

CODE SUMMARY

TYPE OF CONSTRUCTION  
TYPE V B (NON-SPRINKLERED)

OCCUPANCY CLASSIFICATION PER CHAPTER 3  
OFFICE AREA B  
STORAGE S-1

MAXIMUM BUILDING HEIGHT & NO. OF STORIES PER TABLE 503  
B GROUP : 40' AND TWO STORIES ALLOWED  
S-1 GROUP : 40' AND ONE STORY ALLOWED  
16'-0" AND ONE STORY (EXISTING)

ALLOWABLE FLOOR AREA ACCORDING TO I.B.C. TABLE 503  
B 9,000 SQ. FT. ALLOWABLE  
S-1 9,000 SQ. FT. ALLOWABLE

OCCUPANCY SEPARATION PER TABLE 508.4  
B / S-1 NONE REQUIRED

LOCATION ON PROPERTY  
NORTH WALL ± 171'-0" TO E  
EAST WALL ± 1624'-0" TO E  
SOUTH WALL ± 1024'-0" TO E  
WEST WALL ± 855'-0" TO E

FIRE-RESISTANCE RATING PER TABLE 601 (TYPE VB)  
PRIMARY STRUCTURE 0  
BEARING WALLS (INT. / EXT.) 0  
NON BEARING WALLS INT. 0  
FLOOR CONSTRUCTION 0  
ROOF CONSTRUCTION 0

FIRE-RESISTANCE RATING, EXTERIOR WALLS PER TABLE 602 (TYPE VB / S-1 OCC.)  
X < 5' 2  
5' < X < 10' 1  
10' < X < 30' 0  
X ≥ 30' 0

BUILDING SQUARE FOOTAGE  
OFFICES B 827  
STORAGE S-1 1937  
PROPOSED BUILDING (GROSS) 2764

OCCUPANT LOAD PER TABLE 1004.1.2  
OFFICES B = 1/100 9  
STORAGE S-1 = 1/300 1

MINIMUM PLUMBING FIXTURES REQ'D. PER TABLE 2902.1  
(ALL RESTROOMS ARE EXISTING AND ARE NOT CHANGING)

|                                   |                      |              |                   |              |                   |  |              |   |  |
|-----------------------------------|----------------------|--------------|-------------------|--------------|-------------------|--|--------------|---|--|
| 16 PERSONS / 2 = 8 MALE, 8 FEMALE |                      |              |                   |              |                   |  |              |   |  |
| B OCCUPANCY                       | WATER CLOSETS REQ'D. |              | LAVATORIES REQ'D. |              | DRINKING FOUNTAIN |  | SERVICE SINK |   |  |
|                                   | MEN (1/25)           | WOMEN (1/25) | MEN (1/40)        | WOMEN (1/40) | (1/100)           |  |              |   |  |
|                                   | 1                    | 1            | 1                 | 1            | 1                 |  |              | 1 |  |
|                                   | PROVIDED             |              | PROVIDED          |              | PROVIDED          |  |              | 1 |  |
|                                   | MEN                  | WOMEN        | MEN               | WOMEN        |                   |  |              |   |  |
|                                   | 2                    | 2            | 1                 | 1            | 2                 |  |              |   |  |

GENERAL NOTES

1. PROVIDE STEEL END CAPS AT ALL EXPOSED STEEL MEMBERS.
2. ALL WELDS SHALL BE GROUND SMOOTH AT VISIBLE EXPOSED CONSTRUCTION.
3. REFER TO SCHEDULES FOR WINDOW SIZE.
4. INSTALL ALL GRAB BARS, TOILET ROOM ACCESSORIES & PLUMBING FIXTURES IN RESTROOMS PER ICC/ANSI A117.1 - 2009 CODE REQUIREMENTS.
5. INSTALL DRINKING FOUNTAINS PER ICC/ANSI A117.1 - 2009 CODE REQUIREMENTS.
6. PROVIDE BLOCKING SUPPORT BETWEEN TRUSSES AS REQUIRED FOR TOILET PARTITIONS.
7. PROVIDE CMU PATTERNS & COLORS PER ELEVATIONS. WHERE PARTIALLY HIDDEN ON ELEVATIONS, EXTEND VISIBLE PATTERN FOR EXTENT OF WALL. WHERE EXTERIOR ELEVATIONS ARE NOT DRAWN, PROVIDE SPLITFACE CONCRETE BLOCK COLOR #2.
8. ALL VALLEYS SHALL HAVE CONTINUOUS SHEET METAL FLASHING.
9. PROVIDE 22" X 30" ACCESS TO INSIDE OF CUPOLA & AS ATTIC ACCESS PER PLANS. CONTRACTOR SHALL COORDINATE EXACT LOCATION PER STRUCT./HVAC/PLUMBING COMPONENTS.
10. PROVIDE 6 MIL VISQUEEN MOISTURE BARRIER BETWEEN INTERIOR SLABS ON GRADE & GRAVEL BELOW SLAB. MINIMUM EDGE OVERLAP: 6".
11. PROVIDE FOUR (4) ADDITIONAL ATTIC ACCESS PANELS AT LOCATIONS T.B.D. ON SITE TO ACCESS HVAC EQUIPMENT.
12. ONE OF THE ABOVE ATTIC ACCESS PANELS SHALL BE SIZED AS TO ACCOMMODATE THE LARGEST PIECE OF EQUIPMENT TO BE SERVICED. HEADER OFF TRUSSES AS REQUIRED.

LEGEND

|     |                             |
|-----|-----------------------------|
| FE  | CLASS "A" FIRE EXTINGUISHER |
| DCS | DIAPER CHANGING STATION     |
| EHD | ELECTRIC HAND DRYER         |
| SND | SANITARY NAPKIN DISPENSER   |
| TPD | TOILET PAPER DISPENSER      |

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AS REQUIRED BY THE CITY OF LOVELAND:

2012 INTERNATIONAL BUILDING CODE (IBC)  
2012 INTERNATIONAL MECHANICAL CODE (IMC)  
2014 NATIONAL ELECTRICAL CODE (NEC)  
2012 INTERNATIONAL PLUMBING CODE (IPC)  
2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2012 LOVELAND AMENDMENTS TO THE ICC CODES

ACCESSIBILITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH:  
• 2010 ADA STANDARDS  
• STATE LAW CRS 9-5  
• ICC / ANSI A117.1-2009

ACCESSIBILITY NOTES

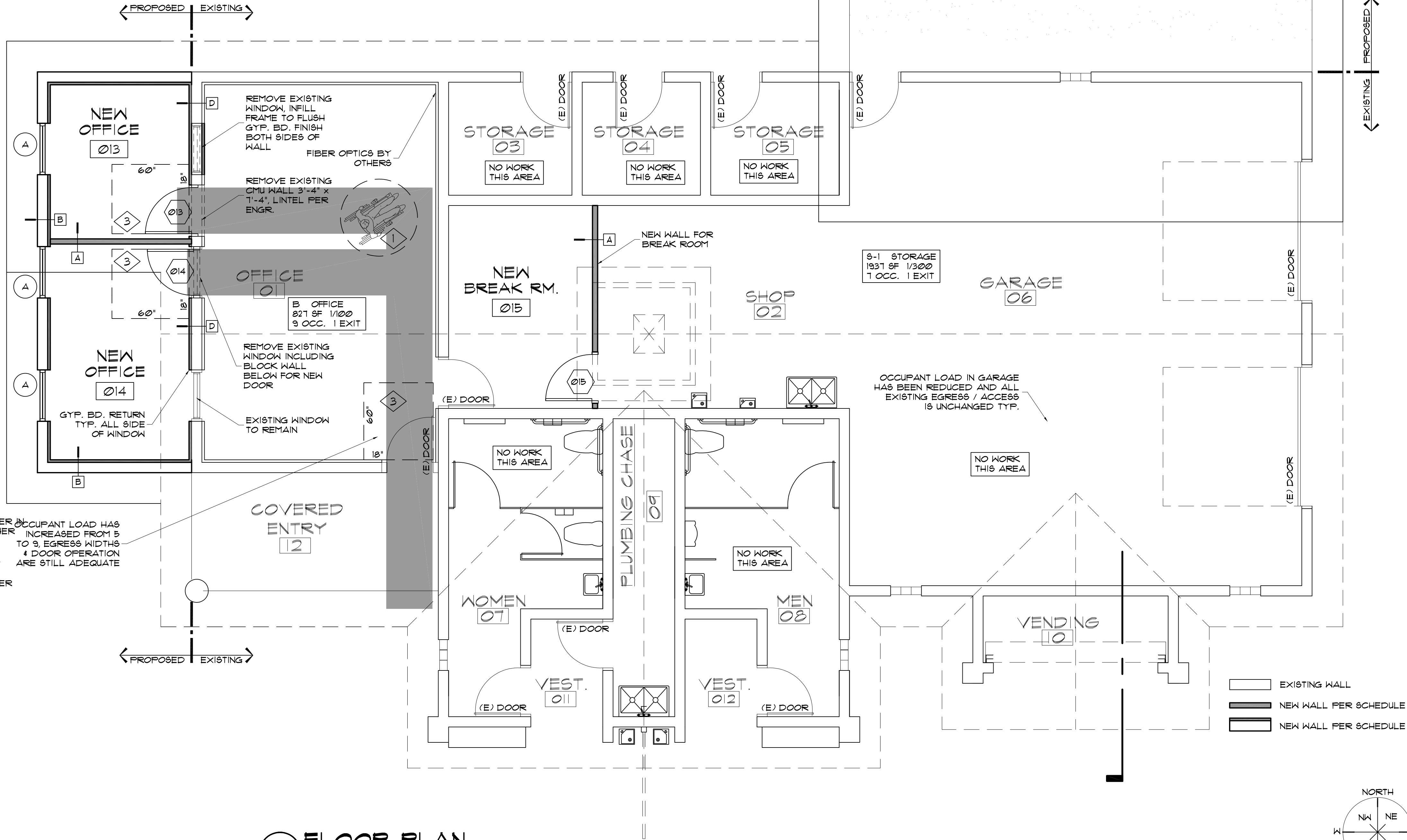
1. WHEELCHAIR TURNING RADIUS MIN. 60" PER 2010 ADA STANDARDS SECTION 304.3.1
2. CLEAR FLOOR SPACE TO BE 48"x30" FORWARD OR PARALLEL APPROACH PER SECTION 305.1.1 & 305.1.2
3. DOOR CLEARANCE SPACE AS PER SECTION 404
4. CLEAR FLOOR SPACE 60" x 59" (FLOOR MOUNTED W/C)
5. ALL ACCESSIBLE WATER CLOSETS TO HAVE HGT. AND GRAB BARS PER SECTION 604.5

6. ALL LAVATORIES AND SINKS TO BE PER SECTION 606
7. CLEAR FLOOR SPACE 48" x 36"
8. DOOR SWING IS ALLOWED TO SWING INTO THE CLEAR FLOOR SPACE FOR FIXTURES WHERE THE ROOM IS FOR INDIVIDUAL USE AND A CLEAR GROUND FLOOR SPACE OF 30" x 48" IS PROVIDED BEYOND THE ARC OF THE DOOR SWING.
9. 12 INCH CLEARANCE AT PUSH SIDE OF DOOR NOT REQUIRED WHERE DOOR DOES NOT POSSES BOTH A CLOSER AND LATCH

\* ALL ACCESSIBILITY NOTES REFER TO 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

SYMBOLS LEGEND

- ALL SECTIONS REFERENCED FROM 2010 ADA STANDARDS
1. 30" 48" PARALLEL APPROACH SECTION 305
  2. 48" 30" FORWARD APPROACH SECTION 305
  3. NR INDICATES AN AREA NOT REQUIRED TO BE HANDICAP ACCESSIBLE (NO REQUIREMENTS)



1 FLOOR PLAN  
1/4" = 1'-0"



DESIGN CONCEPTS

Community + Landscape Architects  
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LOVELAND SPORTS PARK  
PHASE TWO

950 North Boyd Lake Ave.  
Loveland, CO 80537



Project No.: 21739.00

Issued For: 95% CDs  
Date: 01.12.18  
SDP SUBMITTAL 02.01.18  
60% BLDG. PERMIT 03.01.18  
SDP SUBMITTAL #2 03.13.18  
BID SET 04.05.18

Drafted By: KML  
Checked By: BAM

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MAIN FLOOR PLAN  
MAINTENANCE BLDG.

A5.1

CODE SUMMARY

TYPE OF CONSTRUCTION

TYPE V-B (NON-SPRINKLERED)

OCCUPANCY CLASSIFICATION PER CHAPTER 3

RESTROOMS/SHELTER/STORAGE S-1

MAXIMUM BUILDING HEIGHT & NO. OF STORIES PER TABLE 503

S-1 GROUP : 40' AND ONE STORY ALLOWED  
16'-0" AND ONE STORY (PROPOSED)

ALLOWABLE FLOOR AREA ACCORDING TO I.B.C. TABLE 503

S-1 9,000 SQ. FT. ALLOWABLE

OCCUPANCY SEPARATION PER TABLE 508.4

S-1 / S-1 NONE REQUIRED

LOCATION ON PROPERTY

NORTH WALL ± 482'-0" TO E  
EAST WALL ± 473'-0" TO E  
SOUTH WALL ± 733'-0" TO E  
WEST WALL ± 1939'-0" TO E

FIRE-RESISTANCE RATING PER TABLE 601 (TYPE VB)

PRIMARY STRUCTURE  
BEARING WALLS (INT. / EXT.)  
NON-BEARING WALLS INT.  
FLOOR CONSTRUCTION  
ROOF CONSTRUCTION

0  
0  
0  
0  
0

FIRE-RESISTANCE RATING, EXTERIOR WALLS PER TABLE 602 (TYPE VB / S-1 OCC.)

X < 5'  
5' < X < 10'  
10' < X < 30'  
X ≥ 30'

2  
0  
0

BUILDING SQUARE FOOTAGE (GROSS)

STORAGE S-1

1200

OCCUPANT LOAD PER TABLE 1004.1.2

STORAGE S-1 = 1/300

4

MINIMUM PLUMBING FIXTURES REQ'D. PER TABLE 2902.1

47 PERSONS / 2 = 24 MALE, 24 FEMALE

| S-1 OCCUPANCY | WATER CLOSETS REQ'D. |               | LAVATORIES REQ'D. |               | DRINKING FOUNTAIN (1/100) | SERVICE SINK |
|---------------|----------------------|---------------|-------------------|---------------|---------------------------|--------------|
|               | MEN (1/100)          | WOMEN (1/100) | MEN (1/100)       | WOMEN (1/100) |                           |              |
|               | 1                    | 1             | 1                 | 1             | 1                         | 1            |
|               | PROVIDED             |               | PROVIDED          |               | PROVIDED                  |              |
|               | MEN                  | WOMEN         | MEN               | WOMEN         |                           |              |
|               | 1+2 URINALS          | 3             | 2                 | 2             | 2                         | 1            |

LEGEND

FE CLASS "A" FIRE EXTINGUISHER IN RECESSED FIRE EXTINGUISHER CABINET

DCS DIAPER CHANGING STATION  
EHD ELECTRIC HAND DRYER  
SND SANITARY NAPKIN DISPENSER  
TPD TOILET PAPER DISPENSER

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2012 LOVELAND AMENDMENTS TO THE ICC CODES

ACCESSIBILITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH:

- 2010 ADA STANDARDS
- STATE LAW CRS 3-5
- ICC / ANSI A117.1-2009

GENERAL NOTES

- PROVIDE STEEL END CAPS AT ALL EXPOSED STEEL MEMBERS.
- ALL WELDS SHALL BE GROUND SMOOTH AT VISIBLE EXPOSED CONSTRUCTION.
- REFER TO SCHEDULES FOR WINDOW SIZE.
- INSTALL ALL GRAB BARS, TOILET ROOM ACCESSORIES & PLUMBING FIXTURES IN RESTROOMS PER ICC/ANSI A117.1 - 2009 CODE REQUIREMENTS.
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- PROVIDE BLOCKING SUPPORT BETWEEN TRUSSES AS REQUIRED FOR TOILET PARTITIONS.
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- PROVIDE 22" X 30" ACCESS TO INSIDE OF CUPOLA & AS ATTIC ACCESS PER PLANS. CONTRACTOR SHALL COORDINATE EXACT LOCATION PER STRUCT./HVAC/PLUMBING COMPONENTS.
- PROVIDE 6 MIL VISQUEEN MOISTURE BARRIER BETWEEN INTERIOR SLABS ON GRADE & GRAVEL BELOW SLAB. MINIMUM EDGE OVERLAP: 6".
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- ONE OF THE ABOVE ATTIC ACCESS PANELS SHALL BE SIZED AS TO ACCOMMODATE THE LARGEST PIECE OF EQUIPMENT TO BE SERVICED. HEADER OFF TRUSSES AS REQUIRED.



DESIGN CONCEPTS

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Project No.: 21739.00

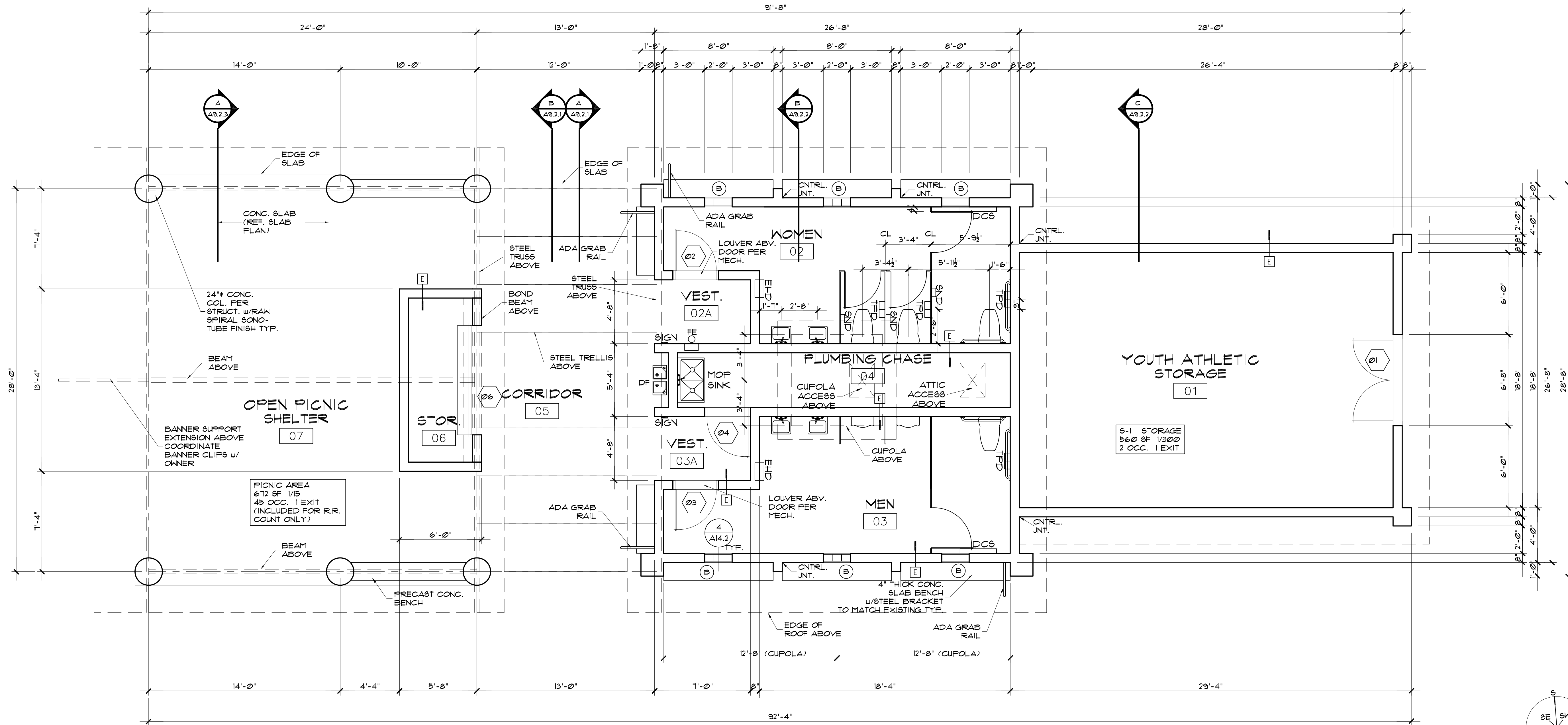
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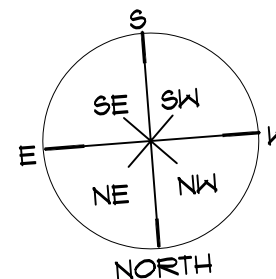
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MAIN FLOOR PLAN  
MIXED USE #3  
BLDG.

A5.2.1



1 FLOOR PLAN  
1/4" = 1'-0"



ACCESSIBILITY NOTES

- 1

WHEELCHAIR TURNING RADIUS MIN. 60" PER 2010 ADA STANDARDS SECTION 304.3.1
- 2

CLEAR FLOOR SPACE TO BE 48"x30" FORWARD OR PARALLEL APPROACH PER SECTION 305.1.1 & 305.1.2
- 3

DOOR CLEARANCE SPACE AS PER SECTION 404
- 4

CLEAR FLOOR SPACE 60" x 59" (FLOOR MOUNTED W/C)
- 5

ALL ACCESSIBLE WATER CLOSETS TO HAVE HGT. AND GRAB BARS PER SECTION 604.5
- 6

ALL LAVATORIES AND SINKS TO BE PER SECTION 606
- 7

CLEAR FLOOR SPACE 48" x 36"
- 8

DOOR SWING IS ALLOWED TO SWING INTO THE CLEAR FLOOR SPACE FOR FIXTURES WHERE THE ROOM IS FOR INDIVIDUAL USE AND A CLEAR GROUND FLOOR SPACE OF 30" x 48" IS PROVIDED BEYOND THE ARC OF THE DOOR SWING.
- 9

12 INCH CLEARANCE AT PUSH SIDE OF DOOR NOT REQUIRED WHERE DOOR DOES NOT POSSES BOTH A CLOSER AND LATCH

\* ALL ACCESSIBILITY NOTES REFER TO 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

SYMBOLS LEGEND

- ALL SECTIONS REFERENCED FROM 2010 ADA STANDARDS
- 30"

48"

A

PARALLEL APPROACH

SECTION 305
- 48"

30"

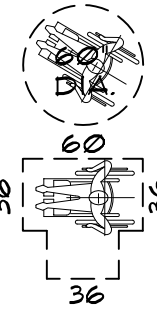
B

FORWARD APPROACH

SECTION 305
- NR

INDICATES AN AREA NOT REQUIRED TO BE HANDICAP ACCESSIBLE (NO REQUIREMENTS)

36" WIDE MIN. ACCESSIBLE ROUTE



MINIMUM WHEELCHAIR TURNING SPACES AS PER SECTION 304 DOORS ARE PERMITTED TO SWING INTO TURNING SPACES PER SECTION 304.4



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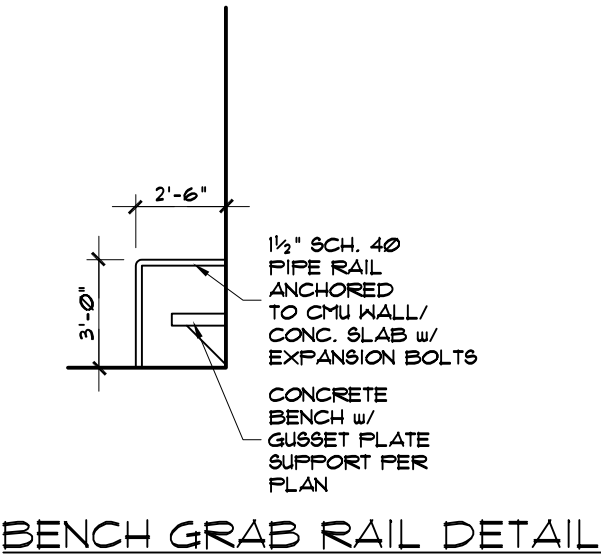
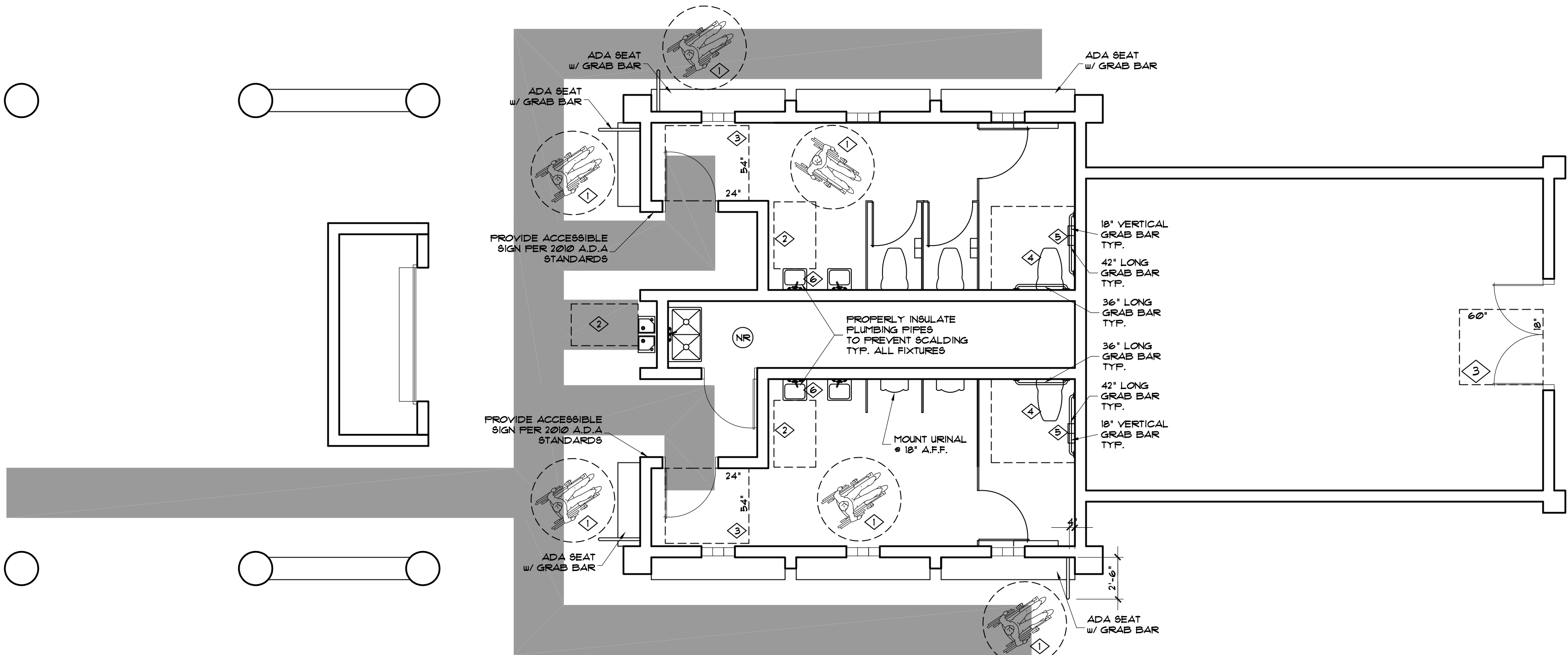
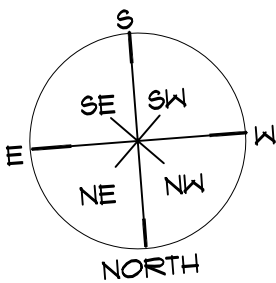
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| 95% CDs          | 01.12.18 |
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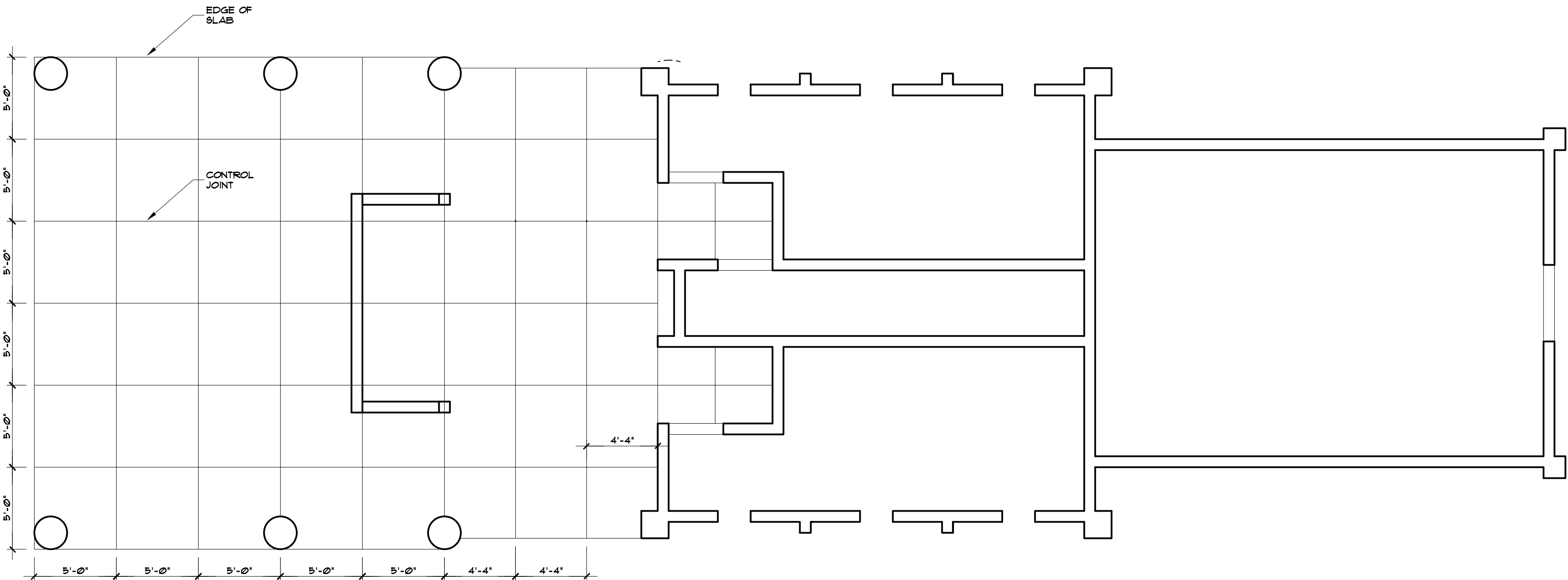
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ADA FLOOR PLAN  
MIXED USE #3  
BLDG.

