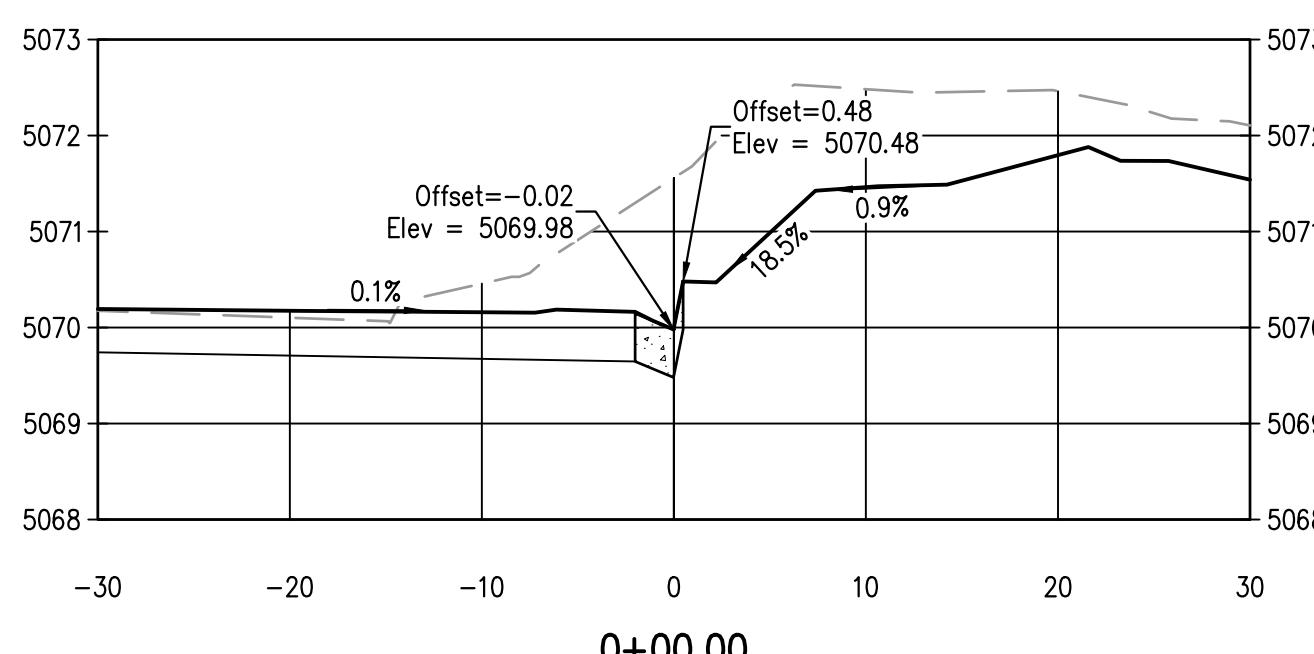
PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO.
31



57TH STREET FLOWLINE PLAN

SCALE: 1"=20'



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611 is a registered service mark of the 811 Association.
PLOTTED: WED 02/27/19 4:45PM A.M. BY: TIM HOFMAYER

20 0 20 40
SCALE: 1" = 20'

HKS HARRIS
KOCHE
SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
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BIGHORN RV STORAGE LLC

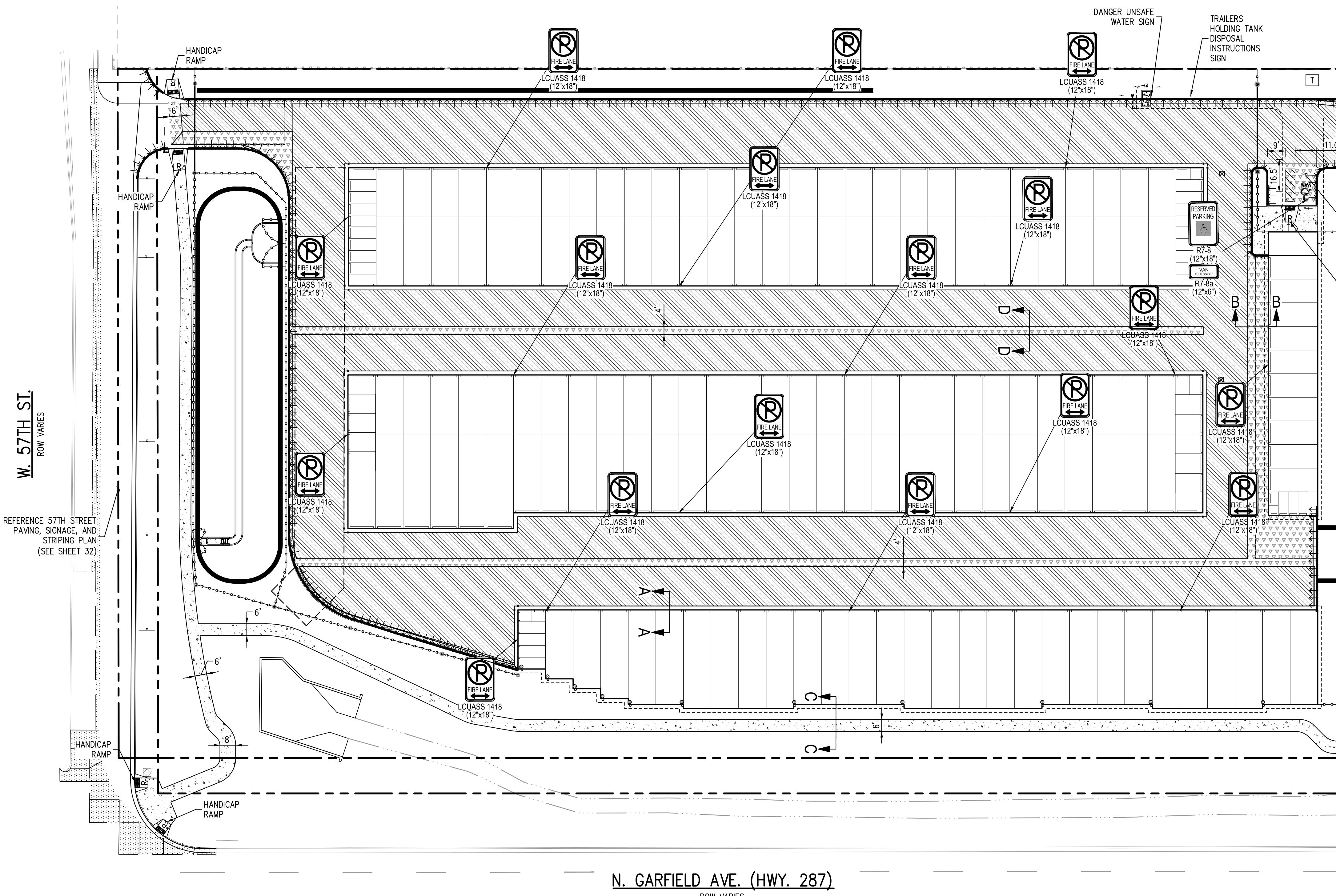
PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
57TH STREET CROSS SECTIONS

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11-12-2018	PER CITY OF LOVELAND COMMENTS
02-25-2019	PER CITY OF LOVELAND COMMENTS

