



LOVELAND PLANNING COMMISSION MEETING AGENDA

**Monday, February 26, 2018
500 E. 3rd Street – Council Chambers
Loveland, CO 80537
6:30 PM**

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LOVELAND PLANNING COMMISSIONERS: Carol Dowding (Chair), Pat McFall (Vice Chair), Rob Molloy, Jamie Baker Roskie, Jeff Fleischer, Tim Hitchcock, Michael Bears and David Hammond.

CALL TO ORDER

I. PLEDGE OF ALLEGIANCE

II. REPORTS:

a. Citizen Reports

This is time for citizens to address the Commission on matters not on the published agenda.

b. Current Planning Updates

1. Monday, March 12, 2018 Agenda Preview

i. Foundry Amenity Package – SDP

ii. Foundry Parking Garage

2. Hot Topics

i. Boards and Commission Event on Thursday, March 8th at 5:30 pm

ii. Planning Commission Recruitment--deadline is March 13th at 4:00 pm

c. City Attorney's Office Updates

d. Committee Reports

e. **Commission Comments**

III. APPROVAL OF MINUTES

Review and approval of the February 12, 2018 Meeting minutes

IV. CONSENT AGENDA

The consent agenda includes items for which no discussion is anticipated. However, any Commissioner, staff member or citizen may request removal of an item from the consent agenda for discussion. Items requested to be removed from the consent agenda will be heard at the beginning of the regular agenda.

Public hearings remaining on the Consent Agenda are considered to have been opened and closed, with the information furnished in connection with these items considered as the only evidence presented. Adoption of the items remaining on the Consent Agenda is considered as adoption by the Planning Commission and acceptance by the Applicant of the staff recommendation for those items.

- Does anyone in the audience wish to remove an item from the Consent Agenda?
- Does any staff member wish to remove an item from the Consent Agenda?
- Does any Commissioner wish to add any item from the Regular Agenda to the Consent Agenda or remove an item from the Consent Agenda?

Items assigned to or moved to the Consent Agenda begin as item #1. All remaining agenda items, consent or otherwise, are numbered successively.

V. REGULAR AGENDA

1. Amendments to Create Loveland (the Comprehensive Plan) – Public Hearing

Public Hearing for the purpose of considering amendments to the City's comprehensive land use plan, Create Loveland. These amendments, which constitute the Annual Update, address two topics: 1) the recently expanded Growth Management Area boundaries in the Southeast portion of the community; and 2) Land Use Plan amendments relating to recent zone changes and the use designation change associated with the High Plains School. The Commission's role is to review these amendments and forward a recommendation to the City Council for adoption.

2. Foundry Theatre – Site Development Plan – Public Hearing

Public Hearing for consideration of the Theatre project which is the third phase of The Foundry in downtown Loveland. Review of the Theatre project involves the review of a Site Development Plan consisting of a 26,000 square foot building and the immediately surrounding area. The Theatre is proposed to include seven screens along with a large, open entry for ticketing, concessions, and dining. As a proposed building over 25,000 square feet of floor area in the downtown core, a public hearing by the Planning Commission is required. The Commission's role is to determine if the Theatre project meets four findings specified in Section 18.24.050.B of the Downtown BE Zoning District. The applicable findings relate to design standards specified in the BE District; consistency with City policy relating to downtown, including the Heart Improvement Project; compatibility with surrounding properties; and, the availability of infrastructure adequate to serve the project. This is a quasi-judicial matter and the Commission's decision is final barring appeal to the City Council.

3. 2017 Accomplishments and 2018 Goals

This is an administrative matter that the Commission completes each year in effort to look back at the previous year for guidance in setting priorities for the new year. The itemized list of accomplishments and goals is also used by the Commission in preparation for the annual Boards and Commissions' appreciation event held in March. This year, the event is on Thursday evening, March 8th at the Police and Courts Building beginning at 5:30. All commissioners are invited. In the Commission packet, the Memo listing 2016 Goals and 2017 Accomplishments is provided for review; a draft listing of 2017 Accomplishment and 2018 Goals has been provided by staff.

4. Concept Review Survey

This is an administrative matter: In early February of 2018, the Current Planning Division sent out emails to approximately 200 customers who had participated in a Concept Review meeting in 2016 or 2017. Each customer was asked to complete a satisfaction survey through Survey Monkey on their Concept Review experience. To date, 57 completed surveys have been returned. Planning staff will discuss the preliminary results of the survey.

VI. ADJOURNMENT



Planning Commission Staff Report

February 26, 2018

Agenda #: Regular Agenda - #1
Title: Annual Update to Create Loveland
Applicant: Community & Strategic Planning
Request: Loveland GMA Amendments and Land Use Plan Update
Location: City of Loveland
Existing Zoning: N/A
Proposed Use: N/A
Staff Planner: Jennifer Hewett-Apperson

Staff Recommendation

Subject to additional evidence presented at the public hearing, City staff recommends the following motion:

Recommended Motions:

1. *Move to recommend that the City Council approve the update and amendments to the City of Loveland 2016 comprehensive master plan known as Create Loveland as specified in this staff report dated February 26, 2018.*

Summary of Analysis

The Annual Update to Create Loveland identifies major plan amendments adopted over the past year, upcoming amendments for future consideration, new or revised City Council budgeting or strategic planning priorities, and a summary of the year's development review activities. Create Loveland is a living document and the Annual Update is a key strategy for keeping the Plan up to date. Being up to date means that the Plan is in line with current realities and that the Policies are relevant to the current conditions. The Annual Update serves to keep the Plan in peoples' consciousness and therefore more likely to be implemented. It supports the integration of the Plan into the day-to-day work of the City and provides an opportunity to demonstrate to the Planning Commission and City Council how the Plan is being implemented. To date, there have been no policy changes, two rezoning ordinances, one administrative graphic update, and one Growth Management Area change reflected in the Update. There have been no key issues identified with this City staff support the updates. The role of the Planning Commission is to review the Update and make a recommendation to the City Council for adoption.

I. SUMMARY

The Annual Update looks for needs and opportunities to amend or update and change the Policies, Supporting Strategies, Land Use Plan (including the Future Land Use Map), Initiatives, and Indicators. These opportunities or needs could be identified by staff, prompted by development projects, or brought forward by members of the public. The Annual Update consists of a package of proposed amendments to Create Loveland. These amendments are specified in Attachment 1 and in Attachment 2.

Each year staff provide an annual update based on community changes. This year, there are two primary categories being addressed:

1. **Loveland Growth Management Area Amendments** are additions to or deletions of properties from the Loveland Growth Management Area, Cooperative Planning Areas, and Community Influence Area.
 - a. The Intergovernmental agreement with Larimer County regarding the Loveland GMA was updated in August 2017 by City Council to ensure that the City will be able to grow in an orderly, efficient, and well-planned fashion. The overlay-zoning and IGA will grant Loveland the certainty that as owners choose to develop and change their current land uses that they will annex into the City. With this agreement, Loveland can plan for land uses and utilities with confidence and property owners can know that if they choose to develop, Loveland will provide the services to support that development. This agreement was recommended unanimously to extend the overlay-zoning district as proposed, with the exception of the removal of the Warberg Farms conservation development. As an approved conservation development, having the overlay-zoning district on it would not have affected the Warberg Farms conservation development, but since it is at the edge of the proposed expansion, removing it does not negatively affect what Loveland and Larimer County are trying to achieve. For the proposed changes, see Attachments 3 and 4.
2. **Land Use Plan Amendments** are changes to the land use designations and text contained within the Land Use Plan or revisions to the transportation system recommendations contained within the City of Loveland Transportation Plan. With this update, there are two categories of land use amendments.
 - a. An administrative graphical update was done to reflect the new High Plains School, which started its build in 2015, but was never updated in the original Create Loveland. This area was denoted as Parks and Open Space, but has now been updated to properly reflect the existing Land Use – Quasi Public.
 - b. Two rezoning ordinances were adopted by City Council during 2017, neither of which requires an update to the Comprehensive Plan Future Land Use Map (FLUM).
 - i. Ordinance #6130 established a Flexible Zoning Overlay for a project known as The Brands in a portion of Loveland designated for Industrial uses on the FLUM. The proposed uses are consistent with this FLUM designation.
 - ii. Ordinance #6168 rezoned Parcel 222 within the Millennium General Development Plan. A portion of this site zoned Industrial was rezoned to PUD and a portion zoned PUD was rezoned to Industrial. Both of these zoning districts are compatible with the site's FLUM designation as Employment.

II. ATTACHMENTS

1. Chapter 2: Policies and Supporting Strategies, Create Loveland

2. Chapter 3: Land Use Designations and Map, Create Loveland
3. Future Land Use Map Original
4. Future Land Use Map Updated

III. KEY ISSUES

There have been no key issues identified with this request; and, City staff support the updates.

IV. BACKGROUND

Loveland last completed a comprehensive plan in 2015. Since that time, there has been substantial new development in Loveland and the surrounding region. As the new Comprehensive Plan, Create Loveland is designed to preserve Loveland's high quality of life and economic vitality as it grows in this new environment. This update serves to keep Create Loveland up to date and ensure implementation.

VII. FINDINGS

The proposed changes to Create Loveland are consistent with its goals, objectives and policies.

CHAPTER 2: OUR FUTURE



In this comprehensive plan update, the City has the opportunity to re-evaluate its land use and built environment policies to ensure their alignment with the City's vision.

Each element begins with a description of the community's core values, trends, and an artist's rendering and/or opportunities map illustrating its nexus to the Future Land Use Map presented in Chapter 3. Each element then presents a series of policies and supporting strategies to achieve the Community Vision in ways that are consistent with Loveland's values. The plan policies throughout this chapter, combined with the Future Land Use Map and land use categories in Chapter 3, constitute the City's Land Use Plan.

HOW WERE THE ELEMENTS, PLAN POLICIES AND SUPPORTING STRATEGIES DEVELOPED? THROUGH:

More than 3,400 conversations during the 20 month planning process, including a statistically-valid survey

Advice from 21 City Citizen Boards and Commissions, coupled with a diverse Create Loveland Citizen Stakeholder Committee

City Council and Planning Commission guidance, including 9 study sessions and past adopted plans



Table 2-1. Element and Policy Reference Guide

CENTERS & CORRIDORS

Chapter Section	Plan Elements	Policies
	<p>“A Commitment to a Downtown Renaissance”</p>	<ol style="list-style-type: none"> 1. Support Downtown as the iconic cultural and civic heart of Loveland. 2. Create and maintain quality transportation options Downtown. 3. Offer a mix of uses and destinations that encourage residents and visitors to live, work, play, and learn in Downtown. 4. Ensure authenticity and quality in architecture and historic character. 5. Maintain and provide quality basic infrastructure which is fundamental to economic health.
	<p>“Revitalize our Corridors and Gateways”</p>	<ol style="list-style-type: none"> 1. Foster reinvestment in existing corridors and concentrate commercial activity at prominent intersections and within centers. 2. Transition existing land uses to be more transit supportive. 3. Plan and redevelop major corridors in a manner that promotes a positive and attractive image and that advances the economic prosperity of the City. 4. Maintain and enhance Loveland’s existing small-town feel, sense of community, and distinct identity.
	<p>“Cultivate Vibrant Economic Centers”</p>	<ol style="list-style-type: none"> 1. Encourage reinvestment in underutilized shopping centers. 2. Encourage high-quality neighborhood, community, and regional mixed use activity centers. 3. Create multiuse, high-quality employment districts. 4. Support the existing and local business community.



HEALTH, ENVIRONMENT, & MOBILITY

Chapter Section	Plan Elements	Policies
	<p>“Create a Safe and Healthy Built Environment”</p>	<ol style="list-style-type: none"> 1. Create convenient, safe and diverse physical activity opportunities for residents of all ages, abilities, and income levels. 2. Encourage the availability and affordability of healthy, fresh food throughout the City. 3. Attract and maintain accessible, first-class hospitals and medical facilities in Loveland. 4. Strive to provide year round parks and recreation opportunities that are universally accessible
	<p>“Celebrate our Natural Assets in an Urban Setting”</p>	<ol style="list-style-type: none"> 1. Protect sensitive natural areas and wildlife habitats from development impacts. 2. Strengthen community resiliency to flooding and natural disasters through development patterns, hazard identification and mitigation, and communication. 3. Maintain natural areas according to management type. 4. Protect and maintain environmental resources and quality. 5. Support energy choices for Loveland residents and businesses that include clean sources. 6. Maintain and expand parks and recreational facilities as a valuable asset to the community.
	<p>“Create a Connected and Accessible Community”</p>	<ol style="list-style-type: none"> 1. Plan a safe, efficient, coordinated and convenient multi-modal transportation system. 2. Provide infrastructure to make walking and bicycling convenient and viable for all types of trips and for all ages, abilities, and income levels. 3. Make the COLT bus system a convenient, efficient and functional choice. 4. Establish and maintain convenient connections between neighborhoods and to local destinations. 5. Establish a sustainable financing foundation for a transportation system that provides dependable mode options with the ability to accommodate Loveland’s growth.



NEIGHBORHOODS & COMMUNITY

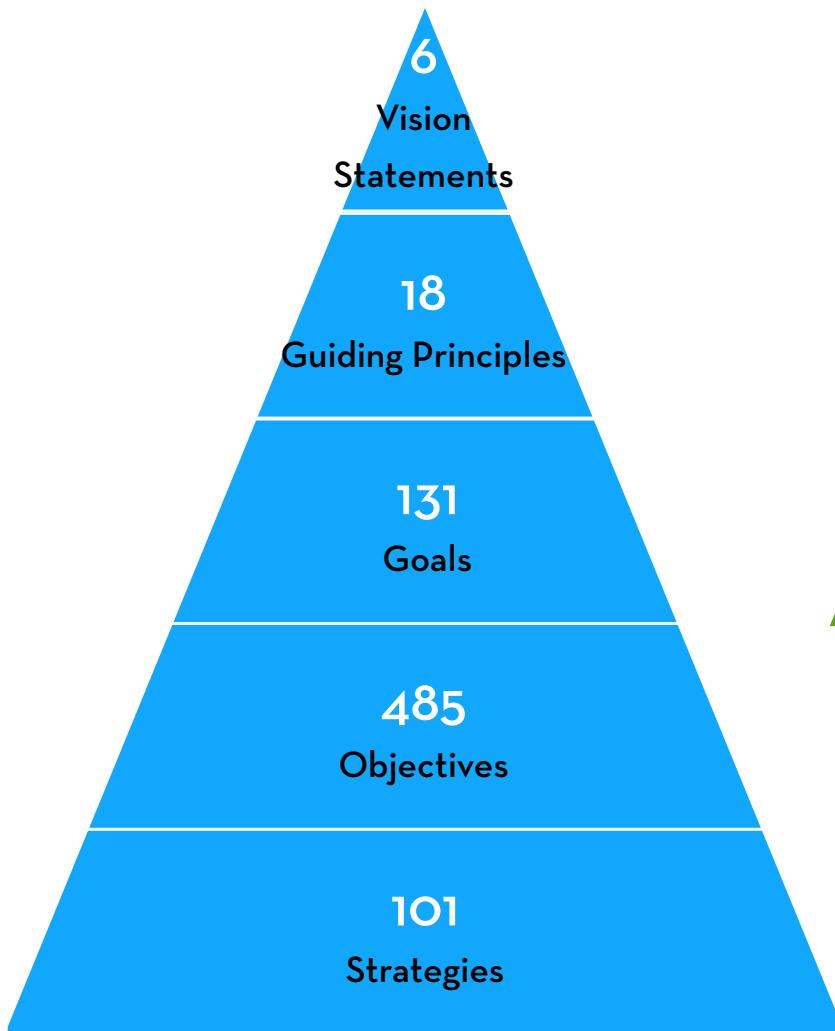
ASSETS

Chapter Section	Plan Elements	Policies
	<p>“Facilitate Complete Neighborhoods”</p>	<ol style="list-style-type: none"> 1. Encourage development of diverse housing types and complete neighborhoods. 2. Support housing that meets the needs of low and moderate income households. 3. Align new housing development with resident needs and community values. 4. Promote integration of housing in commercial and employment centers.
	<p>“Invest in Loveland’s Older Neighborhoods”</p>	<ol style="list-style-type: none"> 1. Continue investing in older neighborhoods as they age. 2. Reinforce the unique identity and visual appeal of neighborhoods. 3. Support active living and aging in place. 4. Preserve historical residential character. 5. Refresh distressed neighborhoods.
	<p>“Strengthen Loveland’s Strategic Roles in the Community and Region”</p>	<ol style="list-style-type: none"> 1. Protect important regional lands and facilities. 2. Maintain and expand convenient transportation connections between regional destinations. 3. Support strategic planning and growth at the Fort Collins-Loveland Airport. 4. Coordinate the timing, location, and character of growth within the Growth Management Area. 5. Evaluate the fiscal and environmental impacts of development of annexation proposals. 6. Encourage a pattern of compact and contiguous development. 7. Coordinate growth boundaries and service efficiencies with adjoining governmental entities. 8. Remain regionally competitive.