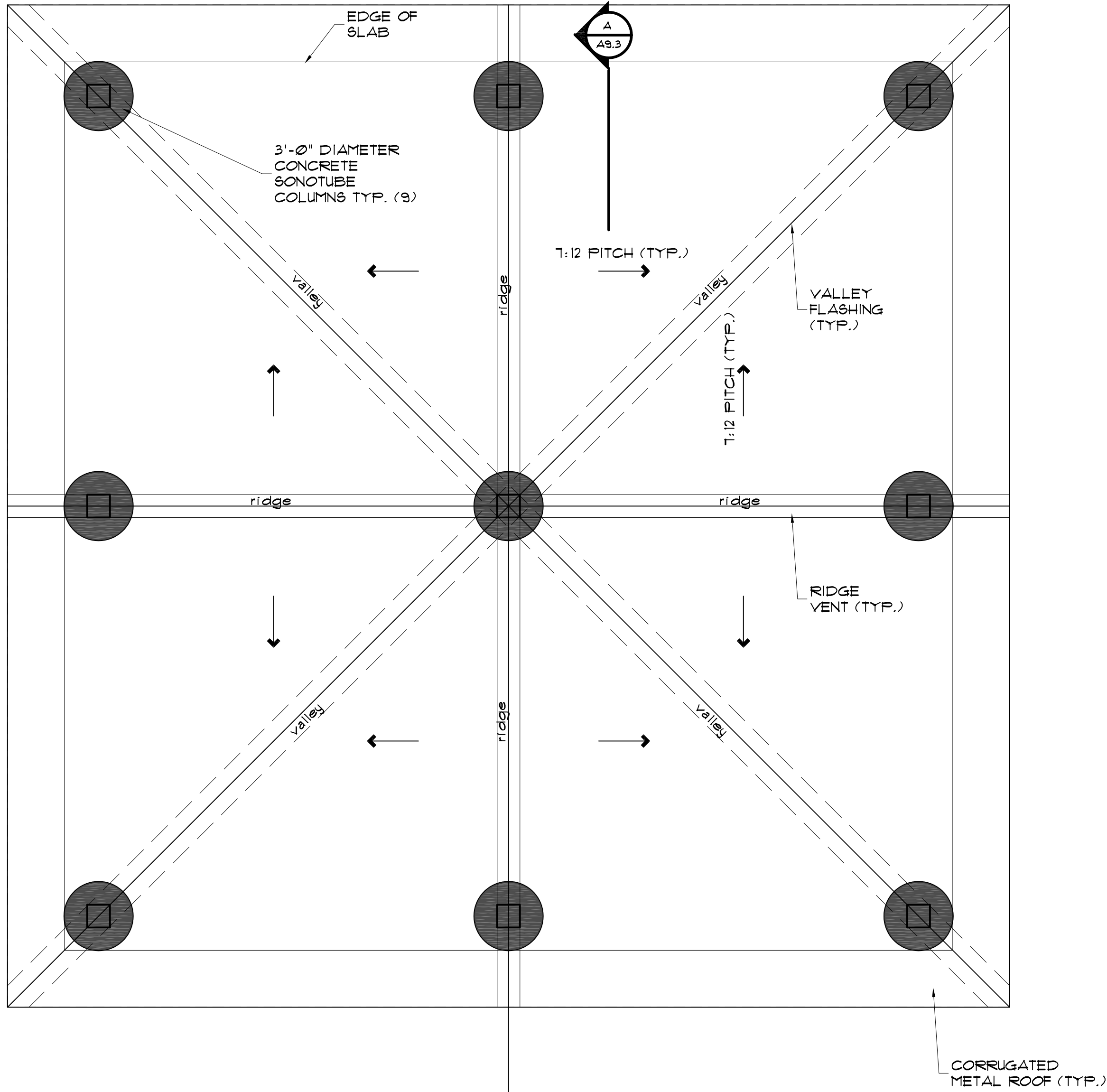
A5.2.2



2 ADA PLAN  
3/16" = 1'-0"



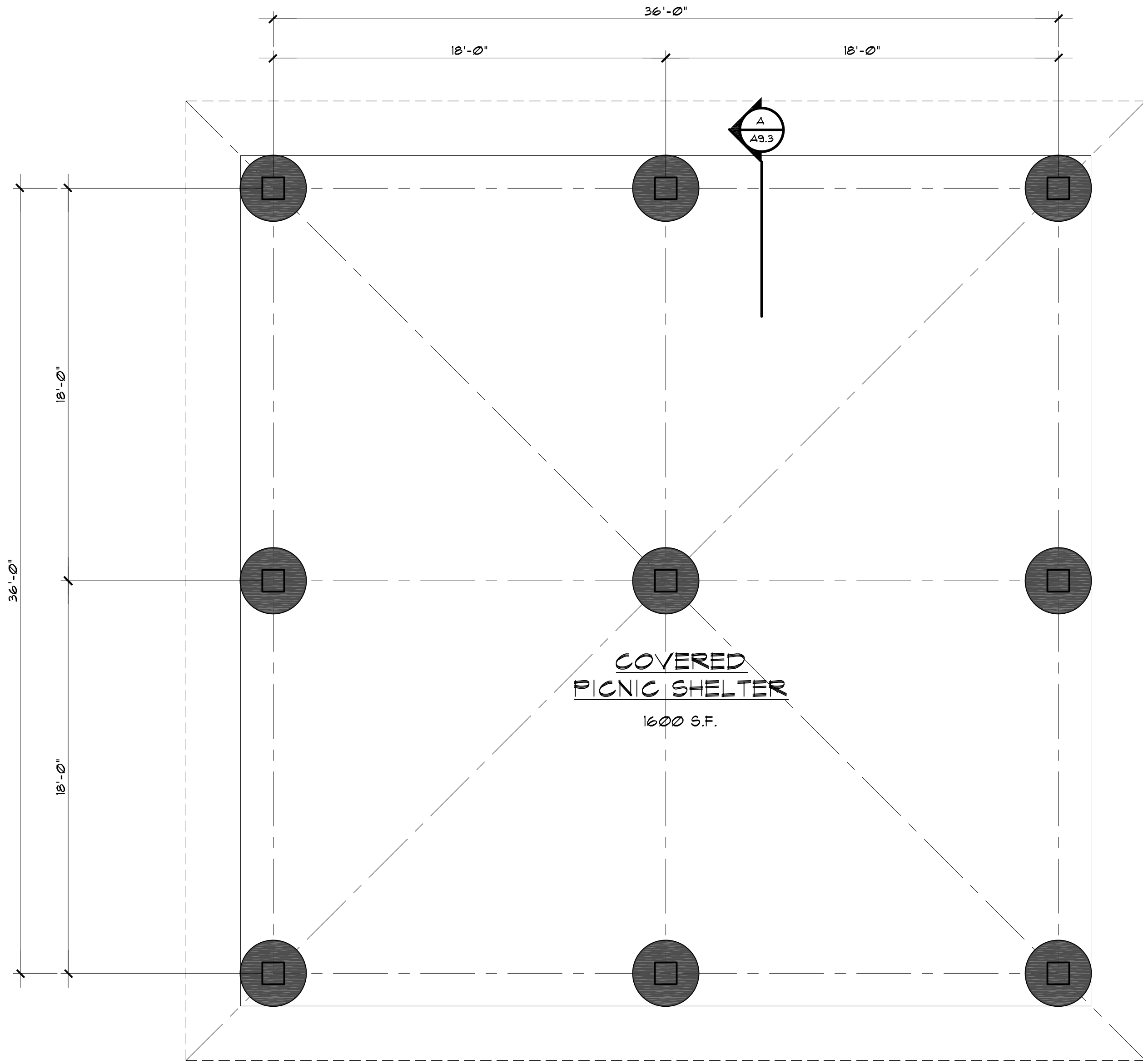
1 CONTROL JOINT PLAN  
3/16" = 1'-0"



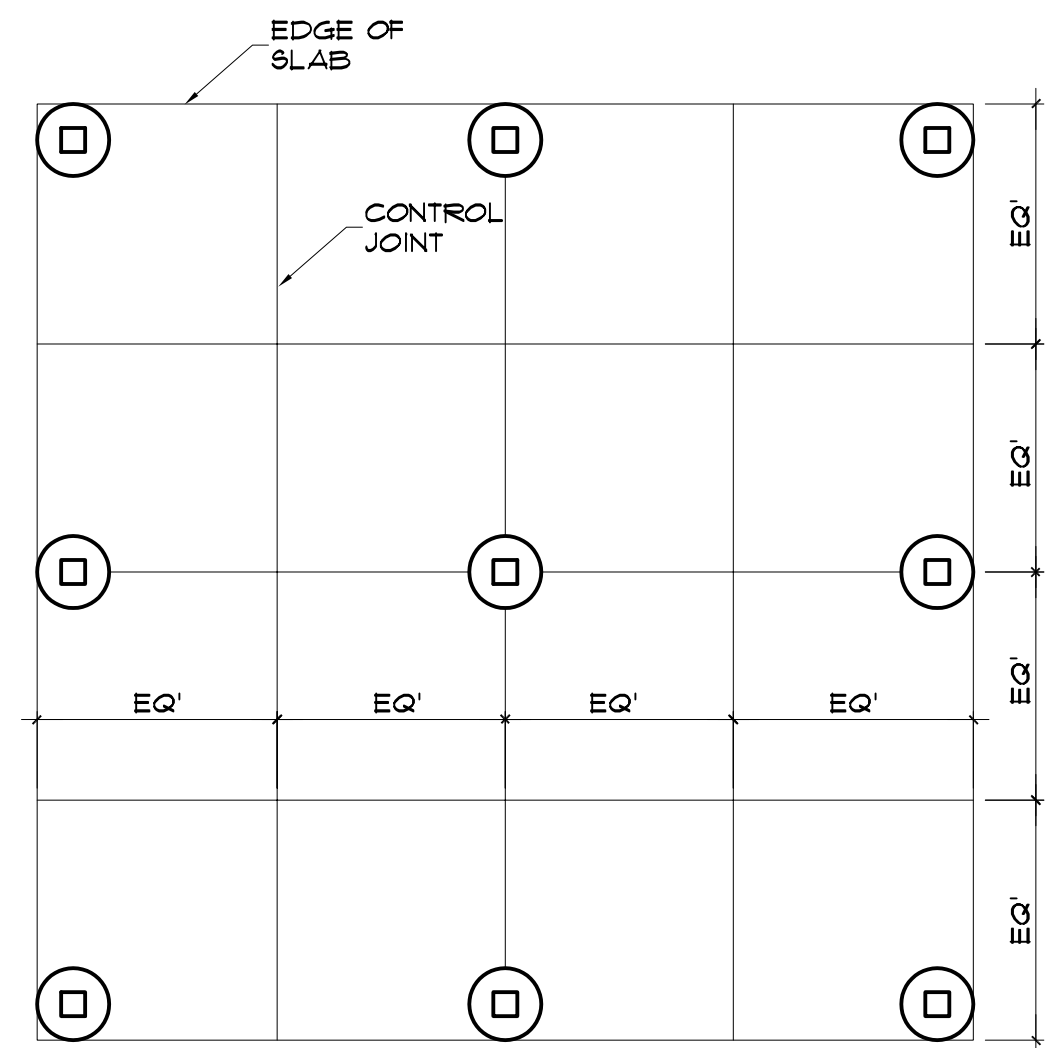
2 ROOF PLAN  
1/4" = 1'-0"

## CODE SUMMARY

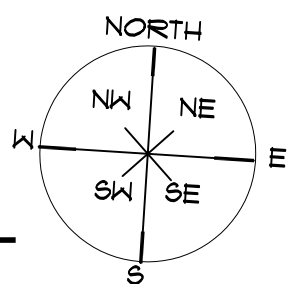
|                                                                                |                  |      |
|--------------------------------------------------------------------------------|------------------|------|
| <b>TYPE OF CONSTRUCTION</b>                                                    |                  |      |
| TYPE V B (NON-SPRINKLERED)                                                     |                  |      |
| <b>OCCUPANCY CLASSIFICATION PER CHAPTER 3</b>                                  |                  |      |
| SHELTER U                                                                      |                  |      |
| <b>MAXIMUM BUILDING HEIGHT &amp; NO. OF STORIES PER TABLE 503</b>              |                  |      |
| U GROUP : 40' AND ONE STORY ALLOWED                                            |                  |      |
| 17'-4" AND ONE STORY (PROPOSED)                                                |                  |      |
| <b>ALLOWABLE FLOOR AREA ACCORDING TO I.B.C. TABLE 503</b>                      |                  |      |
| U 5,500 SQ. FT. ALLOWABLE                                                      |                  |      |
| <b>OCCUPANCY SEPARATION PER TABLE 508.4</b>                                    |                  |      |
| U / U NONE REQUIRED                                                            |                  |      |
| <b>LOCATION ON PROPERTY</b>                                                    |                  |      |
| NORTH WALL                                                                     | ± 719'-0" TO IE  |      |
| EAST WALL                                                                      | ± 1219'-0" TO IE |      |
| SOUTH WALL                                                                     | ± 481'-0" TO IE  |      |
| WEST WALL                                                                      | ± 1292'-0" TO IE |      |
| <b>FIRE-RESISTANCE RATING PER TABLE 601 (TYPE VB)</b>                          |                  |      |
| PRIMARY STRUCTURE                                                              |                  | 0    |
| BEARING WALLS (INT. / EXT.)                                                    |                  | 0    |
| NON BEARING WALLS INT.                                                         |                  | 0    |
| FLOOR CONSTRUCTION                                                             |                  | 0    |
| ROOF CONSTRUCTION                                                              |                  | 0    |
| <b>FIRE-RESISTANCE RATING, EXTERIOR WALLS PER TABLE 602 (TYPE VB / U OCC.)</b> |                  |      |
| X < 5'                                                                         | 1                |      |
| 5' < X < 10'                                                                   | 0                |      |
| 10' < X < 30'                                                                  | 0                |      |
| X ≥ 30'                                                                        | 0                |      |
| <b>BUILDING SQUARE FOOTAGE</b>                                                 |                  |      |
| SHELTER U                                                                      |                  | 1600 |



1 FLOOR PLAN  
1/4" = 1'-0"



3 CONCRETE CONTROL JOINT PLAN  
1/8" = 1'-0"



DESIGN  
CONCEPTS

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| BID SET            | 04.05.18     |

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**Checked By:** BAM

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MAIN FLOOR/ROOF  
PLAN SHELTER  
BLDG.

**A5.3**

# CODE SUMMARY

## TYPE OF CONSTRUCTION

TYPE V B (NON-SPRINKLERED)

## OCCUPANCY CLASSIFICATION PER CHAPTER 3

CONCESSIONS B  
STORAGE S-1

## MAXIMUM BUILDING HEIGHT & NO. OF STORIES PER TABLE 503

B GROUP : 40' AND TWO STORIES ALLOWED  
S-1 GROUP : 40' AND ONE STORY ALLOWED  
15'-4" AND ONE STORY (EXISTING)

## ALLOWABLE FLOOR AREA ACCORDING TO I.B.C. TABLE 503

B 9,000 SQ. FT. ALLOWABLE  
S-1 9,000 SQ. FT. ALLOWABLE

## OCCUPANCY SEPARATION PER TABLE 503.4

B / S-1 NONE REQUIRED

## LOCATION ON PROPERTY

NORTH WALL ± 814'-0" TO IE  
EAST WALL ± 1149'-0" TO IE  
SOUTH WALL ± 382'-0" TO IE  
WEST WALL ± 1351'-0" TO IE

## FIRE-RESISTANCE RATING PER TABLE 601 (TYPE VB)

PRIMARY STRUCTURE 0  
BEARING WALLS (INT. / EXT.) 0  
NON BEARING WALLS INT. 0  
FLOOR CONSTRUCTION 0  
ROOF CONSTRUCTION 0

## FIRE-RESISTANCE RATING, EXTERIOR WALLS PER TABLE 602 (TYPE VB / S-1 OCC.)

X < 5' 2  
5' < X < 10' 1  
10' < X < 30' 0  
X ≥ 30' 0

## BUILDING SQUARE FOOTAGE

CONCESSIONS B (PROPOSED) 220  
STORAGE S-1 (EXISTING) 1142  
PROPOSED BUILDING (GROSS) 1362

## OCCUPANT LOAD PER TABLE 1004.1.2

OFFICES B = 1/100 3  
STORAGE S-1 = 1/300 4

## MINIMUM PLUMBING FIXTURES REQ'D. PER TABLE 2902.1

(ALL RESTROOMS ARE EXISTING AND ARE NOT CHANGING)

| 35 PERSONS / 2 = 16 MALE, 16 FEMALE |       | WATER CLOSETS REQ'D. |        | LAVATORIES REQ'D. |        | DRINKING FOUNTAIN |         | SERVICE SINK |
|-------------------------------------|-------|----------------------|--------|-------------------|--------|-------------------|---------|--------------|
| B OCCUPANCY                         |       | MEN                  | WOMEN  | MEN               | WOMEN  | (1/100)           | (1/100) |              |
|                                     |       | (1/25)               | (1/25) | (1/40)            | (1/40) |                   |         |              |
|                                     |       | 1                    | 1      | 1                 | 1      | 1                 |         | 1            |
| PROVIDED                            |       | PROVIDED             |        | PROVIDED          |        | PROVIDED          |         |              |
| MEN                                 | WOMEN | MEN                  | WOMEN  | MEN               | WOMEN  | MEN               | WOMEN   |              |
| 1-2 URINALS                         | 2     | 2                    | 2      | 2                 |        |                   |         | 1            |

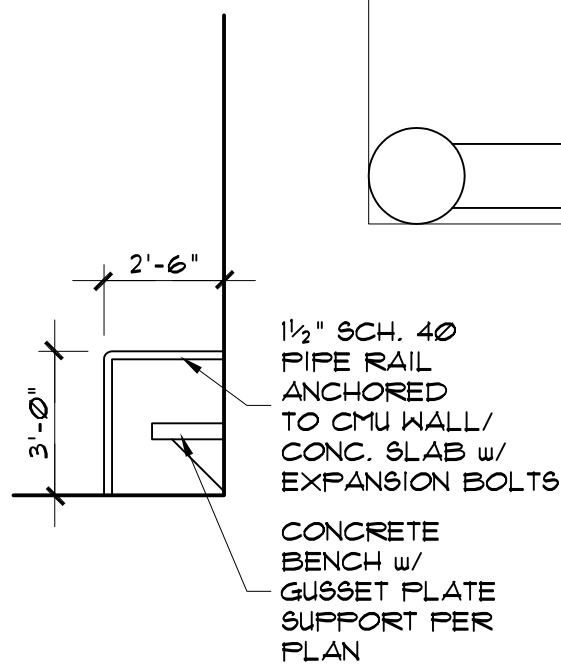
## GENERAL NOTES

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- ALL WELDS SHALL BE GROUND SMOOTH AT VISIBLE EXPOSED CONSTRUCTION.
- REFER TO SCHEDULES FOR WINDOW SIZE.
- INSTALL ALL GRAB BARS, TOILET ROOM ACCESSORIES & PLUMBING FIXTURES IN RESTROOMS PER ICC/ANSI A117.1 - 2003 CODE REQUIREMENTS.
- INSTALL DRINKING FOUNTAINS PER ICC/ANSI A117.1 - 2003 CODE REQUIREMENTS.
- PROVIDE BLOCKING SUPPORT BETWEEN TRUSSES AS REQUIRED FOR TOILET PARTITIONS.
- PROVIDE CMU PATTERNS & COLORS PER ELEVATIONS. WHERE PARTIALLY HIDDEN ON ELEVATIONS, EXTEND VISIBLE PATTERN FOR EXTENT OF WALL. WHERE EXTERIOR ELEVATIONS ARE NOT DRAWN, PROVIDE SPLITFACE CONCRETE BLOCK COLOR #2.
- ALL VALLEYS SHALL HAVE CONTINUOUS SHEET METAL FLASHING.
- PROVIDE 22" X 30" ACCESS TO INSIDE OF CUPOLA & AS ATTIC ACCESS PER PLANS. CONTRACTOR SHALL COORDINATE EXACT LOCATION PER STRUCT./HVAC/PLUMBING COMPONENTS.
- PROVIDE 6 MIL VISQUEEN MOISTURE BARRIER BETWEEN INTERIOR SLABS ON GRADE & GRAVEL BELOW SLAB. MINIMUM EDGE OVERLAP: 6".
- PROVIDE FOUR (4) ADDITIONAL ATTIC ACCESS PANELS AT LOCATIONS T.B.D. ON SITE TO ACCESS HVAC EQUIPMENT.
- ONE OF THE ABOVE ATTIC ACCESS PANELS SHALL BE SIZED AS TO ACCOMMODATE THE LARGEST PIECE OF EQUIPMENT TO BE SERVICED. HEADER OFF TRUSSES AS REQUIRED.

## LEGEND

|     |                                                                   |
|-----|-------------------------------------------------------------------|
| FE  | CLASS "A" FIRE EXTINGUISHER IN RECESSED FIRE EXTINGUISHER CABINET |
| DCS | DIAPER CHANGING STATION                                           |
| EHD | ELECTRIC HAND DRYER                                               |
| SND | SANITARY NAPKIN DISPENSER                                         |
| TFD | TOILET PAPER DISPENSER                                            |

## BENCH GRAB RAIL DETAIL



# CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AS REQUIRED BY THE CITY OF LOVELAND:

2012 INTERNATIONAL BUILDING CODE (IBC)  
2012 INTERNATIONAL MECHANICAL CODE (IMC)  
2014 NATIONAL ELECTRICAL CODE (NEC)  
2012 INTERNATIONAL PLUMBING CODE (IPC)  
2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2012 LOVELAND AMENDMENTS TO THE ICC CODES

ACCESSIBILITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH:

- 2010 ADA STANDARDS
- STATE LAW CRS 9-5
- ICC / ANSI A117.1-2003

## ACCESSIBILITY NOTES

- WHEELCHAIR TURNING RADIUS MIN. 60" PER 2010 ADA STANDARDS SECTION 304.3.1
- CLEAR FLOOR SPACE TO BE 48"x30" FORWARD OR PARALLEL APPROACH PER SECTION 305.1.1 & 305.1.2
- DOOR CLEARANCE SPACE AS PER SECTION 404
- CLEAR FLOOR SPACE 60" x 59" (FLOOR MOUNTED W/C)
- ALL ACCESSIBLE WATER CLOSETS TO HAVE HGT. AND GRAB BARS PER SECTION 604.5
- ALL LAVATORIES AND SINKS TO BE PER SECTION 606
- CLEAR FLOOR SPACE 48" x 36"
- DOOR SWING IS ALLOWED TO SWING INTO THE CLEAR FLOOR SPACE FOR FIXTURES WHERE THE ROOM IS FOR INDIVIDUAL USE AND A CLEAR GROUND FLOOR SPACE OF 30" x 48" IS PROVIDED BEYOND THE ARC OF THE DOOR SWING.
- 12 INCH CLEARANCE AT PUSH SIDE OF DOOR NOT REQUIRED WHERE DOOR DOES NOT POSSESS BOTH A CLOSER AND LATCH

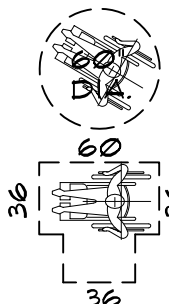
\* ALL ACCESSIBILITY NOTES REFER TO 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

## SYMBOLS LEGEND

ALL SECTIONS REFERENCED FROM 2010 ADA STANDARDS



36" WIDE MIN. ACCESSIBLE ROUTE



MINIMUM WHEELCHAIR TURNING SPACES AS PER SECTION 304  
DOORS ARE PERMITTED TO SWING INTO TURNING SPACES PER SECTION 304.4



DESIGN  
CONCEPTS

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loveland, co 80537  
970.663.0548  
kenneyleeearch.com

## LOVELAND SPORTS PARK PHASE TWO

950 North Boyd Lake Ave.  
Loveland, CO 80537



Project No.: 21739.00

Issued For: 95% CDs  
SDP SUBMITTAL  
60% BLDG. PERMIT  
SDP SUBMITTAL #2  
BID SET  
Date: 01.12.18  
02.01.18  
03.01.18  
03.13.18  
04.05.18

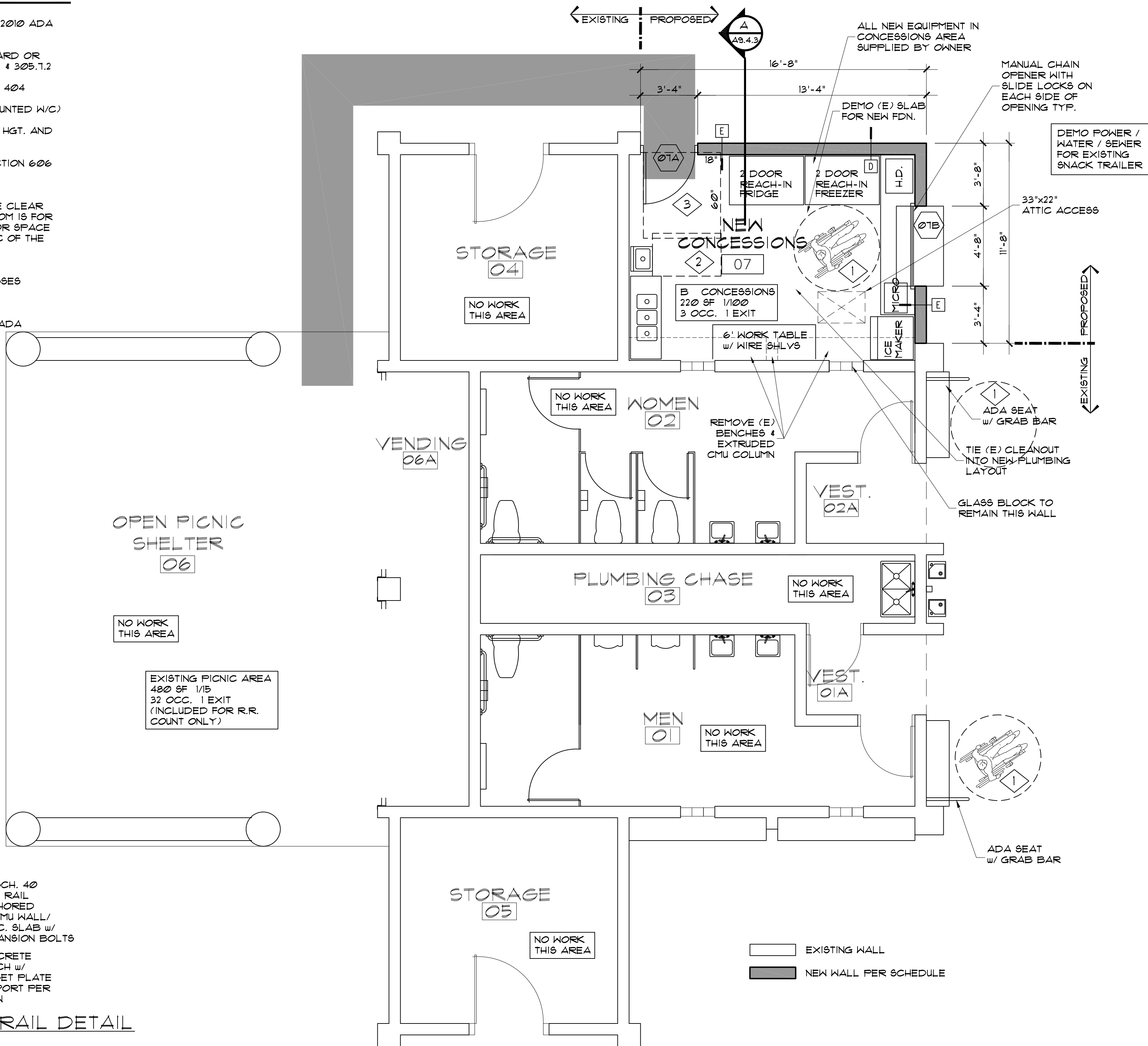
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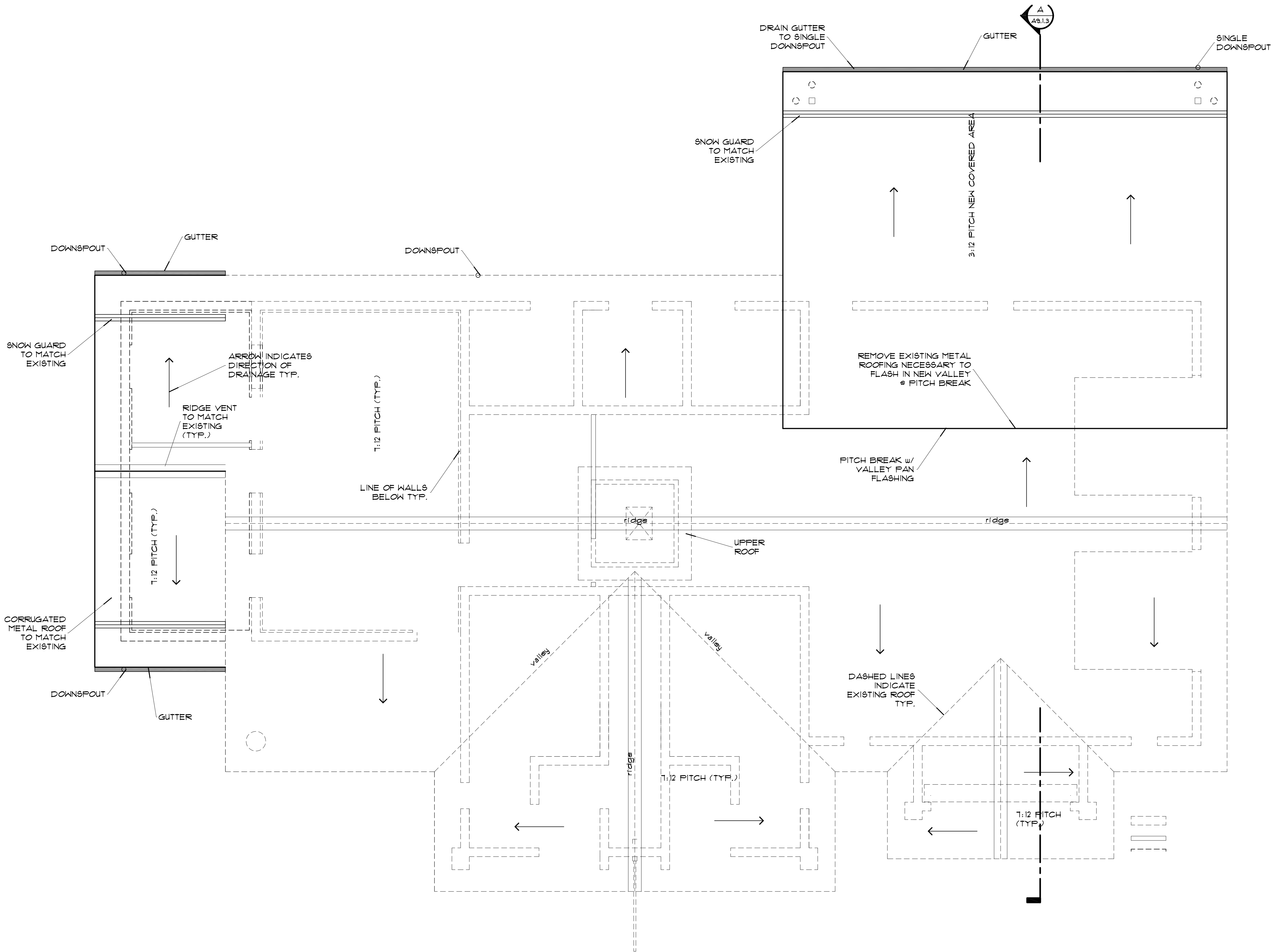
MAIN FLOOR PLAN  
MIXED USE #2  
BLDG.