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CONSTRUCTION

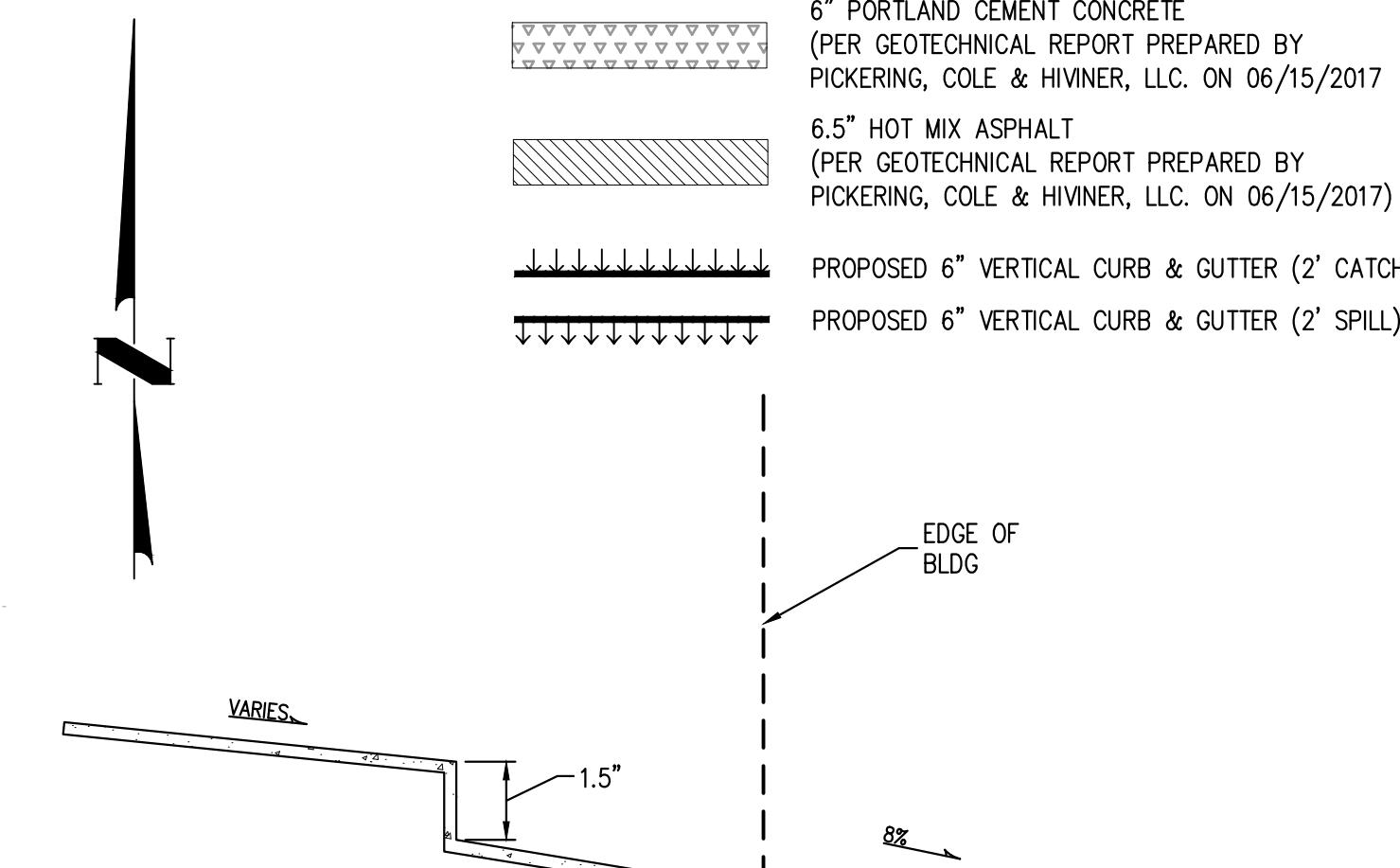
SHEET NO.
32

32 OF 37

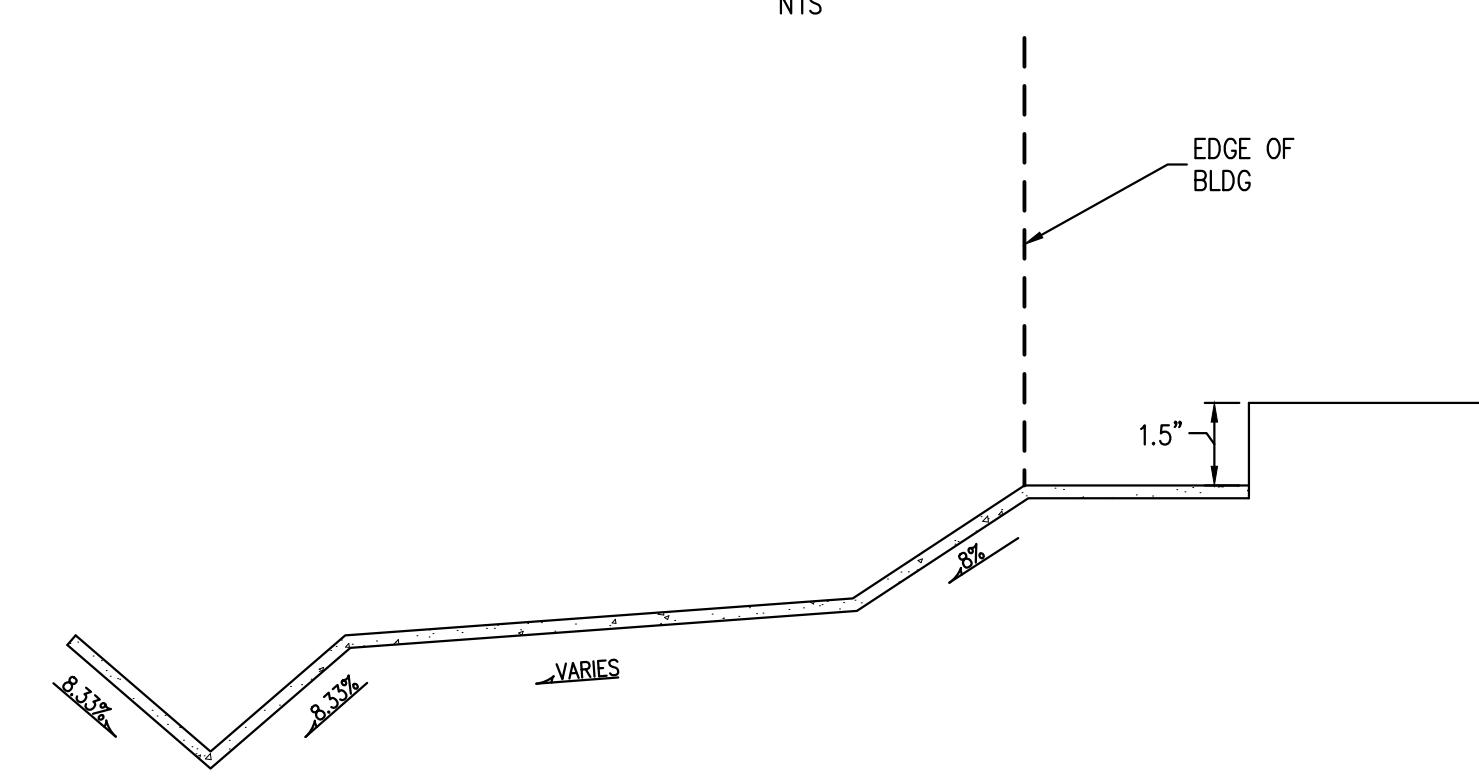


LEGEND:

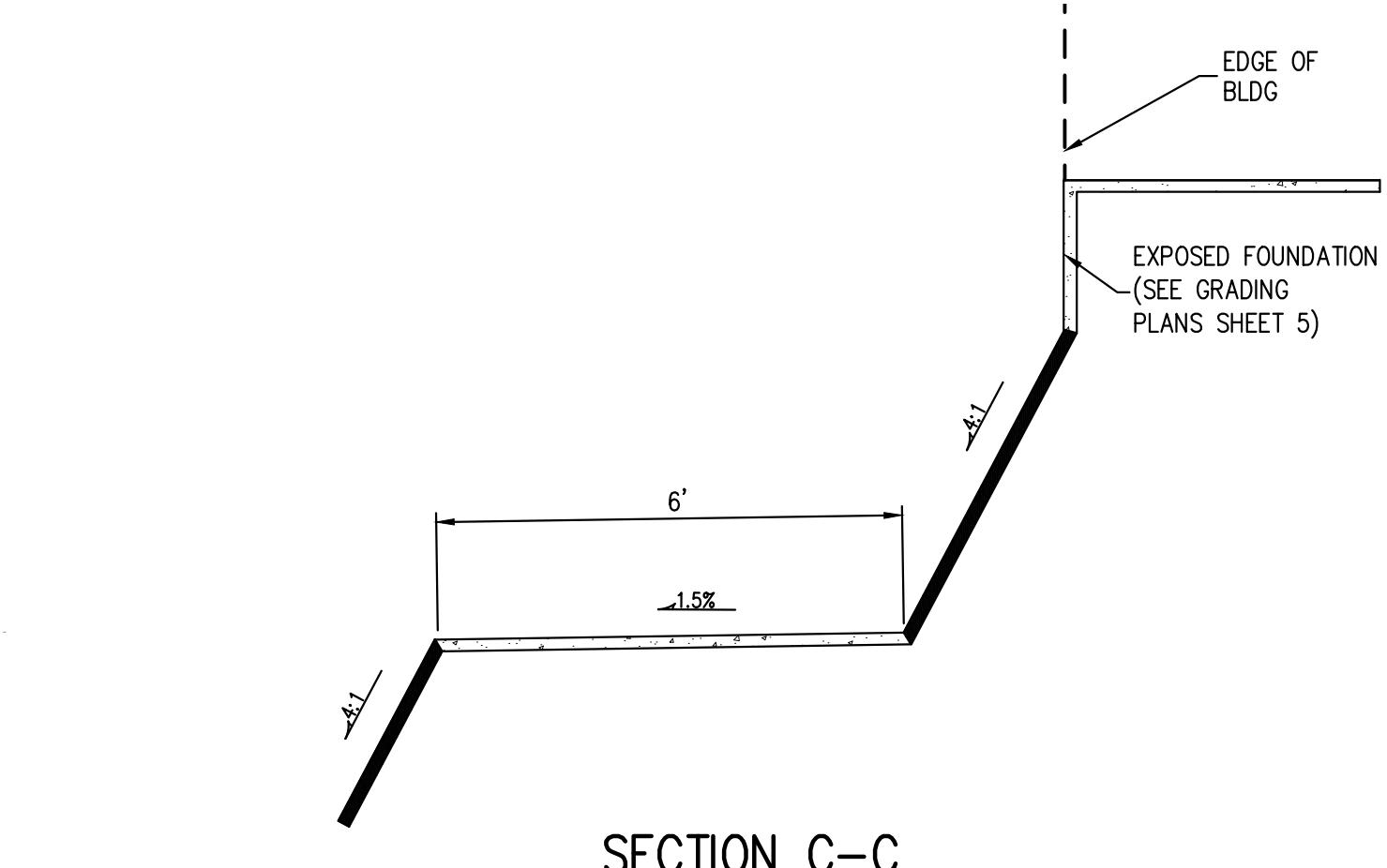
	4" PORTLAND CEMENT CONCRETE SIDEWALK
	6" PORTLAND CEMENT CONCRETE (PER GEOTECHNICAL REPORT PREPARED BY PICKERING, COLE & HINNEMAN, LLC. ON 06/15/2017)
	6.5" HOT MIX ASPHALT (PER GEOTECHNICAL REPORT PREPARED BY PICKERING, COLE & HINNEMAN, LLC. ON 06/15/2017)
	PROPOSED 6" VERTICAL CURB & GUTTER (2' CATCH)
	PROPOSED 6" VERTICAL CURB & GUTTER (2' SPILL)



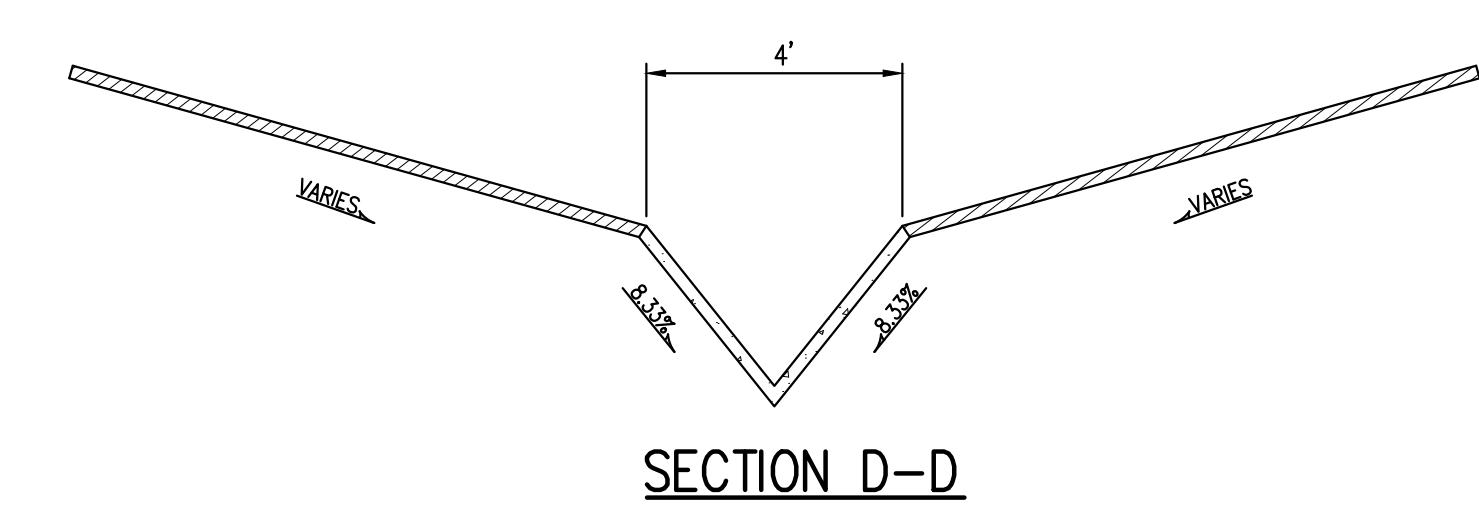
SECTION A-A
NTS



SECTION B-B
NTS



SECTION C-C
NTS



SECTION D-D
NTS



Know what's below.
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30 0 30 60
SCALE: 1" = 30'



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DESIGNED BY: JMN
CHECKED BY: MSM
DRAWN BY: JMN

BIGHORN RV STORAGE LLC

PUBLIC IMPROVEMENTS CONSTRUCTION PLANS
PAVING, SIGNAGE & STRIPING PLAN

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11-12-2018	PER CITY OF LOVELAND COMMENTS
02-25-2019	PER CITY OF LOVELAND COMMENTS

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CONSTRUCTION

SHEET NO.
33



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OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.

g.