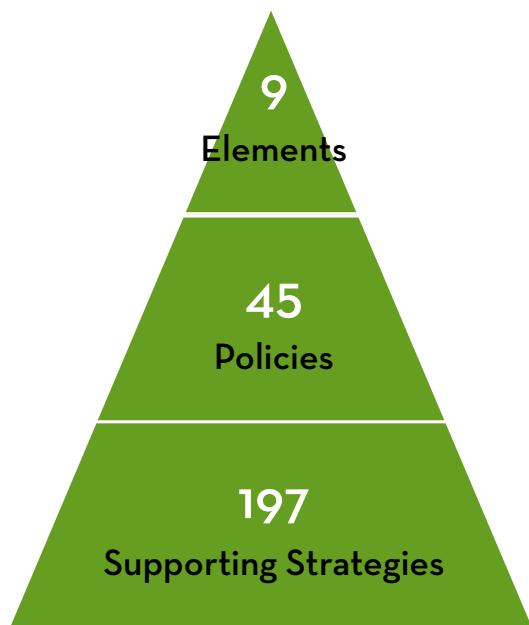
2005 PLAN

8 Chapters



2016 PLAN

4 Chapters



The planning team put the 2005 Comprehensive Plan¹ on a diet: consolidating and streamlining its previous 8 chapters, 131 goals and 485 objectives into a more manageable, straightforward system of policies and supporting strategies. Plans previously adopted by City Council were incorporated by reference rather than repeating them in this Plan (see Table 2-2: Functional, Specific Area, and Related Plans and Studies and Figure 2-1 Specific Area and Related Plans).

¹ For more information on the previous 2005 Comprehensive Plan's existing goals, outreach findings, reference maps, and key issues, see the Existing Conditions Snapshots in Appendix F. These snapshots also contain baseline information on demographics, health, land use and community design, transportation, employment, and housing.



Each element contains 4-6 **Policies**. These Policies:

- State community priorities
- Address community needs and wants
- Inform investment decisions
- Communicate vision to stakeholders
- Provide guidance for evaluating alternatives
- Provide flexibility in implementation

A bulleted list of **Supporting Strategies** accompanies each policy, which identify possible approaches that are consistent with Loveland's vision and values to implement the policy. The Elements, Policies and Supporting Strategies are equally important and in no particular order.

Throughout this Chapter, **conceptual drawings** depict future development scenarios. These renderings are conceptual because they show only one of many possible futures that could result from the implementation of this Plan's policies. The process of implementing Plan policies will involve extensive coordination with and consideration of affected property and business owners.

Most of the Plan Elements include an **Opportunities Map** before the Policies and Supporting Strategies. The Opportunities Maps are intended to depict places in Loveland where the Policies and Supporting Strategies can be implemented. The maps are not regulatory, though the ideas could be implemented through specific development projects, code updates, and more detailed planning efforts.

Finally, **Annual Work Plans** described in Chapter 4 and Appendix A serve as a framework for aligning major initiatives with the Policies and Supporting Strategies. These actionable initiatives reach across departments and divisions to show tangible projects, programs, or reforms that could be accomplished in the short term to implement the Comprehensive Plan. The Work Plans are for reference only and will be revised periodically by staff through the annual budgeting process. The timing, prioritization, costs, and funding of these initiatives will be determined by City Council as it considers annual capital plans and budget requests presented by City departments.

SUPPORTING PLANS

In addition to public input, the 2016 update also reflects other recent planning efforts and policy documents. The existing plan elements shown in Table 2-2 and Figure 2-1 are incorporated into the Comprehensive Plan by reference. These plans should continue to be implemented, updated and readopted on independent schedules so that no plan element becomes less than five years old and all are consistent with the Comprehensive Plan.

Table 2-2: Functional, Specific Area, and Related Plans and Studies. Readers should refer back to these other documents for more detailed information

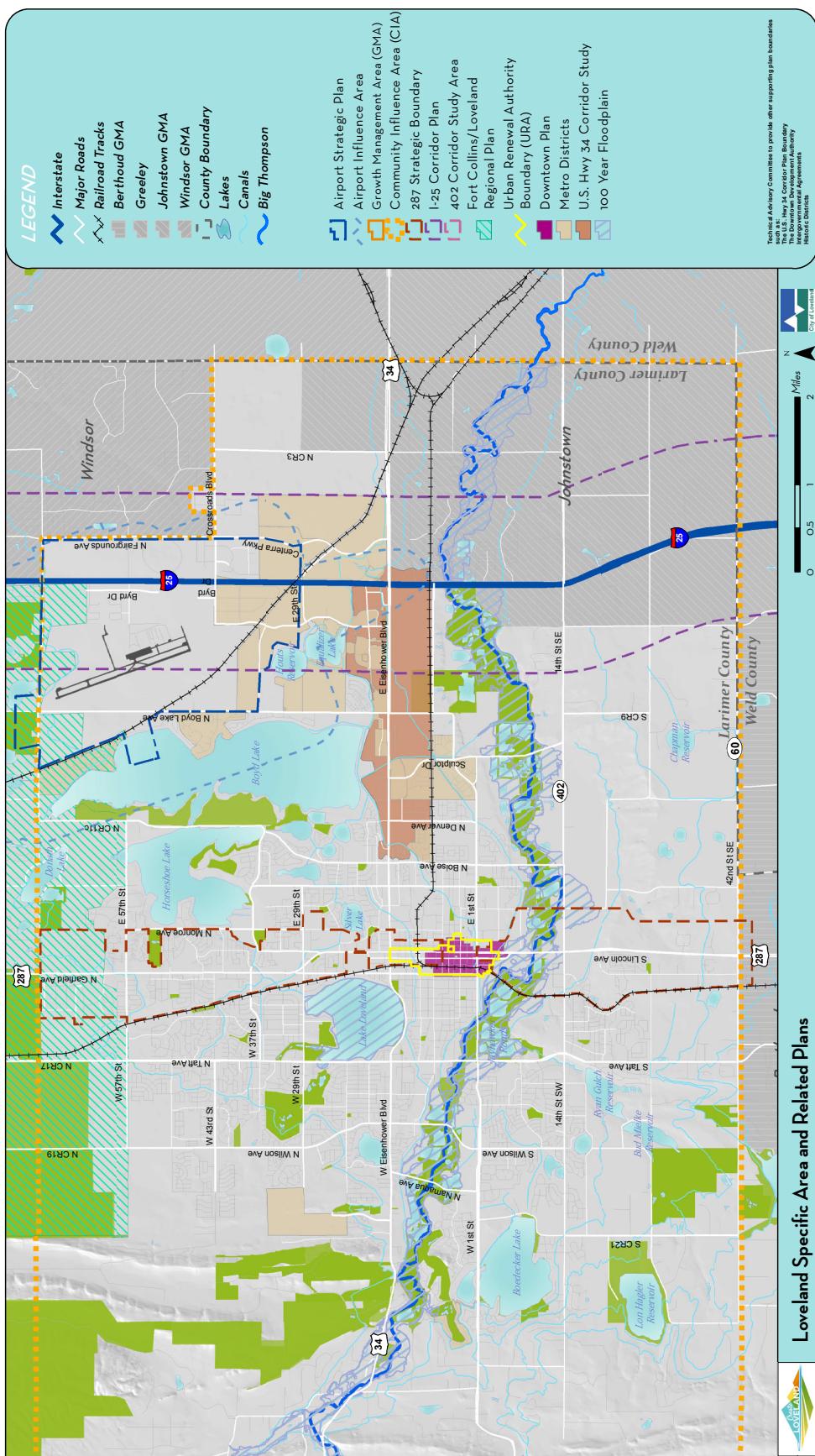


Table 2-2: Functional, Specific Area, and Related Plans and Studies. Readers should refer back to these other documents for more detailed information

Amendments / Revisions	City Council Adoption	Resolution Number	Formally Adopted as Part of Comp Plan?
2035 Transportation Plan	18-Dec-2012	#R-96-2012	Yes
Bicycle and Pedestrian Plan	1-May-2012		
Community Vision	6-Sep-2005	#R-71-2005	Yes
Contiguity Clause - Section 4.1 Amendment	19-Mar-1996	#R-36-96	Yes
Contiguity Clause - Section 4.1 Amendment	20-May-1997	#R-30-97	Yes
Destination Loveland	15-Nov-2011	#R-77-2011	
Downtown Loveland Strategic Plan	4-Aug-2009	#R-71-2009	
Economic Development Strategic Plan	21-Feb-2012	#R-15-2012	
Feathering of Density Clause - Section 4.9 Amendment	19-Mar-1996	#R-35-96	Yes
Fire Protection Master Plan	19-Dec-1995	#R-101-95	Yes
Fire Protection Master Plan Amendment	9-Jul-1997	#R-35-97	Yes
Fort Collins-Loveland Municipal Airport Strategic Plan	1-June-2015	#R-2-2015	
Growth Management Plan Revision	3-Apr-2001	#R-31-2001	Yes
Highway 287 Strategic Plan	1-Dec-2015	#R-83-2015	
Highway 34 Corridor Plan	1993		No
I-25 Corridor Plan	8-Aug-2001	#R-65-2001	Yes
Major Arterial Corridors Design Guidelines	16-Sep-1997	#R-52-97	Yes
Mitigation Master Plan	In progress		
Parks and Recreation Master Plan	15-Jul-2014	R-43-2014	Yes
Plan for the Region Between Fort Collins and Loveland	5-Jul-1995	#R-42-95	Yes
Recreation and Tourism Element - Compliance with State Law by recognizing Parks Plan as Recreation and Tourism Element	4-Feb-2003	#R-9-2003	Yes
Electric & Stormwater Utilities Functional Master Plans, ACF Amendment - Water & Power added	Varies	#R-39-97 ORD#4284 #R-40-97	Yes
Raw Water Master Plan	2012		
Water Master Plan	2009		
Wastewater Master Plan	2010		
Water Conservation Plan	2013		
Water and Power Strategic Plan	In progress		



Figure 2-1. Specific Area and Related Plans.



CENTERS & CORRIDORS

Citizens want to see focused commercial growth within existing centers, like Downtown, the Orchards Shopping Center, and Centerra. These areas have a variety of shopping options that should complement each other, while minimizing sprawling commercial strips. Residents would also like to see community-oriented retail better integrated with neighborhoods and gateways throughout the City. There are opportunities for retail centers to become more visually prominent and pedestrian friendly, and areas where the supporting public infrastructure needs improvement.

Land uses, specifically along entry corridors, should enhance Loveland's artistic and small-town identity through cultural and art facilities, pedestrian comfort, and creative gateway features. All gateways into the community should stay clean and visually attractive.

As the heart of Loveland, the success of Downtown is a key component to the community's vision. A proactive business climate and an economically healthy City government have set the stage for revitalization of the Downtown. Its revitalization will continue as a pedestrian-friendly nucleus with shopping, restaurants, cultural facilities, employment and housing.

STRENGTHENING A RESILIENT ECONOMY

In Loveland, a resilient economy is one that attracts businesses and entrepreneurs with opportunities to locate and grow in the community, as well as one that retains those that call Loveland home now. It is an economy where the local workforce can find employment that matches their skills and provides wages that allow them to meet costs of living and enjoy a high quality of life. Moreover, a healthy and resilient Loveland economy offers shopping and services in convenient locations to meet the daily needs of residents, and also captures the economic benefits of the region's tourism economy. Finally, it is one that encourages economic and employment diversity to be able to withstand future fluctuations in economic conditions.

The City of Loveland can plan for and support economic resiliency by focusing on revitalizing its aging corridors and commercial centers and supporting the continued renaissance of Downtown. Revitalization activities may



2015 Annual Quality of Life Survey

THREATS TO LOVELAND'S ECONOMY:

- *Statewide and regional competition for quality of life*
- *Competing regional retail centers, such as Fort Collins, Timnath, and Longmont*
- *Natural disasters and vulnerable infrastructure, homes, and businesses*
- *Online sales*
- *Underutilized commercial spaces and corridor aesthetics*
- *Congestion and lack of multi-modal transportation choices*
- *Raising, retaining, and attracting the next generation of a highly skilled and educated workforce*
- *Inadequate infrastructure beyond City control, such as I-25*



include integrating a greater mix of uses, strengthening connections between commercial areas and neighborhoods, encouraging development on vacant parcels in these areas, and redeveloping strategic properties to catalyze change and spur reinvestment. Within centers and corridors, as well as other locations for investment and economic development like industrial areas and the Airport, careful planning and preservation of opportunities for economic growth will help ensure that current and future employment needs of residents can be satisfied within the community. Finally, leveraging and preserving the natural features and cultural and recreational resources that contribute to the high quality of life in Loveland is important in attracting and retaining the residents, businesses, and visitors that sustain the community's economy.

"A less obvious component of resilience is a healthy, diversified local economy. Communities that are dependent on one or two major sectors for economic prosperity are inherently more vulnerable to a disaster that may disable those sectors. A healthy, diverse economy creates the financial resources and talent pool to respond to and rebound from setbacks more quickly and with less lasting damage. The most important tool for building that attribute is a robust economic development strategy."

From the 2014 Urban Land Institute (ULI) Advisory Services Panel Report for Northern Colorado, Connected Systems, Connected Futures: Building for Resilience and Prosperity.