A5.4

## 1 FLOOR PLAN 1/4" = 1'-0"







1 ROOF DRAINAGE PLAN  
1/4" = 1'-0"

## ROOFING NOTES

ROOFING TO BE:  
MFR. TO BE SELECTED

VERIFY WITH OWNER FOR ANY SPECIAL BLENDS

ROOF SLOPE TO BE 3:12 / 7:12 SEE SECTIONS & ELEVATIONS FOR MORE INFO.

UNDERLAYMENT TO BE ONE LAYER OF 30# FELT OR (2) LAYERS OF 15# FELT

GUTTERS WHERE INDICATED PER PLAN TO BE SEAMLESS SHT. METAL. (VERIFY W/ OWNER)

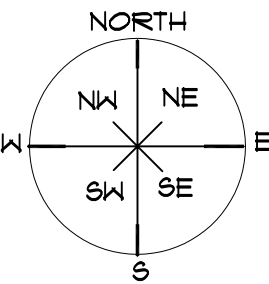
ALL SHT. METAL ROOF PENETRATIONS TO BE PAINTED TO MATCH COLOR OF MOST ADJACENT ROOFING.

ALL VALLEYS TO HAVE CONT. SHT. METAL FLASHING.

ALL VALLEYS TO BE CLOSED TYPE INSTALLATION.

PROVIDE ROOF VENTILATION PER 2012 I.B.C.

DISCHARGE DOWNSPOUTS 4 FEET MIN. AWAY FROM FOUNDATION



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| 60% BLDG. PERMIT | 03.01.18 |
| SDP SUBMITTAL #2 | 03.13.18 |
| BID SET          | 04.05.18 |

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ROOF PLAN  
MAINTENANCE  
BLDG.

A8.1

MIXED-USE BUILDING #3  
SHALL NOT HAVE GUTTERS  
OR DOWNSPOUTS

ROOFING NOTES

ROOFING TO BE:  
MFR. TO BE SELECTED

VERIFY WITH OWNER FOR ANY SPECIAL BLENDS

ROOF SLOPE TO BE 1:12 SEE SECTIONS &  
ELEVATIONS FOR MORE INFO.

UNDERLAYMENT TO BE ONE LAYER OF 30# FELT  
OR (2) LAYERS OF 15# FELT

GUTTERS WHERE INDICATED PER PLAN TO BE  
SEAMLESS SHT. METAL. (VERIFY W/ OWNER)

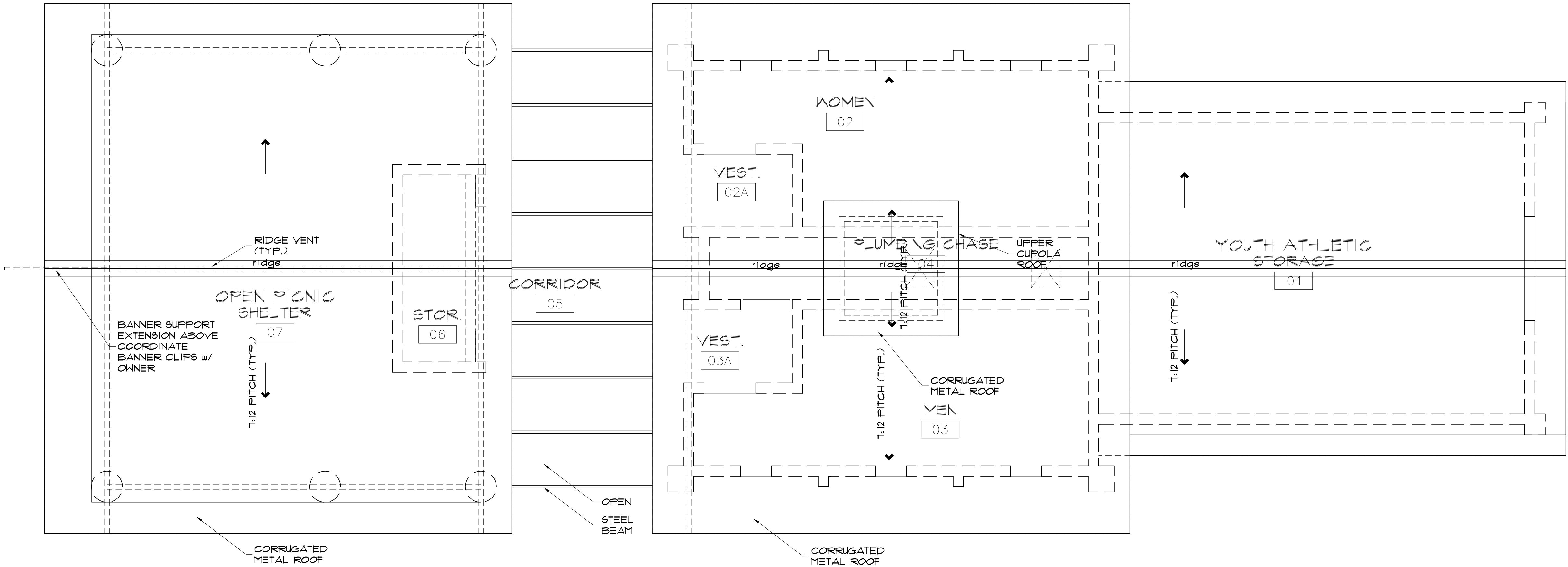
ALL SHT. METAL ROOF PENETRATIONS TO BE  
PAINTED TO MATCH COLOR OF MOST ADJACENT  
ROOFING.

ALL VALLEYS TO HAVE CONT. SHT. METAL  
FLASHING.

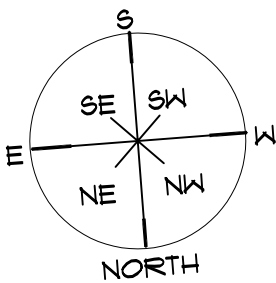
ALL VALLEYS TO BE CLOSED TYPE  
INSTALLATION.

PROVIDE ROOF VENTILATION PER  
2012 I.B.C.

DISCHARGE DOWNSPOUTS 4 FEET MIN. AWAY  
FROM FOUNDATION



1 ROOF DRAINAGE PLAN  
1/4" = 1'-0"



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ROOF PLAN  
MIXED USE  
BLDG.

A8.2

ROOFING NOTES

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MFR. TO BE SELECTED

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ROOF SLOPE TO BE 1:12 SEE SECTIONS & ELEVATIONS FOR MORE INFO.

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GUTTERS WHERE INDICATED PER PLAN TO BE SEAMLESS SHT. METAL. (VERIFY W/ OWNER)

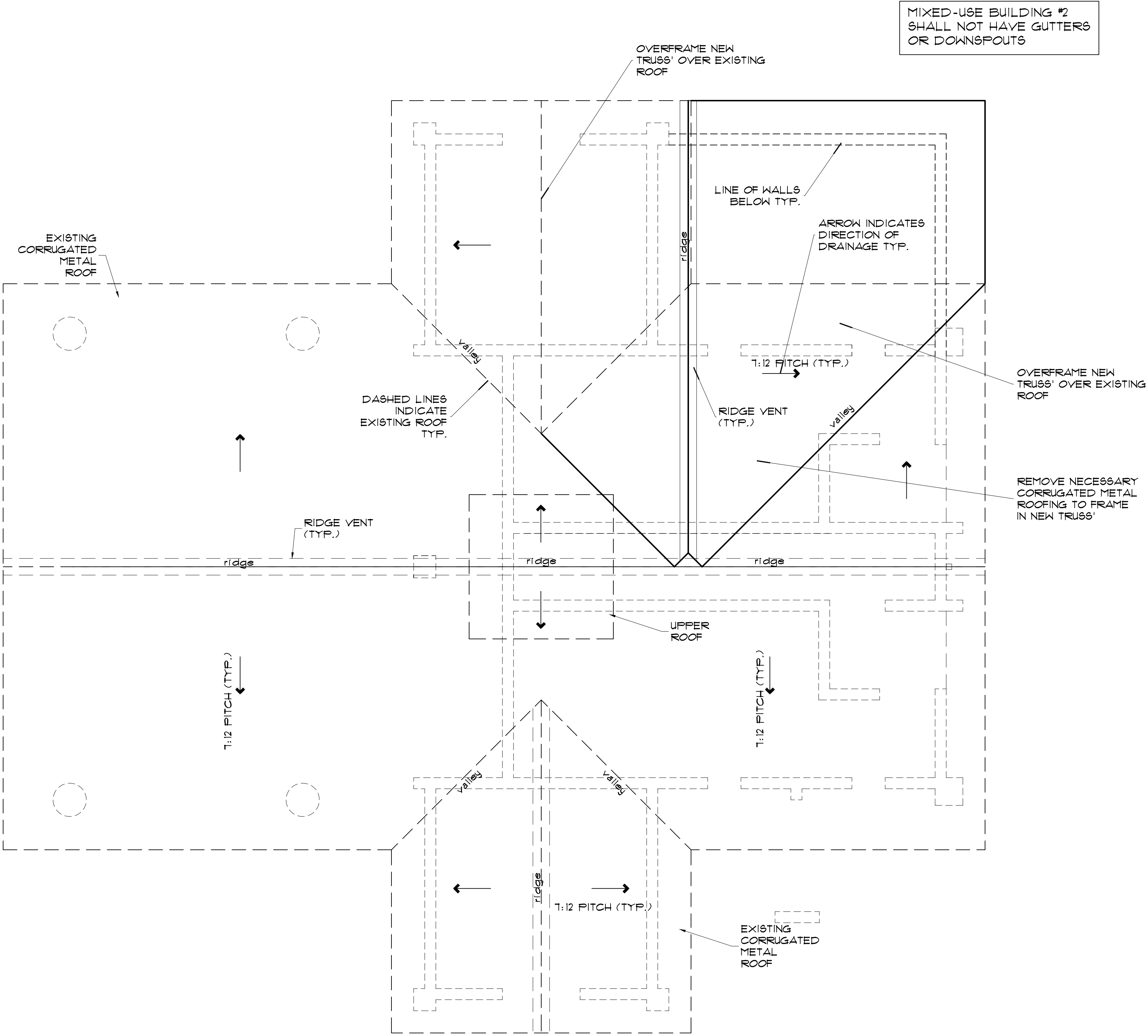
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ALL VALLEYS TO HAVE CONT. SHT. METAL FLASHING.

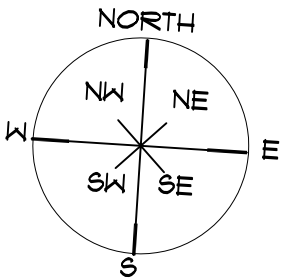
ALL VALLEYS TO BE CLOSED TYPE INSTALLATION.

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1 ROOF DRAINAGE PLAN  
1/4" = 1'-0"



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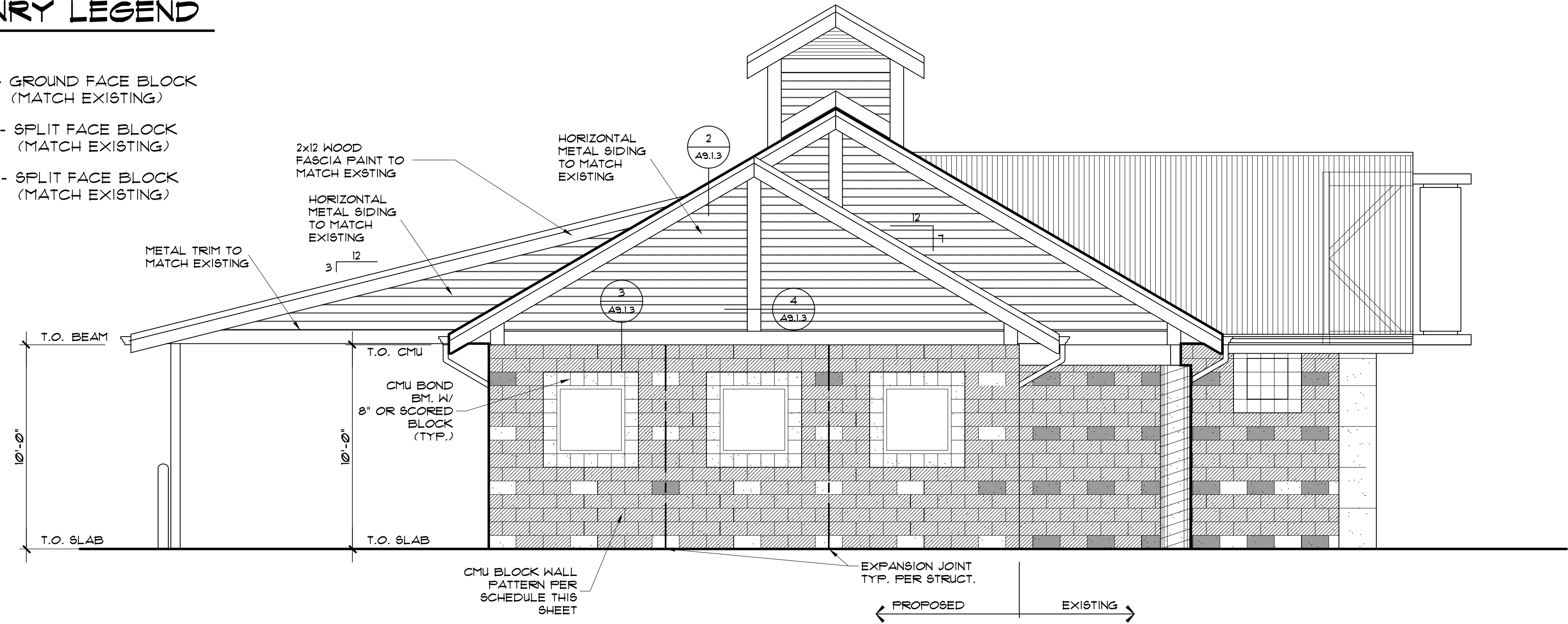
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ROOF PLAN  
MIXED USE #2  
BLDG.

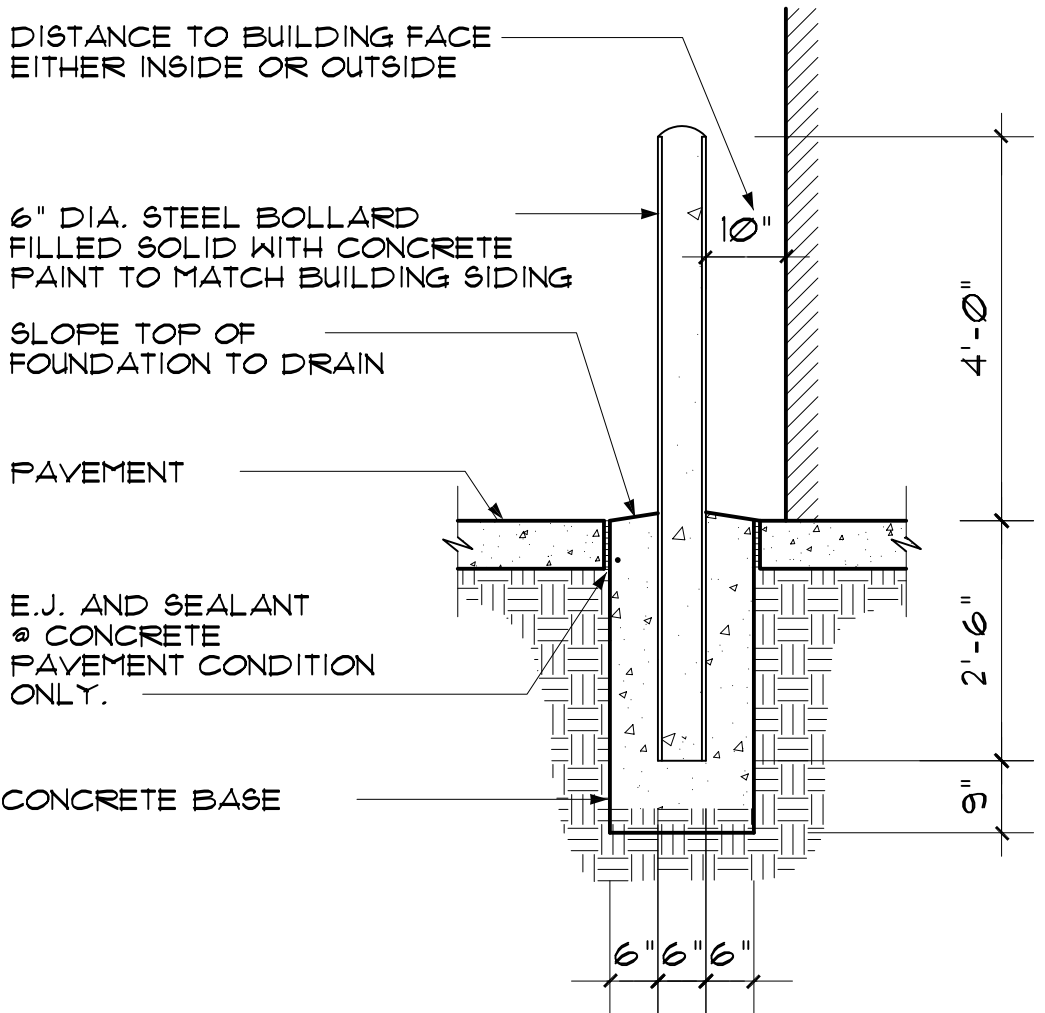
A8.4

CMU MASONRY LEGEND

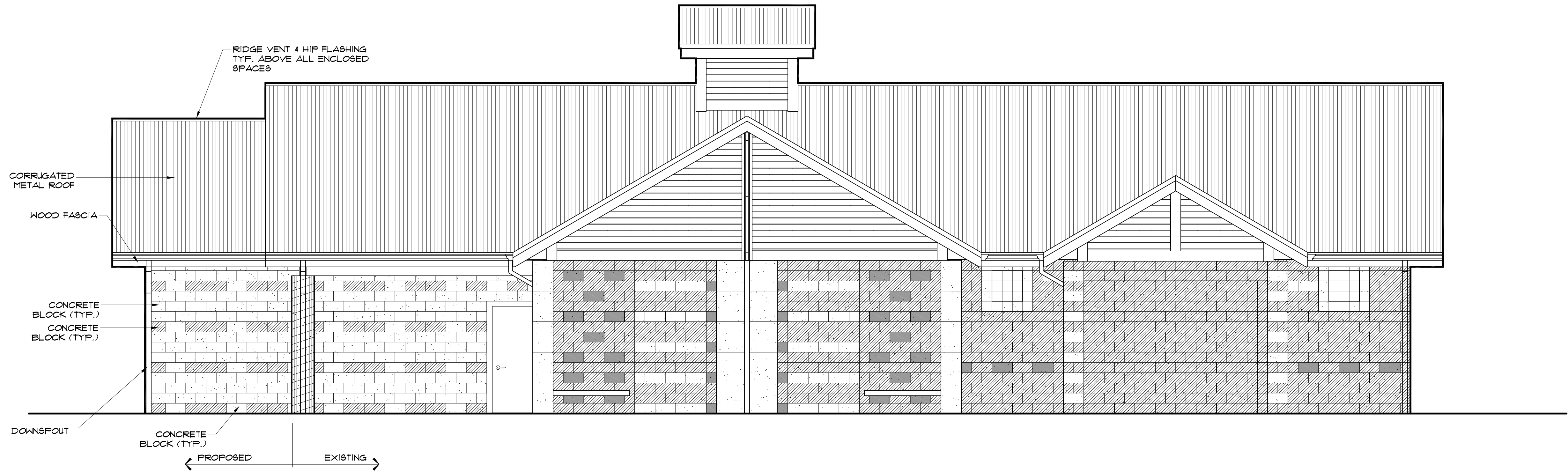
- COLOR 1 - GROUND FACE BLOCK  
(MATCH EXISTING)
- COLOR 2 - SPLIT FACE BLOCK  
(MATCH EXISTING)
- COLOR 3 - SPLIT FACE BLOCK  
(MATCH EXISTING)



2 LEFT SIDE ELEVATION - WEST FACING  
1/4" = 1'-0"



3 BOLLARD DETAIL  
1/2" = 1'-0"



1 FRONT ELEVATION - SOUTH FACING  
1/4" = 1'-0"



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EXTERIOR ELEVATIONS  
MAINTENANCE  
BLDG.

A9.1.1



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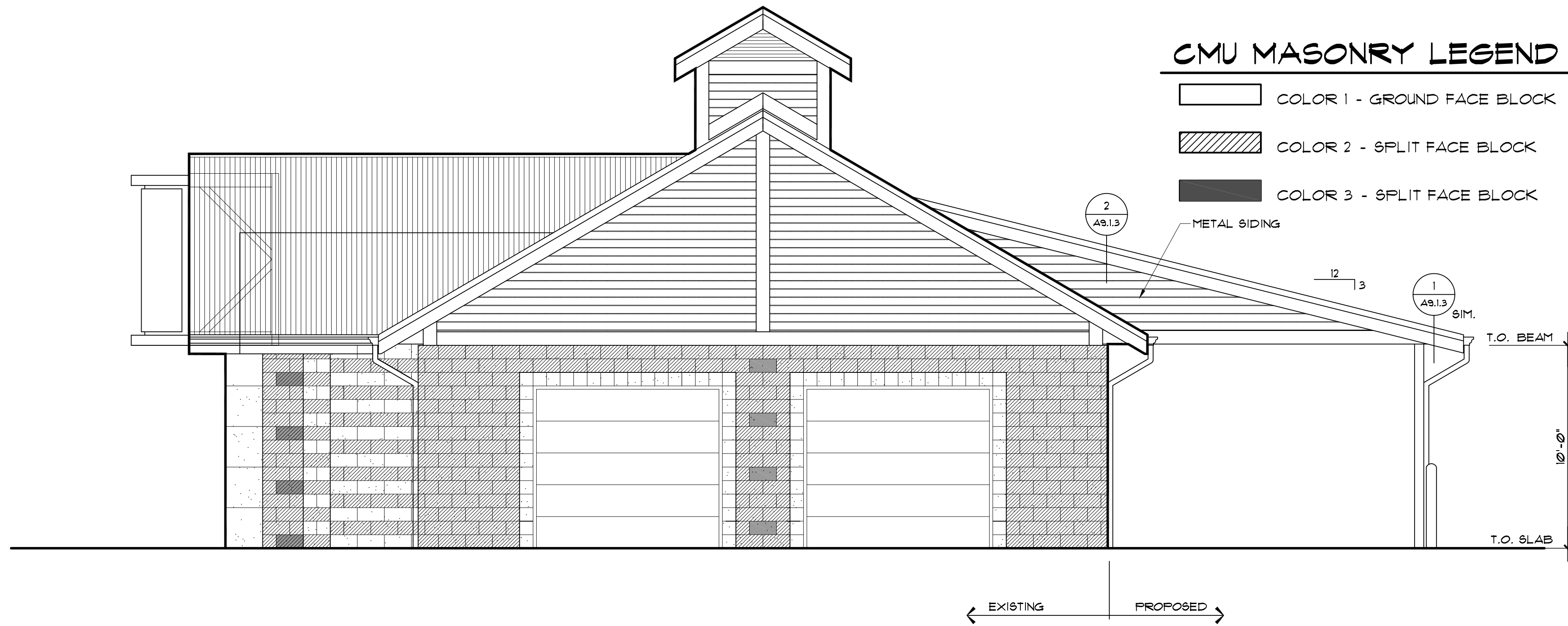
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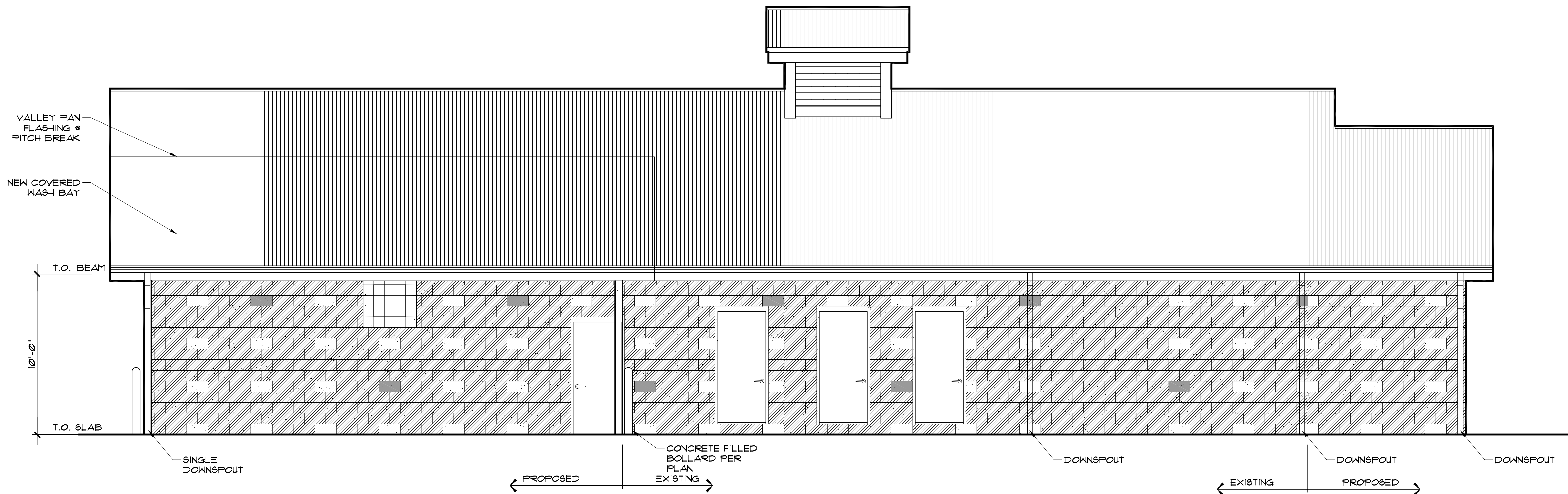
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EXTERIOR ELEVATIONS  
MAINTENANCE  
BLDG.

