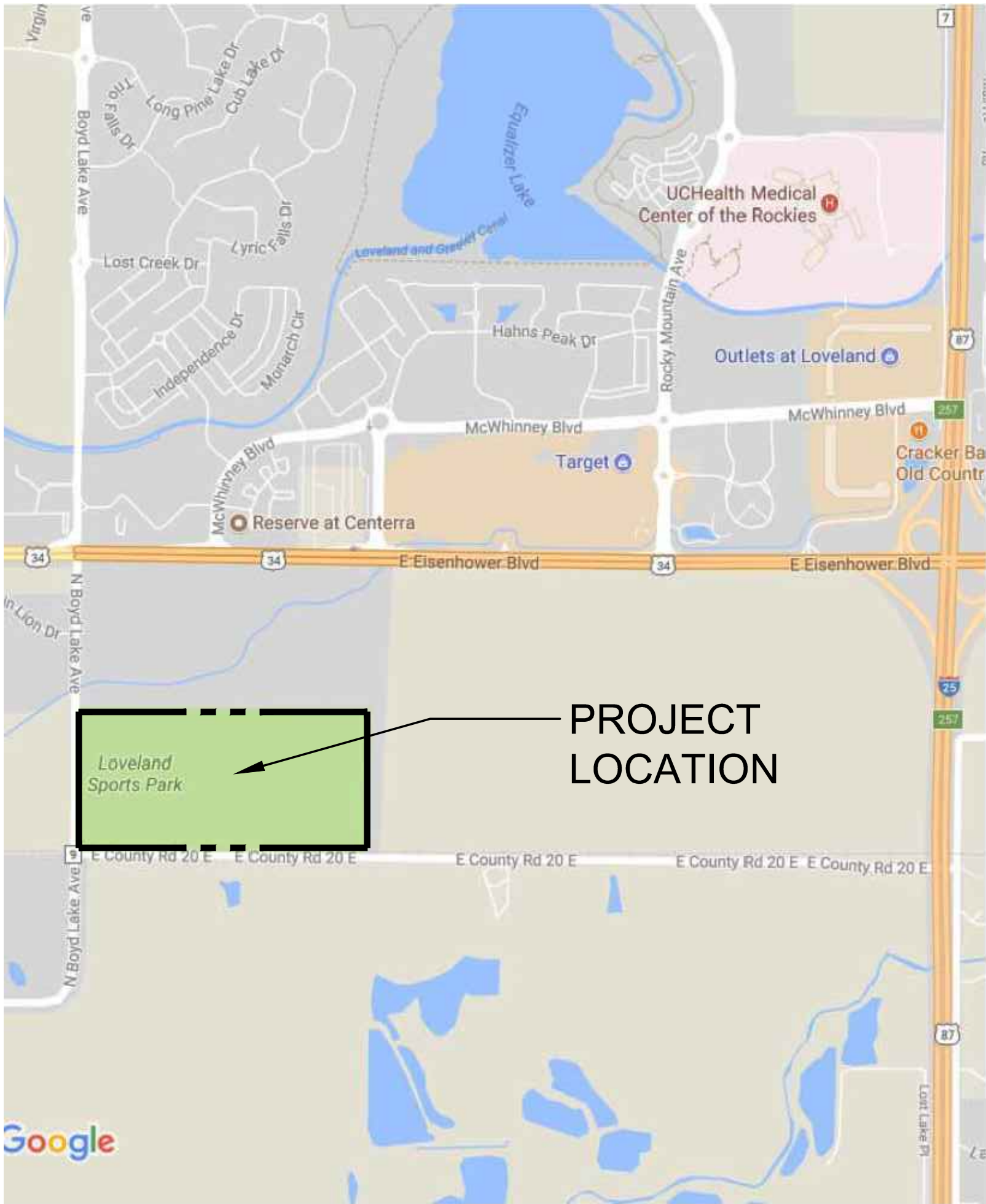
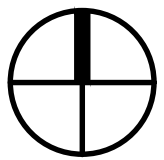




VICINITY MAP

NOT TO SCALE



NORTH

LOVELAND SPORTS PARK PHASE TWO

950 NORTH BOYD LAKE AVE.
LOVELAND, COLORADO

CONSULTANTS:

OWNER

City of Loveland
500 East Third Street
Loveland, Colorado 80537
Tel: 970.962.2455
Email: scott.sinn@cityofloveland.org
Contact: Scott Sinn