DESIGNED BY: JMN	CHECKED BY: MSM
DRAWN BY: JMN	



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PUBLIC IMPROVEMENTS CONSTRUCTION PLANS

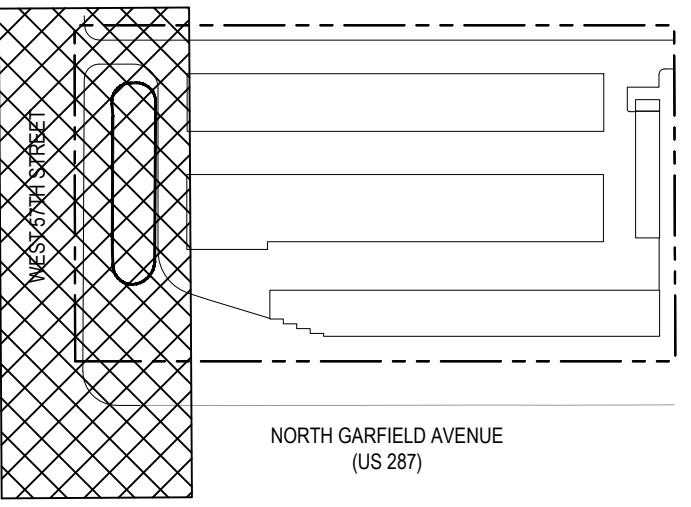
57TH STREET PAVING, SIGNAGE & STRIPING

ISSUE DATE: 07-03-2018	PROJECT #: 170108
DATE	REVISION COMMENTS
11-12-2018	PER CITY OF LOVELAND COMMENTS
02-25-2019	PER CITY OF LOVELAND COMMENTS

PRELIMINARY
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CONSTRUCTION

SHEET NO.
34

34 OF 37



10TH GARFIELD AVENUE
(LIS 287)

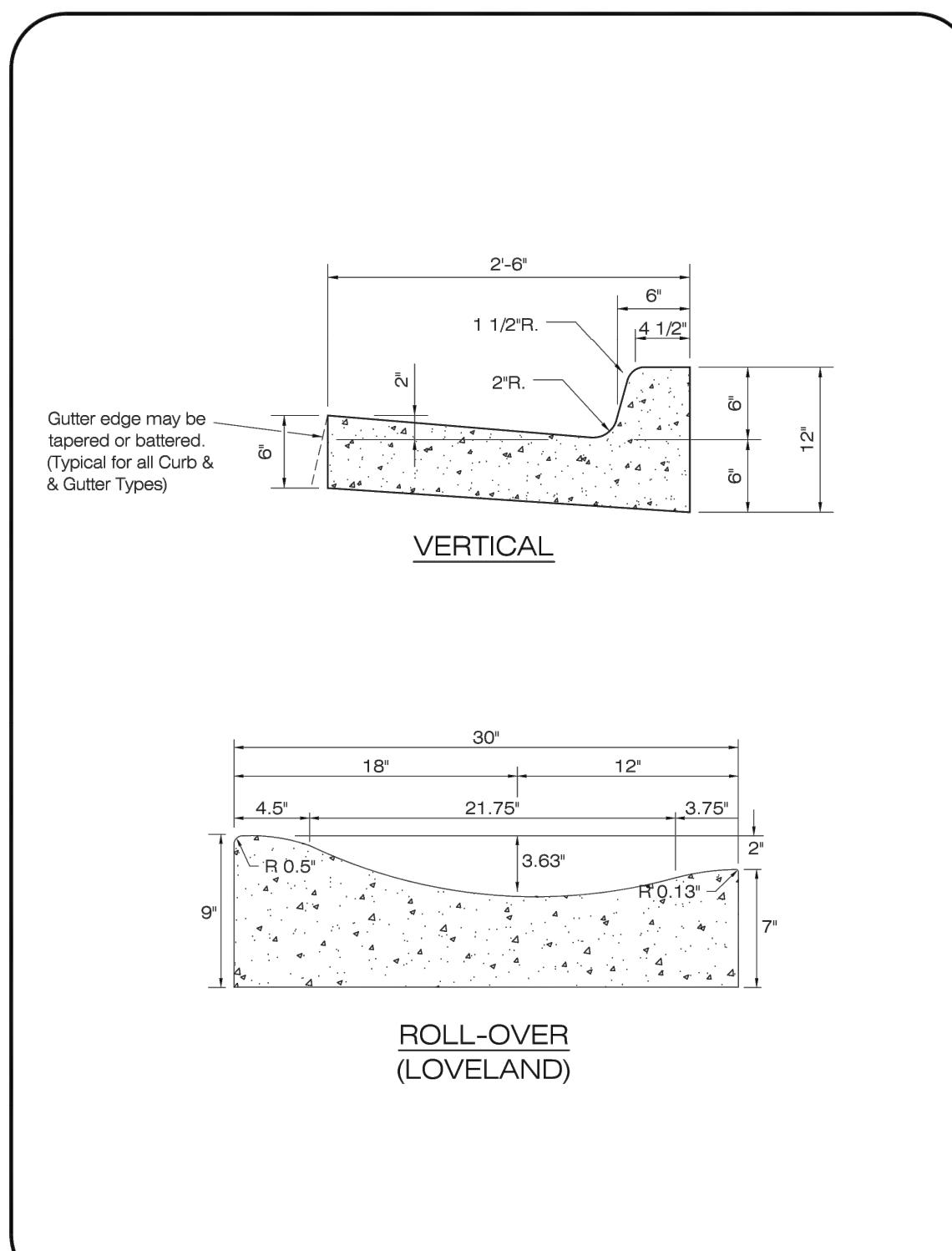
LEGEND:

NOTE:

6" PORTLAND CEMENT CONCRETE
(PER GEOTECHNICAL REPORT PREPARED BY
PICKERING, COLE & HIVNER, LLC. ON 06/15/2017)

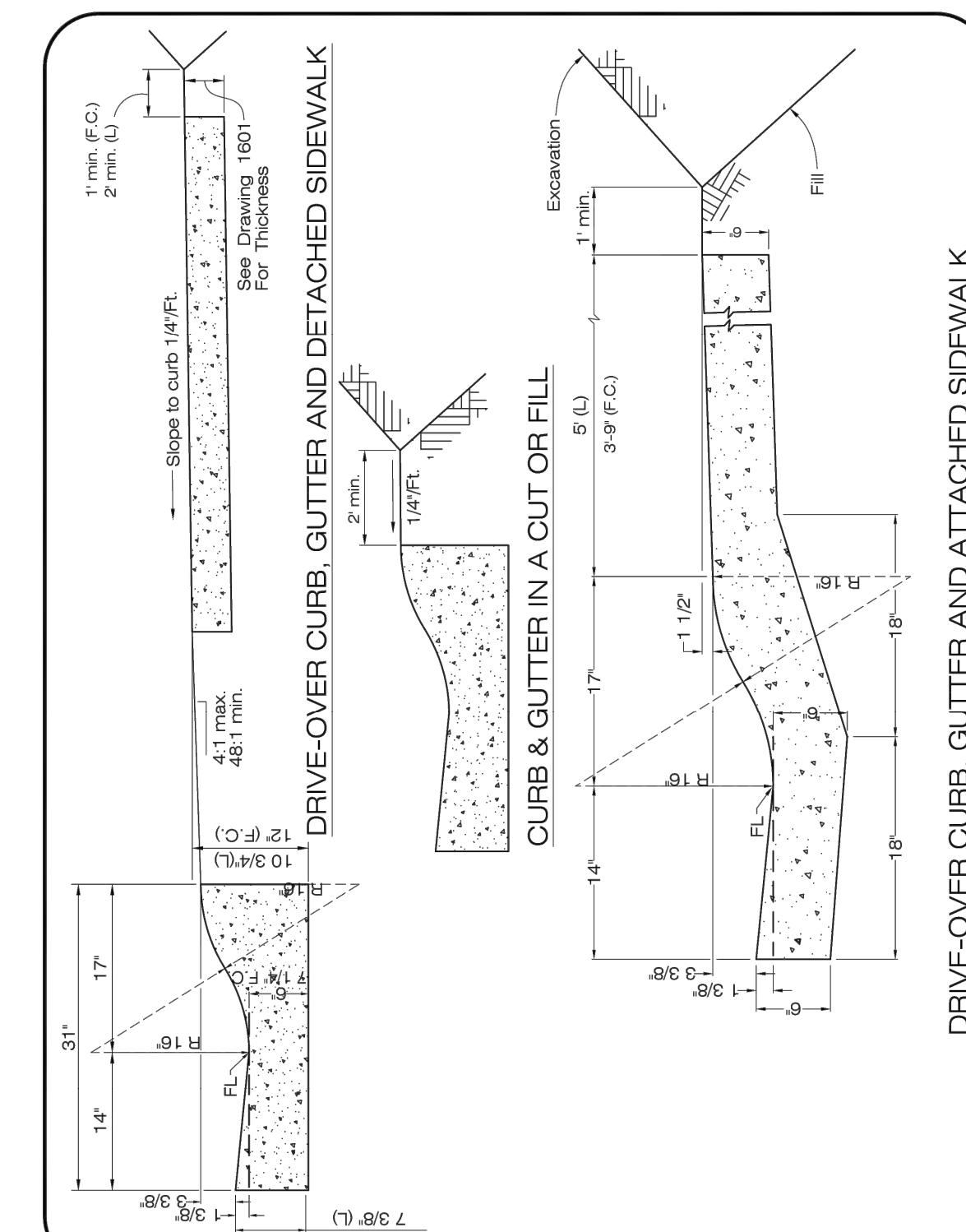
6.5" HOT MIX ASPHALT
(PER GEOTECHNICAL REPORT PREPARED BY
PICKERING, COLE & HIVNER, LLC. ON 06/15/2017)

NOTE: THE LAYOUT OF ALL SIGNING AND STRIPING USING 3-M TEMPORARY TAPE AT A MINIMUM OF 50' SPACING SHALL BE APPROVED BY THE CITY STREET INSPECTOR PRIOR TO THE INSTALLATION.



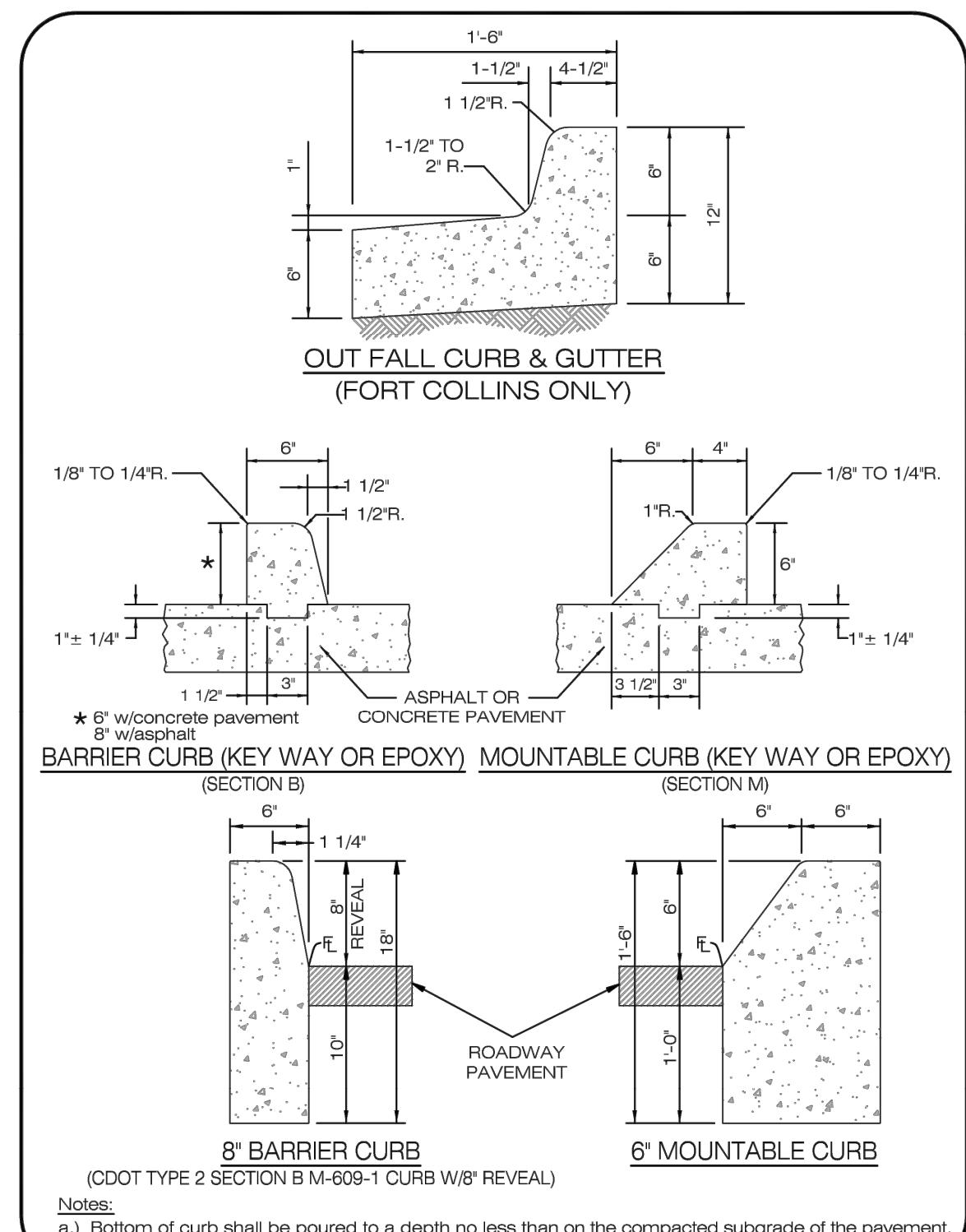
CURB AND GUTTER

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1	DRAWING 701
		DATE: 03/01/02	