CENTERS & CORRIDORS

Plan Element: A Commitment to a Downtown Renaissance



Artist's rendering from *Redevelopment and Revitalization of Downtown Loveland Vision Book*, 2010

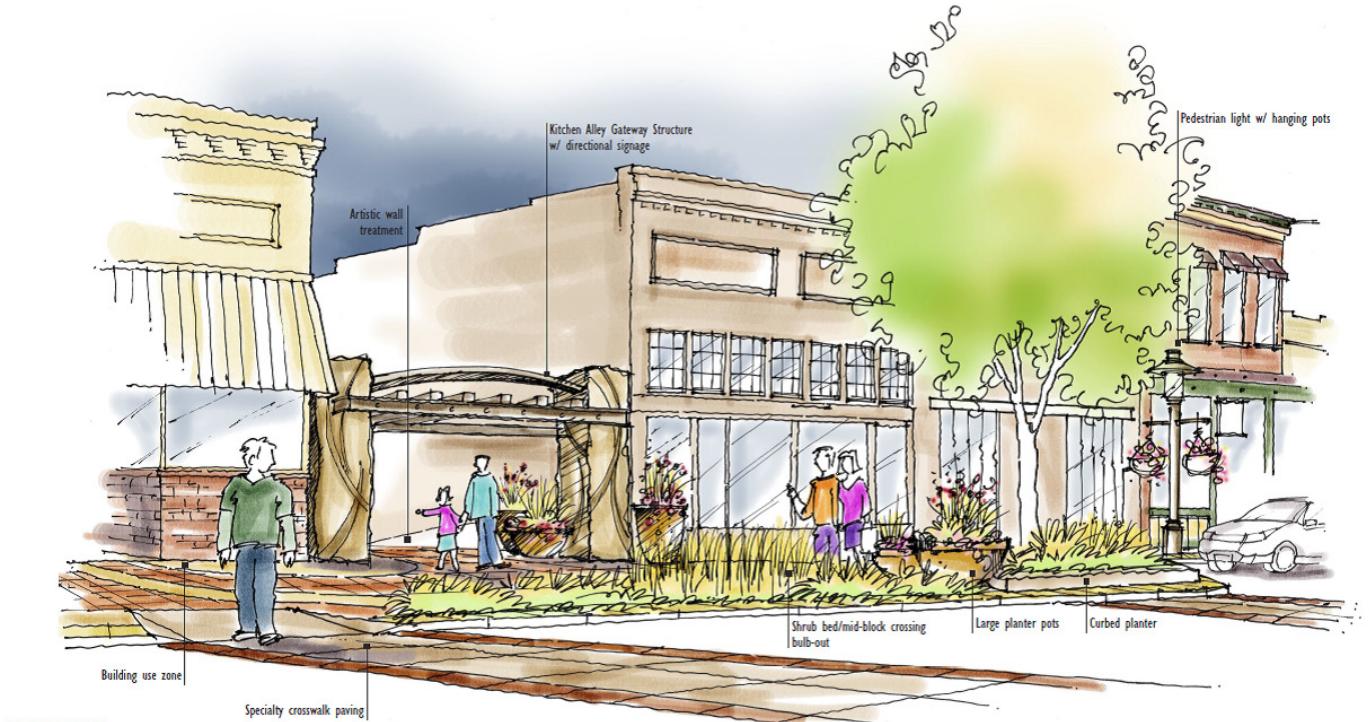
Downtown Loveland is the cultural and civic heart of our community. Downtown is poised to capitalize on a nucleus of vibrancy, activity and mix of uses within its core. Significant focus has been placed on Downtown revitalization, including assessing existing conditions and actively fostering catalyst projects with private investors. The City has a recent history of successful private/public partnerships such as the Lincoln Place Apartments, the Rialto Theater Center, Gallery Flats, and Artspace. These partnerships and countless other projects demonstrate that commitments made by the City, the Loveland Downtown Partnership, and the Downtown Development Authority are leveraging private investment. Many factors suggest a positive outlook:

- A new Downtown Development Authority that better channels business and property owners' energy and representation toward infrastructure improvements, programming, and marketing.
- The formation of the Loveland Downtown Partnership and the provision of funding from the City represent a strong commitment to achieving the Community's Vision of Downtown.
- A supportive and enthusiastic public, evidenced in the passage of the Downtown Development Authority formation ballot initiative as well as successful regional events such as the Fire & Ice Festival.



- A public that is enthusiastic for and supportive of Downtown as demonstrated by the public input received in support of this plan.
- An established brand in the arts and a growing base of venues and businesses that contribute to the creative character of the Downtown core.
- Planning for additional cultural opportunities, such as an expanded Museum and a larger performing arts venue.
- A solid Downtown base of restaurants, retail services and employment from which to build.
- A growing population base and new multifamily units being built Downtown.
- A number of new projects underway that add to the character and fabric of Downtown.
- Infrastructure that allows walking and bicycling to, from and within Downtown, an existing transit system centered in Downtown, and long-term potential for a regional commuter rail station.
- Designation of a Downtown Historic District that includes many of the structures that contribute to a lasting and authentic character in Downtown.
- The City is currently working toward maintaining and upgrading existing neighborhood infrastructure, and rehabilitating historic buildings and landmarks.
- Up-to-date guiding policy documents, including the Downtown Strategic Plan and HIP Streets Master Plan (2009) and Redevelopment and Revitalization Vision Book (2010) for the Downtown Urban Renewal Area. Successful implementation of these projects is seen in projects such as Gallery Flats and Painter's Alley.
- City-owned and controlled properties in Downtown that are strategically located to allow for redevelopment and revitalization that support the vision for Downtown.
- Continuing progress on the 2.5 block South Catalyst redevelopment project

The revitalization and partnership effort for Downtown is expected to go on for many years. Allied organizations, the Loveland Downtown Partnership and Downtown Development Authority and the stakeholder involvement they represent are a key component of the vision for



Artist's rendering from *Destination Downtown: HIP Streets Master Plan*, 2009



Downtown. To do so, Downtown must have a niche within northern Colorado that is active, diverse and economically viable to draw local and regional patrons. Authenticity and quality in architecture and historic character is paramount to ensure a physical environment with enduring value.

The City is currently working toward maintaining and upgrading existing neighborhood infrastructure, and rehabilitating historic buildings and landmarks.

The future stability, reuse and redevelopment of established neighborhoods will influence the future of Loveland's Downtown and overall quality of life and attractiveness. Revitalization of Downtown will provide better services and amenities for residents of surrounding neighborhoods, enhancing their desirability. Safe and attractive bicycle and pedestrian routes will further strengthen the connection between Downtown and the surrounding neighborhoods.

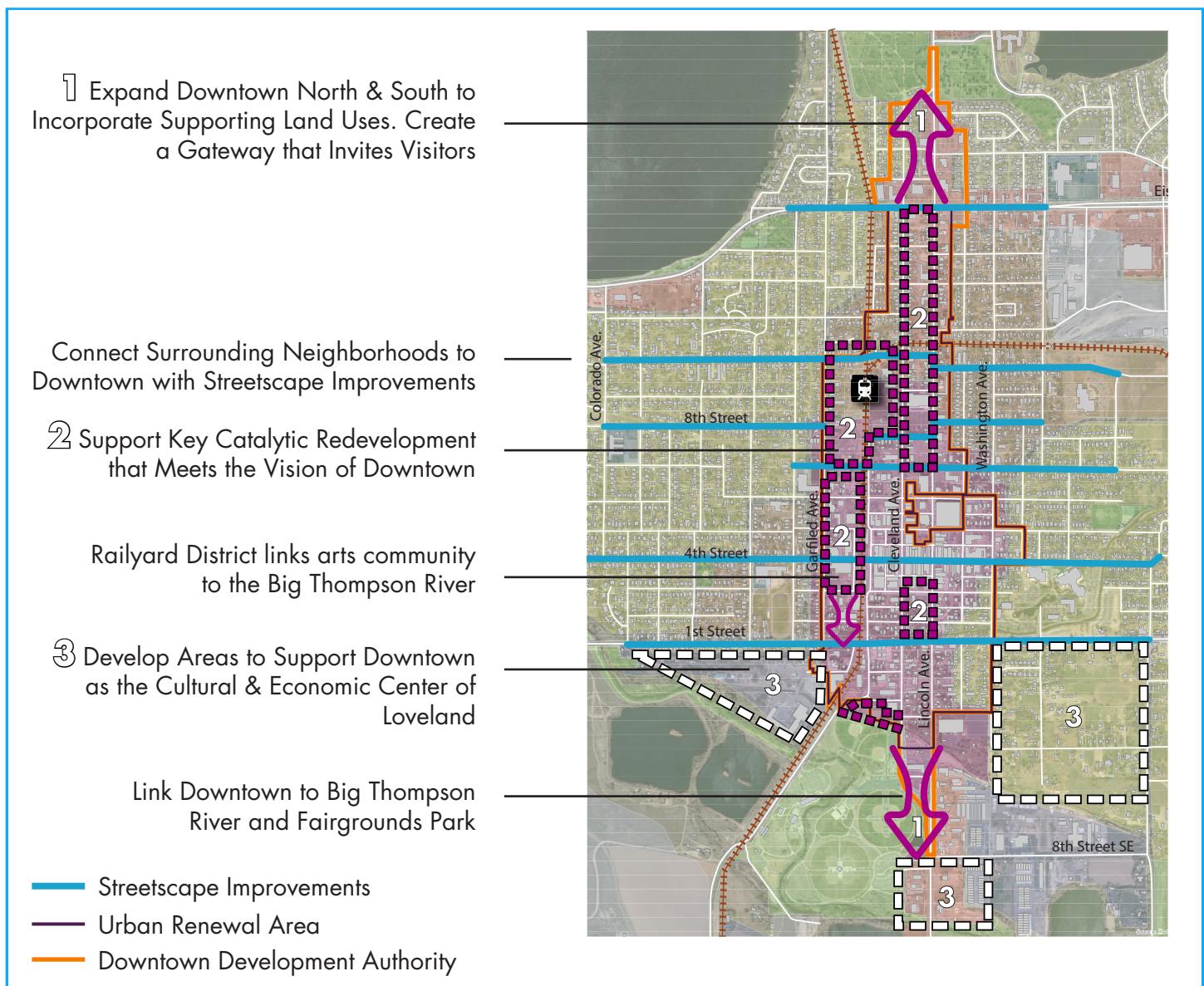


Figure 2-3: Land Use Plan opportunities to commit to a Downtown renaissance. The policies below support these opportunities.



PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Support Downtown as the iconic cultural and civic heart of Loveland.

- 1.1. Showcase what is special about our community through public art and cultural offerings, historic preservation, successful businesses, and special events in Downtown. Promote Downtown's niche within northern Colorado as a place that is creative, active, and economically viable to draw local and regional patrons.
- 1.2. Support the Loveland Downtown Partnership and collaborate to develop shared priorities, policies and projects. Look for opportunities to maximize civic benefit in all Downtown projects with public financing.

Policy 2. Create and maintain quality transportation options Downtown. (see also Mobility Policies 1-5)

- 2.1. Create attractive and comfortable pedestrian streetscapes and safe connections to surrounding neighborhoods that encourage walking to and within Downtown.
- 2.2. Make Downtown one of the hubs of our transit system, including both bus and commuter rail in the long term, by investing in Downtown transit stations and considering existing and proposed transit stops / stations in the review and design of Downtown projects. Coordinate and compliment service with other transit hubs such as that at the Orchards Shopping Center and transit enhancements on the Hwy 287 corridor.
- 2.3. Build a bike friendly environment with comfortable biking routes, secure and convenient bike parking facilities, and connections to the City Recreation Trail loop and Big Thompson River.
- 2.4. Offer adequate parking that is convenient to major visitor and employment destinations. Support expansion of General Improvement District #1 to increase investment in downtown parking facilities.
- 2.5. Utilize signage and wayfinding to maximize the use of existing parking facilities.
- 2.6. Utilize appropriate means to expand parking supply such as partnering with development, shared parking agreements or a parking district.
- 2.7. When planning for pedestrians Downtown, work with railroad companies to ensure pedestrian safety.



Pulliam Community Building



Mixed-use developments Downtown



Artspace redevelopment

Policy 3. Offer a mix of uses and destinations that encourage residents and visitors to live, work, play, and learn in Downtown.

- 3.1. Continue developing a strong residential base with a balanced mix of unit types and price points.
- 3.2. Redevelop key catalytic sites as a critical aspect of achieving Downtown revitalization.
- 3.3. Use public resources proactively, partnering with private resources to develop, attract, and retain a mix of desired and viable uses in Downtown.
- 3.4. Offer recreation opportunities, cultural and educational opportunities, community services, events, and regional destinations that draw residents and visitors to Downtown.
- 3.5. Offer amenities, services, and jobs that serve residents of surrounding neighborhoods as well as all Loveland residents.
- 3.6. Create a gateway presence at the intersection of Highway 34 and Highway 287 that relates to and invites visitors to Downtown.
- 3.7. Capitalize on opportunities to link Downtown visibly and physically to nearby amenities such as the Big Thompson River.

Policy 4. Ensure authenticity and quality in architecture and historic character (see also Neighborhood Character Policies 1-4).

- 4.1. Guide and support high-quality design in new development and redevelopment in Downtown. This could include building efficiency standards in building codes.
- 4.2. Identify and assist property owners to preserve and rehabilitate historical buildings that contribute to the quality and character of the historic district in Downtown.
- 4.3. Provide options for developers to redevelop or rehabilitate older buildings of individual historic value or that contribute to a historic district.
- 4.4. Encourage new development to respect and enhance the visual character of nearby historical buildings by designing new buildings to use core

form aspects of these nearby historic buildings such as materials and massing.

- 4.5. Encourage new development to strengthen the appeal of Downtown by focusing on design that reinforces the key aspects of quality Downtown urban design such as, but not limited to, setback, materials, massing, and pedestrian oriented detail.

Policy 5. Maintain and provide quality basic infrastructure which is fundamental to economic health.

- 5.1. Maintain and improve transportation and utility infrastructure to standards that meet the needs of desired Downtown business types especially sewer, stormwater and utilities.
- 5.2. Coordinate infrastructure and utility projects with private providers, such as for broadband cable, fiber, and electric vehicle charging stations.
- 5.3. Use public resources proactively to develop functional and attractive infrastructure that can support and attract a mix of desired uses in Downtown. Include three phase power to support trash compactors to minimize receptacles in alleyways.
- 5.4. Focus on infrastructure improvements that support walkability and vibrant street life and therefore strengthen Downtown's market niche.
- 5.5. Continue to explore the possibility of establishing railroad quiet zones Downtown, including the establishment of an equitable funding mechanism for doing so. Consider pedestrian safety in the design and ensure that Railroad company support is present.
- 5.6. As improvements are made to buildings, coordinate improvements to adjoining and supporting infrastructure and amenities.

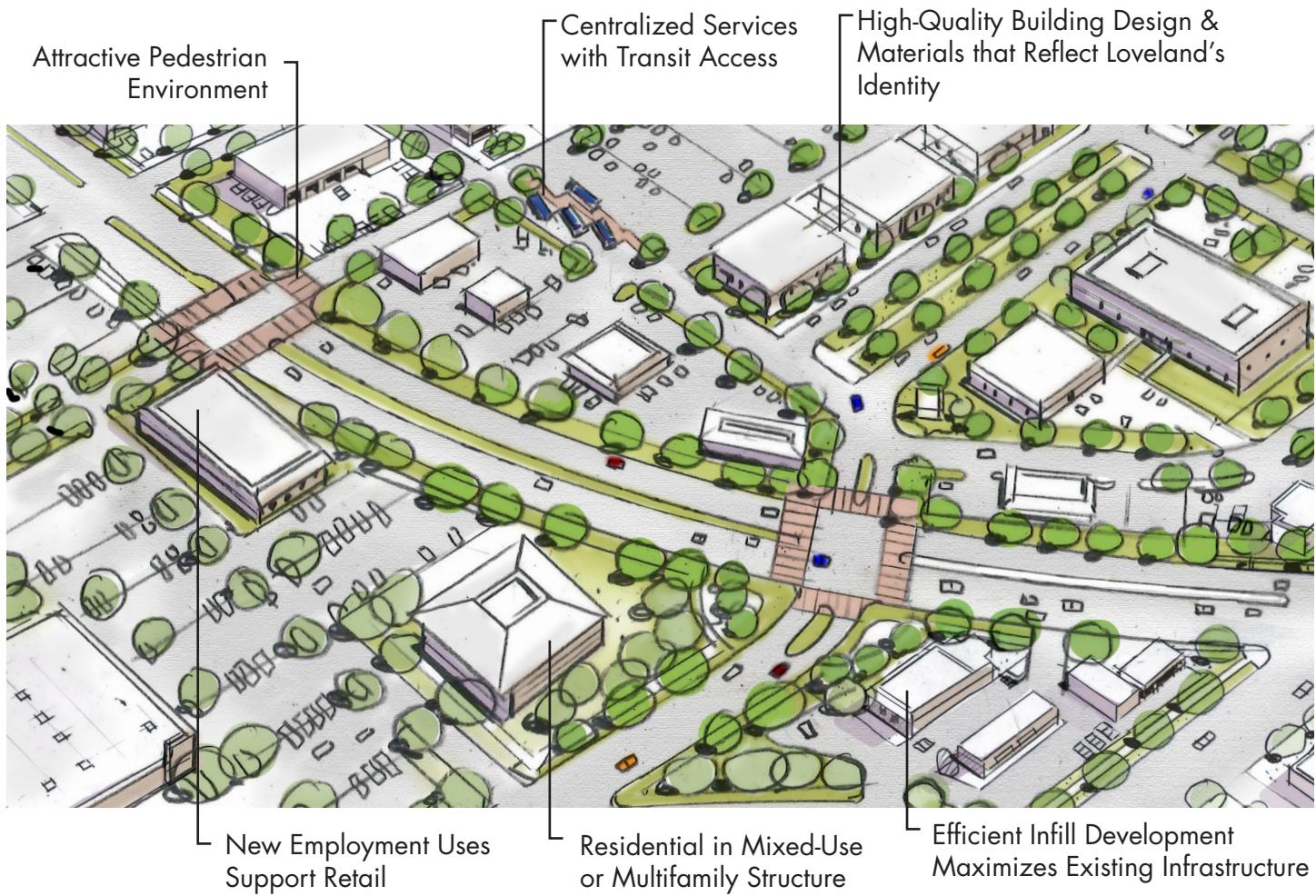
Relevant Indicators

- Downtown Commercial Lease Rates
- Downtown Commercial Vacancy Rates
- Downtown Neighborhood Walkability
- Downtown Property Investment Activity
- Downtown Jobs-Housing Balance



CENTERS & CORRIDORS

Plan Element: Revitalize our Corridors and Gateways



Artist's rendering from the 287 Strategic Plan, 2015

Corridors are the major throughways of Loveland but they also provide important commercial, community and aesthetic functions for the community. The form and function of these corridors often influence the uses of land adjacent to the road. This relationship affects how residents perceive and use the space. The existence of high quality spaces and commercial opportunities along our corridors will encourage visitors to stop and visit Loveland attractions. There are opportunities for existing retail centers to become more visually prominent, pedestrian-friendly, and better connected to commuter bicycle routes. In order to revitalize our corridors and gateways, the surrounding public infrastructure needs to be improved, including enhanced alternative transit opportunities.