LEAD CONSULTANT LANDSCAPE ARCHITECT:

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Tel: 303-664-5301
Email: rogerb@dcla.net
Contact: Roger Burkart, Project Manager

CIVIL ENGINEER:

JVA Incorporated
1512 Larimer St., Suite 710
Denver, CO. 80202
Tel: 303.444.1951
Email: hmchenry@jvajva.com
Contact: Howard McHenry, Principal

ARCHITECT:

Kenny Lee Architecture Group
209 East Fourth Street
Loveland, CO. 80537
Tel: 970-663-0548
Email: kml@kenneyleearch.com
Contact: Kris Lee, Principal

STRUCTURAL:

Larsen Structural Design
19 Old Town Square, Suite 238
Ft. Collins, CO 80524
Tel: 970.568.3355
Email: blake@larsensd.com
Contact: Blake Larsen, Principal

MECHANICAL/ELECTRICAL:

Pivotal Engineering
521 Dakota Court
Windsor, CO. 80550
Tel: 970.310.3201
Electrical Contact: Chris Weaver, cweaver@pivotaleng.com
Mechanical: Contact: Vance Richardson, vrichardson@pivotaleng.com

BID SET

April 5, 2018

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DESIGN
CONCEPTS

Community + Landscape Architects
211 North Public Road, Suite 200
Lafayette CO 80026
303 664 5301 www.dcla.net

LOVELAND SPORTS PARK
PHASE TWO

950 North Boyd Lake Ave.
Loveland, CO 80537



Project No.: 21739.00

Issued For: BID SET Date: 4.05.18

Drafted By: YC
Checked By: RB

All drawings and written material
appearing herein constitute original and
unpublished work of Design Concepts and
may not be duplicated, used or disclosed.

COVER
SHEET

0.0

Northwest corner of the South half of Northwest 1/4 of Section 16-T5N-R68W found 2.0" aluminum cap in monument box marked "LS 25619"

Northeast corner of the South half of Northwest 1/4 of Section 16-T5N-R68W set 0.5" rebar with 1.5" aluminum cap marked "PLS 32444"



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Loveland, CO 80537

NOT FOR
CONSTRUCTION

Project No.: 21739.00

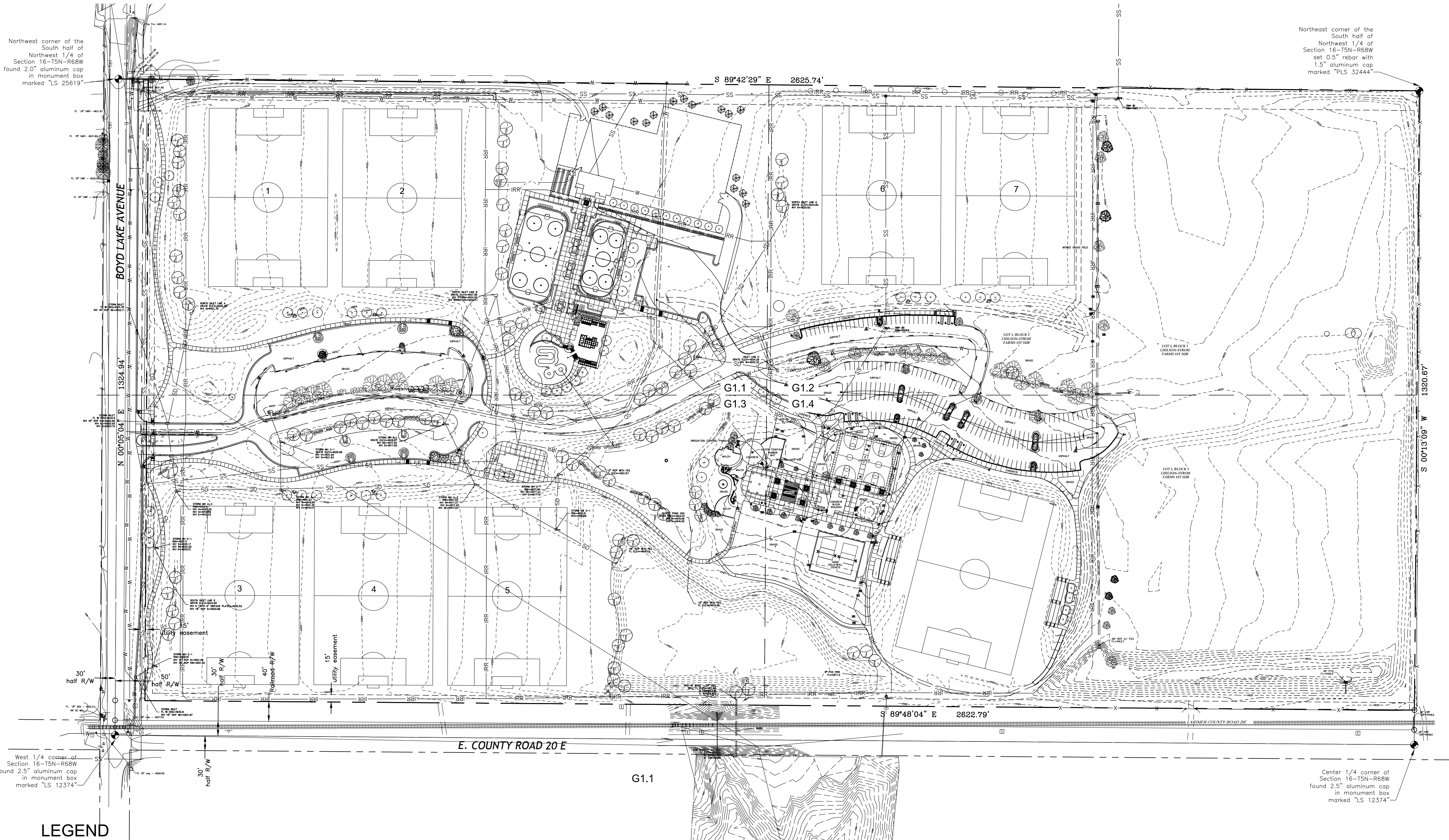
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EXISTING
CONDITIONS