A9.1.2



2 RIGHT SIDE ELEVATION - EAST FACING  
1/4" = 1'-0"



1 REAR ELEVATION - NORTH FACING  
1/4" = 1'-0"

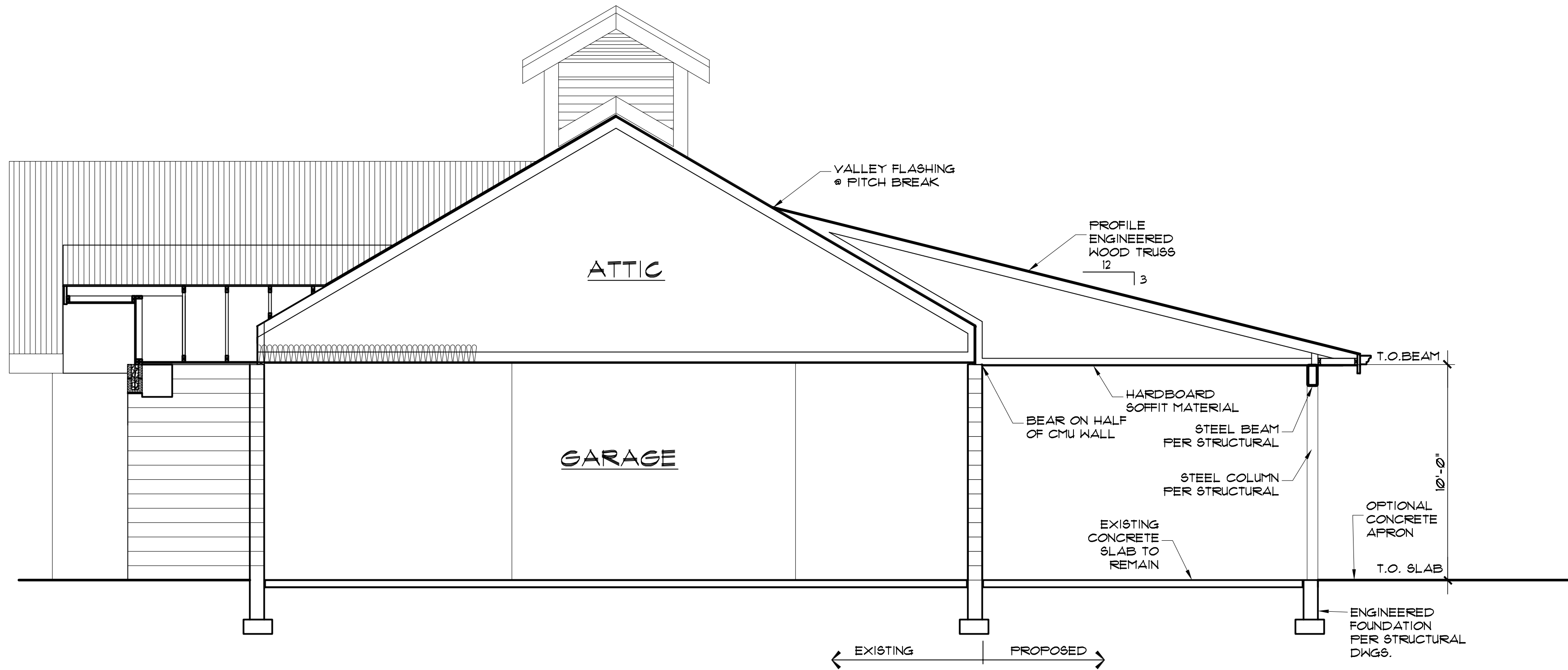


DESIGN  
CONCEPTS

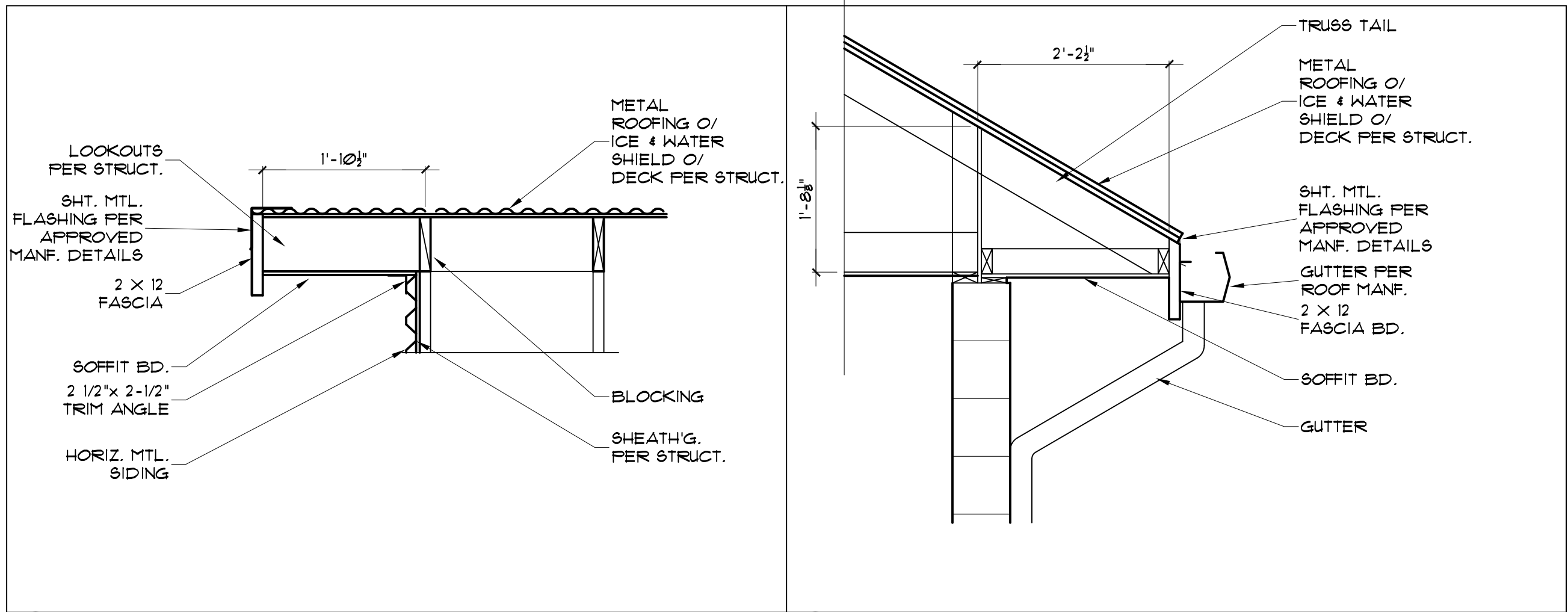
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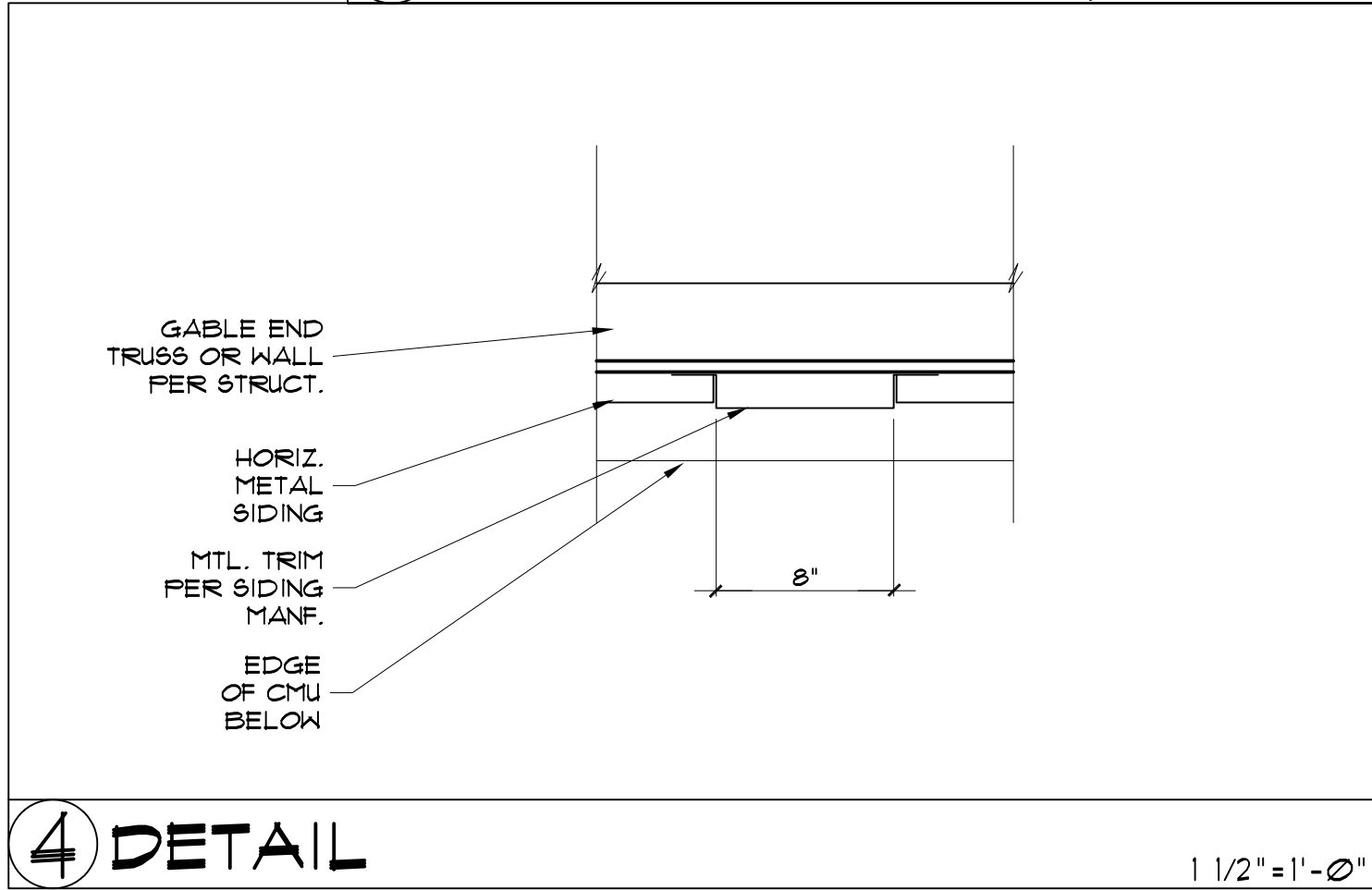


**A BUILDING SECTION**  
1/4" = 1'-0"

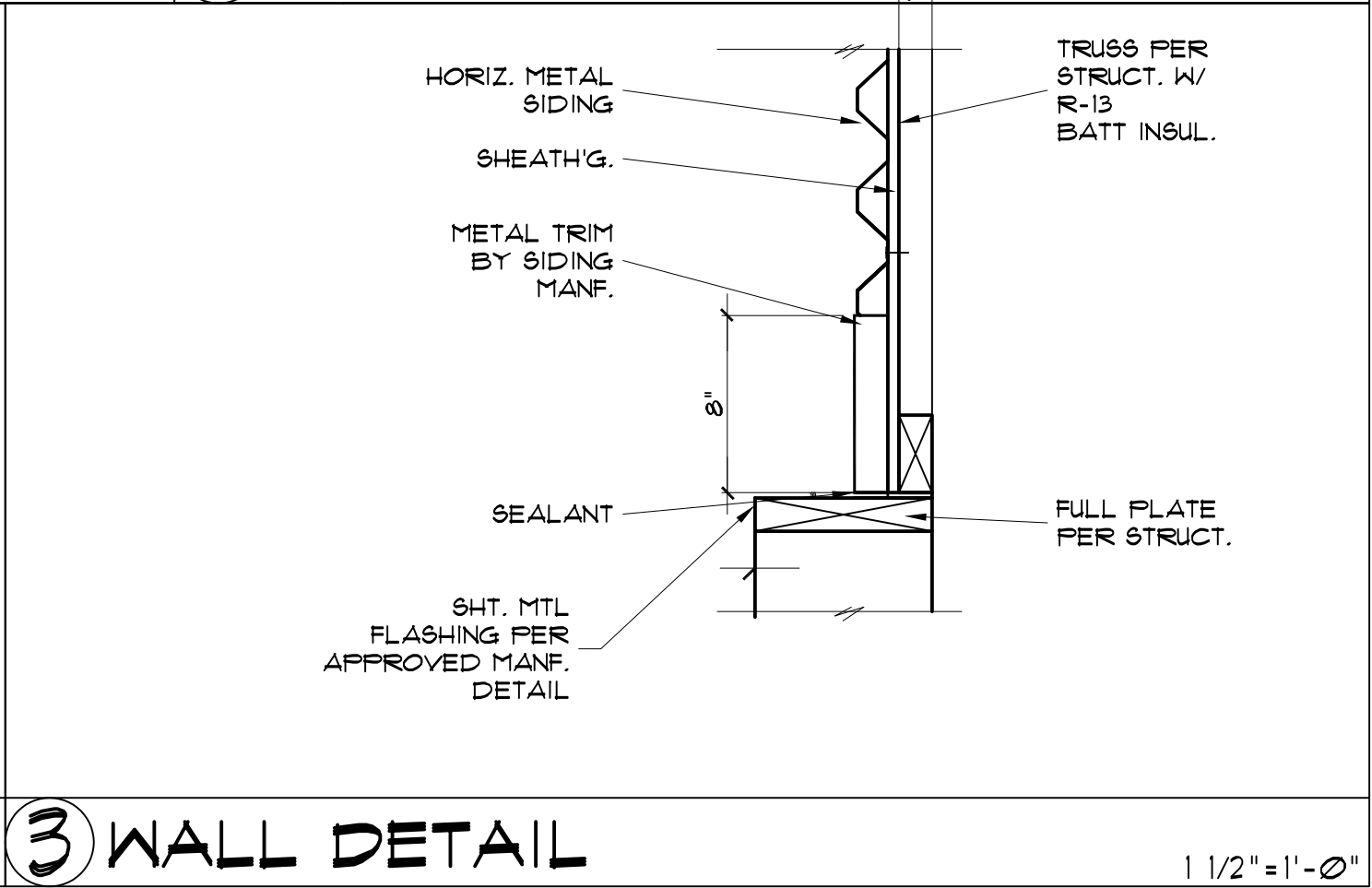


**2 TYP. RAKE DETAIL**  
3/4" = 1'-0"

**1 TYP. EAVE DETAIL**  
3/4" = 1'-0"



**4 DETAIL**  
1 1/2" = 1'-0"



**3 WALL DETAIL**  
1 1/2" = 1'-0"

LOVELAND SPORTS PARK  
PHASE TWO

950 North Boyd Lake Ave.  
Loveland, CO 80537



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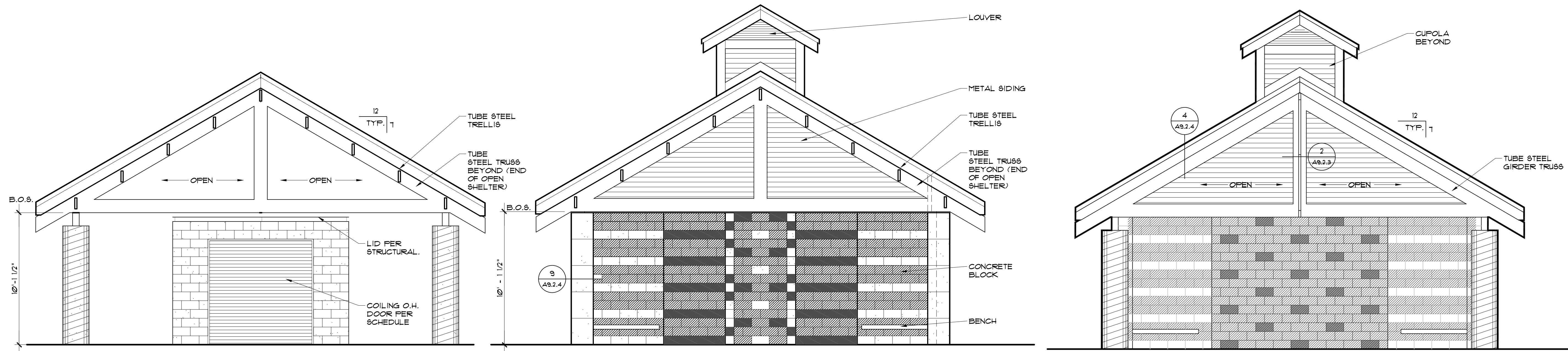
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SECTIONS/DETAILS  
MAINTENANCE  
BLDG.

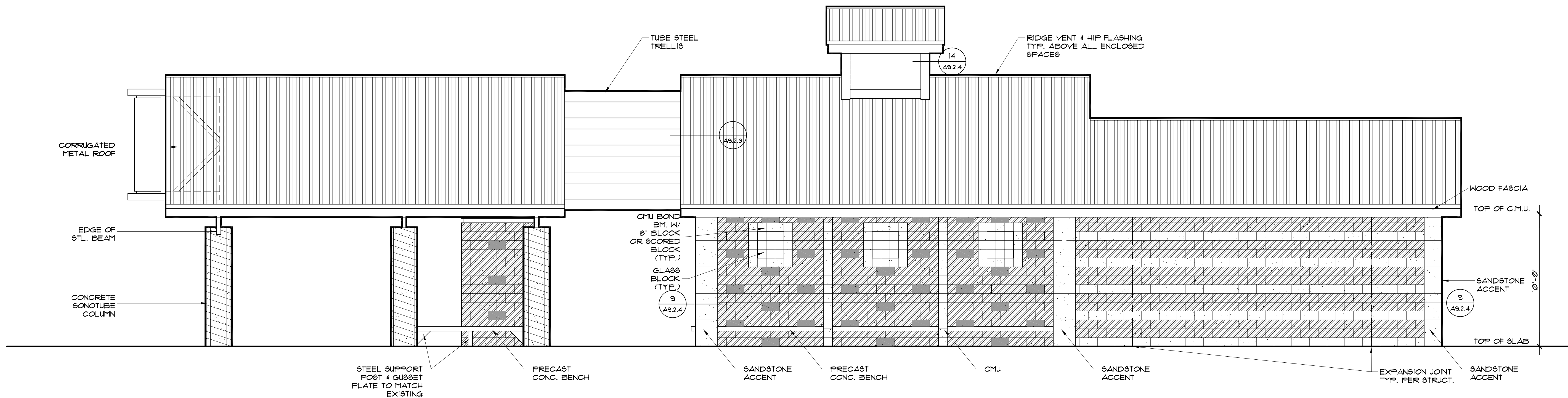
A9.1.3



**B BUILDING SECTION**  
1/4" = 1'-0"

**A BUILDING SECTION**  
1/4" = 1'-0"

**2 RIGHT SIDE ELEVATION - EAST FACING**  
1/4" = 1'-0"



**1 REAR ELEVATION - NORTH FACING**  
1/4" = 1'-0"



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CONCEPTS**

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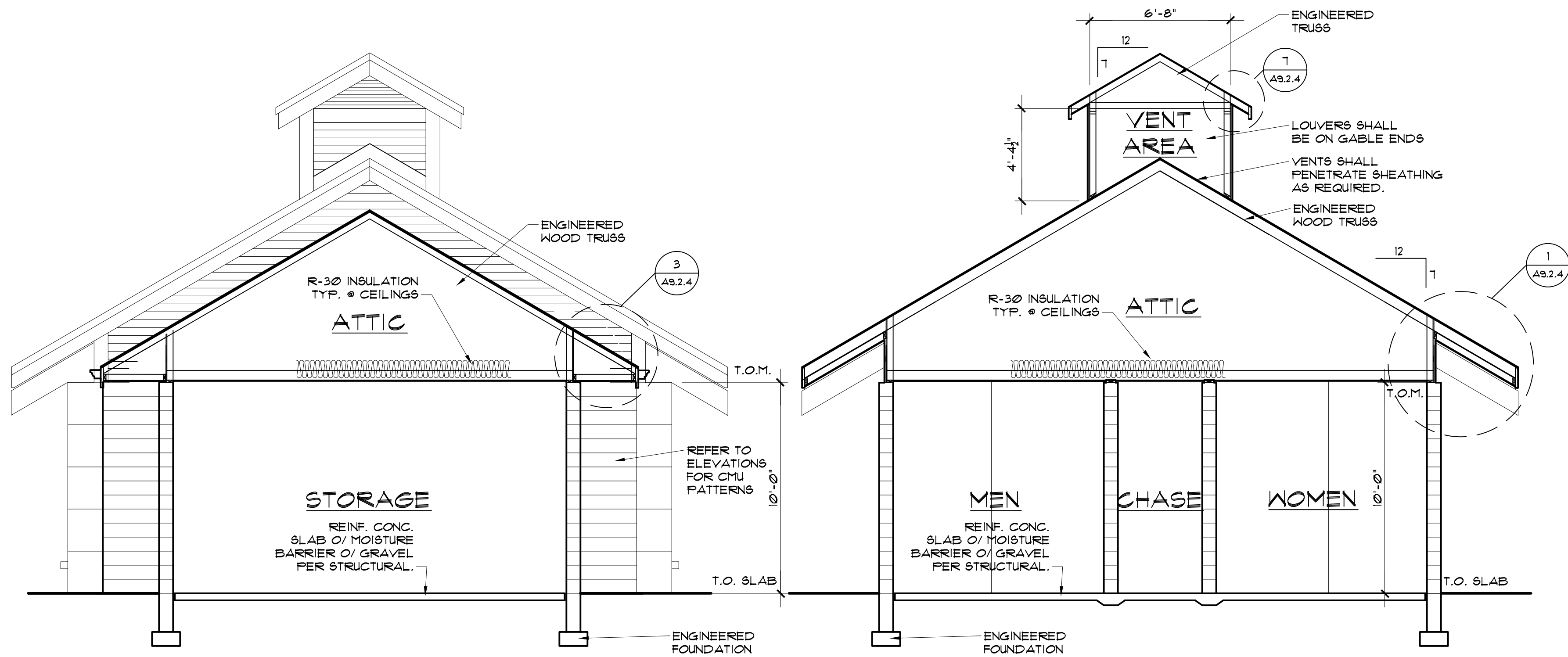
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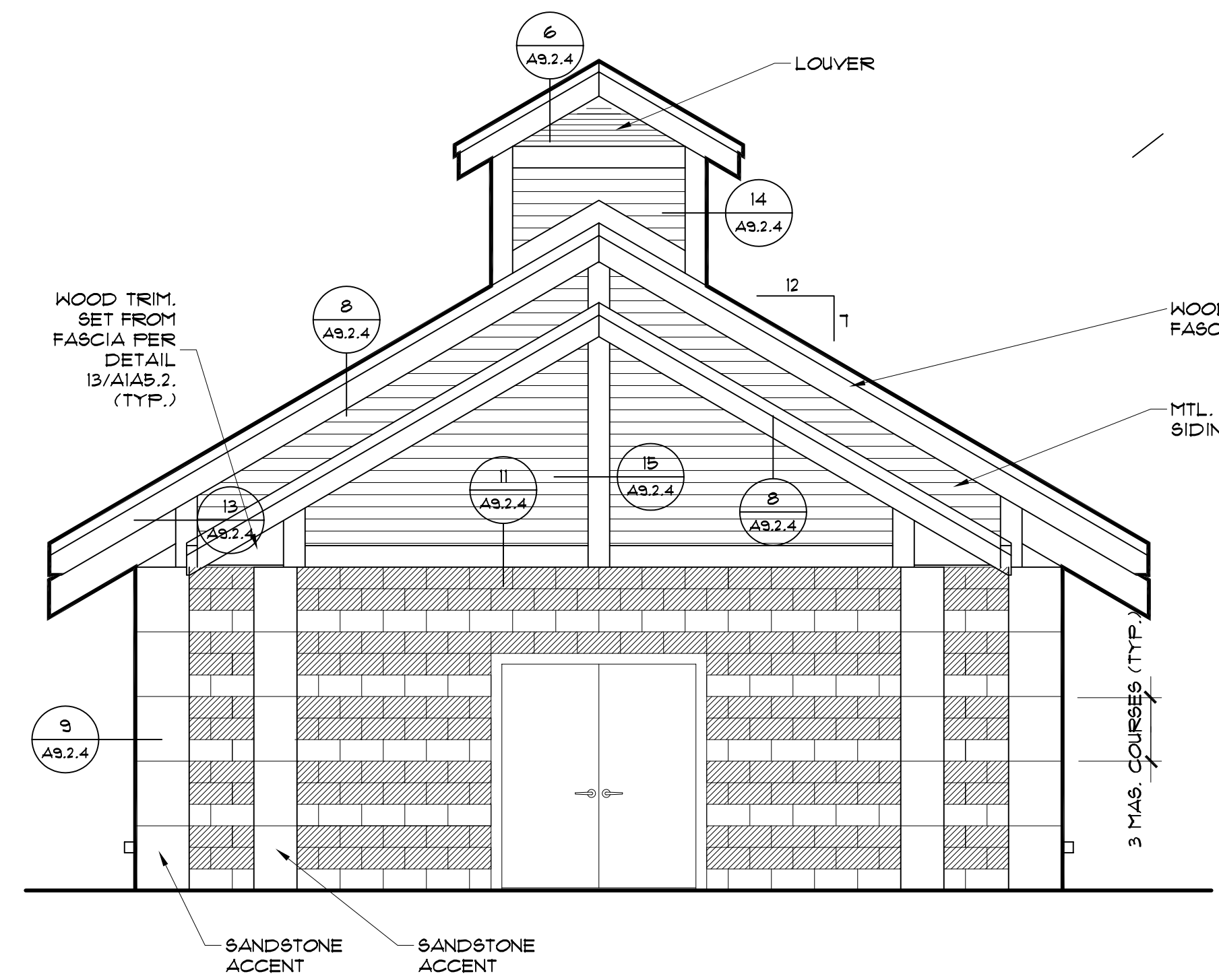
EXTERIOR ELEVATIONS  
MIXED USE #3  
BLDG.

**A9.2.1**

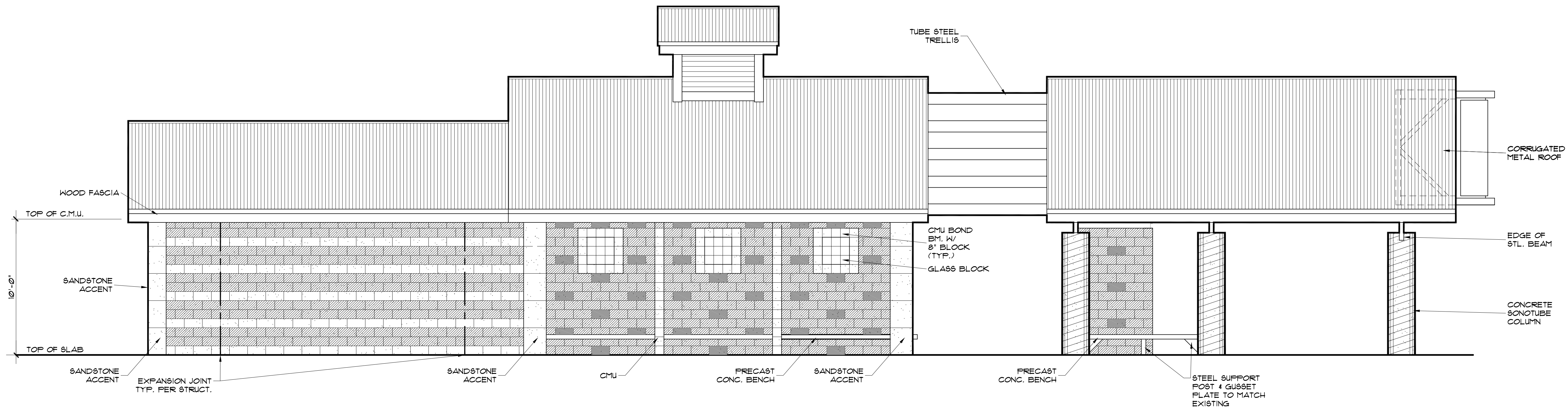


**C BUILDING SECTION**  
1/4" = 1'-0"

**B BUILDING SECTION**  
1/4" = 1'-0"



**2 LEFT SIDE ELEVATION - WEST FACING**  
1/4" = 1'-0"



**1 FRONT ELEVATION - SOUTH FACING**  
1/4" = 1'-0"



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EXTERIOR ELEVATIONS  
MIXED USE #3  
BLDG.