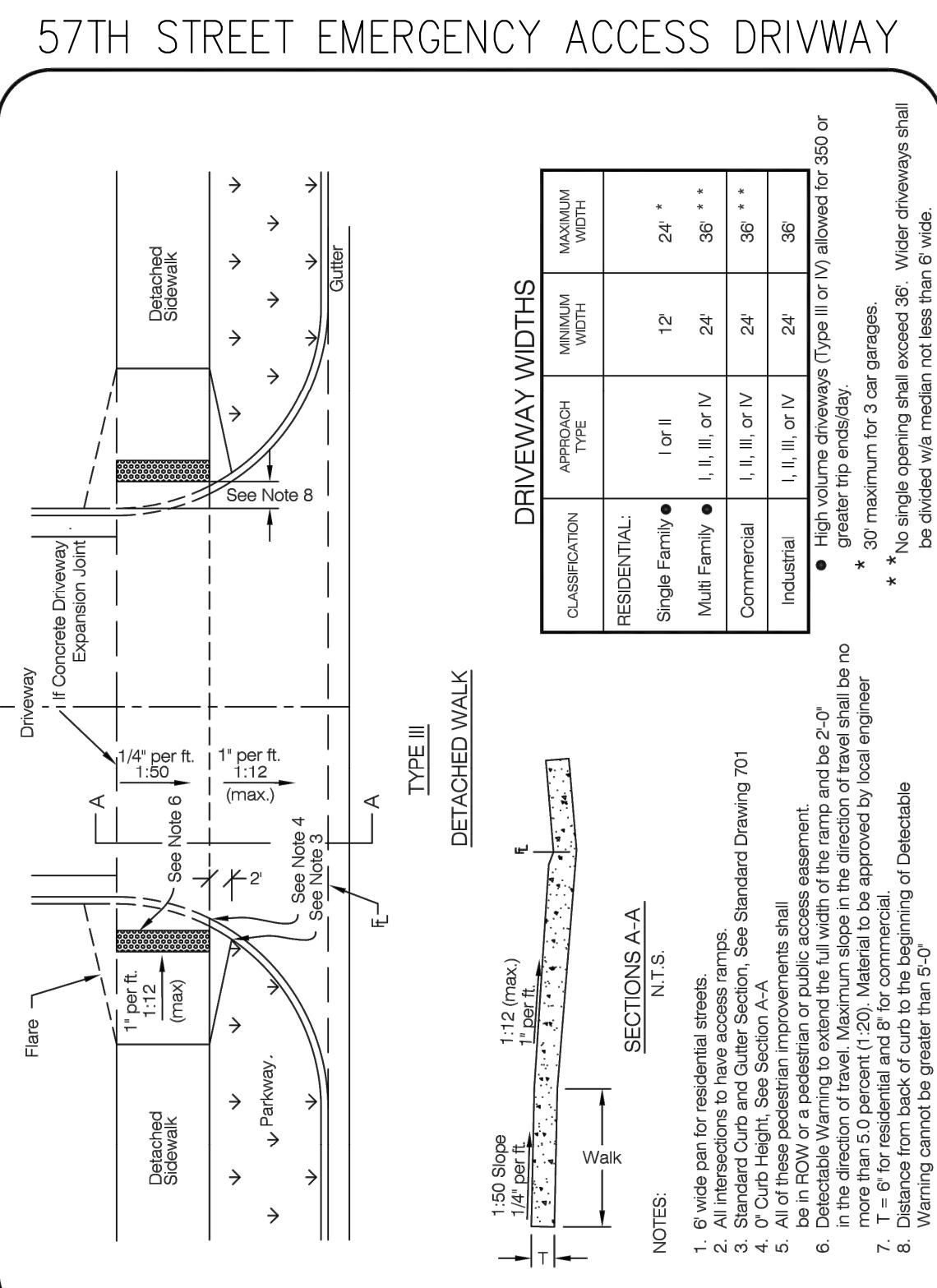


CURB AND GUTTER/SIDEWALK

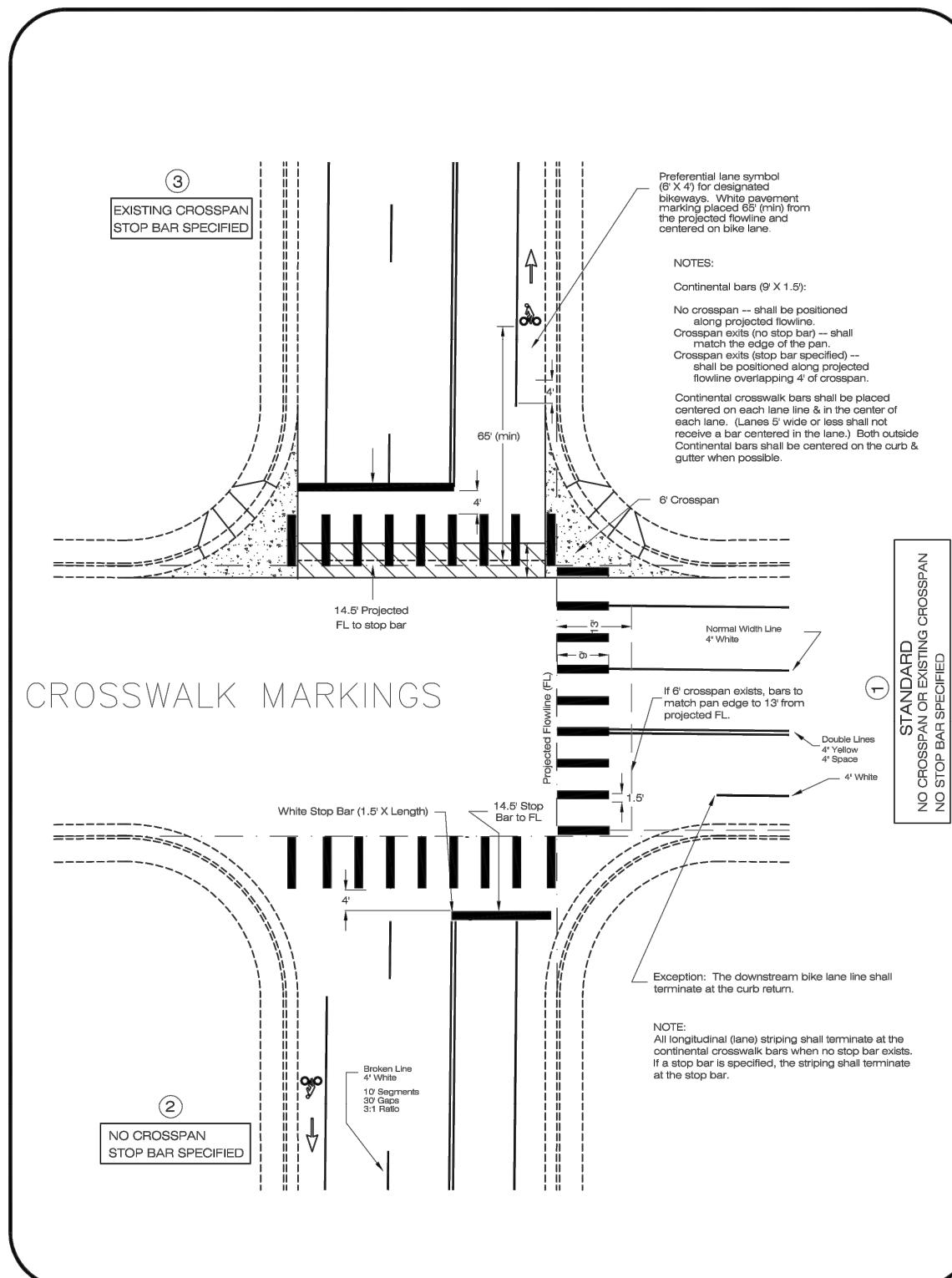
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1	DRAWING 702
		DATE: 03/01/02	



MEDIAN (ISLAND CURBS)

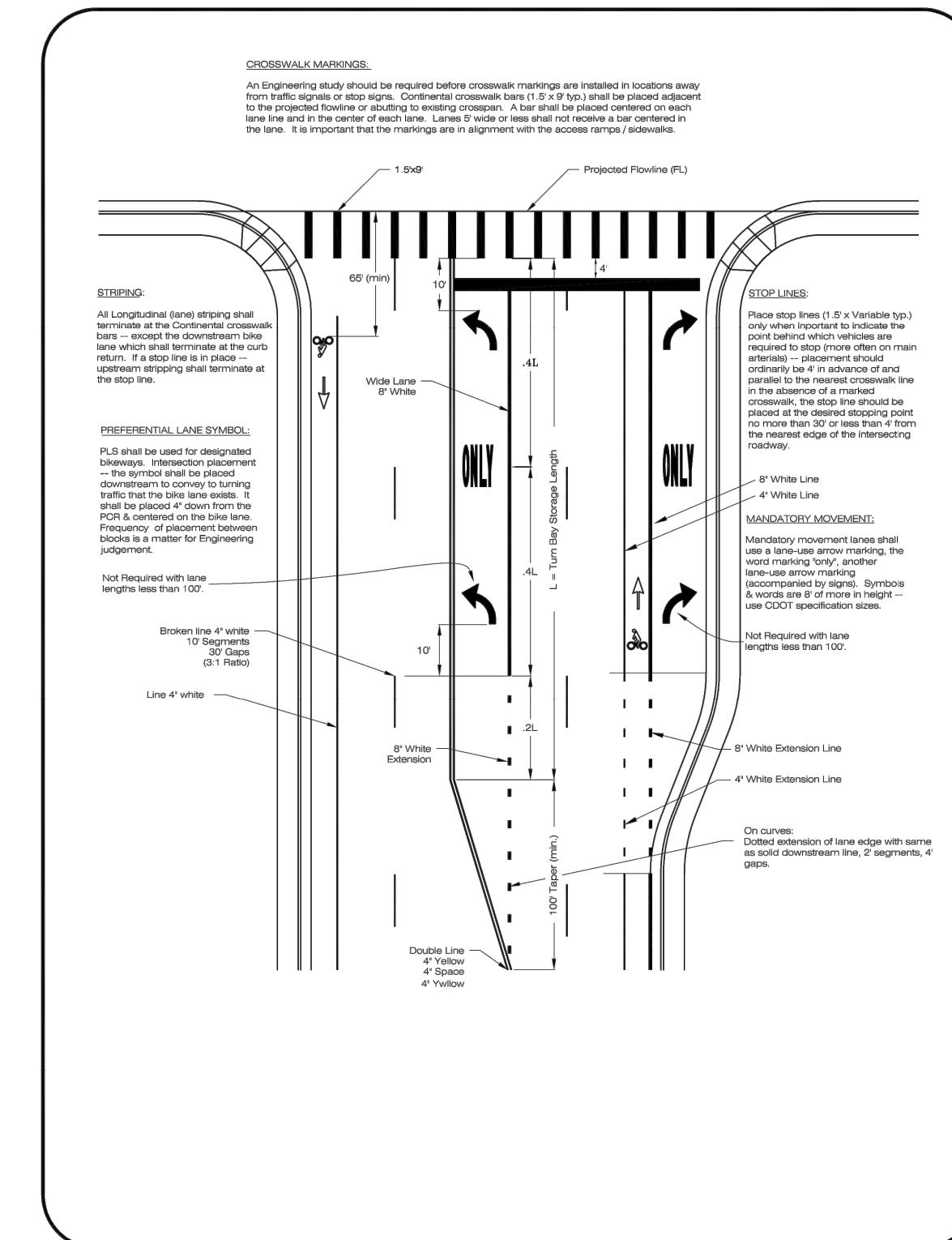


STANDARD DRIVEWAY APPROACH (HIGH VOLUME DRIVE TYPE III)