G1.0



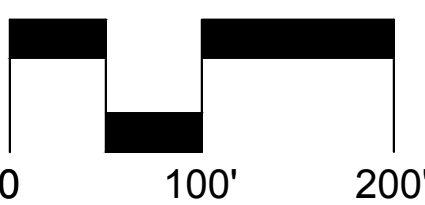
LEGEND

—	EDGE OF ASPHALT	—	CURB CUT	—	SANITARY MANHOLE
—	EDGE OF LANDSCAPING	—	BASKETBALL HOOP	—	CLEAN OUT
—	EDGE OF GRAVEL ROAD	—	ELECTRIC VAULT	—	SIGN
—	FLOWLINE	—	ELECTRIC BOX	—	HANDICAP RAMP
—	FENCE LINE	—	ELECTRIC TRANSFORMER	—	CONTROL POINT
—	PIPE	—	ELECTRIC SERVICE	—	BENCHMARK
—	WATER LINE	—	LIGHT POLE	—	FOUND ALIQUOT CORNER AS DESCRIBED
—	UNDERGROUND POWER LINE	—	IRRIGATION VALVE BOX	—	GATE VALVE
—	DRAINAGE LINE	—	SHRUB		
—	ONE FOOT CONTOUR	—	DECIDUOUS TREE		
—	5 FOOT CONTOUR	—	ROCK BENCH		
—	EASEMENT LINE	—	CUT STEEL POST		
—	SECTION LINE	—	STEEL POST		
—	BOUNDARY LINE	—	TEE POST		