As a whole, Loveland contains more retail space than consumers can actually support. This phenomenon occurs statewide and even nationally, due to regional competition for sales tax capture, retailers' ambitions for greater market share in new areas, and reduced storefront sizes as internet sales become a greater share of consumer spending. Concerns over vacant buildings are further exacerbated when some retailers hold onto empty buildings for years in order to prevent their competitors from occupying their former location (i.e., dark stores).

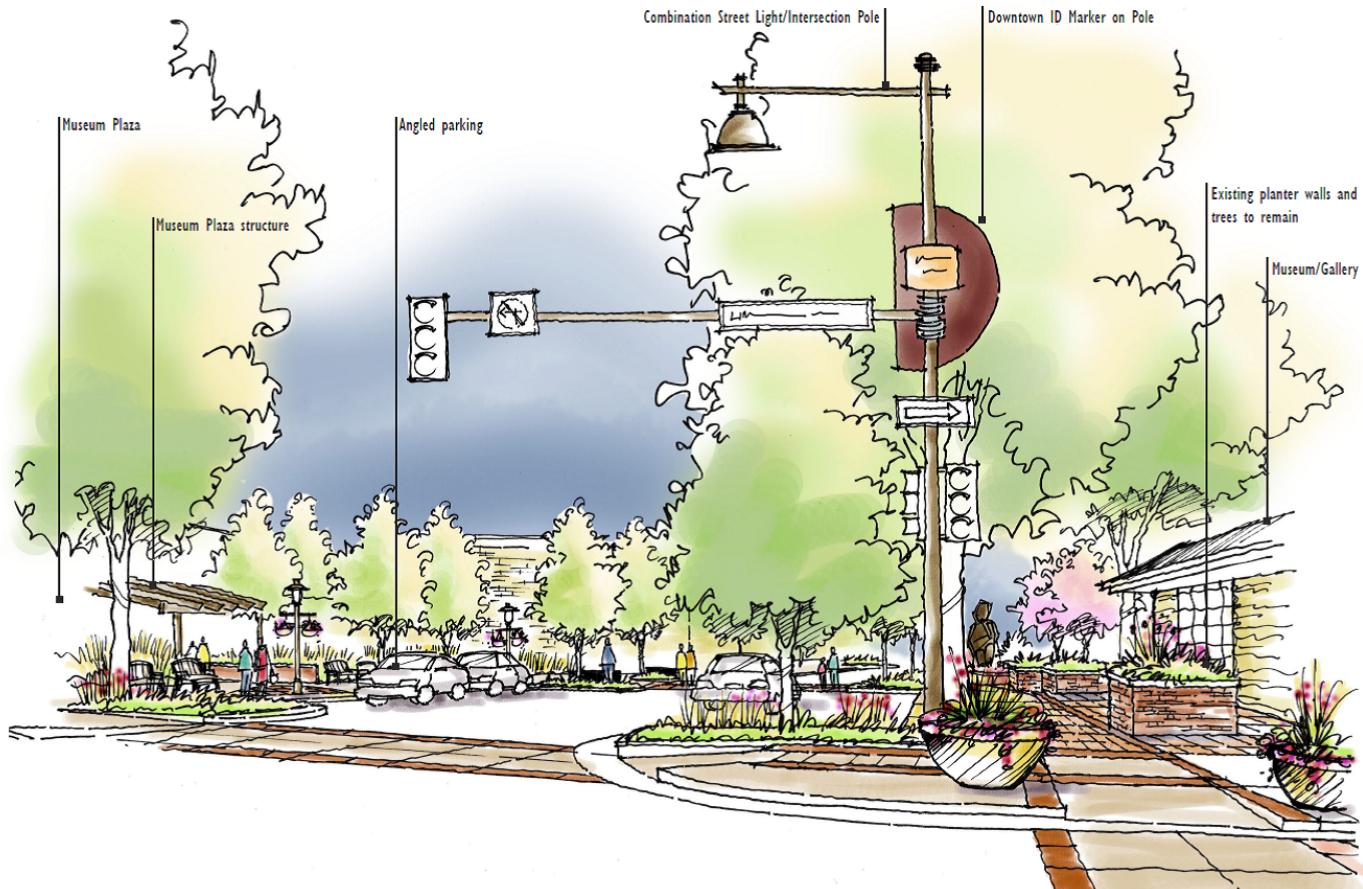
Underperforming commercial areas can be repurposed or renovated to serve surrounding neighborhoods. These centers should attract substantial, well-paying employers, not just retail.



As the "Gateway to the Rockies," Loveland is uniquely positioned to capitalize on the influx of more than two million tourists and residents that annually drive through the Big Thompson Canyon to Estes Park. Entry points and adjoining areas are important to Loveland's economy and identity and should be designed in ways that will enhance Loveland's image through striking gateway features, cultural and art facilities, and pedestrian and cyclist safety and comfort. Important gateways include the east and west ends of US 34/Eisenhower Boulevard, US 287/South Lincoln Avenue near the Big Thompson River, and US 287/North Garfield Avenue as shown on Figure 2-3. These gateways and new, emerging gateways help promote a first impression of Loveland as a world-class destination for art, leisure, and business.

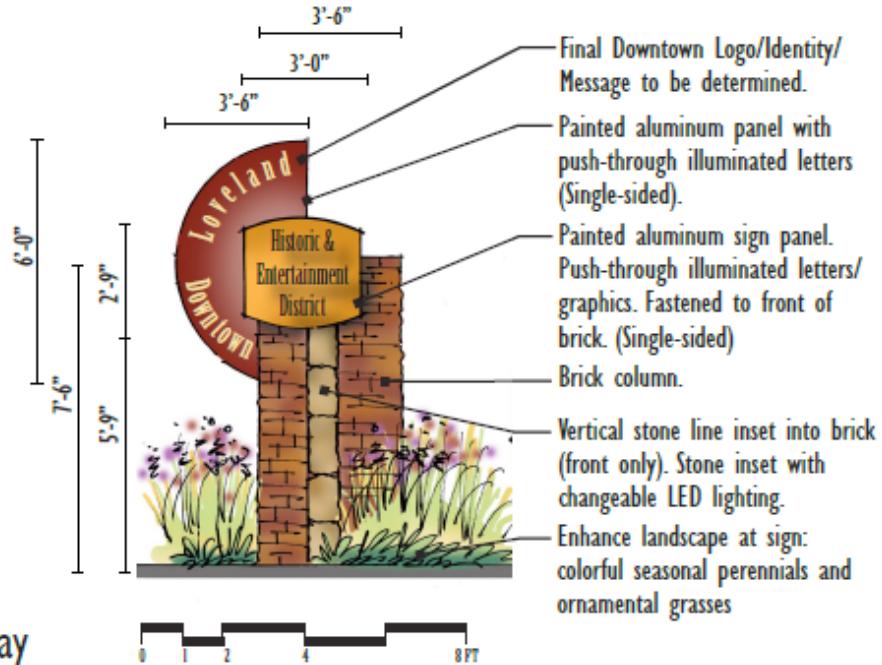
The City is currently promoting a positive image along major corridors as exemplified by Equinox, the major public art installation at the intersection of US 34 and I-25. Additional corridor planning will continue to help improve our commercial corridors as places to invest and do business.

For more on the existing conditions and trends in Loveland, see the Economic Development, Land Use and Community Design Snapshots in Appendix F. For an estimate on market potential and development, refer to "Market-Supported Development Opportunities" in Chapter 3.



Artist's rendering of gateway elements from *Destination Downtown: HIP Streets Master Plan, 2009*





Secondary Downtown Gateway

0 1 2 3 4 5 6 7 8 FT



Artist's rendering of gateway elements from Destination Downtown: HIP Streets Master Plan, 2009



1 Develop New Mixed-Use and Mixed-Density Neighborhoods.

2 Improve Mixed-Use Neighborhoods that are Close to Primary Corridors and Housing Choices.

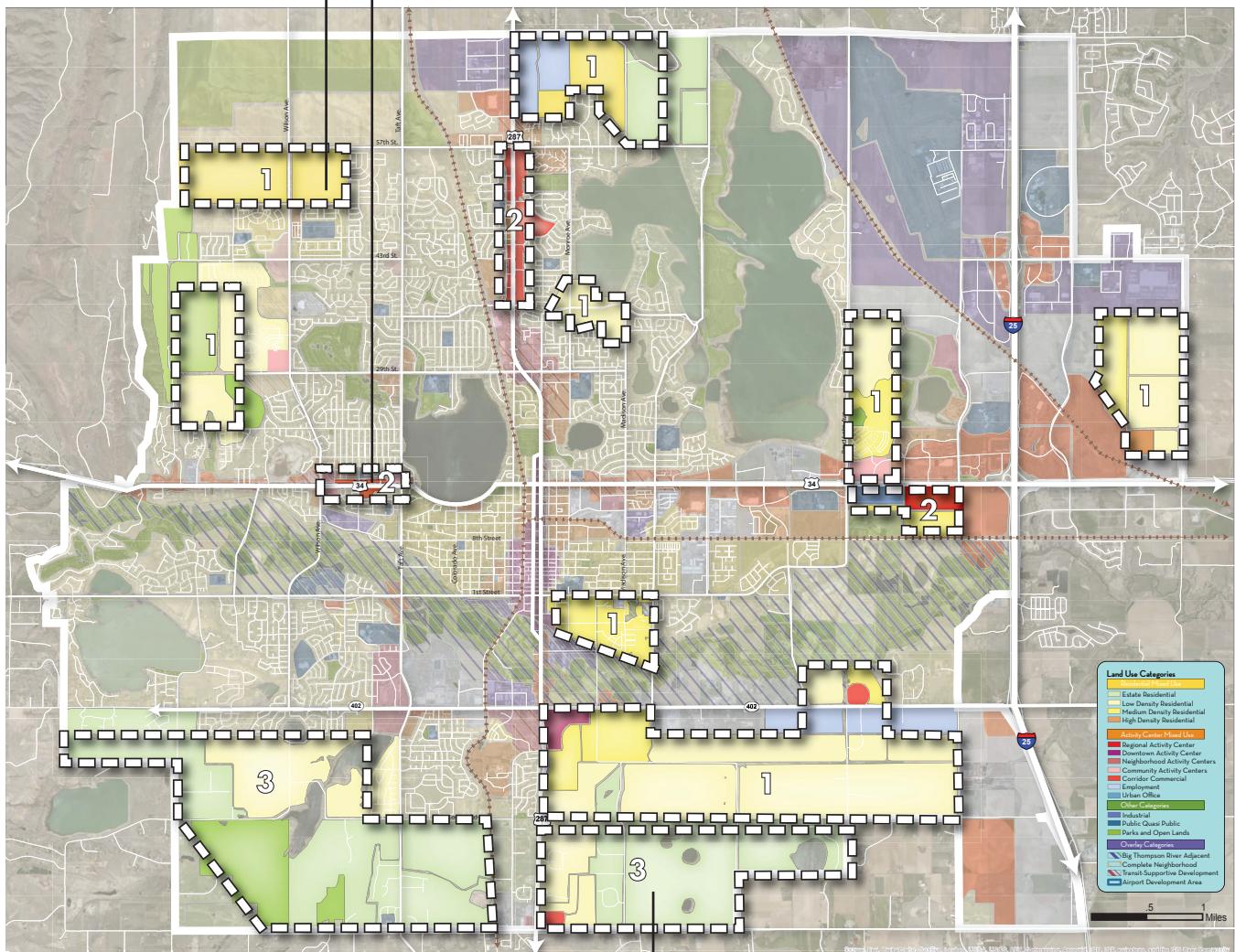


Figure 2-3: Land Use Plan opportunities to revitalize our corridors and gateways. The policies below support these opportunities



PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Foster reinvestment in existing corridors and concentrate commercial activity at prominent intersections and within centers (see also Chapter 3: Enhanced Corridor Land Use Description).

- 1.1. Concentrate demand for commercial activity at appropriate nodes so as to prevent under investment and strip development along arterials and state highways. Appropriate nodes are those that have exciting or potential transit access or are located at major roadway intersections or have particularly strong bike and pedestrian connections to existing neighborhoods.
- 1.2. Discourage strip commercial development along arterial roadways, except in specific infill situations.
- 1.3. Foster reinvestment, redevelopment, and adaptive reuse of underperforming commercial properties, underutilized buildings, vacant properties and brownfield sites such as US 34 west.
- 1.4. Transition underperforming strip commercial uses through strategic infrastructure investment, parcel aggregation, multimodal improvements, street connectivity, aesthetic enhancements, and broadening of allowed uses.

Policy 2. Transition existing land uses to be more transit supportive (see also Mobility Policies 1 and 3).

- 2.1. Increase regulatory flexibility to allow corridors to become more transit supportive as shown on Figure 2-3 (Corridors Map). Provide examples and design guidance to develop quality residential uses along corridors.
- 2.2. Identify underperforming commercial and retail development and support mixed-use redevelopment in these areas.
- 2.3. Encourage a complementary mix of transit-oriented development uses including multifamily and commercial development near future transit stations.



Gateway at Crossroads



Public Art at US 34 gateway

- 2.4. The Enhanced Corridor Overlay is intended to encourage redevelopment patterns and densities sufficient to leverage new private re-investment along established commercial corridors (see Chapter 3). Criteria for applying the Enhanced Corridor Overlay includes but is not limited to: potential to stimulate private investment; feasibility of parcel aggregation; potential to maximize transit-readiness; feasibility for frequent local and regional bus and/or rail service; locations near planned stations and mode transfer facilities; and locations along arterial roads and near I-25 entrances.



Policy 3. Plan and redevelop major corridors in a manner that promotes a positive and attractive image and that advances the economic prosperity of the City (see also Chapter 3: Enhanced Corridor Land Use Description).

- 3.1. Along I-25 north of US 34, proactively attract tourism and primary employment uses.
- 3.2. Plan for Hwy 402, between I-25 and Taft Avenue, to serve as a new primary entrance to Loveland, clustering new office, industrial and manufacturing uses at major intersections.
- 3.3. Along US 34, west of Denver Avenue, proactively partner with private sector to improve and maintain appearance, accommodate truck freight, and incorporate a mix of desired and viable tourism, commercial, and residential uses.
- 3.4. Look for opportunities to facilitate Recreational Vehicle (RV) travelers stopping and visiting Loveland's businesses and attractions, particularly Downtown. Options could include designating satellite parking lots along highway corridors with shuttle buses for major events, and signage designed to both inform tourists of attractions and the ways that they can access them.
- 3.5. New development should balance the need for taller buildings and greater density with the need to create an environment that is attractive and comfortable for pedestrians and motorists.