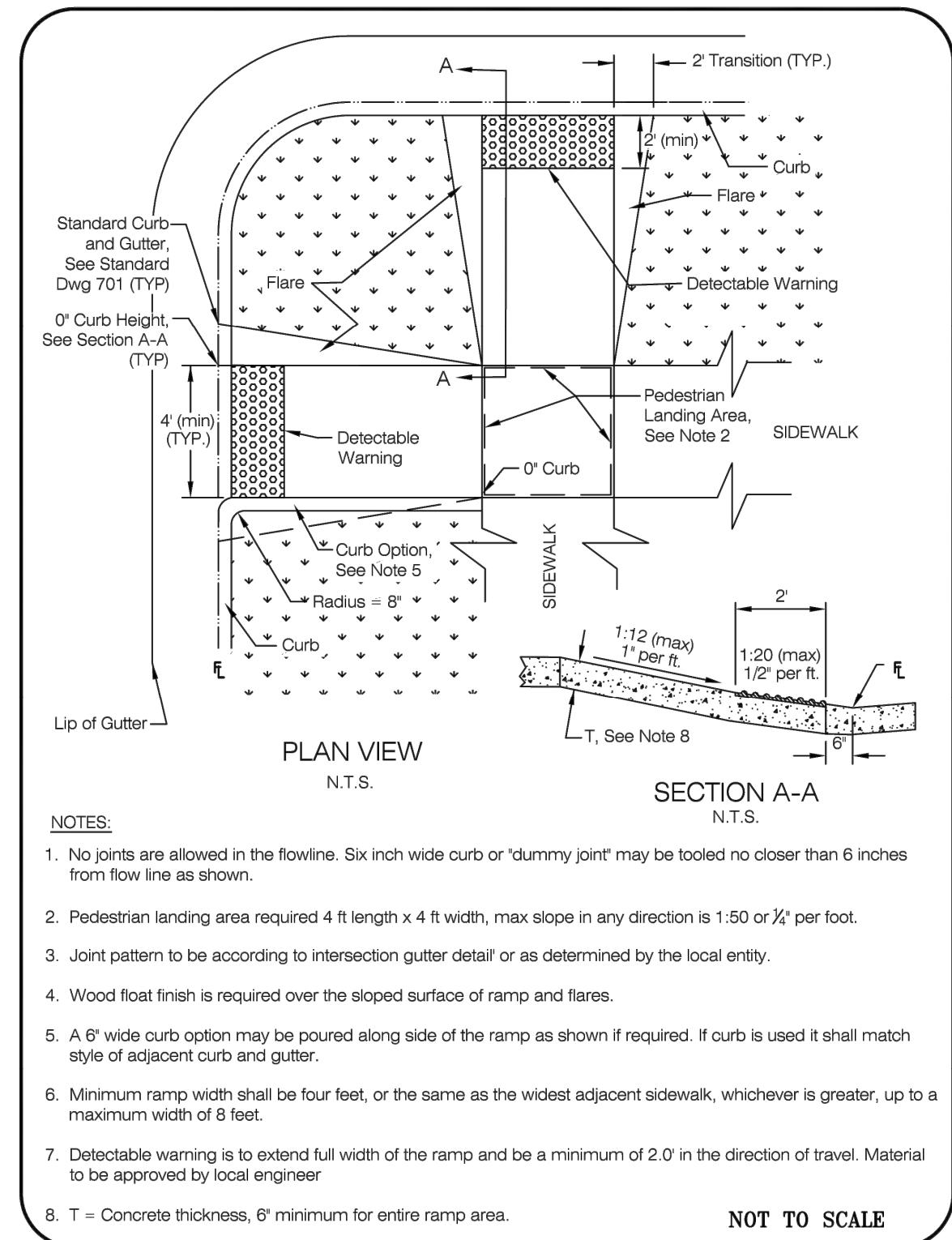
STANDARD PAVEMENT MARKINGS

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 1403
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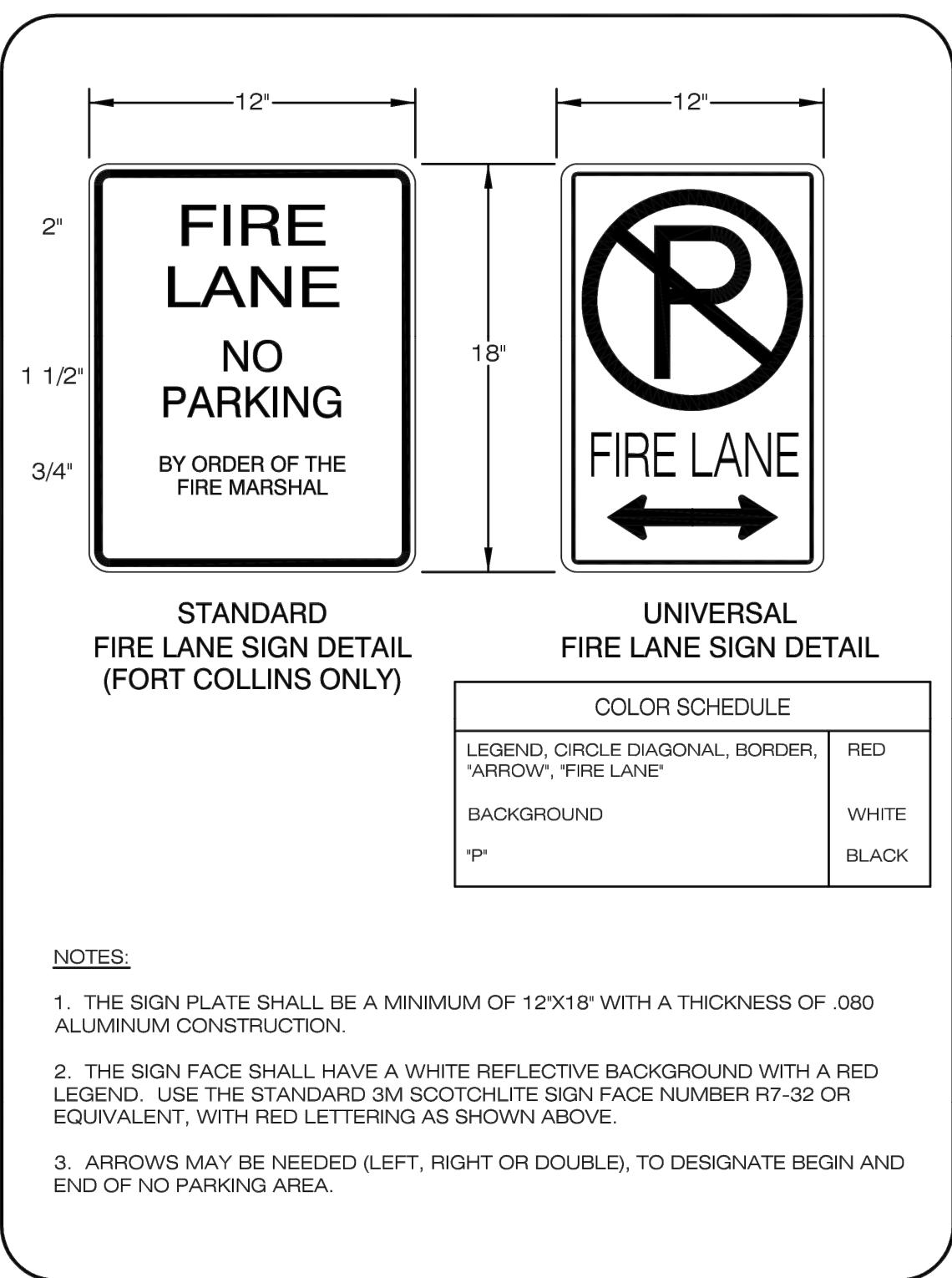
STANDARD PAVEMENT MARKINGS W/TURN LANE

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/02/01	DRAWING 1404
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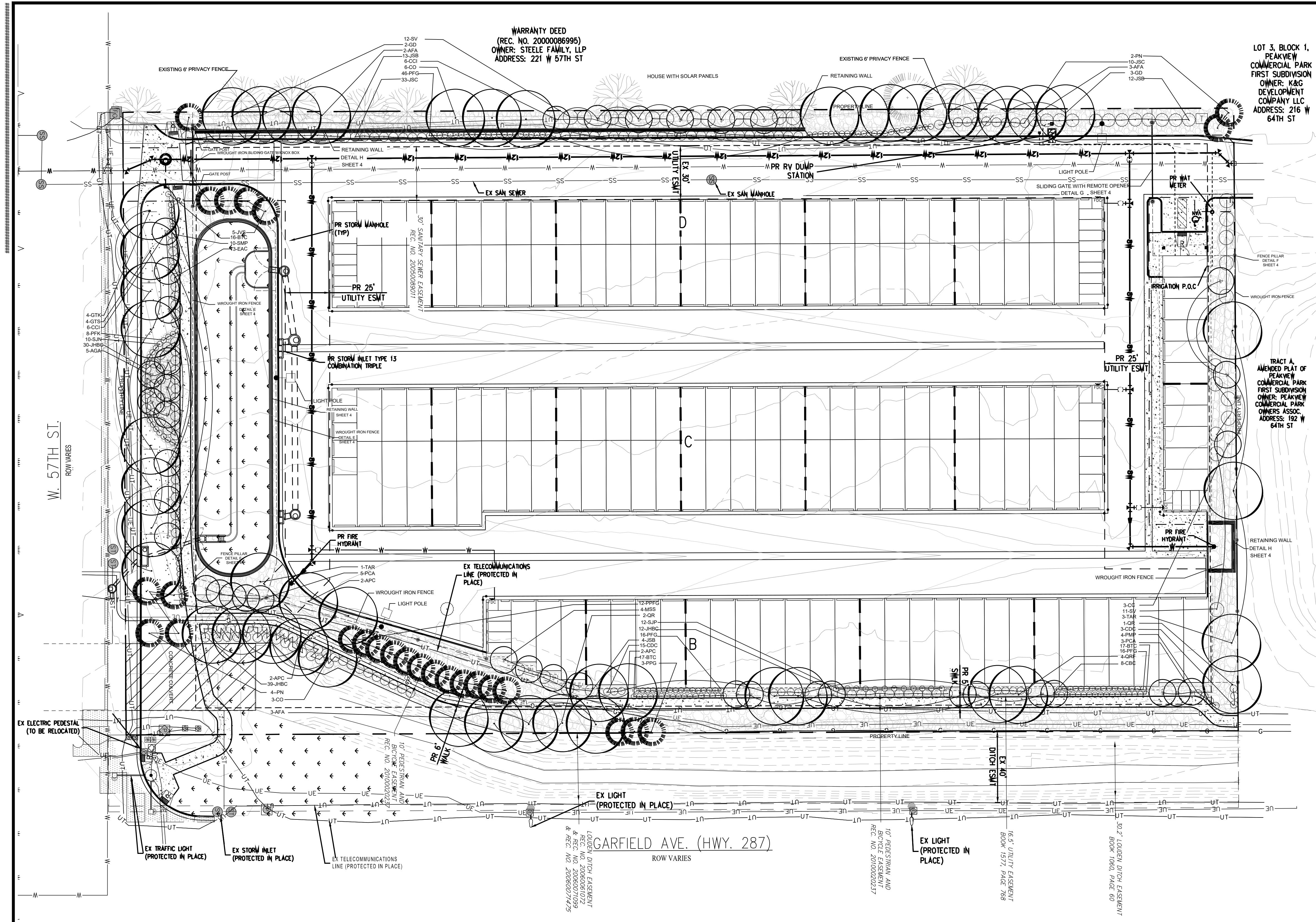
DIRECTIONAL ACCESS RAMP DETAIL & DETACHED SIDEWALK