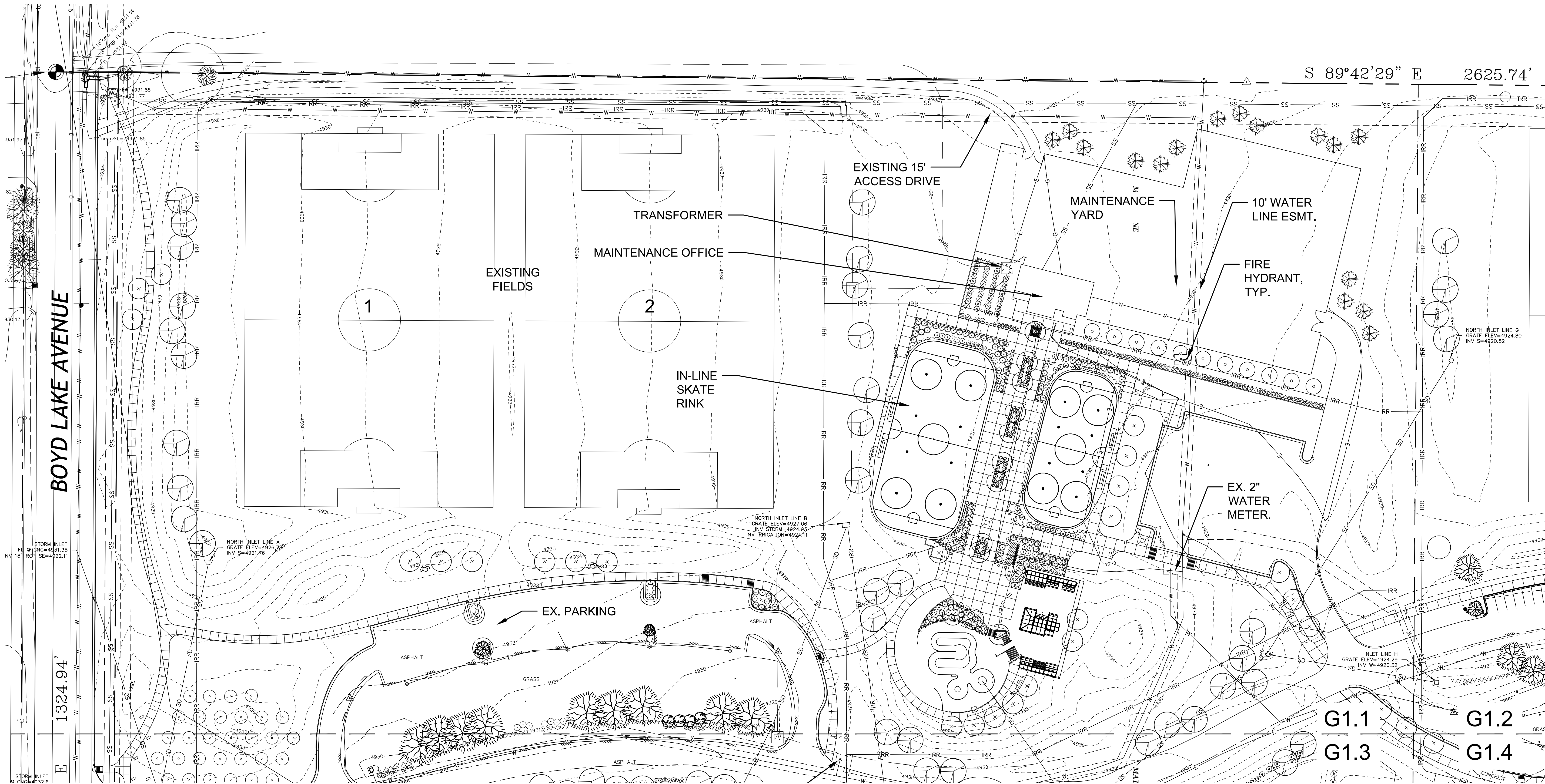
NOTE:

The survey information is a combination of 3 surveys prepared for different portions of the property, at different time periods over a 14 year period consisting of the following sources:

- The original ALTA Survey Land Title Survey.
- As-Built plans showing Phase One surface improvements completed in 2004.
- A survey covering the site of the proposed sports fields at the east end of the site, the central restroom, group shelter, water play, parking lot and access road prepared by: King Surveyors, 650E Garden Drive, Windsor, Colorado. Ph: 970-686-5011. Contact Steve Parks, email: steve@kingsurveyors.com.



SCALE: 1" = 100'-0"