Policy 4. Maintain and enhance Loveland's existing small-town feel, sense of community, and distinct identity.

- 4.1. Encourage transitional buffers between residential neighborhoods and commercial areas, such as alleys, fences, or natural areas, and allow for bicycle and pedestrian connectivity within these buffer areas
- 4.2. Unify Loveland through the design and installation of a cohesive streetscape along arterials.
- 4.3. Require higher aesthetic standards for gateways as shown on Figure 2-3 (Corridors Map).
 - Sensitively place development in relation to other uses and exhibit high-quality design, signage, and landscaping.
 - Encourage the preservation of open space through the clustering of development.
 - Support development that makes gateways more attractive using design strategies such as landscaping, public art, or siting buildings to create entry features.
 - Be open to a variety of methods for creating quality gateways including partnering with property owners, easements, or purchases while avoiding eminent domain.

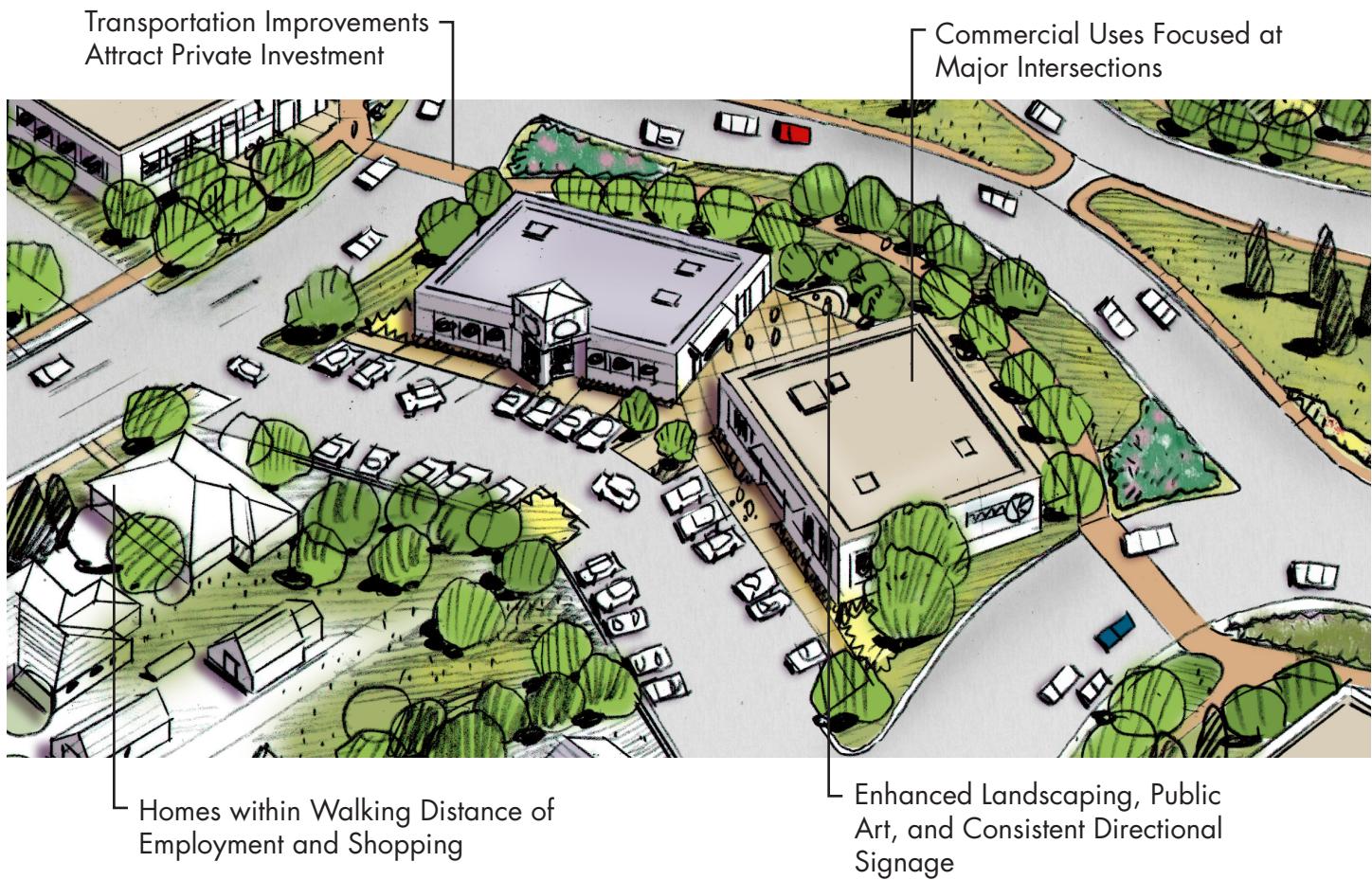
RELEVANT INDICATORS

- Retail Activity
- Jobs-Housing Balance
- Property Investment Activity



CENTERS & CORRIDORS

Plan Element: Cultivate Vibrant Economic Centers



Artist's rendering from the 287 Strategic Plan, 2015

Loveland has historically been proactive in seizing economic development opportunities. City efforts since the 2005 Comprehensive Plan have focused on

- Encouraging multiuse, high-quality employment districts in campus-type settings.
- Encouraging high-quality regional retail centers.
- Playing an active role in supporting the Rocky Mountain Center for Innovation & Technology (RMCIT).
- Supporting strategic planning and providing sufficient lands for industry in the Fort Collins-Loveland Airport area and along the I-25 corridor.
- Introducing modern residential infill and redevelopment in Downtown.

As a result, Loveland has become a commercial hub in northern Colorado with the construction of the Promenade Shops at Centerra, the Outlets at Loveland, and more recently the Medical Center of the Rockies. The Budweiser Events Center, along with nearby regional auto sales, new restaurants and several national hotels are also sources of substantial economic activity. Looking forward, the City will need to continually evaluate and improve its economic development efforts in order to remain competitive in the regional market.

For more on existing economic conditions and trends in Loveland, see the Economy, Land Use and Community Design Snapshots in Appendix F. For a discussion of market potential and development, refer to "Market-Supported Development Opportunities" in Chapter 3.



During the extensive public and stakeholder involvement in the preparation of this plan, participants voiced a number of concerns, including the high rate of out-commuting due to a lack of primary jobs; difficulty in attracting a younger workforce; inconsistent signage and area branding; low wage jobs; and dated retail centers. There is a desire that the City accommodate various forms of office and employment land uses including traditional campuses, small-scale urban offices, co-working spaces, live-work space and other non-traditional configurations. The community has high expectations for future commercial development including community-oriented retail in the eastern and northwestern parts of the City.

Participants also indicated support for the City to encourage redevelopment of aging retail centers and interspersing residential land uses within the redeveloped centers. The intent of the theme "Cultivate Vibrant Economic Centers" arose from the community dialogue to describe retail and employment areas that are easy to access, filled with jobs and customers, supportive of entrepreneurial endeavors, and an active street life. This housing diversification is another important opportunity for the City and will help in attracting a diverse workforce and offering housing to residents of all ages.

Loveland has many opportunities to lay the framework for a prosperous future, including attracting primary

jobs; targeted infrastructure investment in new growth areas; re-envisioning aging retail centers to become more visually cohesive and pedestrian friendly; and preserving land use flexibility in longer-term growth areas in southern Loveland to be responsive to future market forces as shown in Figure 2-4. The City places premium on attracting primary jobs that produce goods and services that are consumed outside of the region. The Economic Development department spearheads this effort, working in tandem with land use planning to ensure that there is adequate and appropriate parcels for primary job development.

Cultural heritage tourism, one of the fastest growing components of the travel market, is no longer seen as peripheral, but central, to economic development and cultural tourism outcomes. Loveland's fine stock of arts and cultural attractions: Museum/Galley, Sculpture Park, public art features, cottage arts industry, Sculpture in the Park and Invitational Shows, and diverse performing arts events in the Rialto Theater. Combined with effective promotion of outstanding scenic beauty and exceptional year-round outdoor recreation, artistic and historic resources in Loveland build upon its appeal as a visitor destination and tourist base-of-operations.

Loveland's Comprehensive Plan can set the City up for success to attract new primary jobs and retain employers that have been part of the basis of the local economy. By aligning the plan policies with economic development goals, the City can ensure continued economic health in the future. For example, commercial growth and redevelopment should be focused at major intersections throughout the community, rather than on commercial strips along corridors. Commercial centers should be encouraged to have both retail and service uses, as well as uses that can employ nearby residents in higher paying jobs.

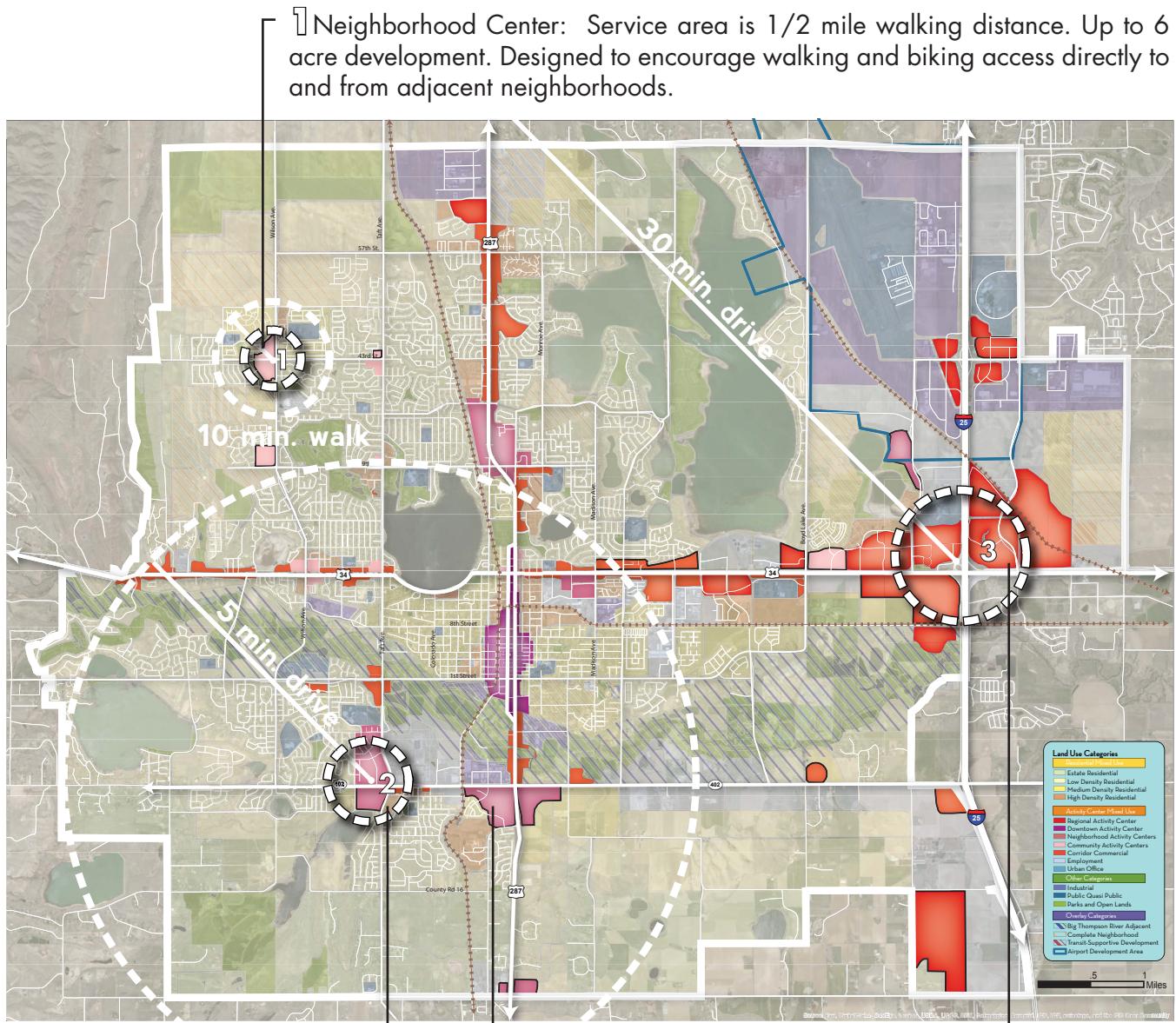
The City is committed to continue working toward maintaining and upgrading existing commercial infrastructure, and repositioning aging shopping and employment centers. The future support, reuse and development of commercial and employment centers will influence the future of Loveland's economy and quality of life. The following land use policies will support the City in encouraging employment growth, stimulating commercial development, and fostering economic health in Loveland.

75% of Lovelanders
agree or strongly agree that
Loveland is attracting shopping
opportunities that our
community
desires.



2015 Annual Quality of Life Survey





Map is not intended to show all commercial centers.

Figure 2-4. Land Use Plan opportunities to reinforce Loveland's neighborhood, community, and regional centers. The policies below support these opportunities.



PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Encourage reinvestment in underutilized shopping centers (see also Chapter 3: Activity Center and Enhanced Corridor Land Use Categories).

- 1.1. Convert single use retail centers into mixed use areas by strategically introducing residential development, civic land uses and urban office.
- 1.2. Encourage retrofitting to add and improve street, bicycle, and pedestrian connections in traditional auto-oriented retail centers.
- 1.3. Incorporate higher density housing if market appropriate in existing and new commercial centers.
- 1.4. The City's primary role in redevelopment is as a facilitator, broker, and negotiator. Its role as a regulator and incentivizer should be used with wisdom and restraint.
- 1.5. Encourage business owners who purposefully retain vacant storefronts (i.e., dark boxes) to refill, sell, and/or convert them to another use.
- 1.6. Encourage and enforce maintenance standards of streetscapes, buildings and landscaping.
- 1.7. Continue to monitor the health of existing commercial centers, by evaluating sales revenue, lease rates, and vacancy rates.
- 1.8. Pay special attention to the design of parking lots with regard to landscaping, pedestrian circulation, access, and siting and visibility from corridors.



Office park on Rocky Mountain Ave.



Outlets at Loveland

Policy 2. Encourage high-quality neighborhood, community, and regional mixed use activity centers (see also Chapter 3: Activity Center Land Use Categories).

- 2.1. Designate and design neighborhood, community and regional activity centers according to the Future Land Use Map and categories in Chapter 3.
- 2.2. Recruit retailers, hotels, restaurants and other appropriate businesses not currently present to locate in Loveland accordance to City economic development goals.
- 2.3. Require high-quality design in new and redeveloping commercial centers through the development review process. For example, buildings should be oriented towards streets and pedestrian spaces.
- 2.4. Retain a strategic, feasible location for a grocery store in northwest Loveland, east Loveland, and along Highway 402.



Policy 3. Create multiuse, high-quality employment districts.

- 3.1. Encourage the development of multiuse, high-quality employment districts where campus-type settings are appropriate, particularly along the transportation corridors of I-25, US 34, and south side of Hwy 402.
- 3.2. Find suitable locations for campus style development to make the Employment Zoning District more realistic and functional.
- 3.3. Accommodate diverse forms of office land uses and flex- and light- industrial development in designated employment districts.
- 3.4. Encourage high-quality urban office development on small parcels in appropriate locations throughout the City. Design these sites for connection to existing and future adjacent uses
- 3.5. Reserve industrial lands for future primary jobs, particularly in the Airport Area (both east and west sides of I-25), north US 287, and Hwy 402 and protect them from encroaching conflicting uses.
- 3.6. Recruit primary employers and primary jobs to appropriate locations in the City.

Policy 4. Support the existing and local business community.