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 02/17/15	DRAWING 1606
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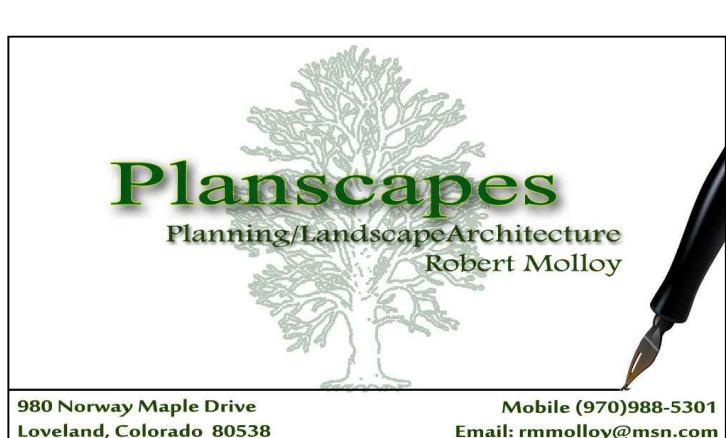
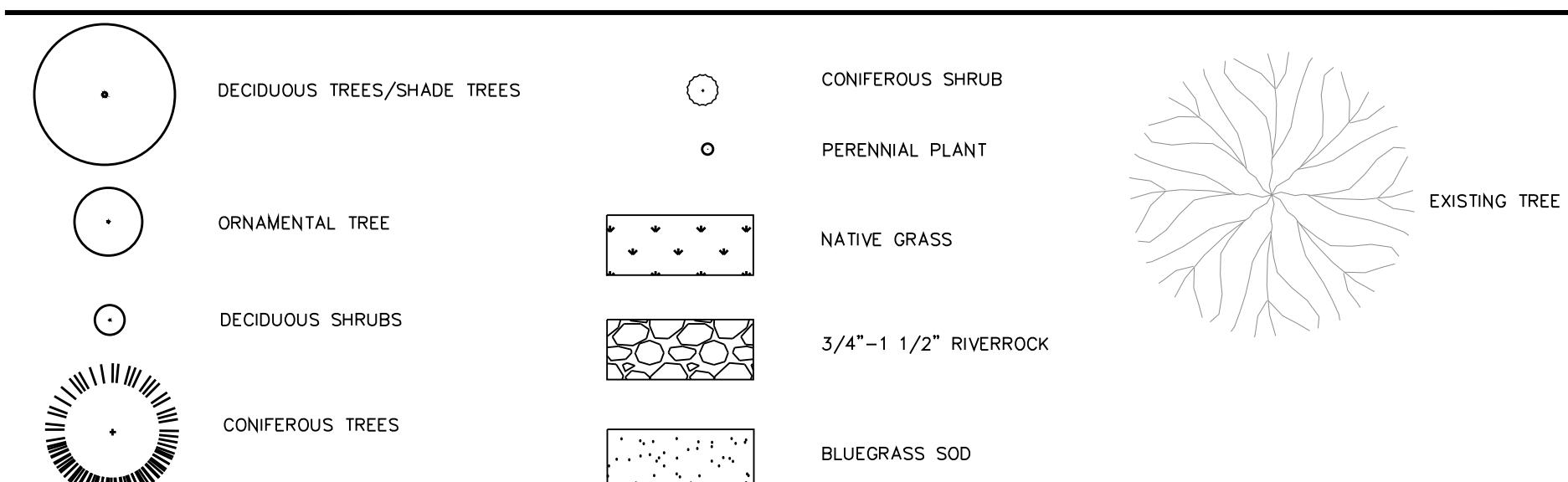


FIRE ACCESS ROAD SIGNS

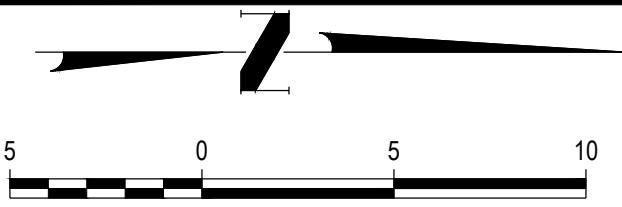
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 2 DATE: 04/01/07	DRAWING 1418
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LANDSCAPE LEGEND



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The logo for HKS (Harris Kocher Smith) is displayed. It features the letters 'HKS' in a large, bold, white sans-serif font, set against a black rectangular background. To the right of the logo, the words 'HARRIS', 'KOCHER', and 'SMITH' are stacked vertically in a smaller, bold, white sans-serif font.

BIGHORN RV STORAGE LLC

USE BY SPECIAL REVIEW LANDSCAPE PLAN

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
DECIDUOUS TREES					
GTS	<i>Gleditsia triacanthos inermis</i> ' Shadem'	Shademaster Locust	2" cal	B+B	4
GD	<i>Gymnocladus dioicus</i>	Kentucky Coffee Tree	2" cal	B+B	5
GTK	<i>Gleditsia triacanthos inermis</i> ' Skyline'	Skyline Locust	2" cal	B+B	4
TAR	<i>Tilia americana</i> 'Greenspire'	Greenspire Linden	2" cal	B+B	4
QR	<i>Quercus robur</i>	English Oak	2" cal	B+B	3
AFA	<i>Acer x freemannii</i> 'Autumn Blaze'	Autumn Blaze Maple	2" cal	B+B	8
CO	<i>Celtis occidentalis</i>	Western Hackberry	2" cal	B+B	9
APC	<i>Acer platanoides</i> 'Columnar'	Columnar Norway Maple	2" cal	B+B	6
QRF	<i>Quercus Robur</i> 'Crimschmidt'	Crimson Spire Columnar Oak	2" cal	B+B	4
ORNAMENTAL TREES					
AGA	<i>Amelanchier canadensis</i> 'Autumn Brill'	Autumn Brilliant Serviceberry	1.5" cal.	B+B	5
CCI	<i>Crataegus crus-galli</i> inermis	Thornless Cockspur Hawthorn	1.5" cal.	B+B	12
CC	<i>Cercis canadensis</i>	Eastern Redbud	1.5" cal.	B+B	3
MSS	<i>Malus</i> Spring Snow	Spring Snow Crab	1.5" cal.	B+B	4
CBC	<i>Carpinus betulus</i> 'Columnaris'	European Columnar Hornbeam	1.5" cal.	B+B	8
PCA	<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Pear	1.5" cal.	B+B	8
EVERGREEN TREES					
PPFG	<i>Picea pungens</i> 'Fastigiata'	Columnar Blue Spruce	6' ht.	B+B	12
PPG	<i>Picea pungens</i> glauca	Colorado Blue Spruce	6' ht.	B+B	3
PN	<i>Pinus nigra</i>	Austrian Pine	6' ht.	B+B	6
JVS	<i>Juniperus virginiana</i> 'Skyrocket'	Skyrocket Juniper	5 gal.	6' o.c.	1
EVERGREEN SHRUBS					
JSB	<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	5 gal.	4' o.c.	35
PMP	<i>Pinus mugo</i> 'Pumilo'	Dwarf Mugo Pine	5 gal.	4' o.c.	4
JHBC	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	5 gal.	5' o.c.	80
JSC	<i>Juniperus sabina</i> 'Calgary Carpet'	Calgary Carpet Juniper	5 gal.	5' o.c.	43
DECIDUOUS SHRUBS					
BTC	<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	5 gal.	5' o.c.	50
SJN	<i>Spiraea japonica</i> "Neon Flash"	Neon Flash Spirea	5 gal.	3' o.c.	0
EAC	<i>Euonymus alata</i> 'Compactus'	Dwarf Burning Bush	5 gal.	3' o.c.	13
SMP	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	5 gal.	4' o.c.	10
SV	<i>Syringa vulgaris</i>	Albert Holden Lilac	5 gal.	8' o.c.	23
PFK	<i>Potentilla fruticosa</i> 'Kathryn Dykes'	Kathryn Dykes Potentilla	5 gal.	3' o.c.	8
CDC	<i>Cotoneaster dammeri</i> 'Coral Beauty'	Coral Beauty Cotoneaster	5 gal.	5' o.c.	18
PFG	<i>Potentilla fruticosa</i> 'Gold Drop'	Gold Drop Potentilla	5 gal.	3' o.c.	78
SJP	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	5 gal.	3' o.c.	12
SxV	<i>Spiraea vanhouttei</i> 'Renaissance'	Vanhoutte Spirea	5 gal.	6 o.c.	18

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

BUFFERYARD REQUIREMENTS

EAST Side Zoned HIGHWAY 287 - 600' Bufferyard D (Area restricted by ditch easement, utilities, and pedestrian path easement)					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER	PLANTS REQUIRED	PLANTS PROPOSED	
4- CANOPY TREES	25'	.8	20	20	
4 - ORNAMENTAL	25'	.8	20	20	
35 - SHRUBS	25'	.8	168	168	
3 - EVERGREEN TREES	25'	.8	15	15	