LEGEND

- | | | | | | |
|---|------------------------|----|----------------------|---|-----------------------------------|
| — | EDGE OF ASPHALT | CC | CURB CUT | ○ | SANITARY MANHOLE |
| — | EDGE OF LANDSCAPING | ▲ | BASKETBALL HOOP | ∞ | CLEAN OUT |
| — | EDGE OF GRAVEL ROAD | □ | ELECTRIC VAULT | ↑ | SIGN |
| — | FLOWLINE | □ | ELECTRIC BOX | ♿ | HANDICAP RAMP |
| — | FENCE LINE | □ | ELECTRIC TRANSFORMER | △ | CONTROL POINT |
| — | PIPE | □ | ELECTRIC SERVICE | ⊕ | BENCHMARK |
| — | WATER LINE | ☆ | LIGHT POLE | ⊠ | FOUND ALIQUOT CORNER AS DESCRIBED |
| — | UNDERGROUND POWER LINE | ⊠ | IRRIGATION VALVE BOX | ⊠ | GATE VALVE |
| — | DRAINAGE LINE | ⊠ | SHRUB | | |
| — | ONE FOOT CONTOUR | ⊠ | DECIDUOUS TREE | | |
| — | 5 FOOT CONTOUR | ⊠ | ROCK BENCH | | |
| — | EASEMENT LINE | ⊠ | CUT STEEL POST | | |
| — | SECTION LINE | ⊠ | STEEL POST | | |
| — | BOUNDARY LINE | ⊠ | TEE POST | | |

DC

DESIGN CONCEPTS

Community + Landscape Architects

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**LOVELAND SPORTS PARK
PHASE TWO**

950 North Boyd Lake Ave.
Loveland, CO 80537



Project No.: 21739.00

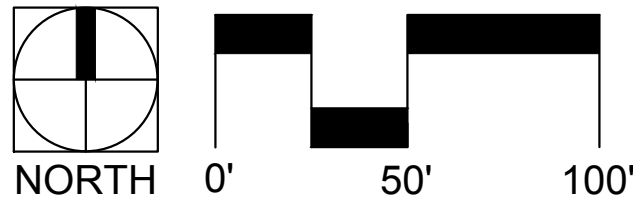
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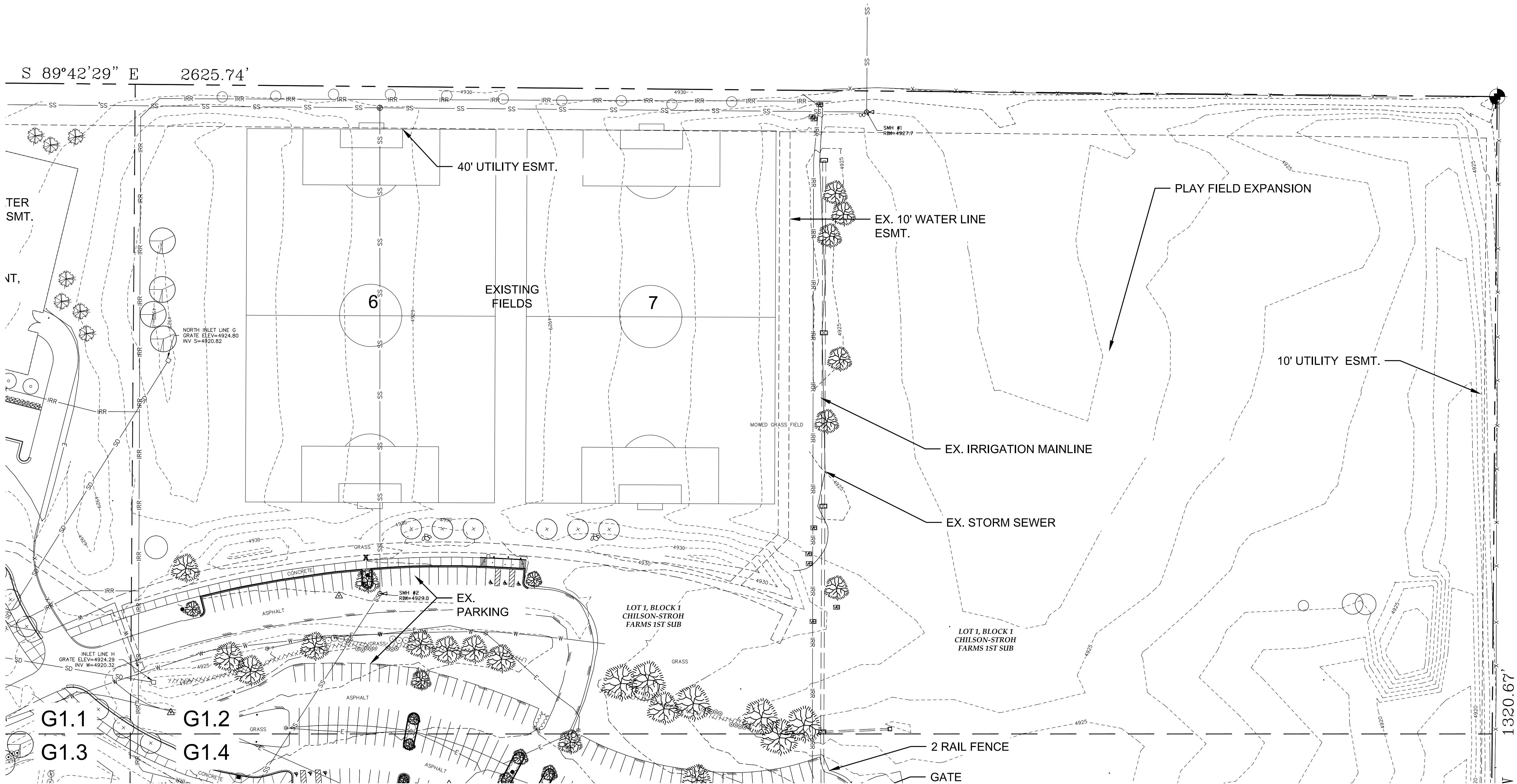
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**EXISTING
CONDITIONS
ENLARGEMENT**