- 4.1. Work to grow and otherwise assist existing businesses throughout the City to increase existing business retention, especially for primary employers and small, locally-owned businesses.
- 4.2. Strengthen partnerships between the City Departments (Economic Development Department, Planning, etc.), Chamber of Commerce, Community Foundation, , and other economic development organizations.
- 4.3. Work collaboratively to align visions of community with that of local business owners.
- 4.4. Continue to be flexible with land use policy and development review to allow current businesses to expand or change according to market forces.
- 4.5. Support the redevelopment of the Rocky Mountain Center for Innovation and Technology.

RELEVANT INDICATORS

- Retail Activity (sales tax revenue per household)
- Jobs-Housing balance



HEALTH, ENVIRONMENT & MOBILITY

Loveland already offers many great parks, open spaces, and recreational areas, but connecting people to these areas, services and centers was one of the bigger issues in the community dialogue. Citizens want a built environment that improves safety for walking and bicycling, thereby facilitating healthier lifestyles. Specifically, connecting existing neighborhoods to parks, grocery stores, schools and commercial areas is a top priority. Also, encouraging new mixed-use, mixed-income developments with walkable or bikeable access to daily needs provides an opportunity to make physical activity a routine part of life and reduces dependence on an automobile.

Loveland's 2012 Bicycle and Pedestrian Plan identifies and prioritizes specific areas of need and offers strategies for improving existing bike lanes and sidewalks. Accelerating the implementation of this Plan is a key priority among Loveland residents, as is completion of the Recreation Trail and its side connections to commercial and residential areas. Strengthening relationships and partnerships between other government entities such as Thompson School District as well as private businesses will be important in accomplishing this endeavor.

A key philosophy in this Comprehensive Plan is that better integration of land use and transportation planning leverages all City investments. Loveland's evolving transportation system brings great potential to shape sustainable land development and create active lifestyles as well. Future residential areas and economic centers will follow regional transportation investments: I-25 bridges and interchanges, commuter rail, and regional transit. At a more local level, a complete street grid and greater emphasis on transit, bicycle, and pedestrian connectivity will accelerate commercial activity, especially in older retail areas. In turn, more transit-supportive development makes walking, bicycling, and transit use more economical and convenient.

One of the City's foundational responsibilities is to protect the health, safety, and wellbeing of its residents and businesses. While the City has a limited role in providing health care, it can create a business climate and infrastructure that attracts first-class hospitals and medical facilities in Loveland and keeps them here. Given the projected growth of our aging population, providing these medical services, an accessible built environment, and



54% OF LOVELANDERS

agree or strongly agree that alternative transportation options are usable and provide options to driving a car (i.e. buses, bike lanes, and sidewalks)

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THREATS TO LOVELAND'S HEALTH, ENVIRONMENT, AND INFRASTRUCTURE:

- *Health days missed from work, and preventable death and disease*
- *Proper functioning of electric power, stormwater, potable water, wastewater, and transportation systems*
- *Inadequate capacity to fund and manage response and recovery from large-scale disasters*
- *Inadequate state, regional, and local funding for major infrastructure projects, such as state highway and I-25 improvements*
- *Lack of viable transit, bicycling, and pedestrian choices*
- *Capacity to provide adequate water supply for new growth*
- *Risk of missing opportunities for adding needed parks and trails and open land conservation*



expanded transit service is essential for Loveland. By making walking and bicycling a more viable means of both recreation and transportation, residents can maintain their independence and incorporate regular physical activity into their lives. Loveland residents also want improved access to affordable healthy food through farmers' markets, community gardens, neighborhood grocery stores, and accommodation for urban agriculture opportunities. These uses can be accommodated in most land use designations and zoning districts.

Strengthening Environmental and Infrastructure Resiliency

Environmental resiliency involves community awareness and preparedness for natural hazards such as drought, wildfire, and floods, as well as preparation for exposure to other potential environmental and community threats and risks like changes in climate, spread of infectious diseases, and exposure to hazardous materials. In Loveland, environmental resiliency is not only preparedness for these types of risks, but also the ability to respond effectively to one-time or sustained events, and adapt to the temporary and permanent changes that they may present. A resilient environment also relies on the health of the natural systems that support and sustain life.

Loveland can plan for and strengthen environmental resiliency by continuing to identify, monitor, and assess potential environmental risks and threats, and by ensuring that development in risky areas such as floodplains, steep slopes, and potential wildfire locations is appropriately sited and designed. Strengthening and reinforcing infrastructure, such as roads, bridges, and utilities can help Loveland prepare for and adapt to change, but this concept also applies to natural systems. Continued stewardship of environmental resources like air, water, rivers, and soils is essential in managing risk and supporting the community's high quality of life.

"Many physical interventions—from floating buildings and levees to wet floodproofing—can be employed to create resilience, depending on the particular set of risks faced by a community. However, the most successful strategies will work in concert with the natural ecosystem where they are used. In northern Colorado, that means development patterns must be able to respond with agility to the cycles of fire, flood, and drought that strike the region. Regular forest burns and the cleansing and depositional activities of floods are necessary to support important ecosystems that in turn support us and create the beauty that makes this region stand out."

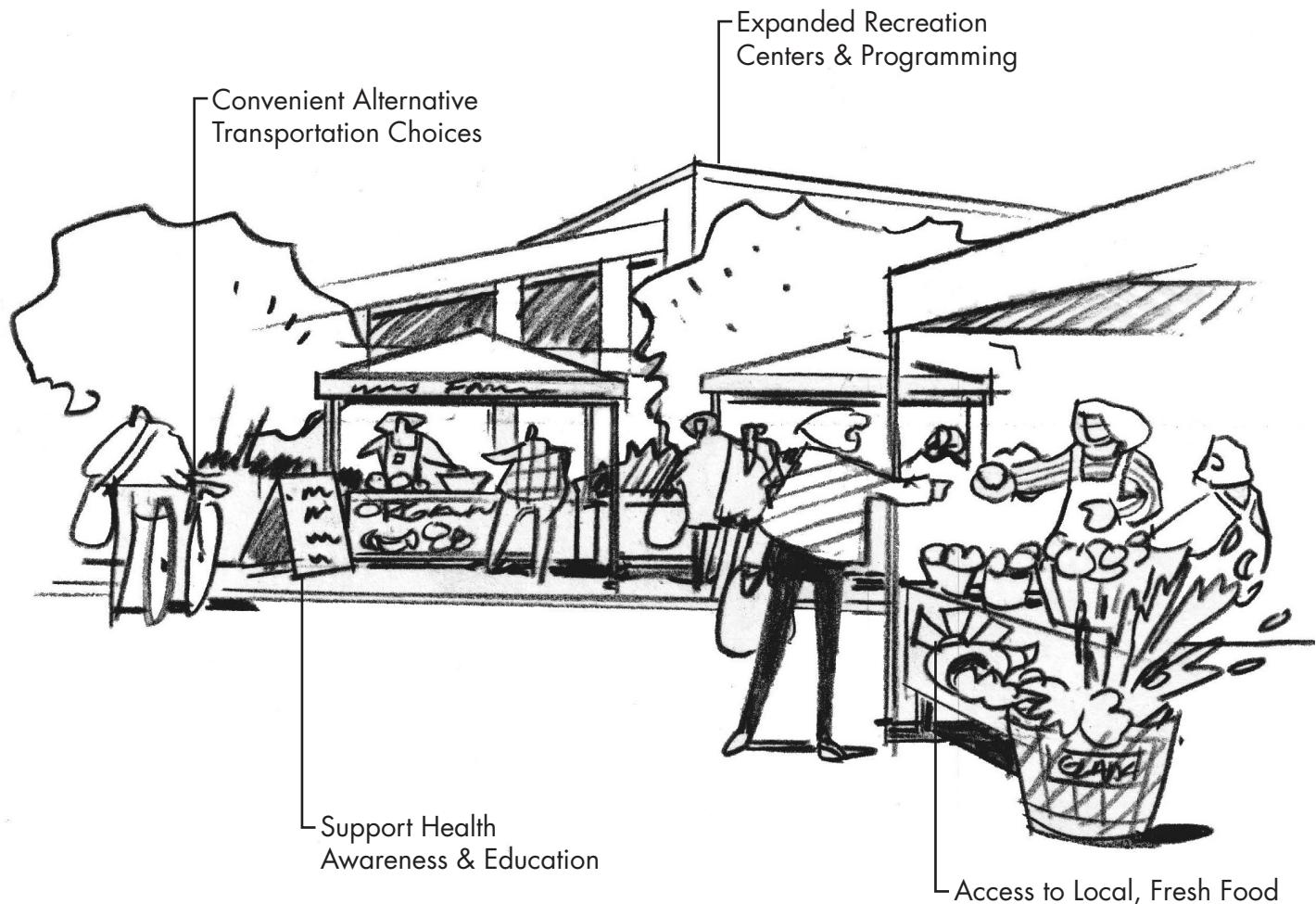
From the 2014 Urban Land Institute (ULI) Advisory Services Panel Report for Northern Colorado, Connected Systems, Connected Futures: Building for Resilience and Prosperity.

Like all modern urban communities, Loveland depends heavily upon the proper functioning of infrastructure systems including the electric power, stormwater, potable water, wastewater, and transportation networks. The importance of these systems can be easily overlooked by the general population, but a community's reliance on infrastructure becomes painfully evident when systems fail in disaster events like the 2013 flood. As Loveland continues to recover from the damage caused by the historic flooding, the City is planning for enhanced infrastructure resilience consistent with the Governor's "build back better and stronger" initiative. Infrastructure resilience entails reduced failure probabilities (better infrastructure design), reduced negative consequences when failure does occur (through redundant systems and emergency management planning), and reduced time required to recover.



HEALTH, ENVIRONMENT & MOBILITY

Plan Element: Create a Safe and Healthy Built Environment



Artist's rendering, 2014

Health is important to Loveland residents, and stakeholders see the many strong connections between quality of life, health, wellness, economic vitality, and how a community is designed and built. Community planning can have a positive impact on chronic disease and related health factors by improving the built environment – a fact supported by an emerging body of research. Improving our built environment includes enhancing walking and biking opportunities, increasing options for healthy affordable food through community gardens and farmers' markets, and expanding access to parks and open space. Community planning that incorporates health and wellness influences the quality of life experienced by all residents, business owners, and visitors – regardless of their age, income or ability. Seniors who age-in-place, as well as toddlers who play

THE BEST INDICATOR OF AN INDIVIDUAL'S QUALITY OF LIFE IS THEIR PHYSICAL AND MENTAL HEALTH. ALL OTHER COMMUNITY BENEFITS ARE ONLY APPENDAGES TO THIS BASIC HUMAN NEED.



in a park daily, are the beneficiaries of a land use plan that includes public health considerations.

A community's physical and mental health strengthens the local economy. A connected, accessible built environment enhances the value and desirability of the community to residents and employees alike. The young skilled workforce that top employers seek particularly value active living and transportation options that contribute to healthier lifestyles. Conversely, the leading causes of preventable death and disease in Larimer County (heart disease, stroke, type 2 diabetes and certain types of cancer) weaken economic development, employee productivity and student achievement. Because statewide obesity rates have doubled during the last two decades, healthcare costs in Colorado related to overweight and obesity exceeded \$1.6 billion² and nationally, over 21% of annual medical spending is attributable to obesity.³ (For more on the health drivers and trends in Loveland, see the Existing Conditions Health Snapshot in Appendix F). Physicians, schools, community organizations, parents and local governments are beginning to work together to increase opportunities for healthy eating and physical activity and reduce the economic and social burdens of chronic disease on their community.

Regular physical activity is a cornerstone of one's quality of life – helping control weight, reduce the risk of preventable diseases and some cancer, improve mental health, and increase chances of living longer. The layout and design of the City's built environment has a major bearing on individual physical activity. The role of the City is paramount in this collaborative approach, since it reviews all transportation and land use improvements as well as investing directly in public infrastructure. Simple changes in the built environment can result in measurable benefits such as;

- When community design accommodates and integrates pedestrians and bicyclists, there are higher rates of walking and biking.⁴ For each half mile walked per day, people are about 5 percent less likely to be obese.⁵
- People living in highly walkable, mixed-use communities are more than twice as likely to get 30 or more minutes of daily exercise as people who live in more auto dependent neighborhoods.⁶
- In low-income neighborhoods, each additional supermarket increases residents' likelihood of meeting nutritional guidelines by one-third.⁷
- Pedestrian accidents are 2.5 times more likely on streets without sidewalks than on otherwise similar streets.⁸
- Improved air quality reduces asthma problems and days missed from work while enhancing aesthetics (see Environment section for air quality policy).

² Trogdon, J.G., Finkelstein, E.A. Feagan, C.W., Cohen, J.W. (2012). State- and Payer Specific Estimates of Annual Medical Expenditures Attributable to Obesity, *Obesity*, 10, 214-220. Dollars cited were from 2009.

³ Accelerating Progress in Obesity Prevention: Solving the Weight of the Nation. Institute of Medicine; The National Academies Press, 2012

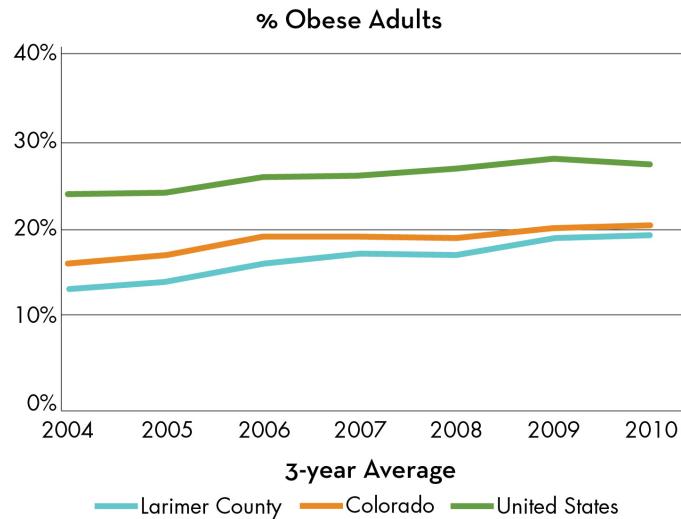
⁴ Summer 2009 Research Brief, Active Living Research, Active Transportation Making the Link from Transportation to Physical Activity and Obesity

⁵ Frank, et al., Linking Objectively Measured Physical Activity with Objectively Measured Urban Form: Findings from SMARTRAQ, *American Journal of Preventive Medicine*, at 117-1255 (February 2005)

⁶ L. Frank, et al, *supra* note 5.

⁷ K. Morland, et al, *The Contextual Effect of the Local Food Environment on Residents' Diet*, *American Journal of Public Health* (November 2002).

⁸ R. Knolblauch et al., *Investigation of Exposure Based Pedestrian Accident Areas: Crosswalks, Sidewalks, Local Streets and Major Arterials*, at 126-133, Federal Highway Administration, Washington, D.C. (1988)



Overweight and obese children and adults are rising at a higher rate in Colorado and Larimer County than the rest of the nation (Colorado Behavior and Risk Factor Surveillance System (BRFSS), Colorado Department of Public Health and Environment)



Almost 60% of Loveland adults recently surveyed say they get sufficient exercise, nearly 70% say they get moderate to vigorous exercise, and 13% report taking part in no physical activities

From Health District of Northern Larimer County 2013, Centers for Disease Control and Prevention

Through public outreach, Loveland residents overwhelmingly expressed a desire for an improved and expanded bicycle and pedestrian system to make walking and bicycling an easier and safer transportation choice – described in detail in the Mobility section that follows. Specifically, safely and conveniently connecting existing neighborhoods to parks, grocery stores, schools and commercial areas was identified as a priority. Also, encouraging new mixed-use, mixed housing type developments with walkable or bikeable access to daily needs provides an opportunity to make physical activity a routine part of life and reduces dependence on an automobile.