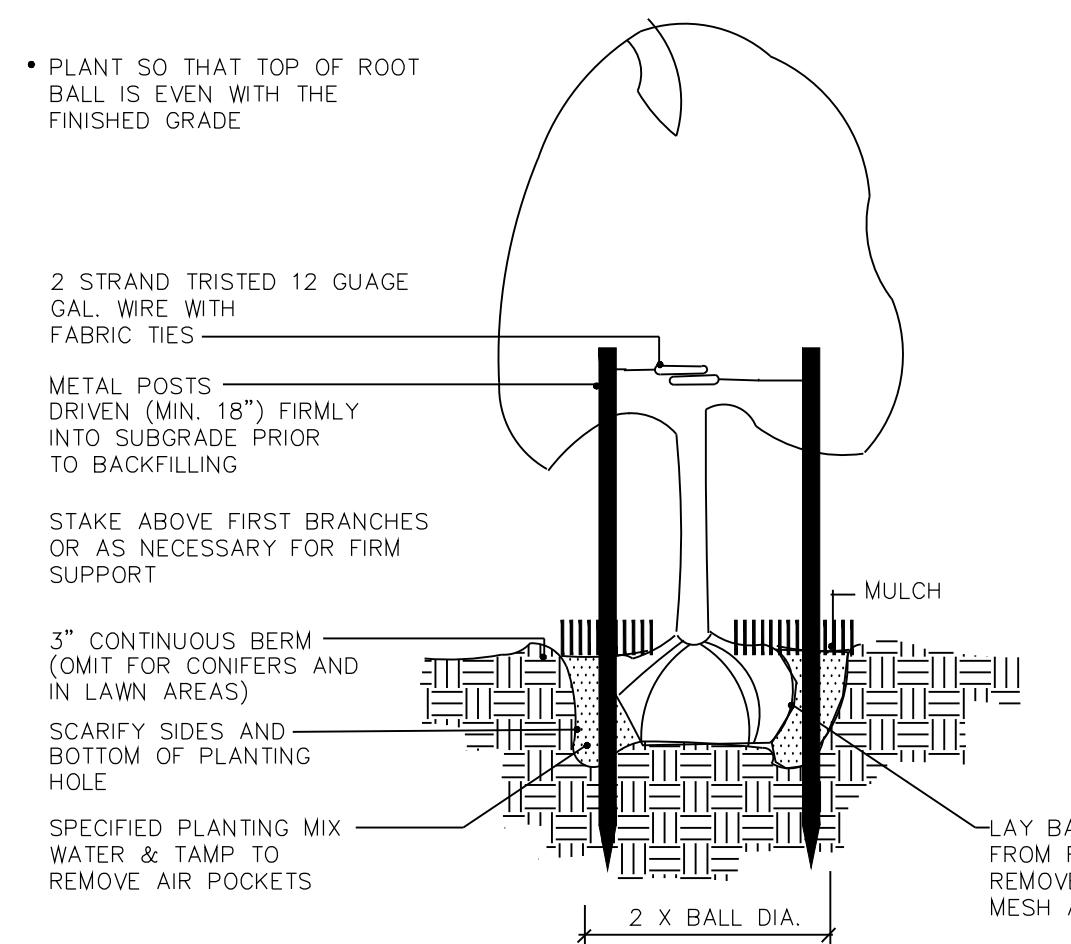
NORTH SIDE Empty Lot 300' Bufferyard A					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER	PLANTS REQUIRED	PLANTS PROPOSED	
1 - CANOPY TREES	15'	1.00	3	3	
1 - ORNAMENTAL	15'	1.00	3	3	
3 - SHRUBS	15'	1.00	9	11	

SOUTH SIDE MAJOR ATRTERIAL 57th STREET - 300' Bufferyard D (Area restricted by ditch easement and utilities and conc. culvert)					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER	PLANTS REQUIRED	PLANTS PROPOSED	
4- CANOPY TREES	15'	1.00	12	8	
4 - ORNAMENTAL	15'	1.00	12	11	
35 - SHRUBS	15'	1.00	105	96	
3 - EVERGREEN TREES	15'	1.00	9	7	

WEST SIDE MOBILE HOME PARK - 635' Bufferyard E (Area restricted by solar panel locations on neighboring property)					
TYPE BASE STANDARD (PLANTS PER 100' LINEAR FEET)	OPTION WIDTH	PLANT MULTIPLIER 6' PRIVACY FENCE	PLANTS REQUIRED	PLANTS PROPOSED	PLANTS EXISTING
5- CANOPY TREES	15'	1.25	40	16	10 LOCATED ALONG THE FENCE BOTH SIDE OF PROPERTY LINE
6 - ORNAMENTAL	15'	1.25	47.7	6	
30 - SHRUBS	15'	1.25	239	126	
4 - EVERGREEN TREES	15'	1.25	31.8	3	1