G1.1





LEGEND

	EDGE OF ASPHALT		CURB CUT		SANITARY MANHOLE
	EDGE OF LANDSCAPING		BASKETBALL HOOP		CLEAN OUT
	EDGE OF GRAVEL ROAD		ELECTRIC VAULT		SIGN
	FLOWLINE		ELECTRIC BOX		HANDICAP RAMP
	FENCE LINE		ELECTRIC TRANSFORMER		CONTROL POINT
	PIPE		ELECTRIC SERVICE		BENCHMARK
	WATER LINE		LIGHT POLE		FOUND ALIQUOT CORNER AS DESCRIBED
	UNDERGROUND POWER LINE		IRRIGATION VALVE BOX		GATE VALVE
	DRAINAGE LINE		SHRUB		
	ONE FOOT CONTOUR		DECIDUOUS TREE		
	5 FOOT CONTOUR		ROCK BENCH		
	EASEMENT LINE		CUT STEEL POST		
	SECTION LINE		STEEL POST		
	BOUNDARY LINE		TEE POST		



DESIGN
CONCEPTS

Community + Landscape Architects
211 North Public Road, Suite 200
Lafayette CO 80026
303 664 5301 www.dcln.net

LOVELAND SPORTS PARK
PHASE TWO

950 North Boyd Lake Ave.
Loveland, CO 80537



Project No.: 21739.00

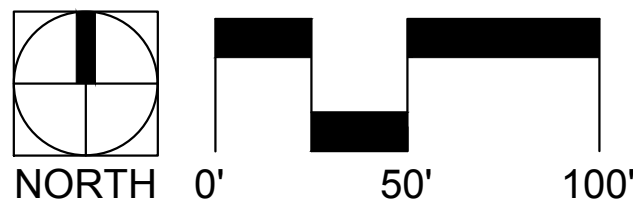