**A9.2.2**



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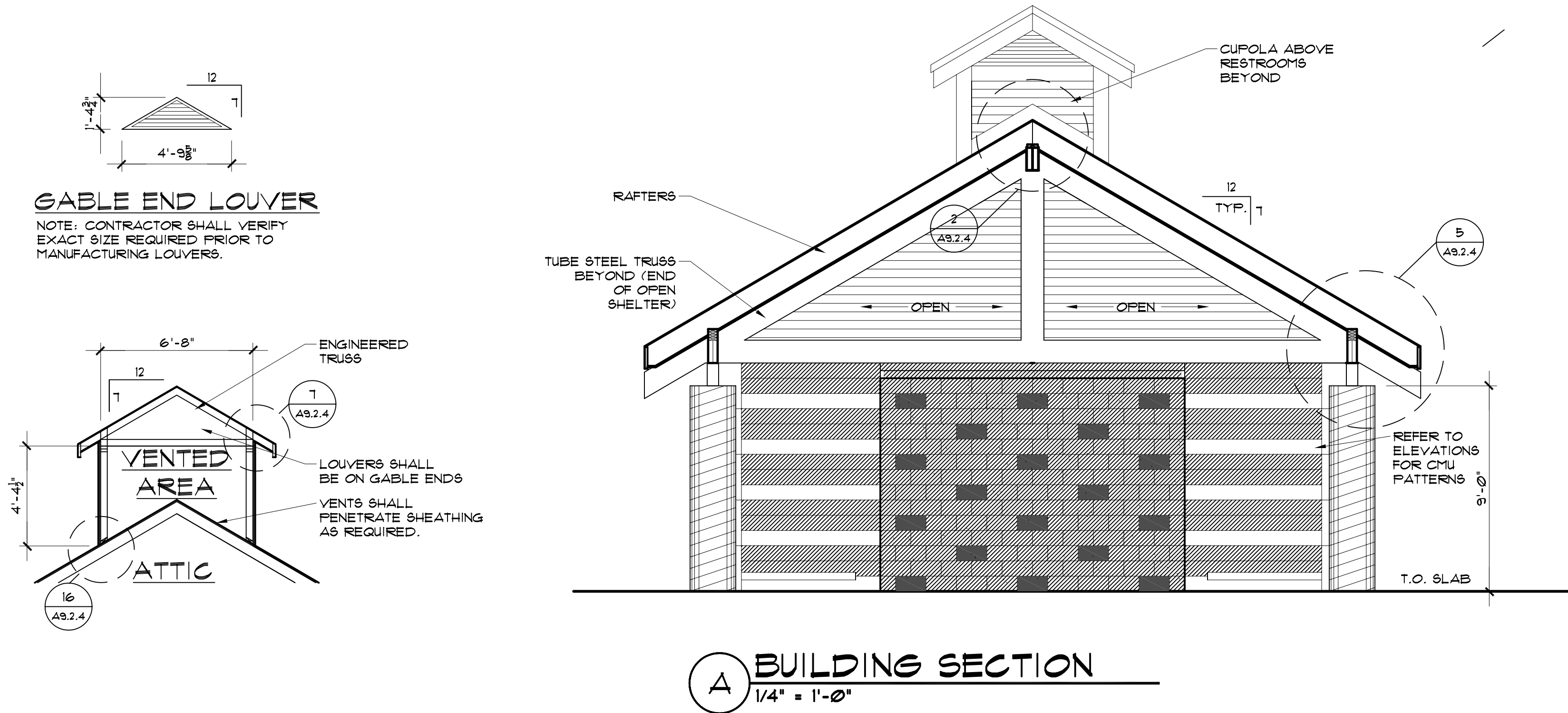
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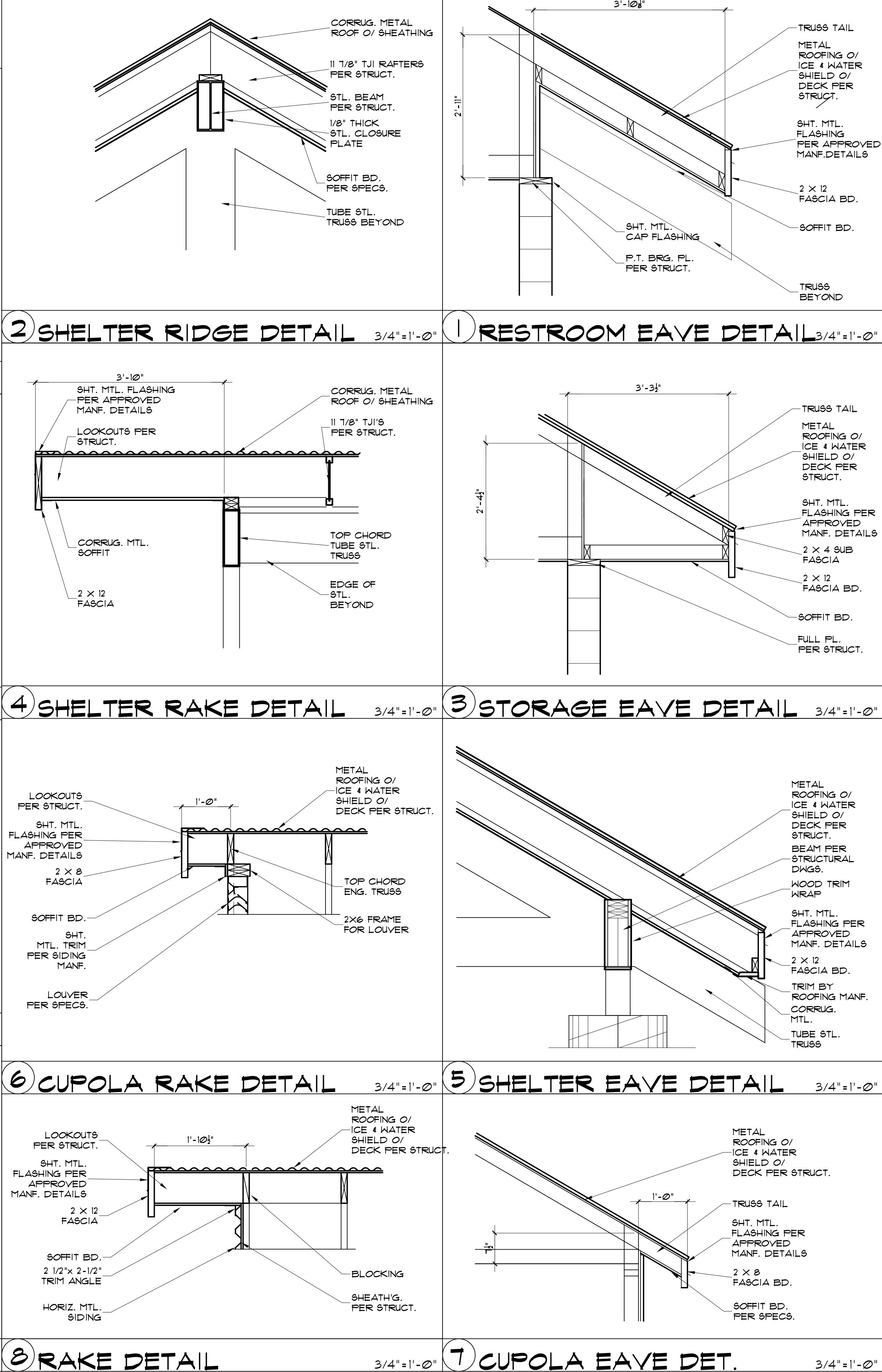
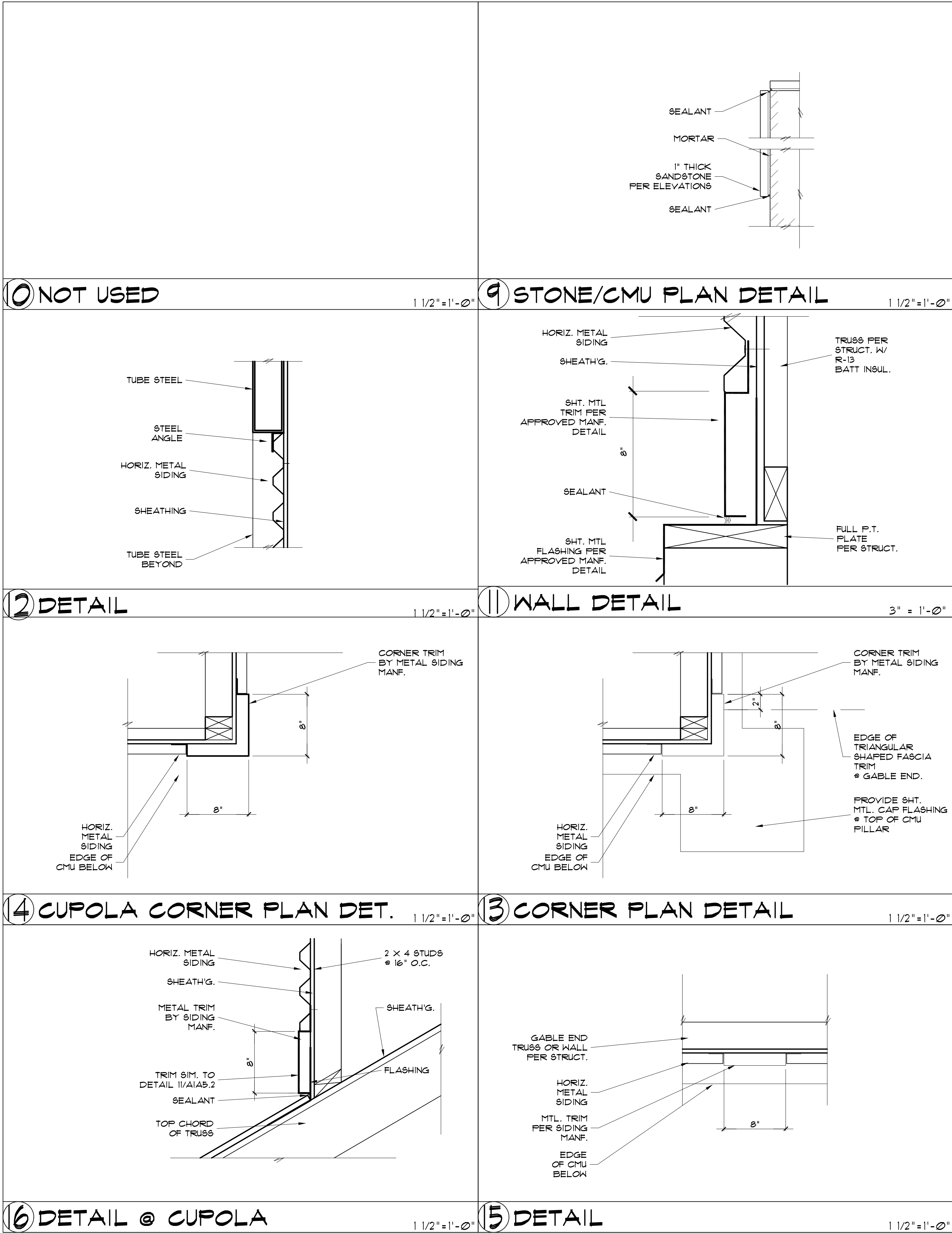
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SECTIONS/DETAILS  
MIXED USE #3  
BLDG.

A9.2.3





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95% CDs  
SDP SUBMITTAL  
60% BLDG. PERMIT  
SDP SUBMITTAL #2

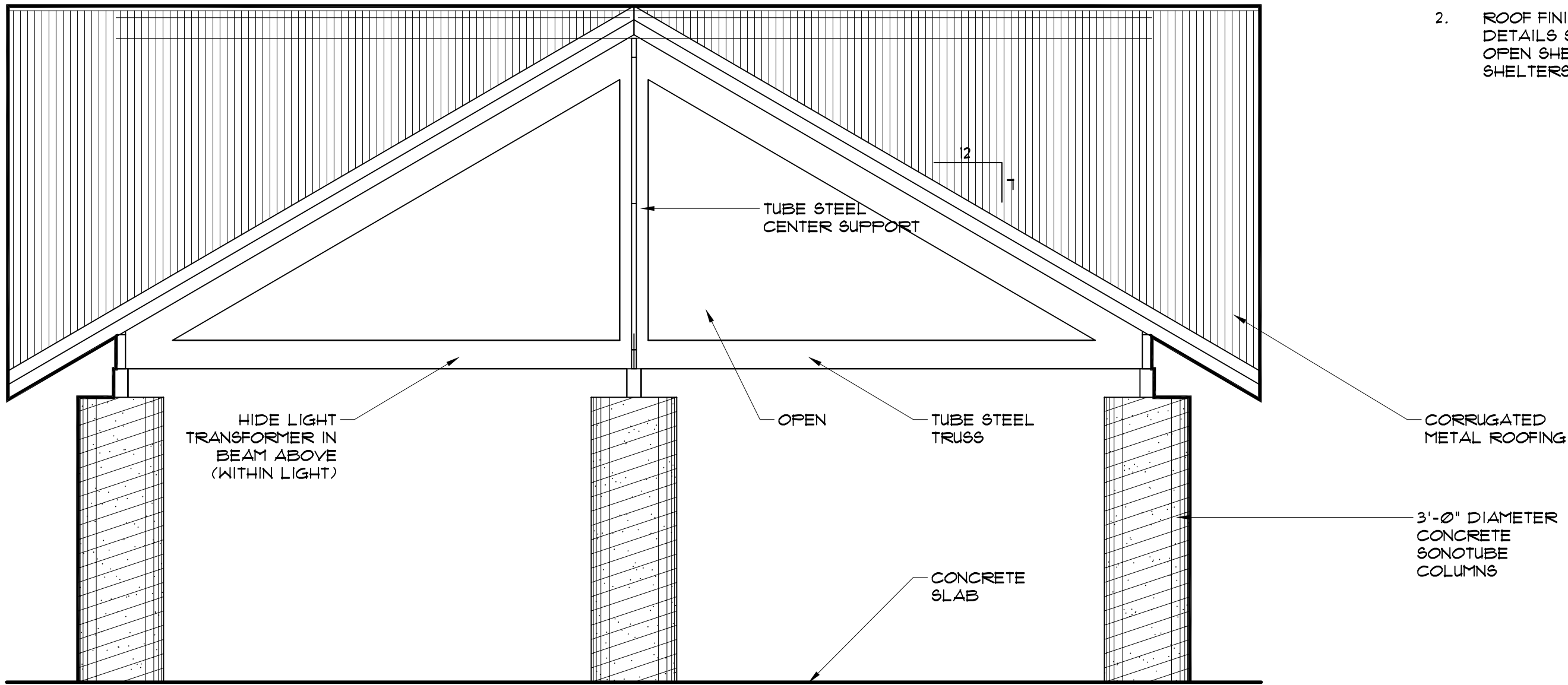
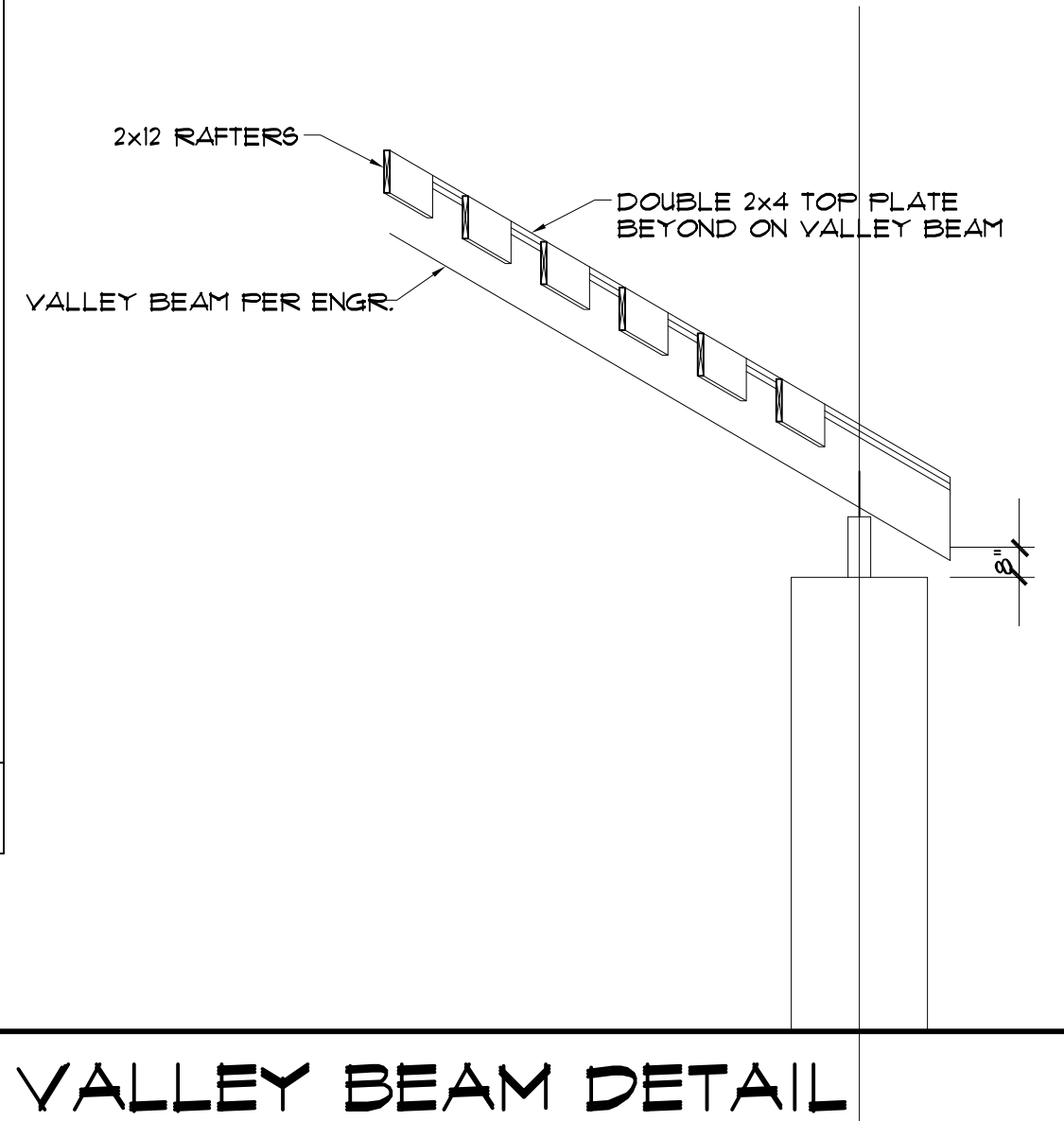
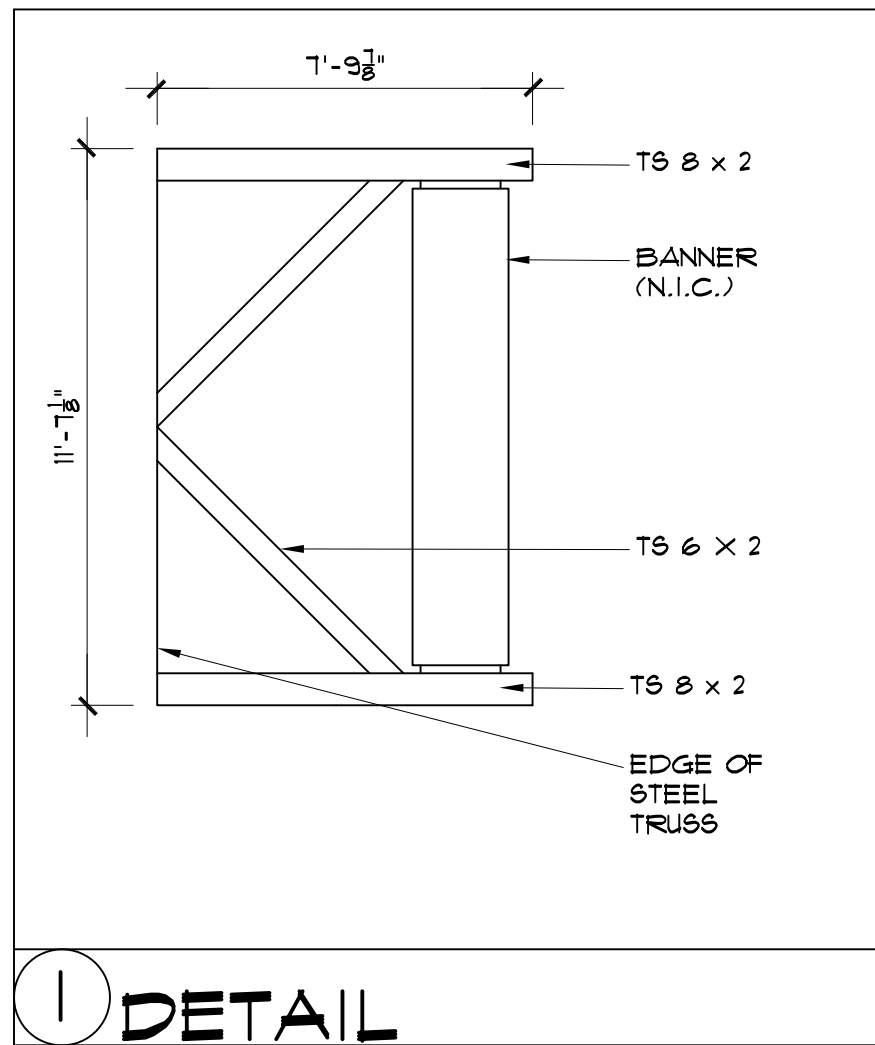
Date: 11.21.17  
01.12.18  
02.01.18  
03.01.18  
03.13.18

Drafted By: KML  
Checked By: KML

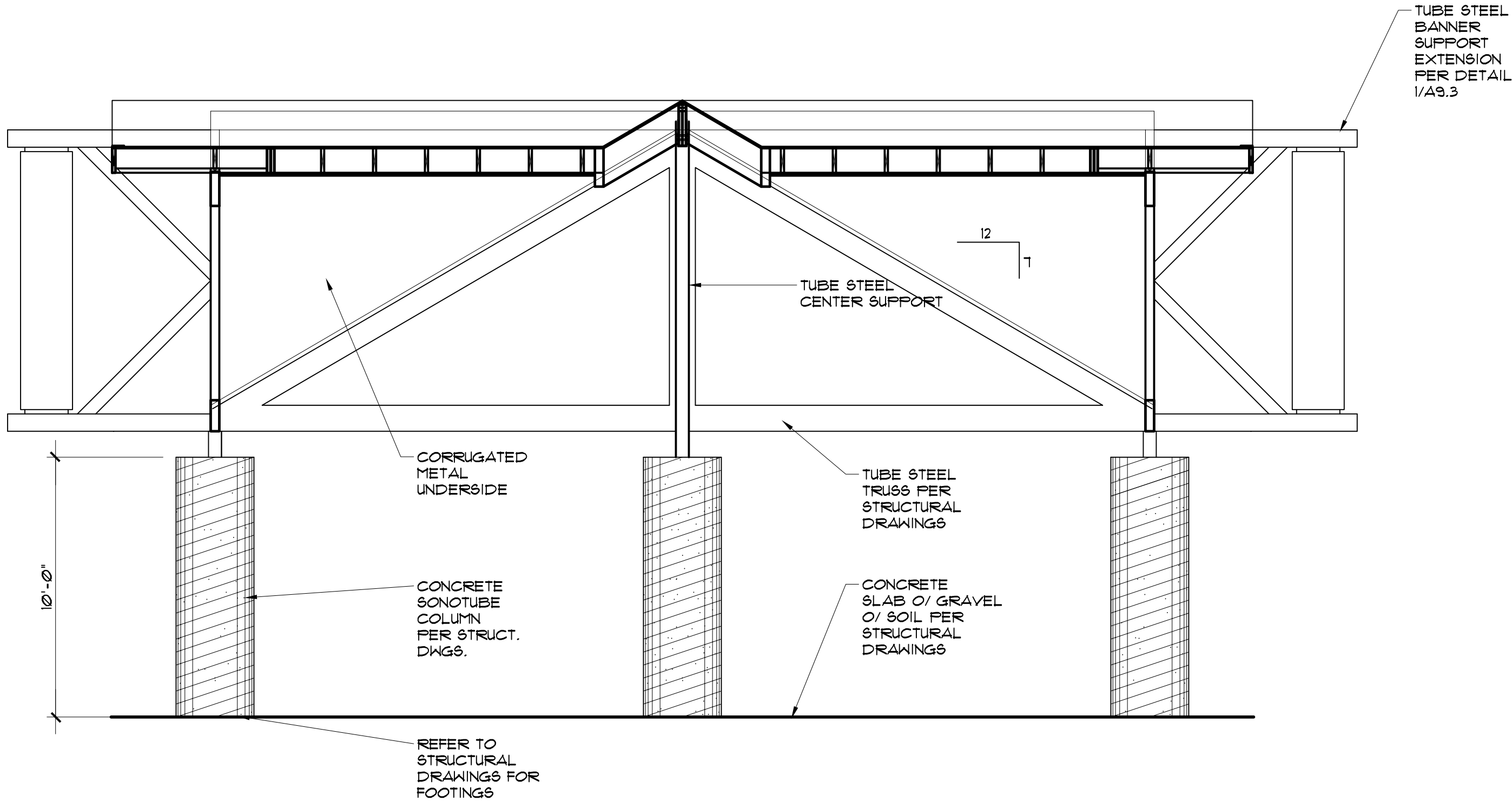
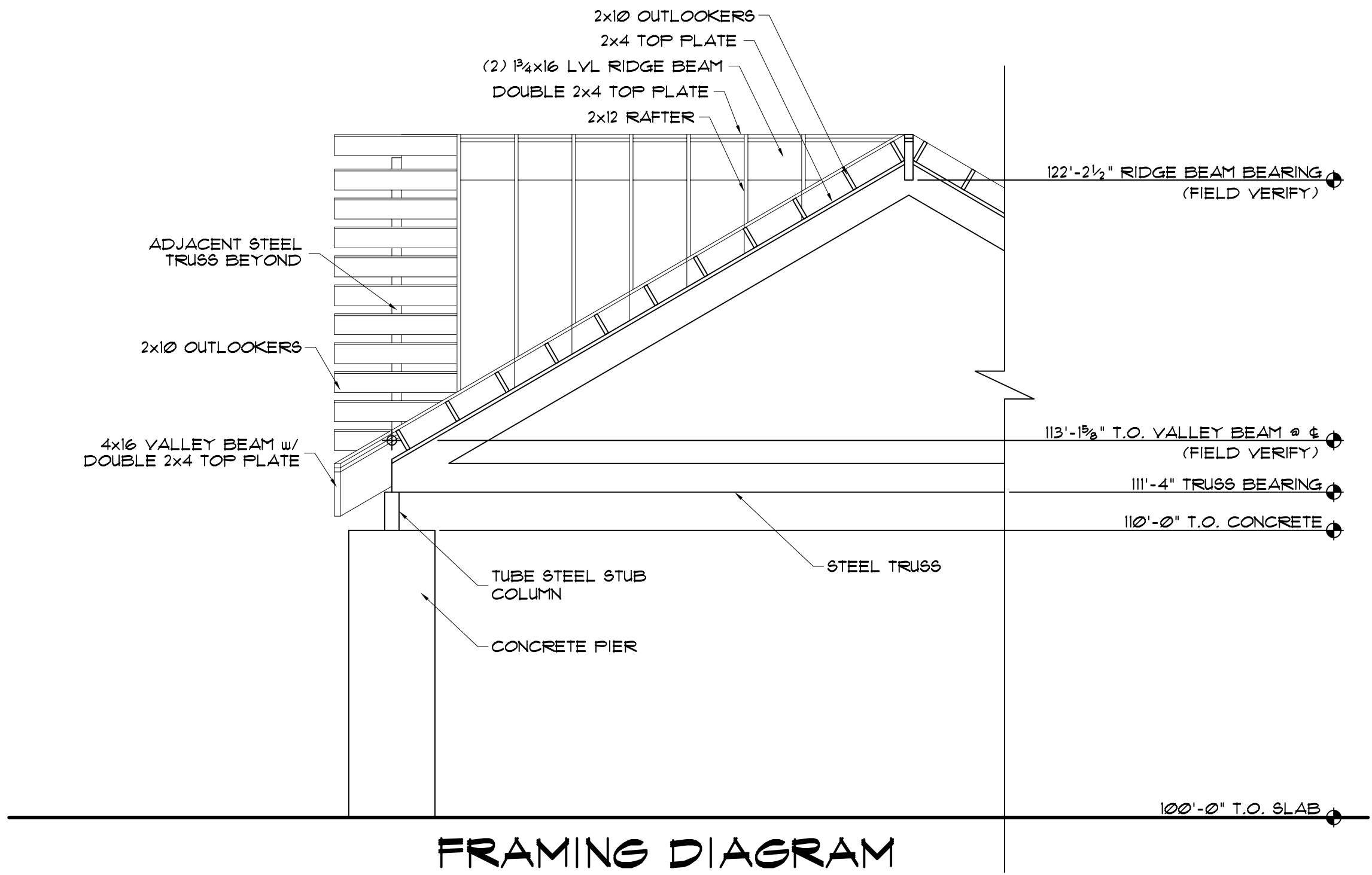
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EXTERIOR DETAILS  
MIXED USE #3  
BLDG.