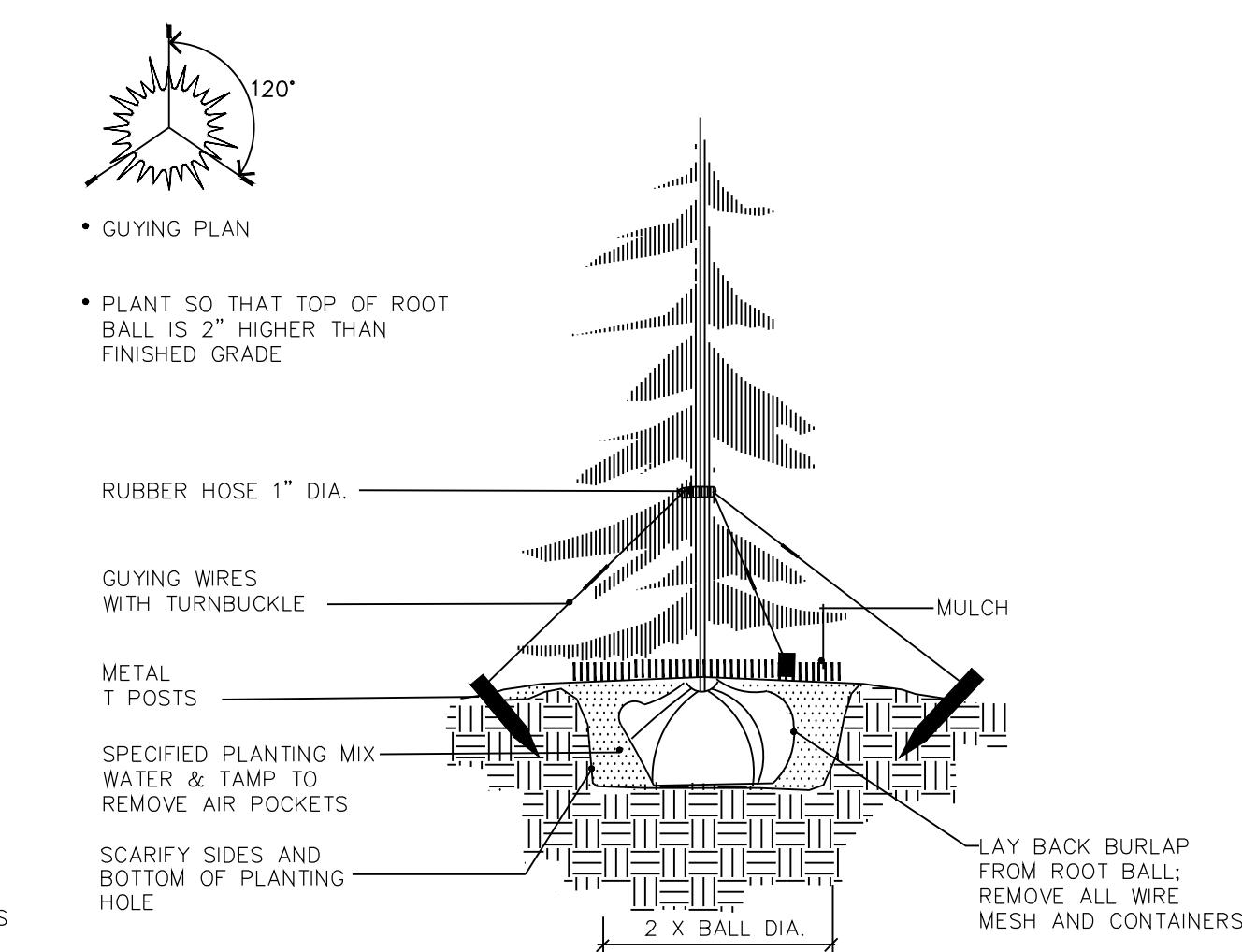
SHEET NO.
36

GENERAL LANDSCAPE NOTES



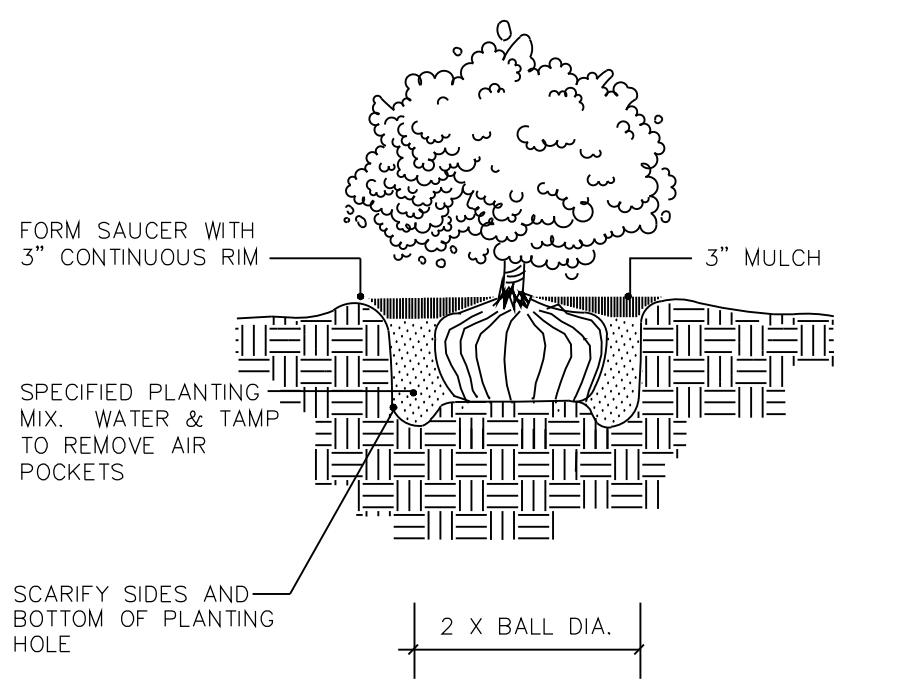
A TREE PLANTING — VERTICAL STAKES

NOT TO SCALE



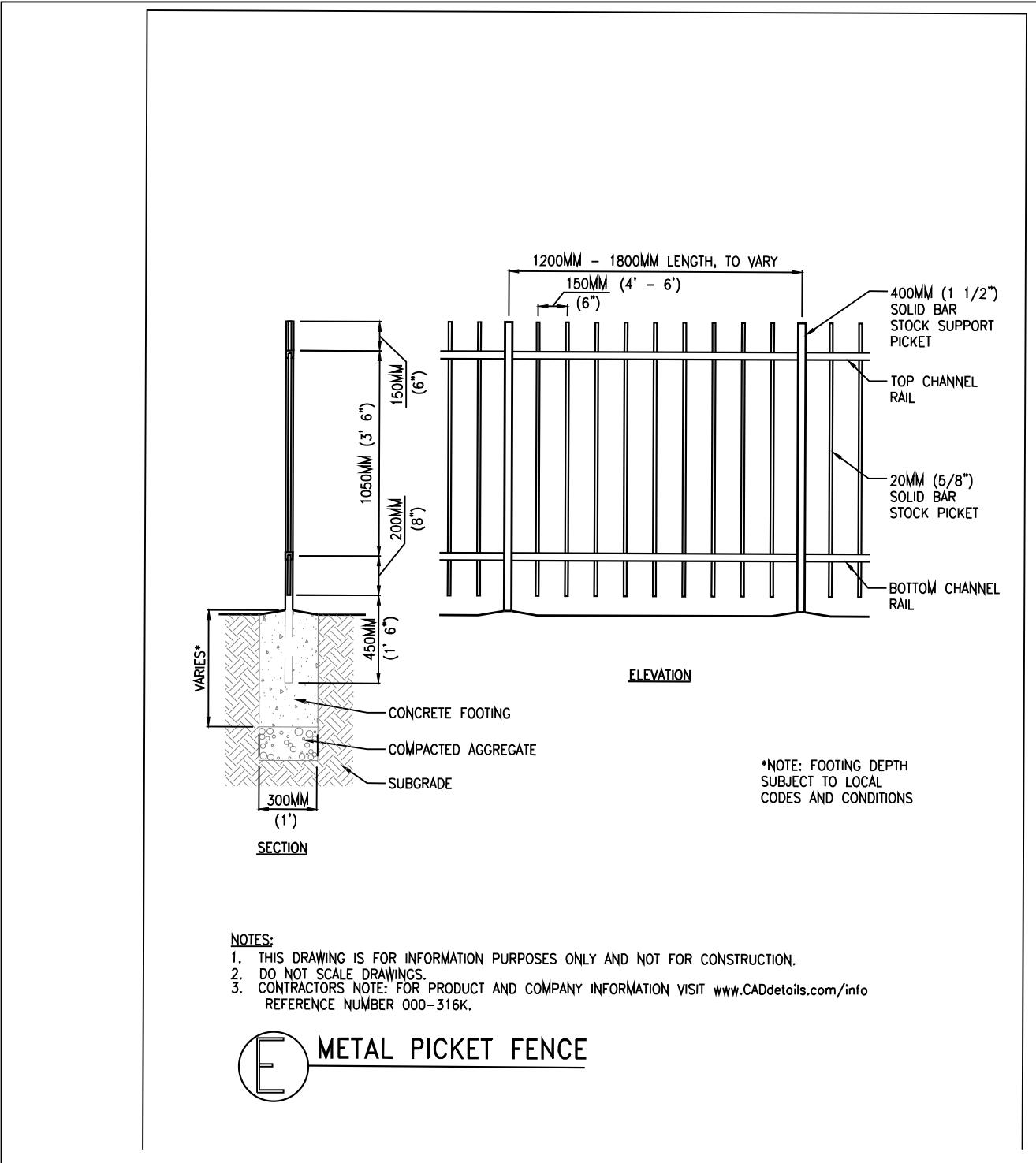
B CONIFER TREE PLANTING – GUY WIRES

NOT TO SCALE

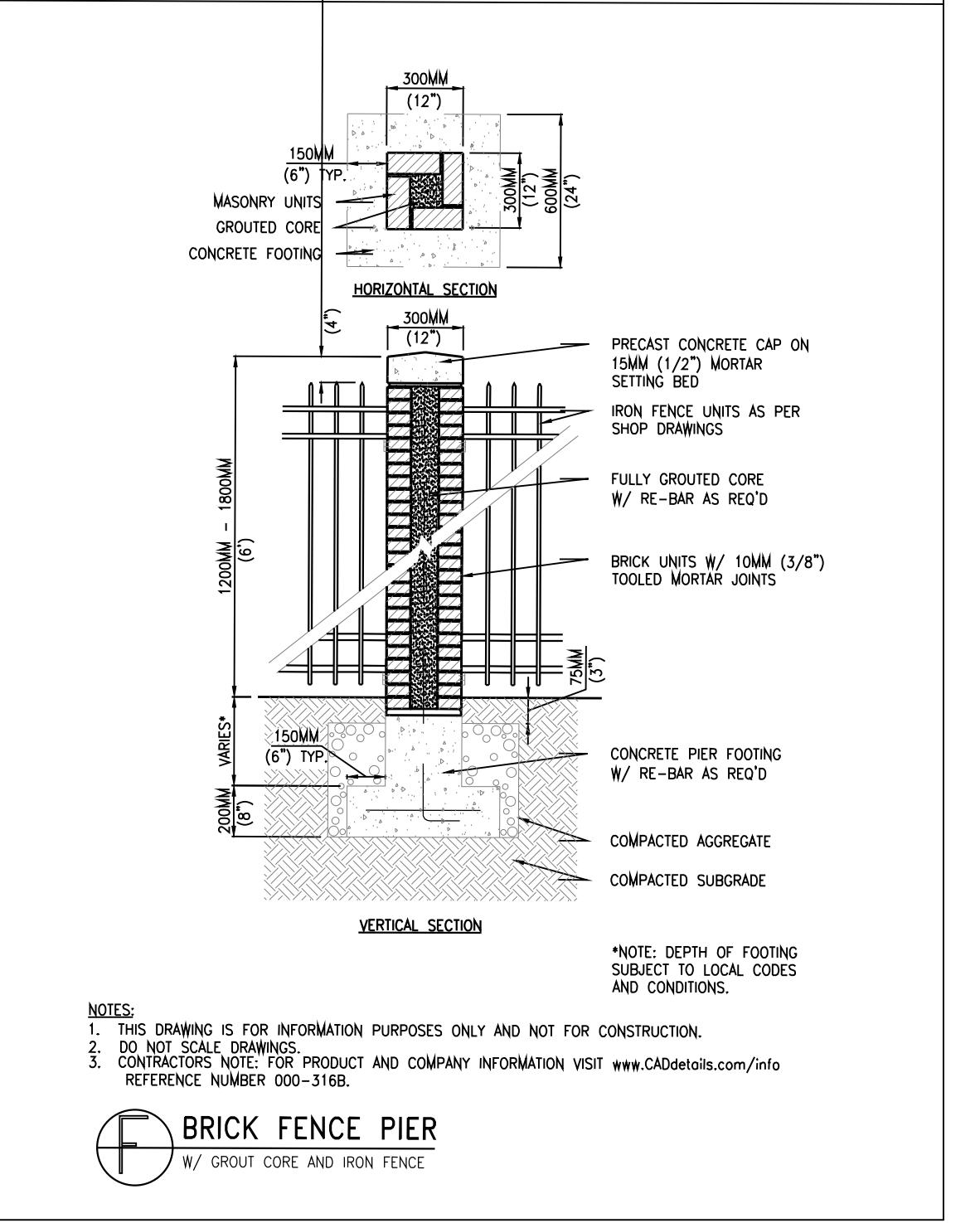


SHRUB PLANTING
NOT TO SCALE

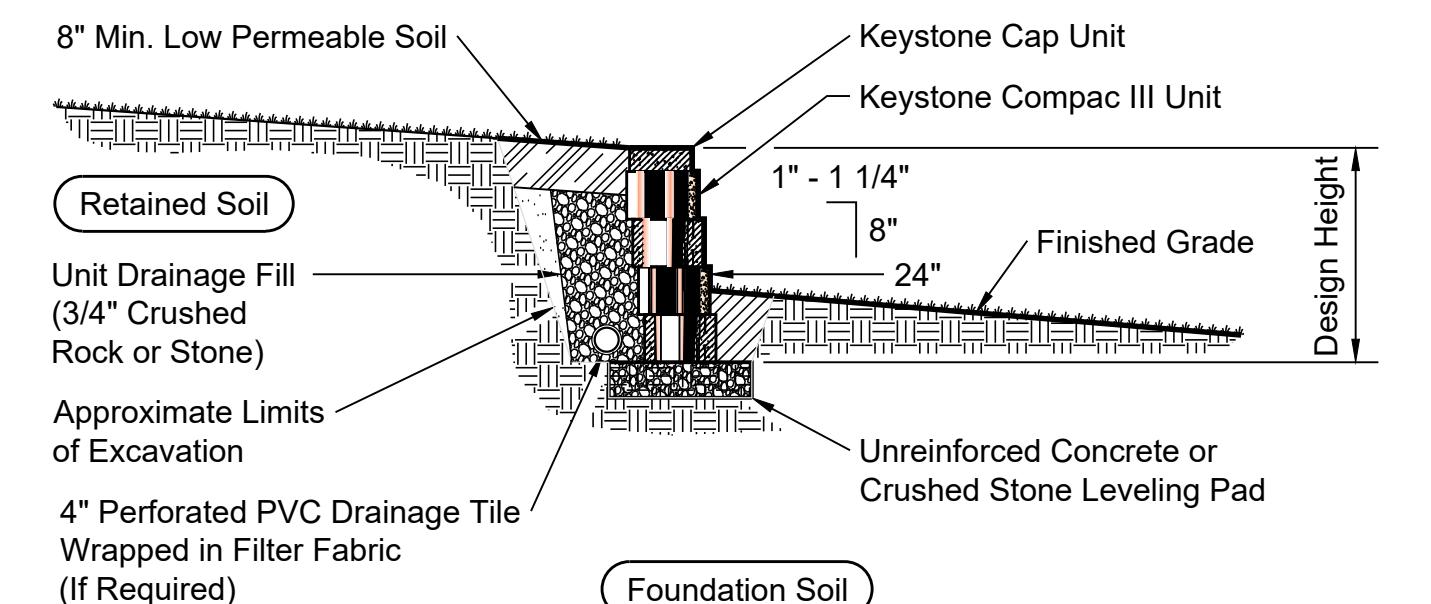
1. All living plants required by the City of Loveland Site Development Performance Standards and Guidelines shall be maintained in a live and healthy state. Dead or unhealthy plants shall be immediately replaced with the size and type of plants required on the site development plan and by the City of Loveland Site Development Performance Standards and Guidelines
2. Scheduled sizes stated represent minimum caliper and height. Sizes provided may exceed minimum required, but in no event shall smaller plant material sizes be
3. Plant material shall be in accordance with ANA specifications for #1 grade.
4. The developer shall ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other construction does not preclude installation and maintenance of landscape elements on this plan.
5. Landscape areas, unless otherwise noted shall be irrigated with an automatic underground irrigation system.
6. No shrubs shall be planted within five feet (5') radius or trees within ten feet (10') of water meters, fire hydrants, or sanitary sewer manholes.
7. Existing permanent landscape disturbed or damaged by construction shall be restored to its original condition, prior to final acceptance.
8. Areas designated "turf" shall be sodded with a bluegrass blended sod, installed on a prepared soil subgrade.
9. Soil amendments (including organic matter and fertilizers) that are appropriate for the intended plant materials, design of the site and soil conditions should be selected and used. Soil should be tilled and amendments incorporated to a minimum depth of 6 inches. The following schedule specifies the minimum solid amendment requirements per 1000 square feet of landscape area:
 - Bluegrass and High-Water Plantings: 3 cubic yards
 - Shrubs, Peennials and Moderate to Low-Water Plantings: 2 cubic yards
 - Xeric and Very Low-Water Plantings (ie. Native Mixes): 1 cubic yard or comparable treatment
10. Rock and Bark mulch shall consist of 3" of material laid over stabilized weed barrier except in detention pond area
11. The property owner or business association will be responsible for the maintenance and upkeep of all landscaping on site and within the abutting rights-of-way.
12. Roll top edging shall be used between irrigated turf and mulch areas
13. Developer shall be responsible for all on-site landscaping.
14. Developer shall be responsible for providing irrigation for all landscaping.
15. All trees, shrubs, and other plant materials located within clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of the Larimer County Urban Area Street Standards (LCUASS). Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet and shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity. Trees are also required to be kept limbed up a minimum of 8' above all street sidewalks.
16. Non-irrigated Native Grass Shall be seeded and irrigated with temporary irrigation to establishment.
17. Underground utilities shall be located prior to installation of landscape. Plant material may be adjusted as to not conflict with utilities



METAL PICKET FENCE



REFERENCE NUMBER 000-316B.



Typical Gravity Wall Section



980 Norway Maple Drive **Mobile (970)988-5301**
Loveland, Colorado 80538 **Email: rmmolloy@msn.com**



**Know what's below.
Call before you dig.**

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OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.



DESIGNED BY: DRAFTER
CHECKED BY: REVIEWER
DRAWN BY: DRAFTER

BIGHORN RV STORAGE LLC

LANDSCAPE DETAILS

SHEET NO. 37 OF 37