Completion of Recreation Trail



Expanded partnership for Safe Routes to School



Completion of sidewalks

Added parks with improved access



Improved bicycle lanes with street trees

Neighborhood markets



Preservation of land for urban agriculture and local food distribution



In addition to diverse physical activity opportunities, access to healthy, affordable food is important to Loveland residents and a proven strategy for positively impacting public health. Expanding access to grocery markets of various size and scale, including farmers' markets and neighborhood stores should be considered in planning efforts. Moreover, capitalizing on the community's rich agricultural heritage as a source for local food and economic development is a worthwhile endeavor. Opportunities remain to conserve high value working farms both within the urban fabric as well as in community separators as identified in the Parks & Recreation Master Plan and Our Lands – Our Future, a joint study with Larimer County for land conservation and nature-based recreation programs. The following land use policies reflect the commitment of the City to promoting the health and safety of its residents and play a key role in increasing opportunities for daily physical activity and access to affordable, healthy food.



A bike ride to a neighborhood park with the Mayor was followed by a "snap-n-strap" demo and a "rules of the road" introduction during one of CanDo's youth HEAL advocacy programs.

PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Create convenient, safe and diverse physical activity opportunities for residents of all ages, abilities, and income levels (see also Mobility section for bicycle and pedestrian policies and the Environment section for environmental health policies).

- 1.1. Strengthen and expand relationships with community partners and stakeholders, including the Safe Routes to School Task Force, to increase opportunities and education around walking and biking to school for all students.
- 1.2. Improve traffic calming and pedestrian orientated streetscapes on local streets through elements such as street trees and detached sidewalks to reduce traffic speeds while increasing pedestrians' and cyclists' comfort and safety.
- 1.3. Encourage and support bicycle and pedestrian infrastructure improvements for local trips with safe and easy access to routine goods and services.
- 1.4. Increase and expand bicycle and pedestrian connectivity and safety for easy access to parks, natural areas and the Recreation Trail.

Policy 2. Encourage the availability and affordability of healthy, fresh food throughout the City.

- 2.1. Create a land use pattern that facilitates residents' convenient access to healthy retail foods at neighborhood locations and through a range of scales and sizes.
- 2.2. Promote and preserve urban agriculture opportunities to support local food production, distribution and Loveland's agricultural heritage.
- 2.3. Identify appropriate locations for and support community gardens, such as within new developments, vacant land or on City properties.

Policy 3. Attract and maintain accessible, first-class hospitals and medical facilities in Loveland.

- 3.1. Work with healthcare providers to ensure that their goals are considered when evaluating land use patterns.
- 3.2. Consider the range, scale, market demands for, and placement of health care services and resources in relation to residential and mixed-use areas to support access for older adults and low-mobility residents.



Policy 4. Strive to provide year round parks and recreation opportunities that are universally accessible (see also Environment Policy 6).

- 4.1. Develop, operate, and program specialized recreation facilities in accordance with service level guidelines defined in the 2014 Parks and Recreation Plan.
- 4.2. Improve and provide safe, accessible, attractive indoor and outdoor facilities that meet the recreation programming goals of the community.
- 4.3. Coordinate the provision of recreation facilities with other local governments, special districts, and the Thompson R2-J School District as appropriate.

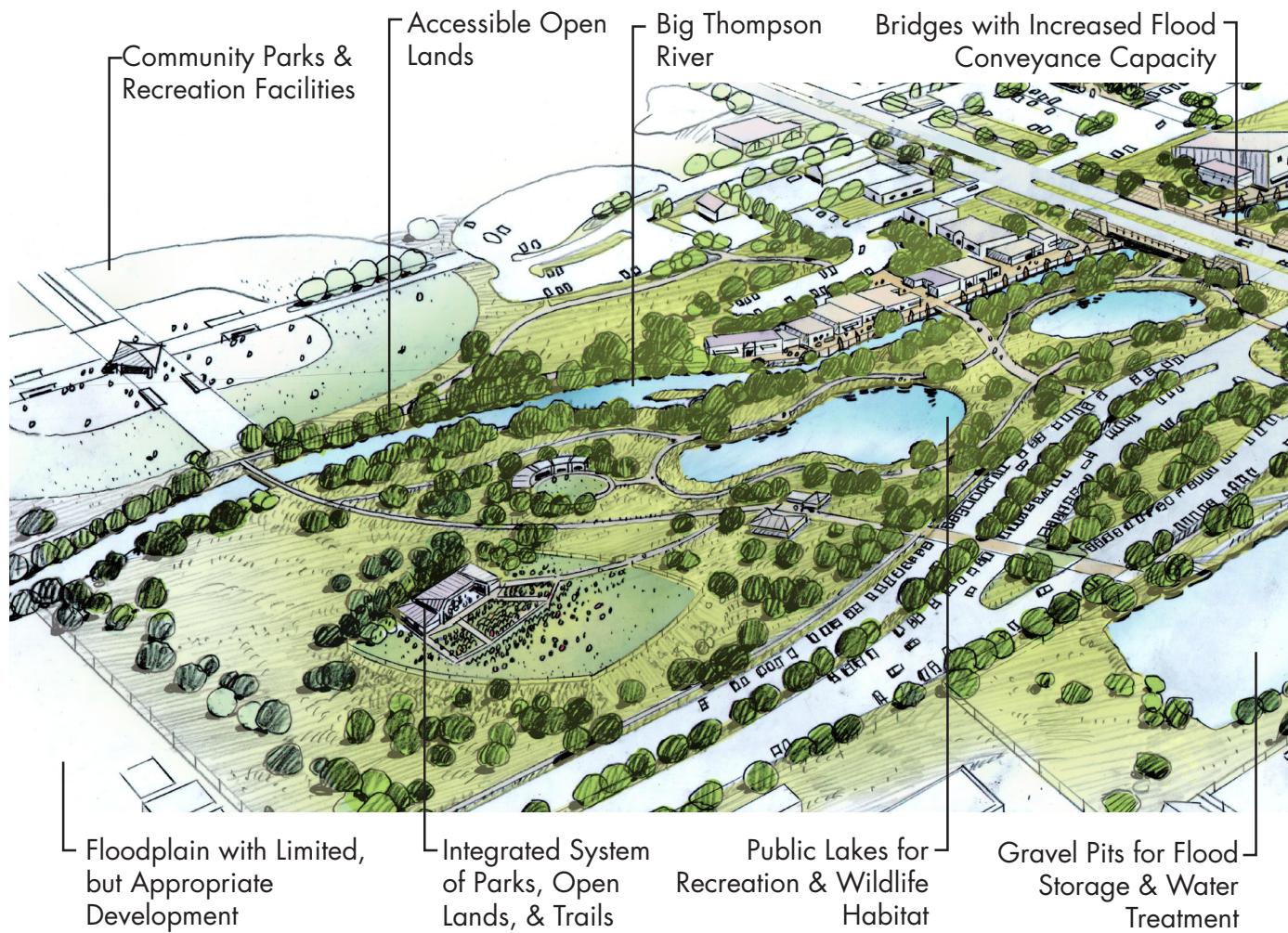
RELEVANT INDICATORS

- Sidewalks and Bicycle Infrastructure
- Connectivity
- Neighborhood Walkability
- Bicycle and Pedestrian Project Identification Completion



HEALTH, ENVIRONMENT & MOBILITY

Plan Element: Celebrate our Natural Assets in an Urban Setting



Artist's rendering for 287 Strategic Plan, 2015

Loveland is defined by its natural beauty, a diversity of Rocky Mountain foothills and the Great Plains landscapes, and by the Big Thompson River that runs through the city. Preserving Loveland's natural assets, and growing and building in ways that will not only protect but celebrate our natural surroundings is important to Loveland residents and to the local economy.

Through this plan, the Parks & Recreation Master Plan, and community surveys, residents have clearly communicated that recreation is essential to their quality of life and that having ample opportunity to enjoy nature and the outdoors improves their health, wellness and fitness.

Residents have also communicated that the most important additions to Loveland's recreational offerings would be more trails and bike paths, accessible open lands and natural areas, and more community parks and facilities.

A level of service analysis conducted for the 2014 Parks and Recreation Master Plan found that Loveland provides fewer trails and pathways, less accessible open space acreage, and less indoor recreation space on average than the peer communities of Fort Collins and Longmont. The study also revealed that Loveland would need to increase its acres of parkland and open space



and miles of hard and soft-surfaced trails to maintain current service levels and be well-positioned to provide abundant recreational opportunities as it grows in the future.

Loveland's position at the mouth of a steep, narrow canyon makes its floodplain prone to sediment deposition, channel movement, and damage to property and critical infrastructure. Extreme flooding in the Big Thompson River watershed is part of a recurring natural cycle and the river will inevitably flood again. In 1976 and recently in 2013, significant losses occurred to the community's economic, riparian, aquatic, recreational, scenic, and infrastructure resources due to severe flooding.

Today, residential and commercial development and City infrastructure occupy land that was formerly part of the Big Thompson River floodplain. The intensity and frequency of flooding has been exacerbated by development that has further constricted the floodway. Hundreds of homes and businesses have been damaged or destroyed in recent floods, and many of these properties are unsuitable for reconstruction or future development.

Careful planning can improve our community's resiliency to natural disasters while protecting and preserving Loveland's valuable, natural assets. The City is currently working toward conserving floodplains and waterways, restoring the Big Thompson River and city streams and creeks, as well as trying to further connect Downtown to the Big Thompson River (see Figure 2-5).

CREATE LOVELAND AND WATER

Create Loveland seeks to help Loveland become a more water efficient community by considering the impact of land use decisions on water use while anticipating how water supply will have an impact on future land use options. Currently, the water supply is not seen as placing immediate limits on Loveland's growth. However, it will need to be continually monitored through the Raw Water Master Plan.

PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Protect sensitive natural areas and wildlife habitat from development impacts.

- 1.1. Coordinate land development and land conservation efforts between City departments, Larimer County, non-profit partners and landowners.
- 1.2. Inside the Loveland GMA, lead in protecting open lands using a variety of protection techniques in partnership with willing landowners, including: acquisition, conservation easements, zoning tools such as Cluster Development, Transfer of Development Rights (TDR's), and the development process.
- 1.3. Outside of the Loveland GMA, collaborate to conserve high value lands through regional conservation efforts with non-profits, the State, Larimer County, and adjacent municipalities.
- 1.4. Realize the opportunities to protect wildlife movement corridors along waterways and foothills as Loveland grows by linking open spaces and drainage easements through and between subdivisions.
- 1.5. Complete a system of contiguous open lands in accordance with the Potential Open Lands Areas Map and associated criteria in the Parks & Recreation Master Plan.
- 1.6. Implement development standards and mitigation measures from the Parks & Recreation Master Plan for the Big Thompson River Corridor, designated wetlands, and identified natural areas to offset or accommodate the impacts of development.



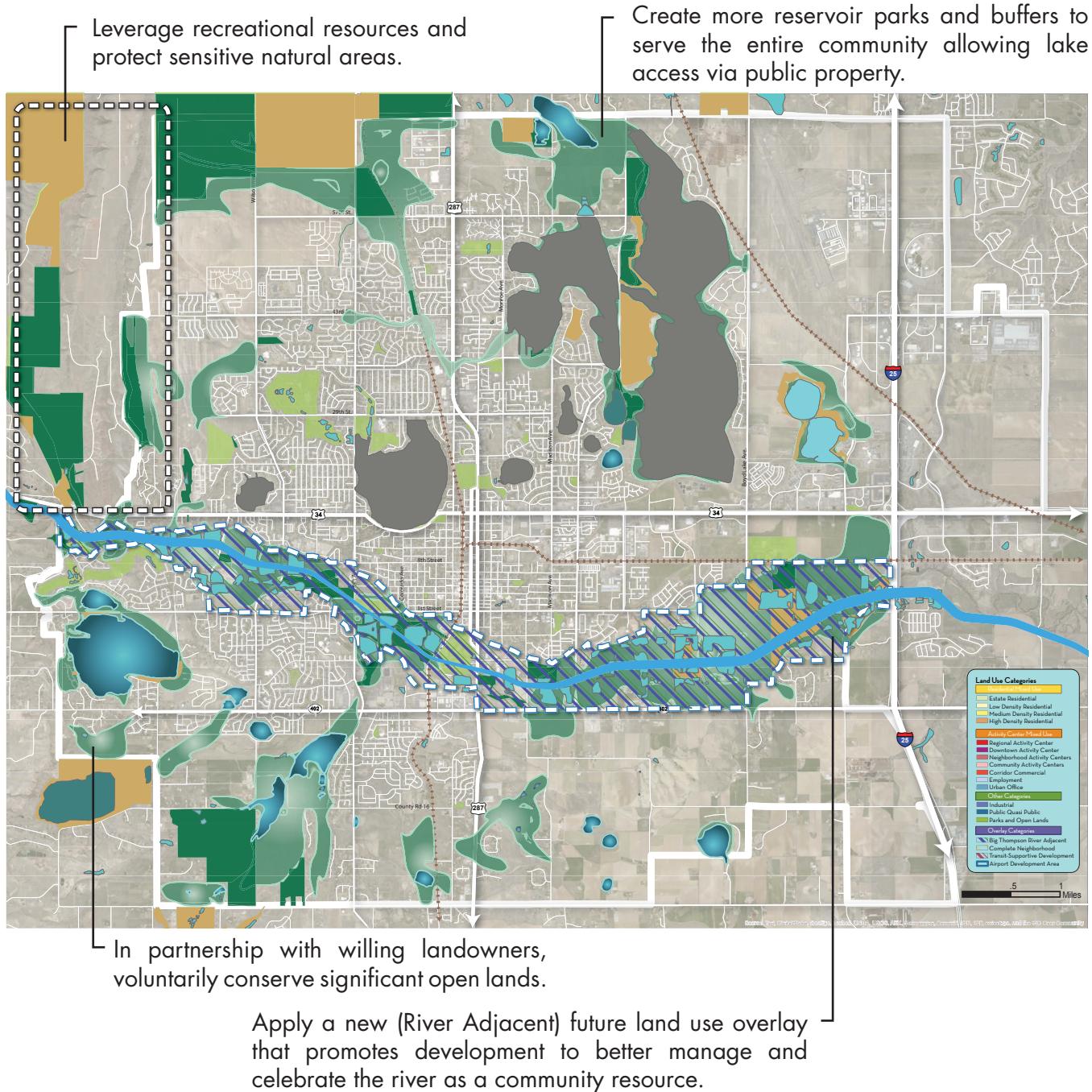


Figure 2-4. Land Use Plan opportunities to reinforce Loveland's neighborhood, community, and regional centers. The policies below support these opportunities.

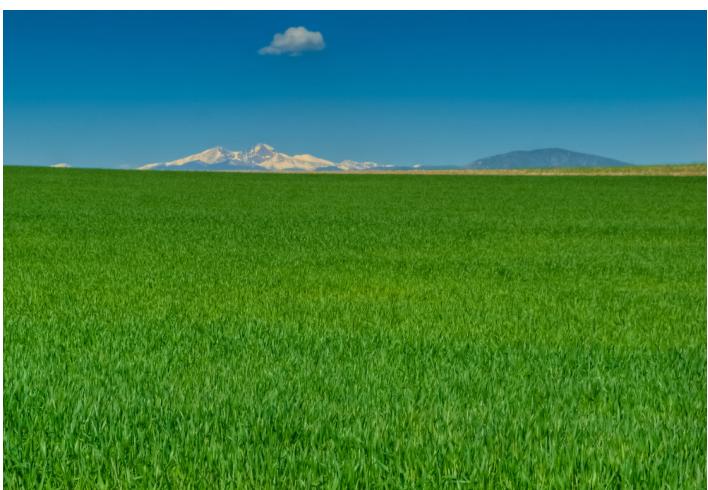


Policy 2. Strengthen community resiliency to flooding and natural disasters through development patterns, hazard identification and mitigation, and communication.