**A9.2.4**



1 ALL ELEVATIONS - SYMMETRICAL  
1/4" = 1'-0"



A BUILDING SECTION  
1/4" = 1'-0"

## GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION DETAILS FOR THIS BUILDING.
2. ROOF FINISH & CLOSURE DETAILS SHALL BE SIMILAR TO OPEN SHELTERS AT MIXED-USE SHELTERS #1 & #2.



**DESIGN  
CONCEPTS**

Community + Landscape Architects

211 North Public Road, Suite 200  
Lafayette CO 80026  
303.664.5301 www.dcla.net

**Kenney & Lee**  
architecture group, inc.

209 east 4th street  
loveland, co 80537  
970.663.0548  
kenneyleearch.com

**LOVELAND SPORTS PARK  
PHASE TWO**

950 North Boyd Lake Ave.  
Loveland, CO 80537



Project No.: 21739.00

| Issued For:      | Date:    |
|------------------|----------|
| 95% CDs          | 01.12.18 |
| SDP SUBMITTAL    | 02.01.18 |
| 60% BLDG. PERMIT | 03.01.18 |
| SDP SUBMITTAL #2 | 03.13.18 |
| BID SET          | 04.05.18 |

Drafted By: KML  
Checked By: BAM

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EXTERIOR ELEVATIONS,  
SECTIONS  
SHELTER STRUCTURE

**A9.3**



DESIGN  
CONCEPTS

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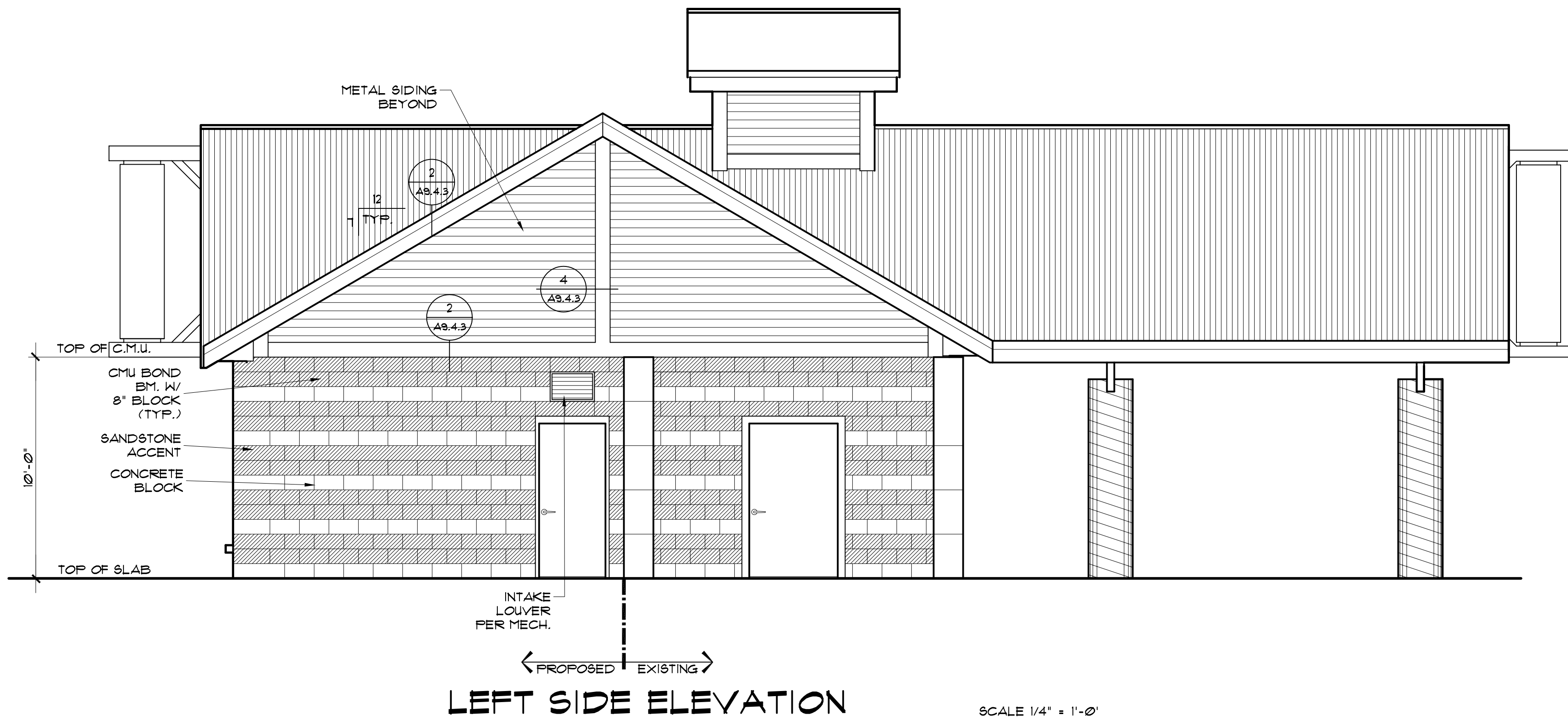
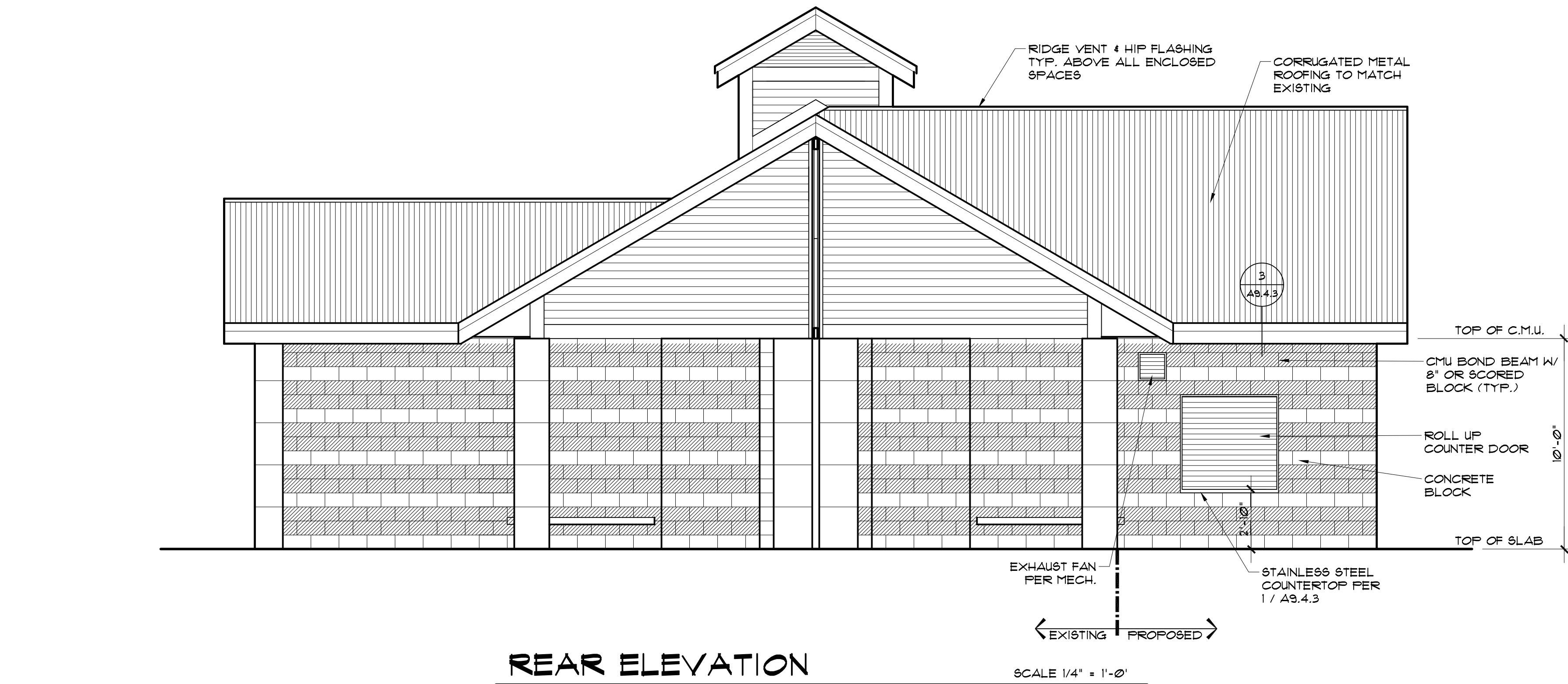
| Issued For:      | Date:    |
|------------------|----------|
| 95% CDs          | 01.12.18 |
| SDP SUBMITTAL    | 02.01.18 |
| 60% BLDG. PERMIT | 03.01.18 |
| SDP SUBMITTAL #2 | 03.13.18 |
| BID SET          | 04.05.18 |

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ELEVATIONS  
MIXED USE #2  
BLDG.

**A9.4.1**





DESIGN  
CONCEPTS

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PHASE TWO

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Loveland, CO 80537



Project No.: 21739.00

| Issued For:      | Date:    |
|------------------|----------|
| 95% CDs          | 01.12.18 |
| SDP SUBMITTAL    | 02.01.18 |
| 60% BLDG. PERMIT | 03.01.18 |
| SDP SUBMITTAL #2 | 03.13.18 |
| BID SET          | 04.05.18 |

Drafted By: KML  
Checked By: BAM

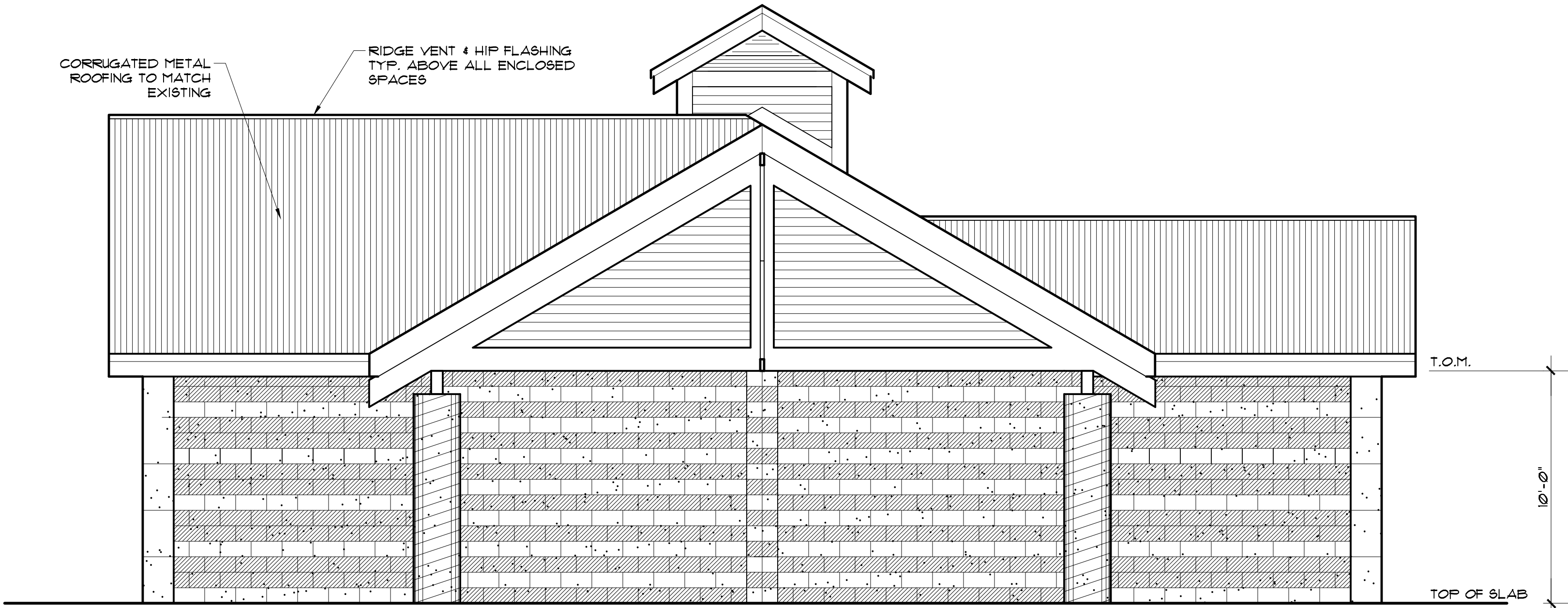
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ELEVATIONS  
MIXED USE #2  
BLDG.

**A9.4.2**

CMU MASONRY LEGEND

- COLOR 1 - GROUND FACE BLOCK
- COLOR 2 - SPLIT FACE BLOCK
- COLOR 3 - SPLIT FACE BLOCK



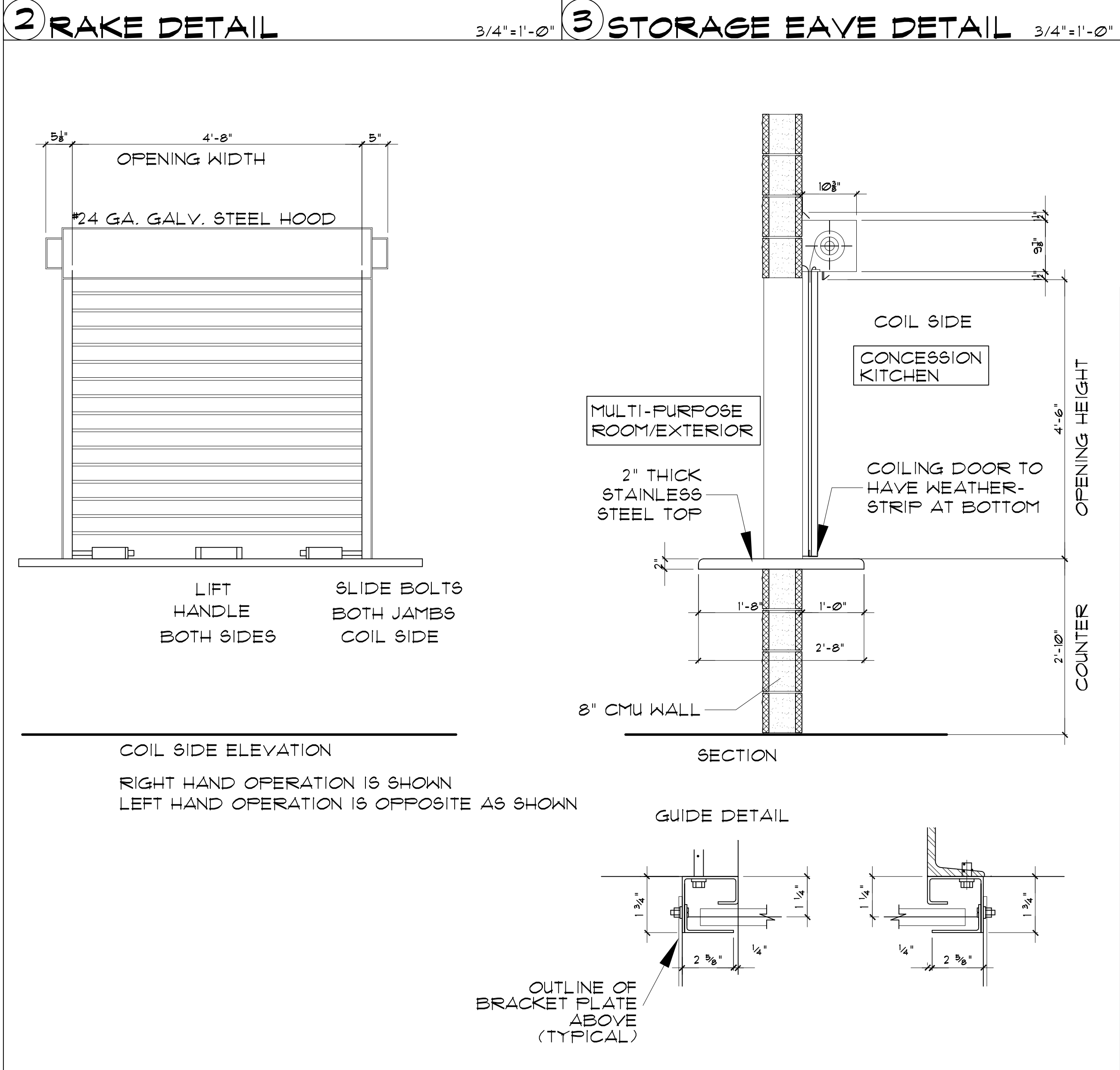
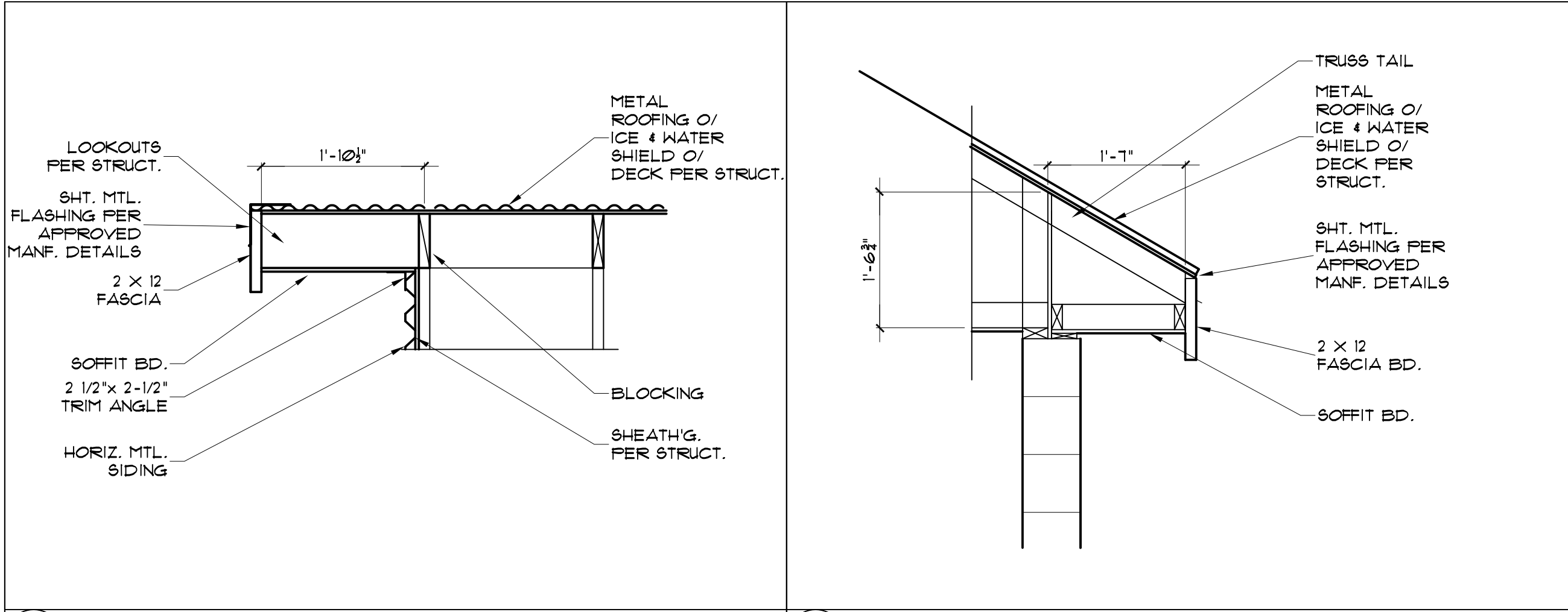
FRONT ELEVATION

SCALE 1/4" = 1'-0"

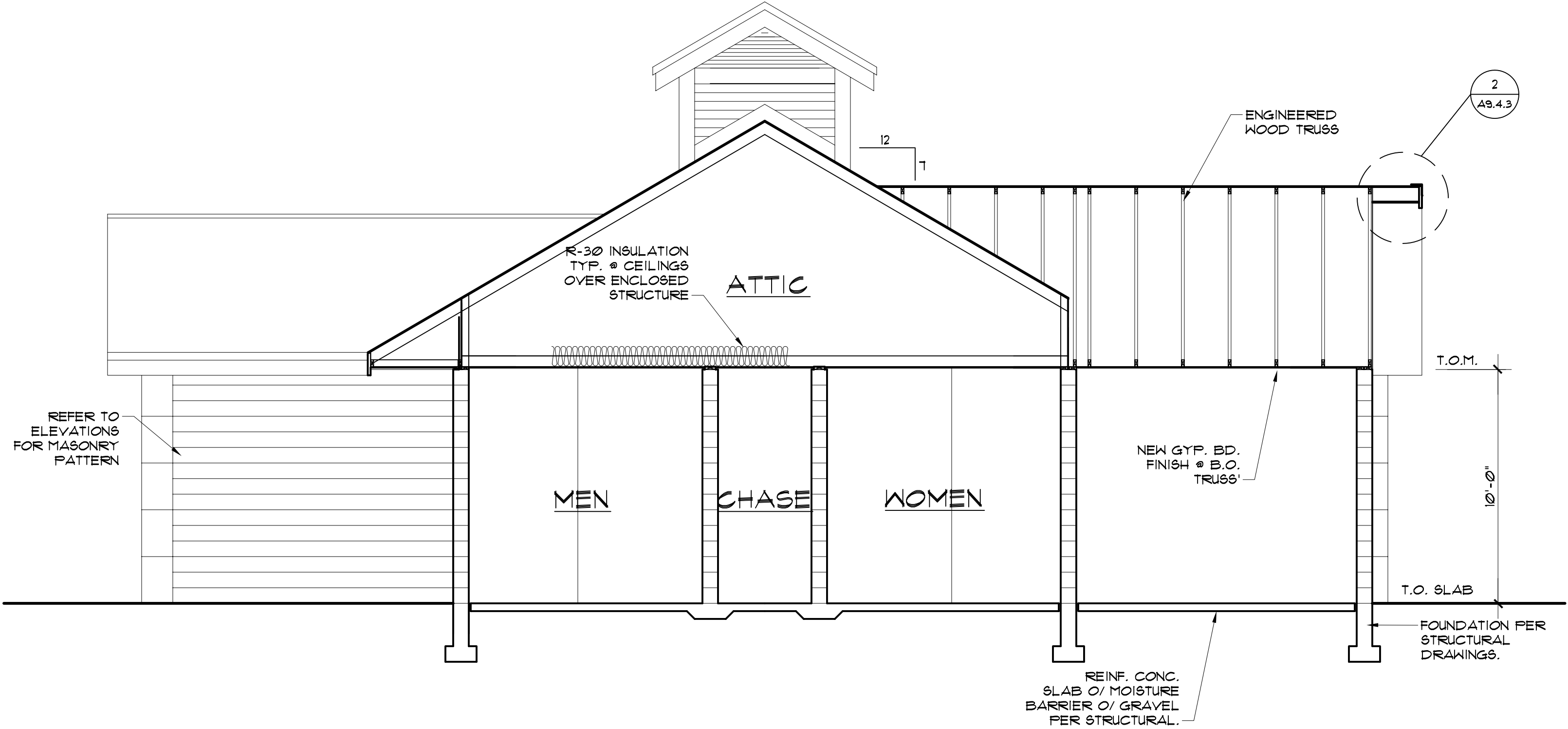


RIGHT SIDE ELEVATION

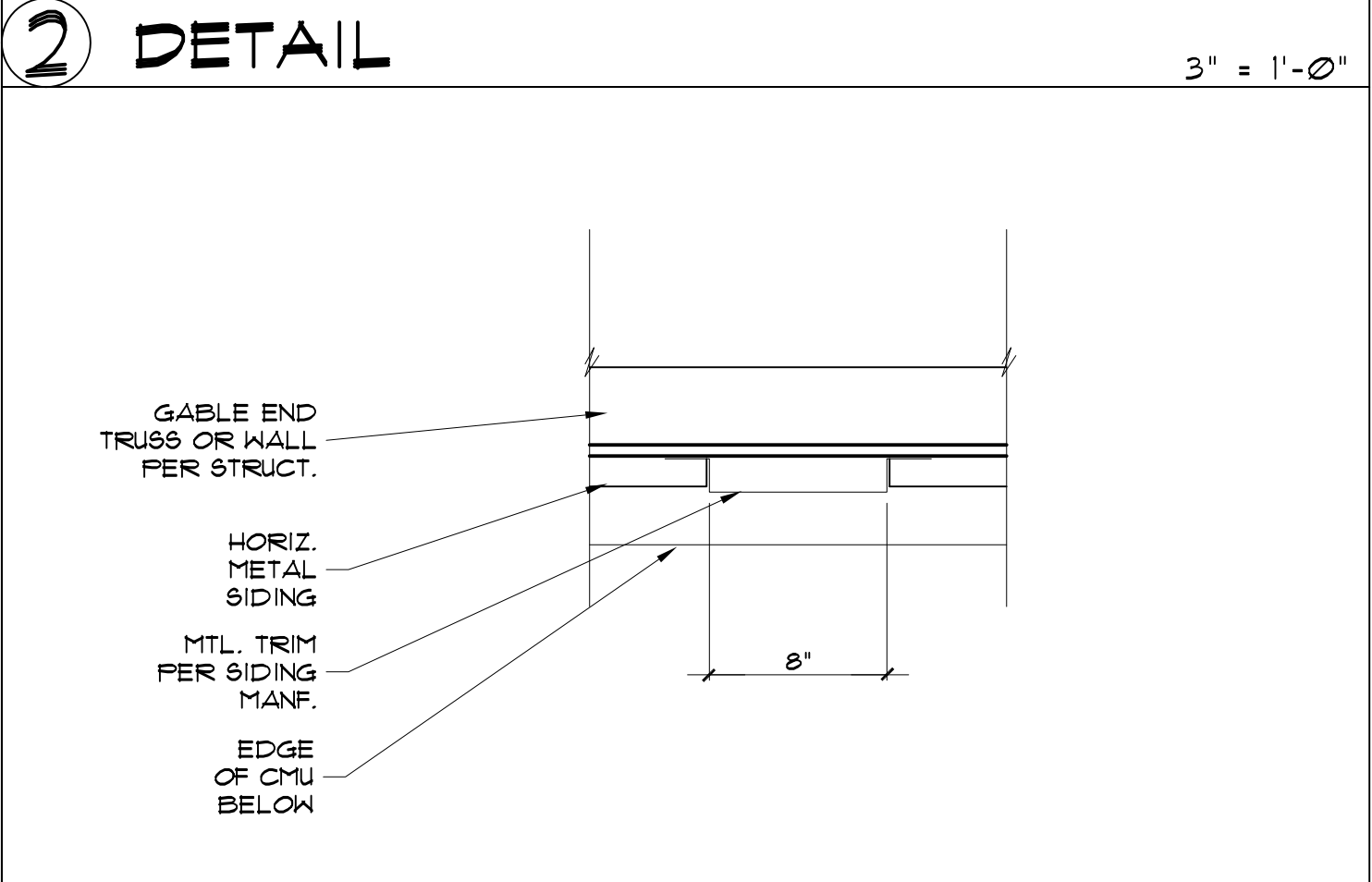
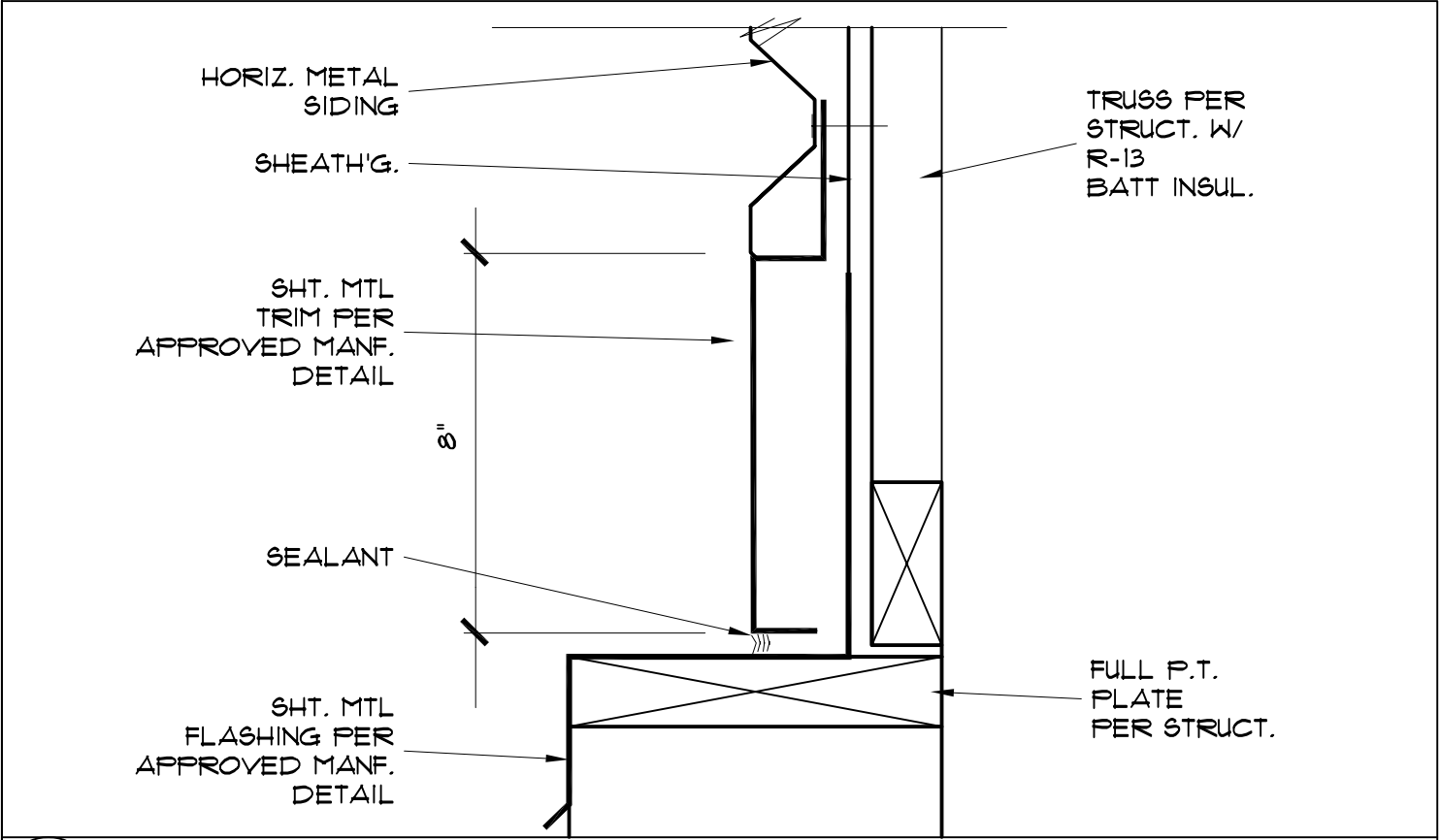
SCALE 1/4" = 1'-0"



**1 COILING O.H.D. / COUNTER** 3/4" = 1'-0"



**A BUILDING SECTION** SCALE 1/4" = 1'-0"



**5 DETAIL** 1 1/2" = 1'-0"



**DESIGN CONCEPTS**

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**LOVELAND SPORTS PARK  
PHASE TWO**  
950 North Boyd Lake Ave.  
Loveland, CO 80537

PERMIT # 204



Project No.: 21739.00

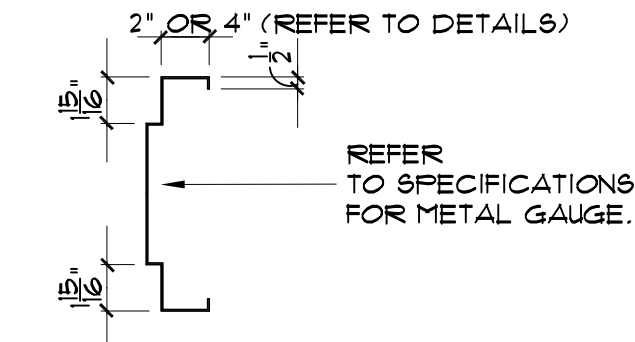
Issued For: 95% CDs  
SDP SUBMITTAL  
60% BLDG. PERMIT  
SDP SUBMITTAL #2  
BID SET  
Date: 01.12.18  
02.01.18  
03.01.18  
03.13.18  
04.05.18

Drafted By: KML  
Checked By: BAM

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SECTION/EXTERIOR  
DETAILS MIXED USE  
#2 BLDG.