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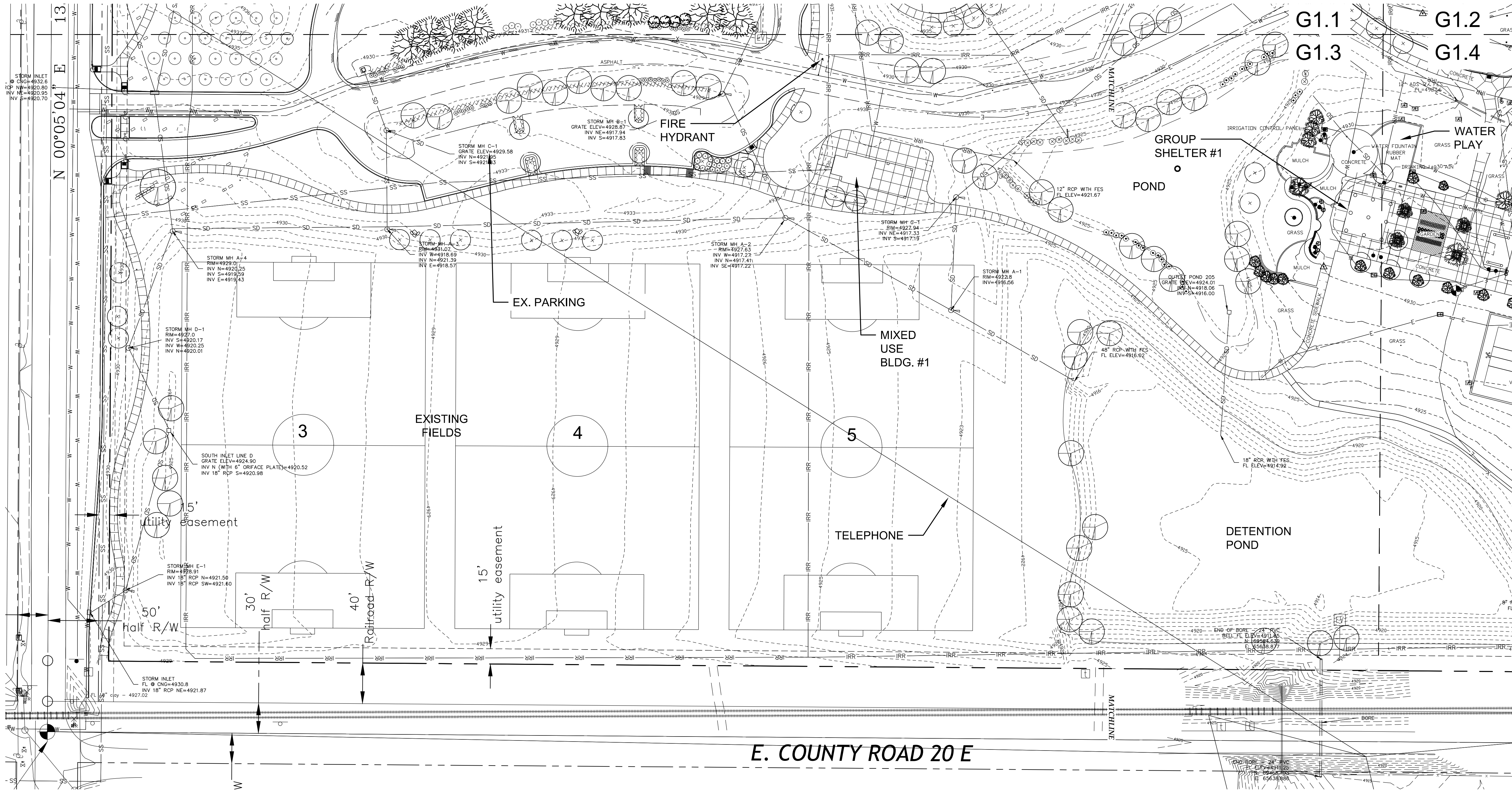
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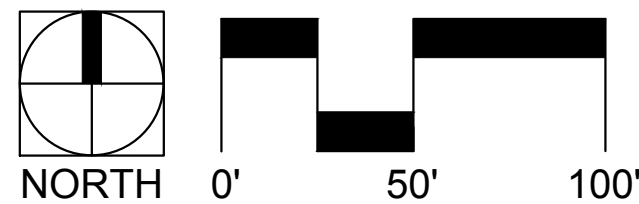
G1.2





LEGEND

	EDGE OF ASPHALT		CURB CUT		SANITARY MANHOLE
	EDGE OF LANDSCAPING		BASKETBALL HOOP		CLEAN OUT
	EDGE OF GRAVEL ROAD		ELECTRIC VAULT		SIGN
	FLOWLINE		ELECTRIC BOX		HANDICAP RAMP
	FENCE LINE		ELECTRIC TRANSFORMER		CONTROL POINT
	PIPE		ELECTRIC SERVICE		BENCHMARK
	WATER LINE		LIGHT POLE		FOUND ALIQUOT CORNER AS DESCRIBED
	UNDERGROUND POWER LINE		IRRIGATION VALVE BOX		GATE VALVE
	DRAINAGE LINE		SHRUB		
	ONE FOOT CONTOUR		DECIDUOUS TREE		
	FIVE FOOT CONTOUR		ROCK BENCH		
	EASEMENT LINE		CUT STEEL POST		
	SECTION LINE		STEEL POST		
	BOUNDARY LINE		TEE POST		





DESIGN CONCEPTS
Community + Landscape Architects
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EXISTING CONDITIONS
ENLARGEMENT
G1.3