**A9.4.3**



TYP. HOLLOW METAL FRAME  
1 1/2"=1'-0"

| DOOR SCHEDULE |       |      |      |       |        |        |        |      |            |          |       |     |         |
|---------------|-------|------|------|-------|--------|--------|--------|------|------------|----------|-------|-----|---------|
|               | DOORS |      |      |       |        |        | FRAMES |      |            |          | HDLR. | SET | REMARKS |
| DOOR          | TYPE  | MAT. | FIN. | SIZE  |        |        | MAT.   | FIN. | DETAILS    |          |       |     |         |
|               |       |      |      | WIDTH | HEIGHT | THICK. |        |      | JAMB       | HEAD     | SILL  |     |         |
| 013           | D     | WD   | FFS  | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 3/4" A14.1 | 4" A14.1 | ---   | 5   |         |
| 014           | D     | WD   | FFS  | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 3/4" A14.1 | 4" A14.1 | ---   | 5   |         |
| 015           | C     | ST   | PT   | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 2" A14.1   | 1" A14.1 | ---   | 5   |         |
|               |       |      |      |       |        |        |        |      |            |          |       |     |         |

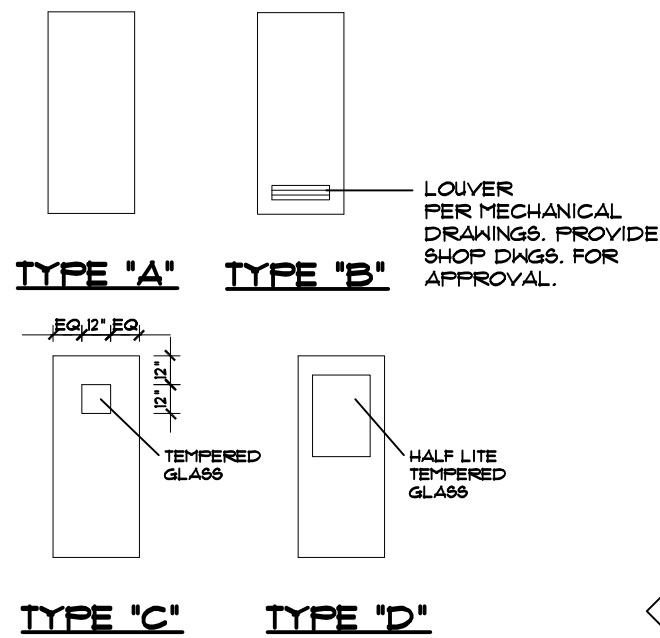
DOOR SCHEDULE LEGEND

|     |                        |
|-----|------------------------|
| HM  | HOLLOW METAL           |
| PT  | PAINT                  |
| ST  | STEEL                  |
| WD  | WOOD                   |
| FFS | FACTORY FINISHED STAIN |

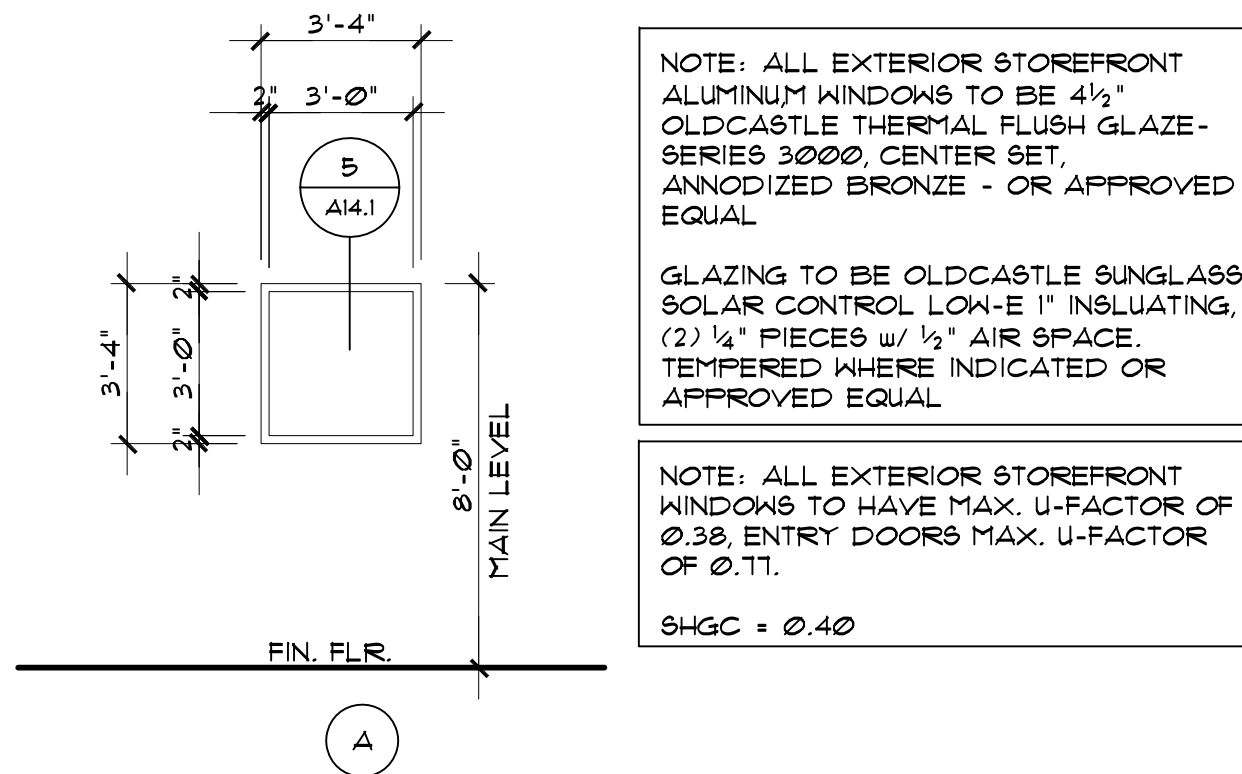
DOOR NOTES

- REFER TO HARDWARE SPECIFICATIONS FOR ADDITIONAL NFORMATION AND HARDWARE SCHEDULE.
- ALL FRAMES SHALL BE GROUTED SOLID.
- ALL DOORS SHALL BE FLUSH, SOLID CORE STEEL OR WOOD.
- ALL DOORS & FRAMES ARE NON-FIRE RATED.
- JAMB DETAILS REF. FRAMES. REFER TO PLANS FOR WALL CONFIGURATIONS AT JAMBS.
- ALL HANDLES TO BE ADA LEVER STYLE

DOOR TYPES



WINDOW TYPES

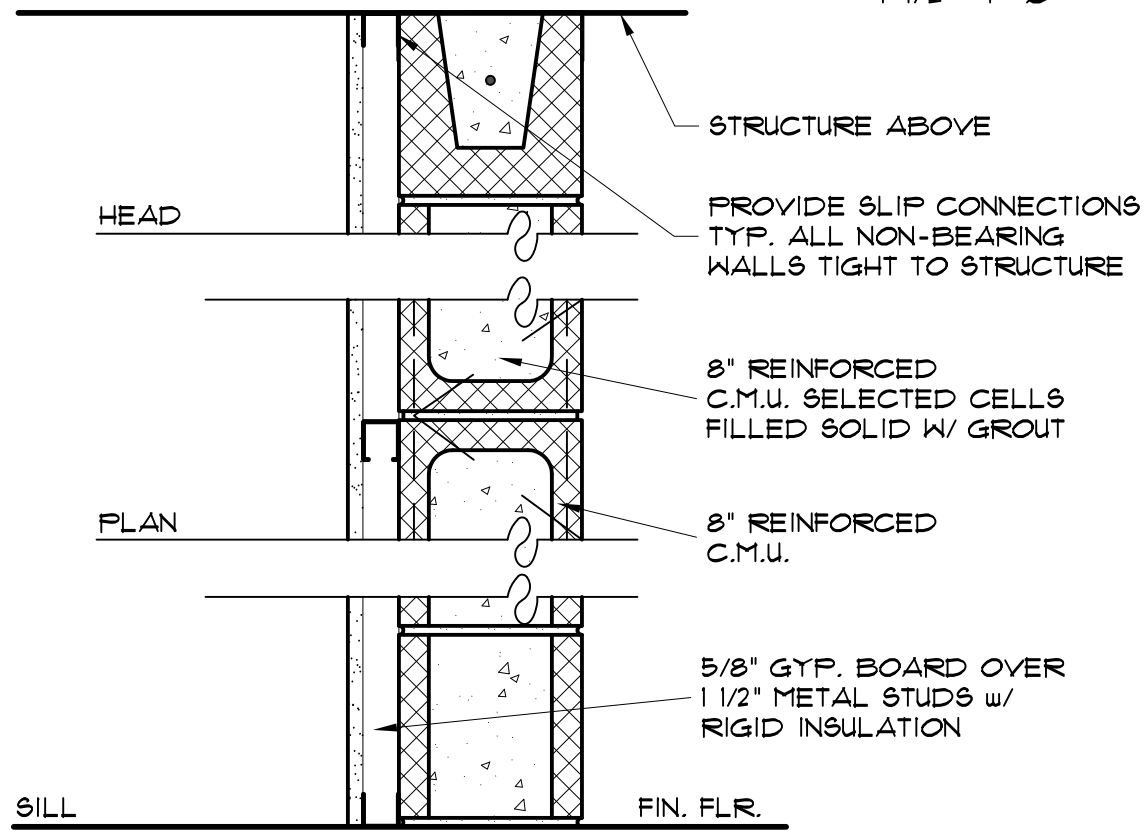


| FINISH SCHEDULE |            |          |   |  |        |      |         |         |         |                                       |
|-----------------|------------|----------|---|--|--------|------|---------|---------|---------|---------------------------------------|
| ROOM NO.        | ROOM NAME  | FLOOR    |   |  | BASE   | WALL |         |         | CEILING | REMARKS                               |
|                 |            | CONCRETE |   |  |        |      | DRYWALL |         |         |                                       |
|                 |            | SEAL     |   |  | RUBBER | CMU  | PAINT   | DRYWALL | PAINT   |                                       |
| 013             | OFFICE     | ●        | ● |  | ●      |      | ●       | ●       | ●       | PROVIDE ALT. PRICE FOR CARPET SQUARES |
| 014             | OFFICE     | ●        | ● |  | ●      |      | ●       | ●       | ●       | PROVIDE ALT. PRICE FOR CARPET SQUARES |
| 015             | BREAK ROOM | ●        | ● |  | ●      | ●    | ●       | ●       | ●       | NEW PAINT ON EXISTING CMU WALLS       |
|                 |            |          |   |  |        |      |         |         |         |                                       |
|                 |            |          |   |  |        |      |         |         |         |                                       |

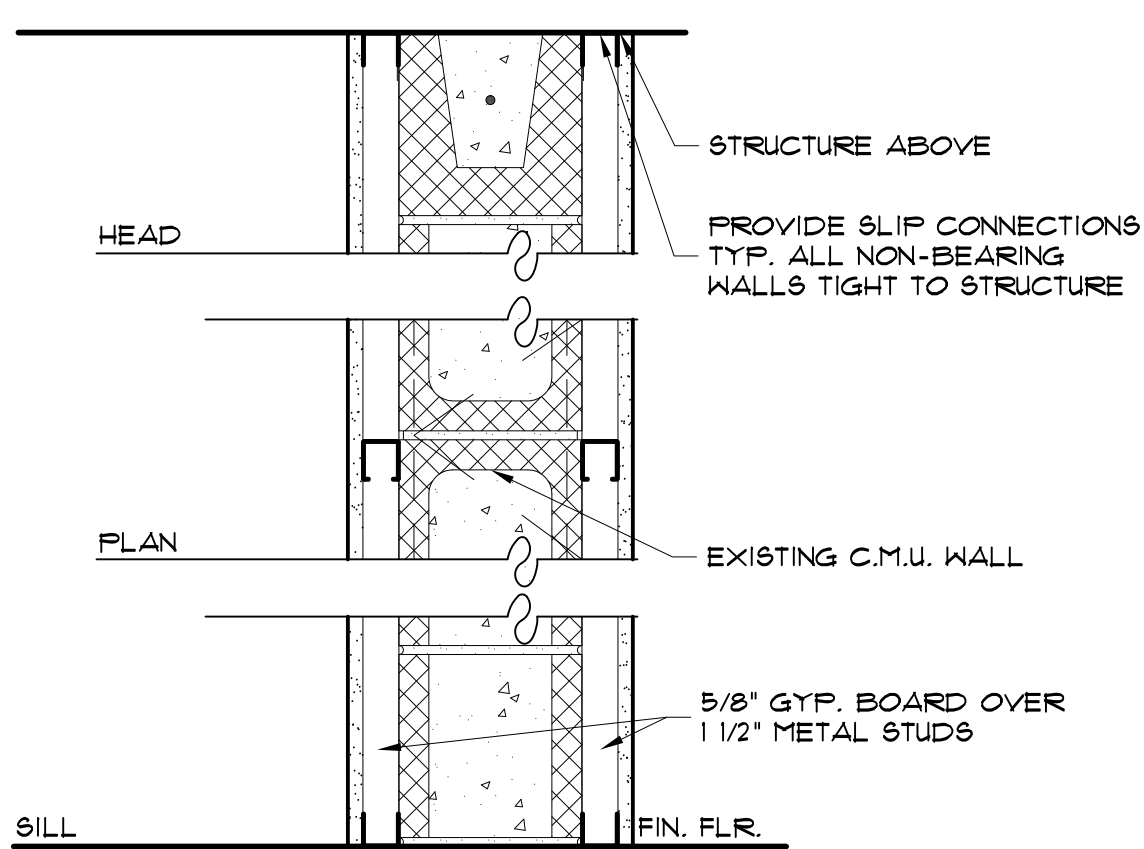
GENERAL FINISH NOTES

- REFER TO SPECIFICATIONS FOR SPECIFIC DRYWALL TYPES & LOCATIONS.
- REFER TO SLAB CONTROL JOINT PLANS FOR EXTERIOR SLABS & STRUCTURAL DRAWINGS FOR INTERIOR SLABS.

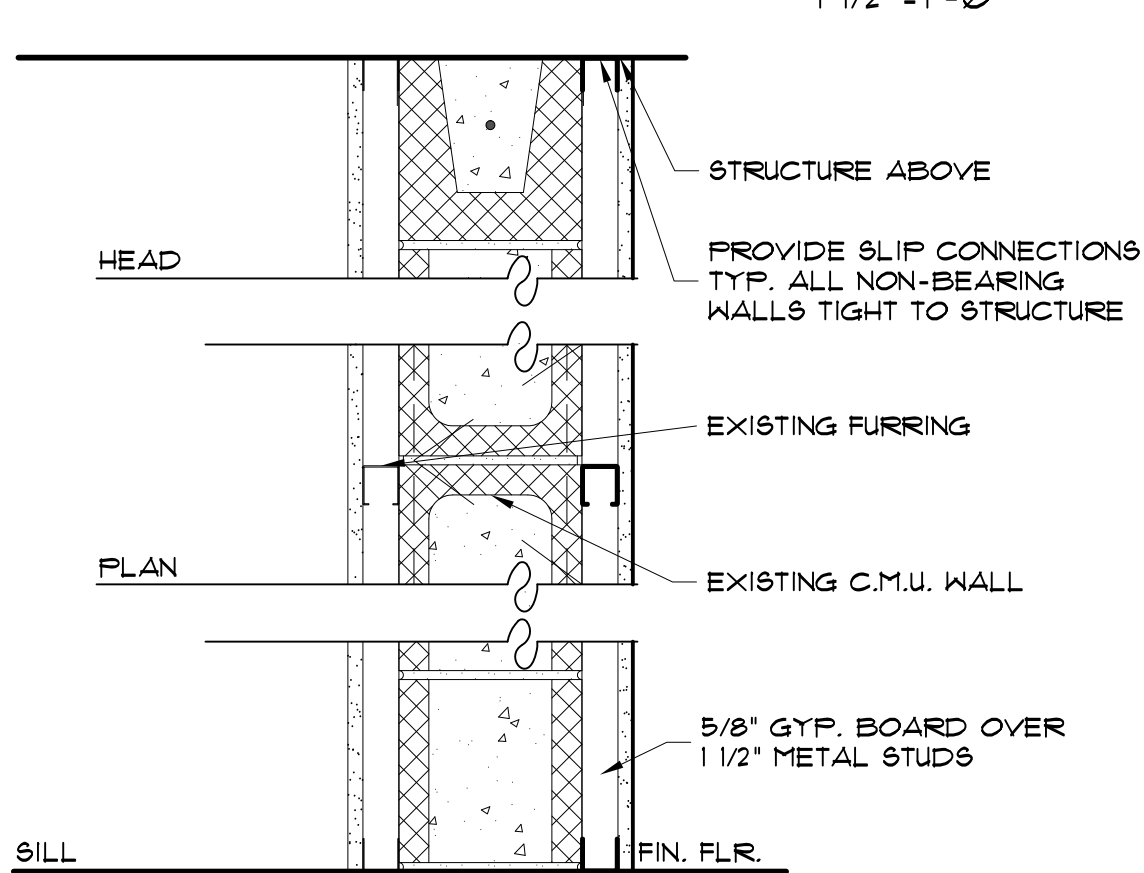
A 3 5/8" METAL PARTITION  
1 1/2"=1'-0"



B 8" CMU / 1 1/2" MTL. STUD  
1 1/2"=1'-0"

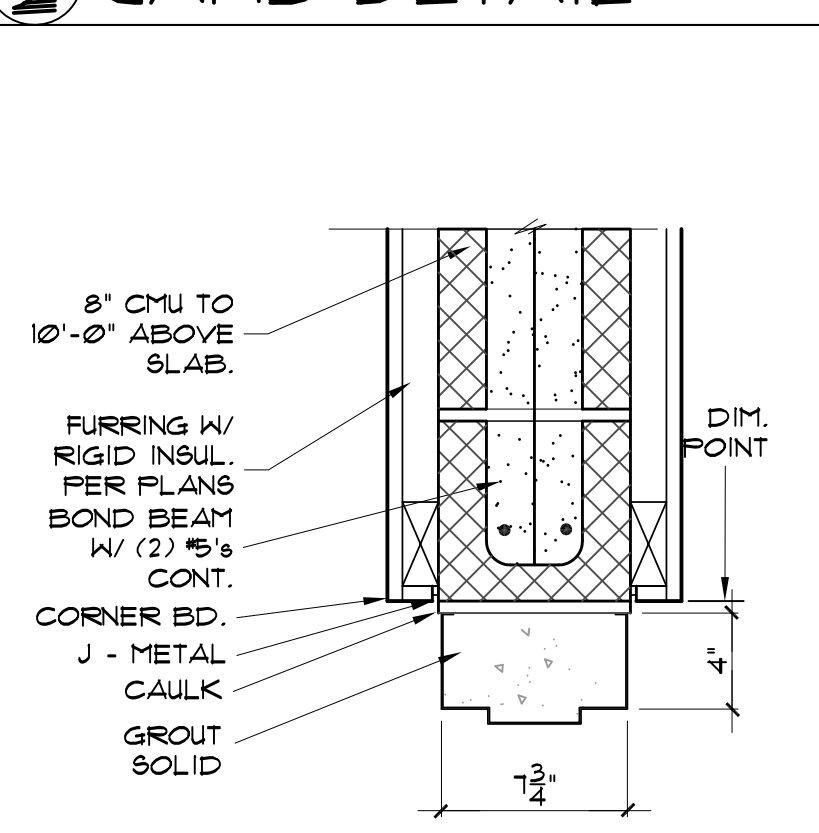


C ADDED FURRING @ (E) CMU  
1 1/2"=1'-0"

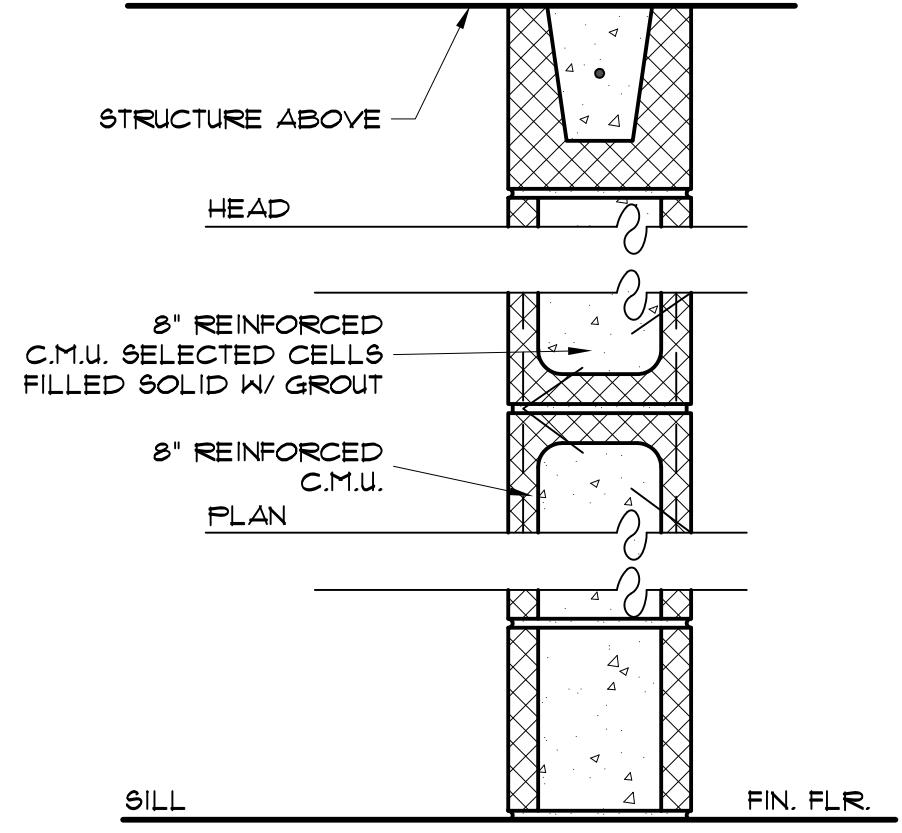
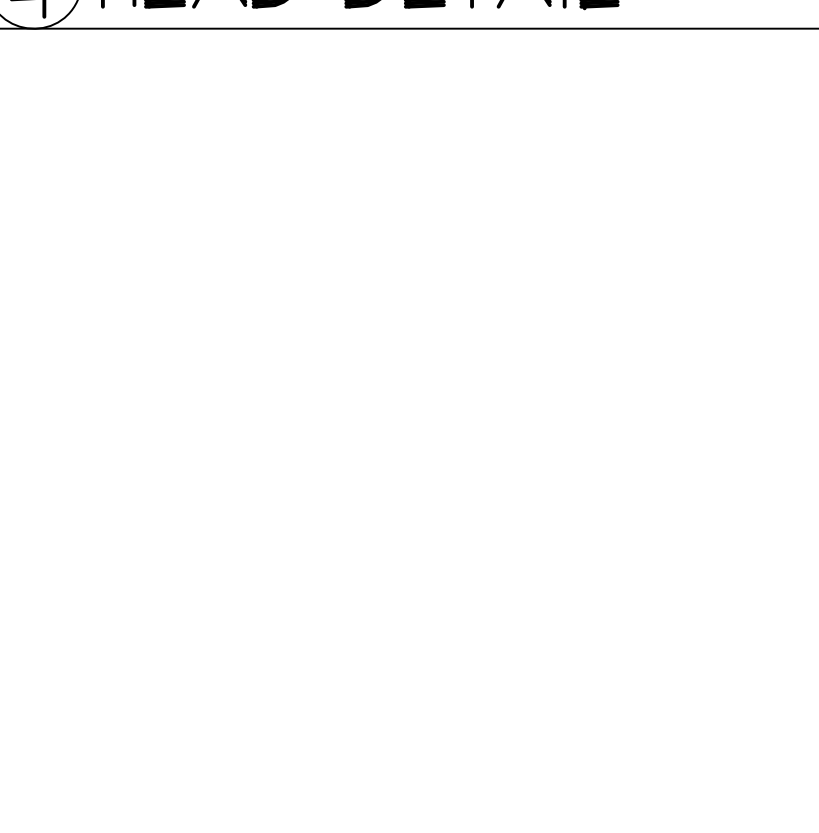


D ADDED FURRING @ (E) CMU  
1 1/2"=1'-0"

2 JAMB DETAIL  
1 1/2"=1'-0"

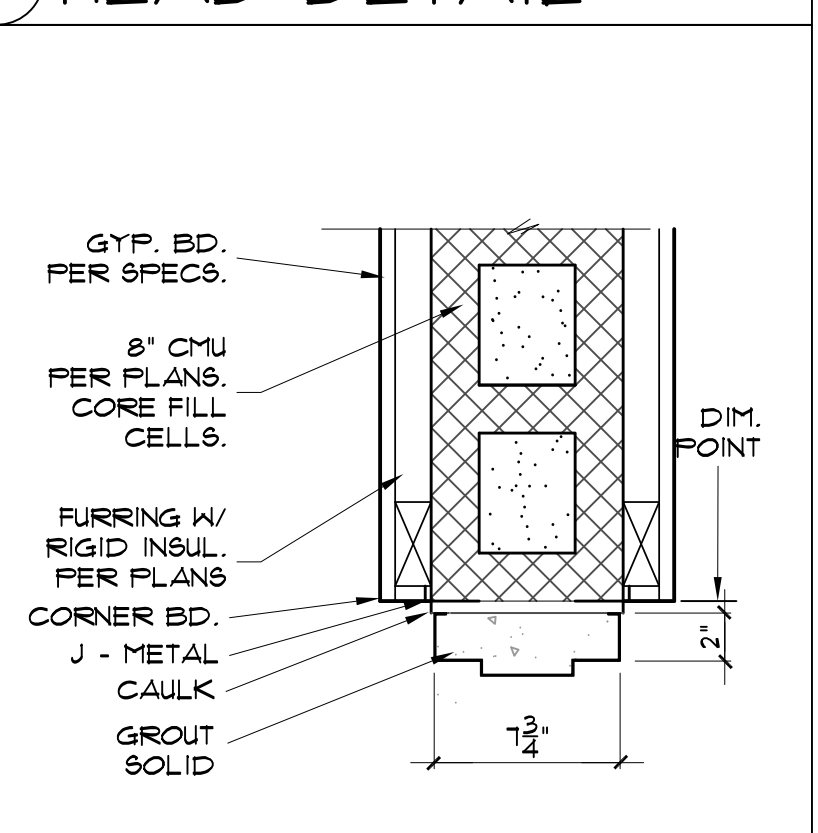


4 HEAD DETAIL  
1 1/2"=1'-0"

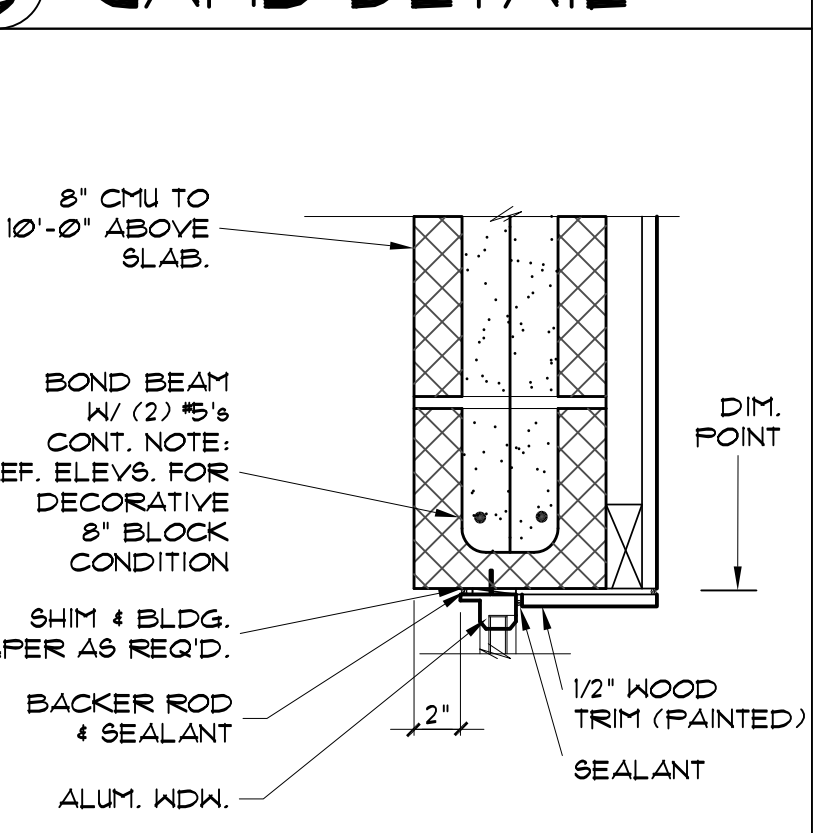


E 8" CMU  
1 1/2"=1'-0"

1 HEAD DETAIL  
1 1/2"=1'-0"

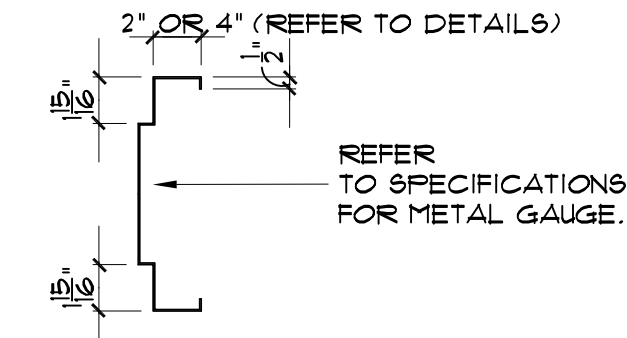


3 JAMB DETAIL  
1 1/2"=1'-0"



5 HEAD DETAIL  
1 1/2"=1'-0"





TYP. HOLLOW METAL FRAME  
1 1/2"=1'-0"

| DOOR SCHEDULE |       |      |      |       |        |        |        |      |         |         |         |       |                                                                                           |  |
|---------------|-------|------|------|-------|--------|--------|--------|------|---------|---------|---------|-------|-------------------------------------------------------------------------------------------|--|
|               | DOORS |      |      |       |        |        | FRAMES |      |         |         |         |       |                                                                                           |  |
| DOOR          | TYPE  | MAT. | FIN. | SIZE  |        |        | MAT.   | FIN. | DETAILS |         |         | HDWR. | REMARKS                                                                                   |  |
|               |       |      |      | WIDTH | HEIGHT | THICK. |        |      | JAMB    | HEAD    | SILL    |       |                                                                                           |  |
| 01            | E     | ST   | PT   | 6'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 2/A14.2 | 1/A14.2 | 7/A14.2 | 1     | INCLUDE SLIDE FLUSH BOLTS FOR INACTIVE LEAF                                               |  |
| 02            | A     | ST   | PT   | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 2/A14.2 | 1/A14.2 | 7/A14.2 | 2     | PROVIDE R.R. IDENTIFICATION SIGN ON DOOR.<br>PROVIDE LOUVER PER MECH., INCLUDE KICK PLATE |  |
| 03            | A     | ST   | PT   | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 2/A14.2 | 1/A14.2 | 7/A14.2 | 2     | PROVIDE R.R. IDENTIFICATION SIGN ON DOOR.<br>PROVIDE LOUVER PER MECH., INCLUDE KICK PLATE |  |
| 04            | A     | ST   | PT   | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 3/A14.2 | 1/A14.2 | 7/A14.2 | 3     |                                                                                           |  |
| 06            |       |      | PT   | 8'-0" | 8'-0"  |        | ST     | PT   | 5/A14.2 | 6/A14.2 | —       | 6     | ROLLING SERVICE DOOR W/ ELECTRICAL OPERATOR                                               |  |

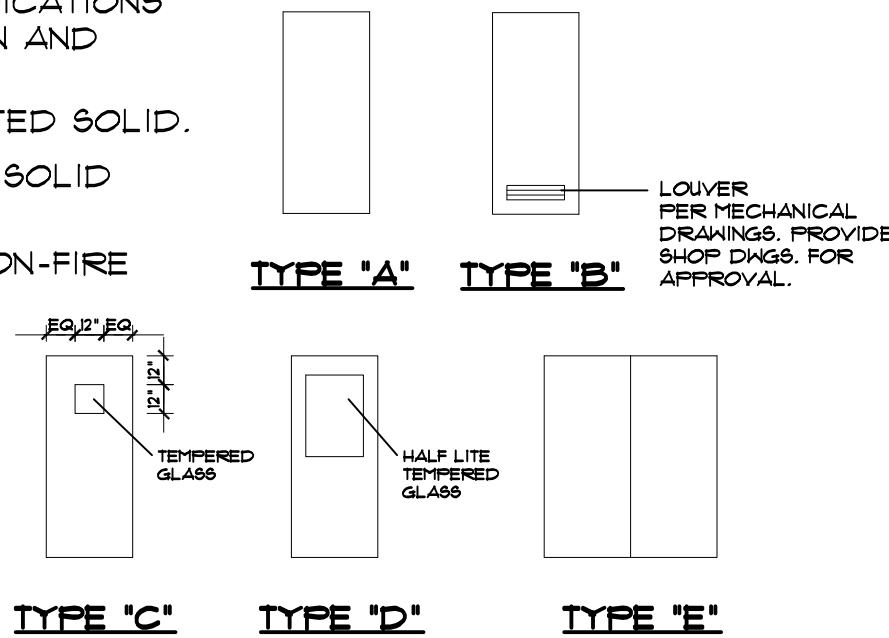
DOOR SCHEDULE LEGEND

- HM HOLLOW METAL  
PT PAINT  
ST STEEL  
WD WOOD  
FFS FACTORY FINISHED STAIN

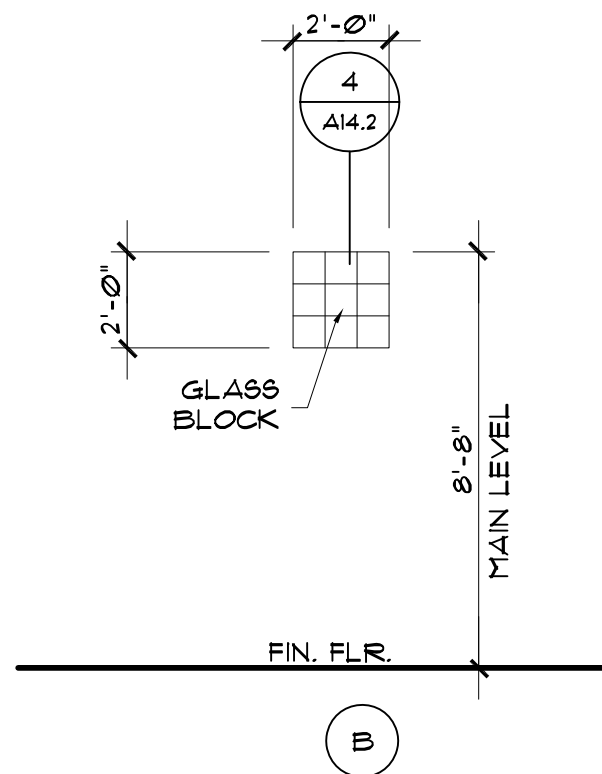
DOOR NOTES

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DOOR TYPES



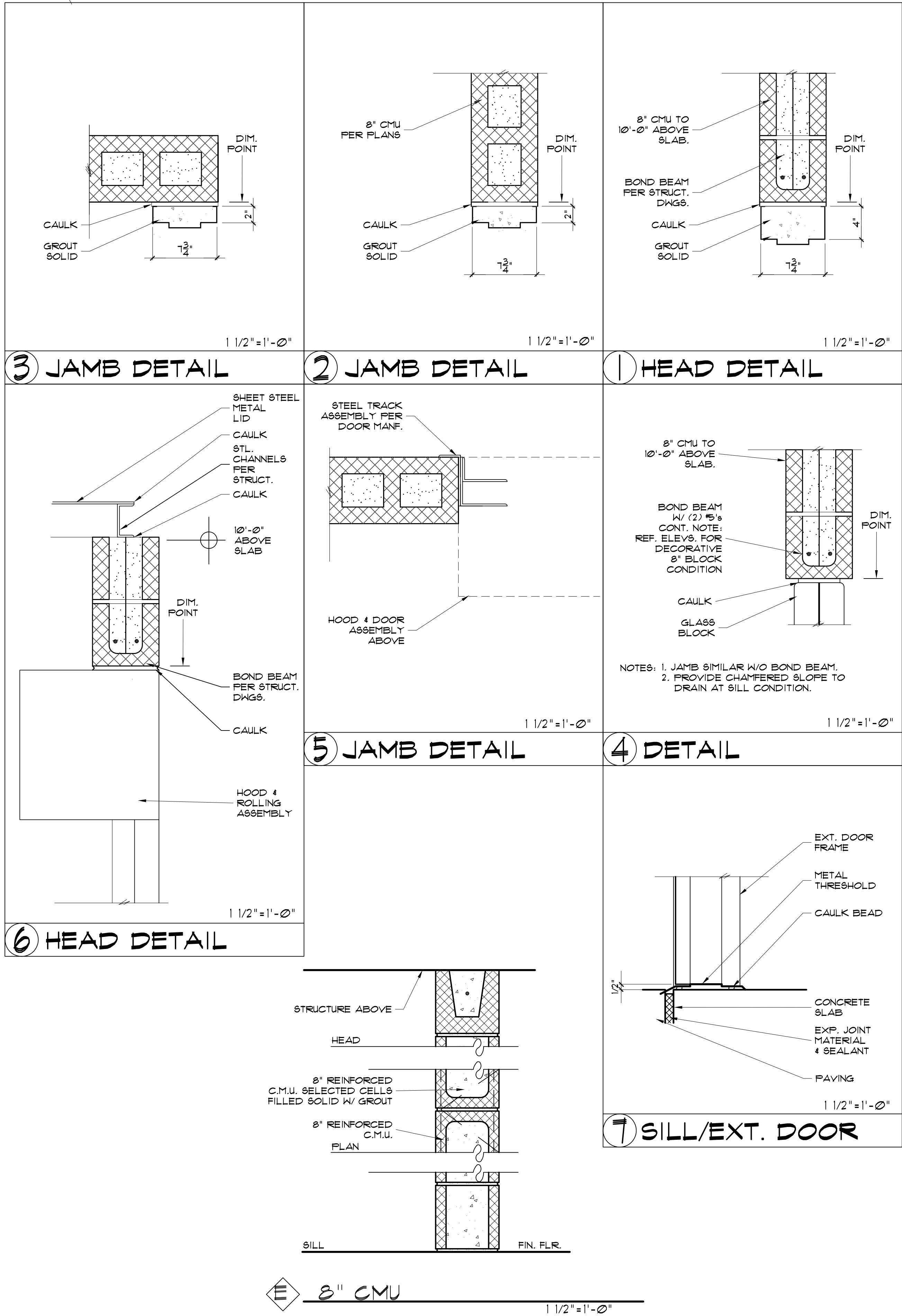
WINDOW TYPES



| FINISH SCHEDULE |                  |          |      |      |         |         |       |         |       |                                                               |  |  |  |
|-----------------|------------------|----------|------|------|---------|---------|-------|---------|-------|---------------------------------------------------------------|--|--|--|
| ROOM NO.        | ROOM NAME        | FLOOR    | BASE | WALL | CEILING | REMARKS |       |         |       |                                                               |  |  |  |
|                 |                  | CONCRETE | SEAL | NONE | CMU     | DRYWALL | PAINT | DRYWALL | PAINT |                                                               |  |  |  |
| 01              | YOUTH ATH. STOR. | ●        | ●    | ●    | ●       | ●       | ●     | ●       | ●     |                                                               |  |  |  |
| 02              | WOMEN            | ●        | ●    | ●    | ●       | ●       | ●     | ●       | ●     |                                                               |  |  |  |
| 02A             | VESTIBULE        |          |      |      |         |         |       |         |       | EXTERIOR SPACE                                                |  |  |  |
| 03              | MEN              | ●        | ●    | ●    | ●       | ●       | ●     | ●       | ●     |                                                               |  |  |  |
| 03A             | VESTIBULE        |          |      |      |         |         |       |         |       | EXTERIOR SPACE                                                |  |  |  |
| 04              | PLUMBING CHASE   | ●        | ●    | ●    | ●       | ●       | ●     |         |       |                                                               |  |  |  |
| 05              | CORRIDOR         | ●        |      |      |         |         |       |         |       | EXTERIOR SPACE                                                |  |  |  |
| 06              | STORAGE          | ●        |      |      |         |         |       |         |       | EXTERIOR SPACE. PROVIDE SHEET METAL LID PER DETAIL 6/A14.5.1. |  |  |  |
| 07              | PICNIC SHELTER   | ●        |      |      |         |         |       |         |       | EXTERIOR SPACE                                                |  |  |  |

GENERAL FINISH NOTES

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- REFER TO SLAB CONTROL JOINT PLANS FOR EXTERIOR SLABS & STRUCTURAL DRAWINGS FOR INTERIOR SLABS.



DESIGN CONCEPTS

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Project No.: 21739.00

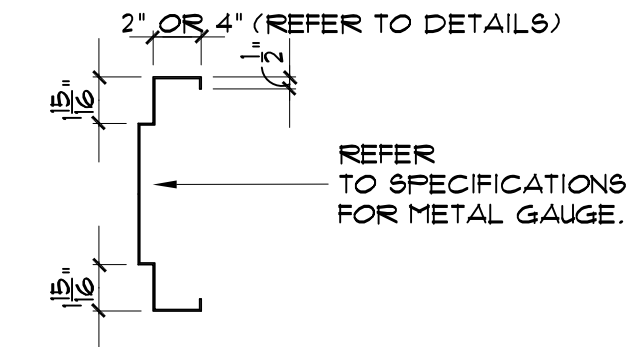
Issued For: 95% CDs  
SDP SUBMITTAL 60% BLDG. PERMIT  
SDP SUBMITTAL #2 BID SET  
Date: 01.12.18  
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03.01.18  
03.13.18  
04.05.18

Drafted By: KML  
Checked By: BAM

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SCHEDULES/DETAILS  
MIXED USE #3  
BLDG.

A14.2



TYP. HOLLOW METAL FRAME  
1 1/2"=1'-0"

| DOOR SCHEDULE |      |       |      |       |        |        |        |      |                         |              |              |      |                                         |         |
|---------------|------|-------|------|-------|--------|--------|--------|------|-------------------------|--------------|--------------|------|-----------------------------------------|---------|
|               |      | DOORS |      |       |        |        | FRAMES |      |                         |              |              |      |                                         | REMARKS |
| DOOR          | TYPE | MAT.  | FIN. | SIZE  |        |        | MAT.   | FIN. | DETAILS                 |              |              | HWR. | SET                                     |         |
|               |      |       |      | WIDTH | HEIGHT | THICK. |        |      | JAMB                    | HEAD         | SILL         |      |                                         |         |
|               |      |       |      |       |        |        |        |      |                         |              |              |      |                                         |         |
| 07A           | B    | ST    | PT   | 3'-0" | 7'-0"  | 1 3/4" | ST     | PT   | 3/4<br>A14.4            | 4/4<br>A14.4 | 7/4<br>A14.4 | 5    |                                         |         |
| 07B           |      |       | PT   | 4'-8" | 4'-6"  |        | ST     | PT   | SEE DETAIL<br>1/ A9.4.3 |              |              | 6    | ROLLING SERVICE DOOR W/ MANUAL OPERATOR |         |
|               |      |       |      |       |        |        |        |      |                         |              |              |      |                                         |         |
|               |      |       |      |       |        |        |        |      |                         |              |              |      |                                         |         |

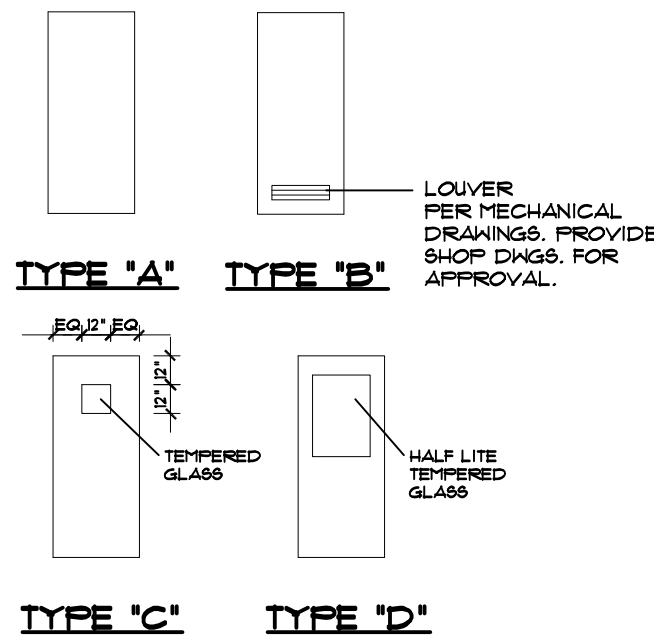
DOOR SCHEDULE LEGEND

|     |                        |
|-----|------------------------|
| HM  | HOLLOW METAL           |
| PT  | PAINT                  |
| ST  | STEEL                  |
| WD  | WOOD                   |
| FFS | FACTORY FINISHED STAIN |

DOOR NOTES

- REFER TO HARDWARE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND HARDWARE SCHEDULE.
- ALL FRAMES SHALL BE GROUTED SOLID.
- ALL DOORS SHALL BE FLUSH, SOLID CORE STEEL OR WOOD.
- ALL DOORS & FRAMES ARE NON-FIRE RATED.
- JAMB DETAILS REF. FRAMES. REFER TO PLANS FOR WALL CONFIGURATIONS AT JAMBS.
- ALL HANDLES TO BE ADA LEVER STYLE

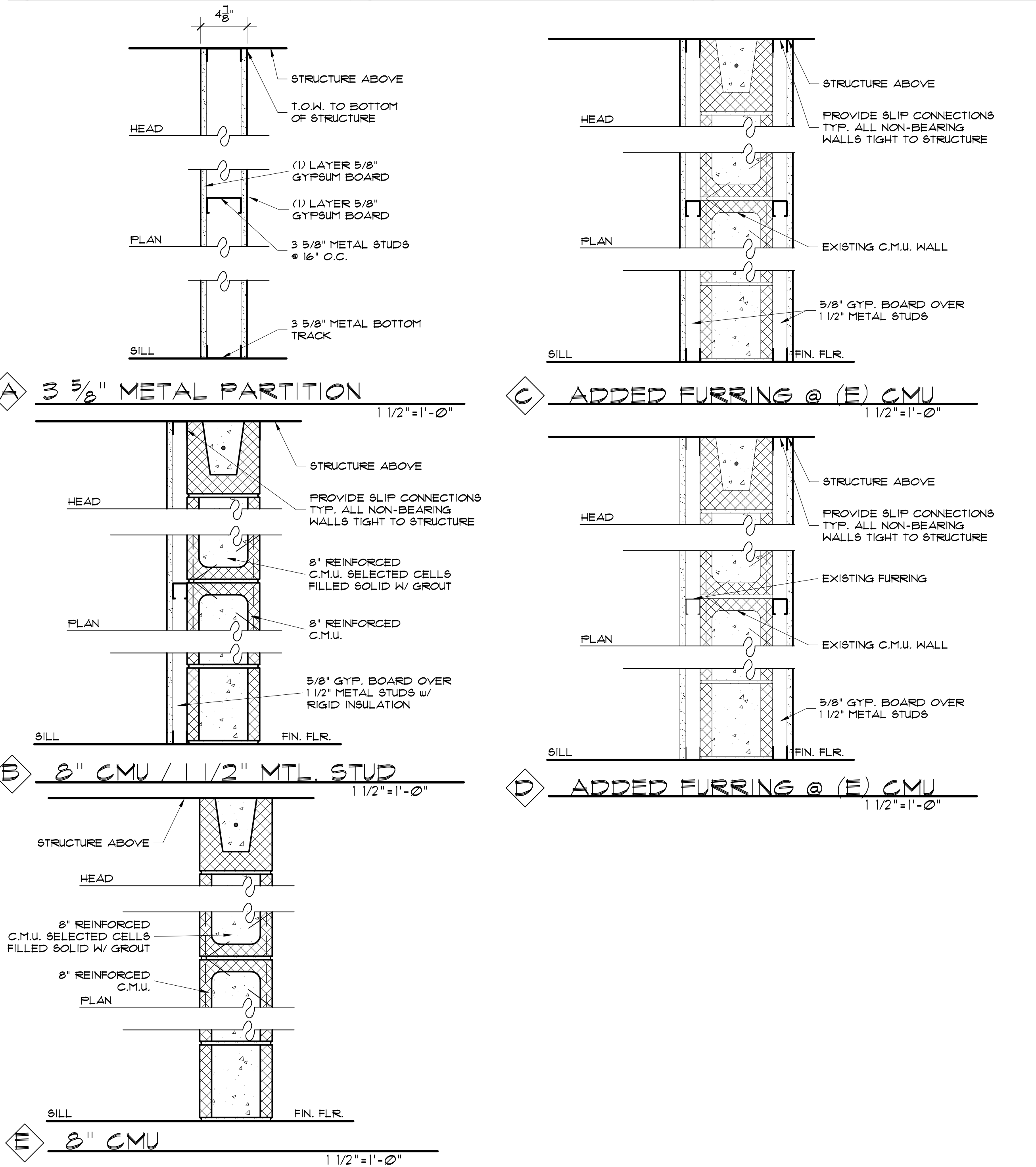
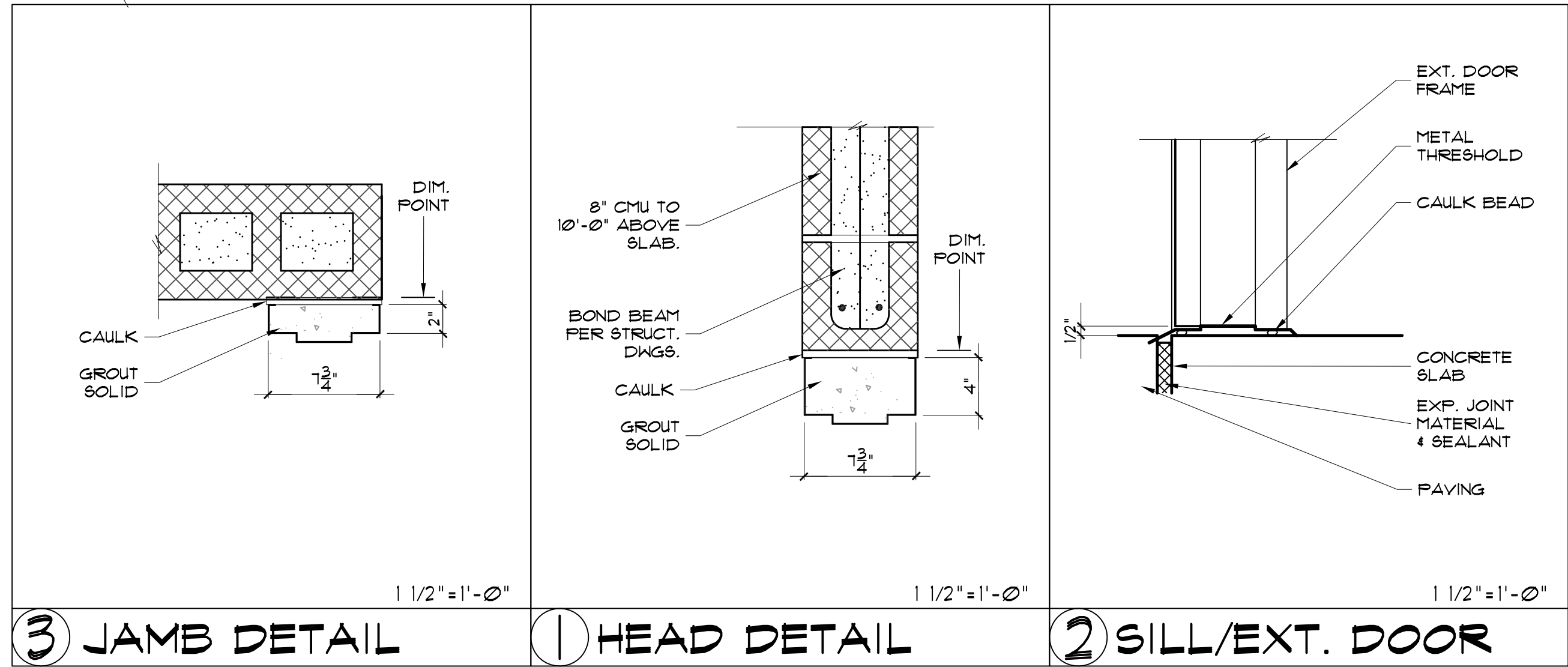
DOOR TYPES



| FINISH SCHEDULE |             |          |      |      |         |         |         |       |                                          |
|-----------------|-------------|----------|------|------|---------|---------|---------|-------|------------------------------------------|
| ROOM NO.        | ROOM NAME   | FLOOR    | BASE | WALL | CEILING | REMARKS |         |       |                                          |
|                 |             | CONCRETE | SEAL | NONE | RUBBER  | CMU     | DRYWALL | PAINT | DRYWALL                                  |
|                 |             |          |      |      |         |         |         |       | PAINT                                    |
| 07              | CONCESSIONS | ●        | ●    |      | ●       | ●       | ●       | ●     | FRP FULL HGT. ALL WALLS PER HEALTH DEPT. |
|                 |             |          |      |      |         |         |         |       |                                          |
|                 |             |          |      |      |         |         |         |       |                                          |
|                 |             |          |      |      |         |         |         |       |                                          |

GENERAL FINISH NOTES

- REFER TO SPECIFICATIONS FOR SPECIFIC DRYWALL TYPES & LOCATIONS.
- REFER TO SLAB CONTROL JOINT PLANS FOR EXTERIOR SLABS & STRUCTURAL DRAWINGS FOR INTERIOR SLABS.



DESIGN CONCEPTS

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LOVELAND SPORTS PARK  
PHASE TWO

950 North Boyd Lake Ave.  
Loveland, CO 80537



Project No.: 21739.00

|                  |          |
|------------------|----------|
| Issued For:      | Date:    |
| 95% CDs          | 01.12.18 |
| SDP SUBMITTAL    | 02.01.18 |
| 60% BLDG. PERMIT | 03.01.18 |
| SDP SUBMITTAL #2 | 03.13.18 |
| BID SET          | 04.05.18 |

Drafted By: KML  
Checked By: BAM

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SCHEDULES/DETAILS  
MIXED USE #2  
BLDG.

A14.4