- 2.1. Accomplish a vision for the Big Thompson River that combines abundant wildlife and high-quality scenery with access via public property to river-related recreation opportunities.
- 2.2. Restrict development in the 100-year floodplain.
- 2.3. Reconnect the Big Thompson River with its floodplain and gravel pits to absorb storm volumes and velocities, and to continue its natural function.
- 2.4. Assess the risks and identify means to avoid and mitigate the effects of identified natural hazards on the built and natural environment.
- 2.5. Update and implement a hazard mitigation plan in tandem with regional efforts.



Clustered residential development allows for integrated open space



Working farms and ranches, like Long View Farm, should continue to be conserved within and adjacent to Loveland's GMA

Policy 3. Maintain natural areas according to management type.

- 3.1. Maintain open land values in accordance with their purpose and management, providing recreational access where appropriate (e.g., maintain those open lands containing high-value habitat as relatively undisturbed wildlife areas).
- 3.2. Encourage urban agriculture within incorporated areas, with larger working farms and ranches to continue within community separators.
- 3.3. Require a financially sustainable approach to land acquisition, stewardship and funding over the long term.



Policy 4. Protect and maintain environmental resources and quality.

- 4.1. Maintain and improve air quality by working towards a jobs-housing balance that reduces the need for long commutes, creates a land use pattern that supports effective alternative transportation options, and supports a large and healthy urban forest.
- 4.2. Reduce sources of water pollution by using site design practices that improve stormwater quality, such as Low Impact Development (LIDs) and stormwater best management practices (BMPs).
- 4.3. Foster responsible and balanced development of oil and gas resources in a manner that minimizes negative effects to existing and future land uses and other impacts.
- 4.4. Evaluate a dark sky ordinance city-wide or for western Loveland and the Big Thompson River corridor.
- 4.5. Actively promote landscape practices that conserve water, reduce pesticide and fertilizer application, and restore biodiversity.
- 4.6. Mitigate the urban heat island effect by encouraging a mature tree canopy and the addition of trees in parking lot landscaping.
- 4.7. Plant and maintain the urban forest along streets while minimizing utility conflicts.
- 4.8. Collaborate with gravel mining interests to ensure that mining operations are conducted to meet community values and restore ecological function. Develop innovative approaches to gravel mine reclamation that will provide wildlife habitat, restoration of native landscapes, recreational opportunities, connected flood storage, and other public values.

Policy 5. Support energy choices for Loveland residents and businesses that include clean sources.

- 5.1. Investigate options for alternative renewable energy generation on City properties.
- 5.2. Support enhanced home efficiency and performance measures to reduce energy costs and conserve resources (e.g., energy/water efficiency, rooftop solar, etc.).
- 5.3. Encourage high performing (i.e., LEED, Sustainable Sites) building methods in existing and new construction.

Policy 6. Maintain and expand parks and recreational facilities as a valuable asset to the community (see also Health Policy 4).

- 6.1. Implement the Parks & Recreation Master Plan.
- 6.2. Leverage recreational resources by creating community destinations that act as economic generators attracting tourists, businesses and residents.

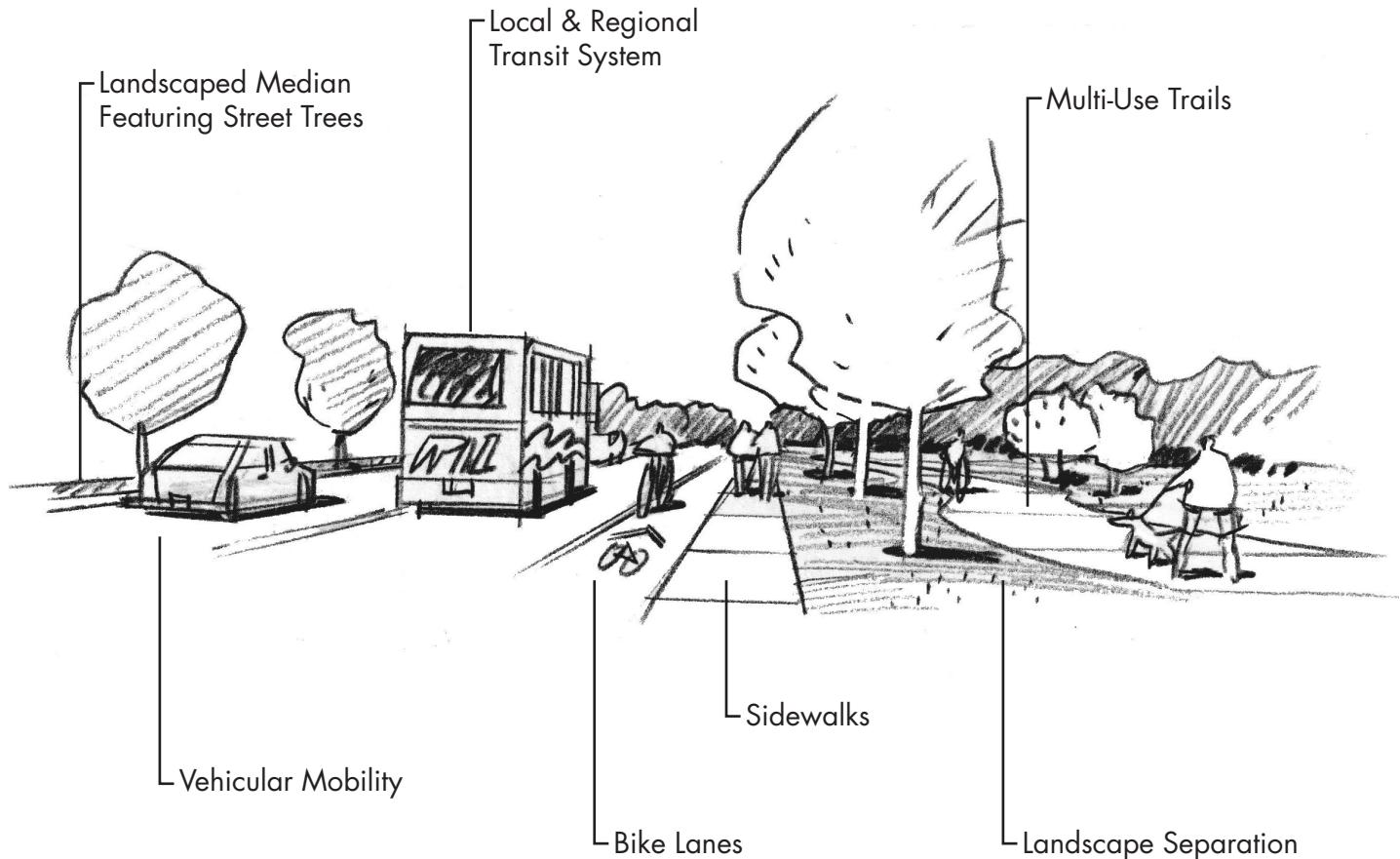
Relevant Indicators

- Development in High Risk Areas
- Residential Water Use



HEALTH, ENVIRONMENT & MOBILITY

Plan Element: Create a Connected and Accessible Community



Artist's rendering, 2014

Loveland continues to experience above average population growth, at a rate of 39% between 2000 and 2012 compared to 21% statewide. This rapid rate of growth is challenging the existing transportation network. The City's historic core contains a higher and denser mix of land uses and a street grid that provides a high level of connectivity for walking, biking and driving. However, beyond the core, post-war suburban and rural neighborhoods are characterized by low-density residential uses and include fewer through streets, wider streets, and more culs-de-sac, which makes them largely auto-dependent and difficult to efficiently serve with public transit. Loveland's lakes and floodplains act as barriers to through travel by all modes and can create bottlenecks and congestion. I-25, the Great Western

Railroads, and the BNSF Railroad connect Loveland to statewide markets, yet these regional transportation facilities create additional barriers for local travel by other modes. For more on the existing transportation conditions and trends in Loveland, see the Transportation Snapshot in Appendix F.

Mobility, or the ability to move freely or easily, in the community plays a large role in the standard of living for residents, and a well-balanced, well-maintained transportation system is critical for sustaining Loveland's high quality of life. Improving vehicular mobility, transit accessibility, and pedestrian and bicycle connectivity and safety is a priority for the City. Traffic will increase in the coming years, so citizens are very interested in creating multimodal corridors, updating key



intersections and encouraging new east-west vehicular corridors. The safer and more convenient the bicycle and pedestrian network becomes, the more local retailers and employers will benefit. Also important, is the concept of Accessibility which refers to people's ability to reach goods, services, and activities using their desired mode of transportation. Accessibility means considering not only if people can get around quickly, but also how well the City's land use pattern supports people's ability to have access to jobs, activities, goods and services proximate to where they live. Improved accessibility can help populations with mobility challenges, such as the elderly.

Many residents have expressed concern about the lack of reliable public transportation and convenient non-motorized options in Loveland. They want to see completion of the Recreation Trail and regional trail corridors, and more progressive planning for shared use paths and recreational trails in new and older developments. There is a strong desire for a bicycle and pedestrian network that serves commuter, recreational, and social/errand trip purposes. They want a transit system that serves transit-dependent populations including the working poor and elderly, and also offers a viable travel choice for commuters within Loveland and regionally. With increasing traffic in the coming years, citizens are very interested in updating key intersections, making corridors multimodal, and improving east-west vehicular corridors (see Figure 2-6).

Figure 2-6. A connected and accessible street grid reduces traffic congestion and expands choices for all transportation modes (vehicle, transit, bicycle, and pedestrian). Transportation choices also strengthen retail performance and neighborhood vitality. The policies below support these opportunities.

Drive Alone



2000 | 2014
82.5% | **81.0%**

-1.8% Change

Carpool



2000 | 2014
10.8% | **8.6%**

-20.3% Change

Walk



2000 | 2014
1.6% | **1.5%**

-6.2% Change

Public Transit



2000 | 2014
0.1% | **0.3%**

200% Change

Other Means



2000 | 2014
1.0% | **2.4%**

140% Change

Telecommute



2000 | 2014
4.0% | **6.1%**

52.5% Change

2000 US Census and 2014 American Community Survey



Gridded street pattern that enables direct routes for walking and biking and disperses traffic.

Multi-modal connections to Loveland Recreational Trail

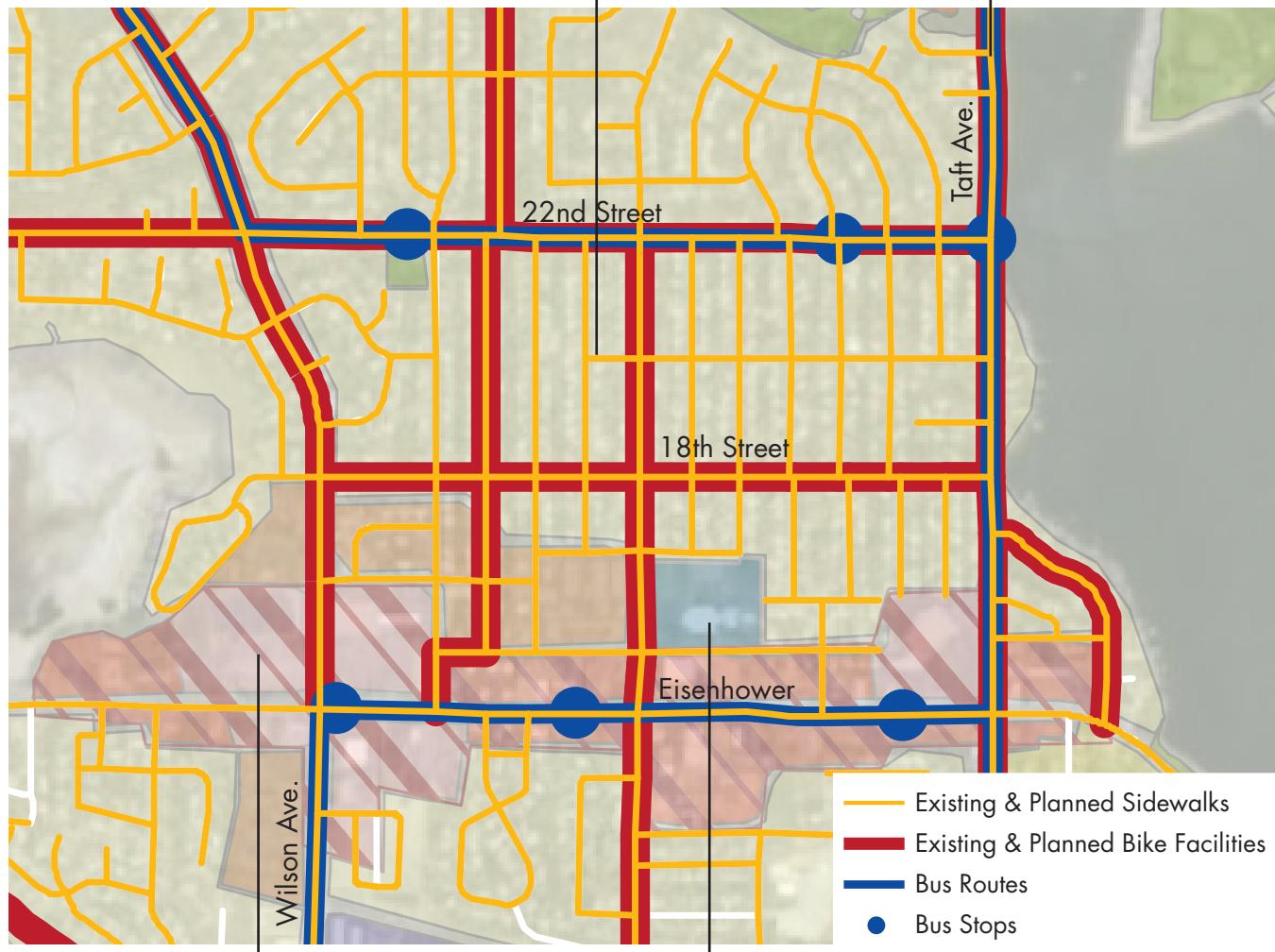


Figure 2-6. A connected and accessible street grid reduces traffic congestion and expands choices for all transportation modes (vehicle, transit, bicycle, and pedestrian). Transportation choices also strengthen retail performance and neighborhood vitality. The policies below support these opportunities.



PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Plan a safe, efficient, coordinated and convenient multimodal transportation system.

- 1.1. Integrate land use and transportation decision making to maximize infrastructure investments.
- 1.2. Participate in the North Front Range Metropolitan Planning Organization's (NFRMPO) and CDOT's ongoing efforts to identify congestion, the causes of congestion and to recommend mitigation measures as required in the Congestion Management Process.
- 1.3. Evaluate the established street levels of service to ensure that they meet the needs of the community and do not hamper walkability and quality neighborhood design.
- 1.4. Implement Transportation Demand Management (TDM) programs and coordinate land use and transportation decisions to reduce single-occupancy vehicle trips by minimizing trip lengths and providing mixed-use and transit oriented development options.
- 1.5. Coordinate with CDOT, the NFRMPO and neighboring jurisdictions to implement regional transportation projects on I-25, US 34, US 287, and SH 402.

Policy 2. Provide infrastructure to make walking and bicycling convenient and viable for all types of trips and for all ages, abilities, and income levels.

- 2.1. Accelerate implementation of the 2012 Bicycle and Pedestrian Plan and NFRMPO Regional Bicycle Plan by considering a range of different funding sources and leveraging opportunities to combine bicycle and pedestrian projects with roadway capital projects and maintenance projects.
- 2.2. Work with the School District to improve bike and pedestrian infrastructure near schools and connecting to neighborhoods.
- 2.3. Enforce existing codes and ordinances that require property owners to maintain their sidewalks in good condition.



The area above promotes active transportation with a highly-connected network of sidewalks, bicycle facilities, and transit.



Insufficient pedestrian infrastructure limits accessibility



Bike parking on 4th Street is located in space unused due to angled parking



- 2.4. Complete the Recreational Trail system of hard- and soft-surfaced trails for off-street, non-motorized, and non-equestrian recreation uses.
- 2.5. Require that developments provide land, access or easements for the City's planned trail system when development proposals are submitted.
- 2.6. Coordinate the provision of bicycle and pedestrian facilities among various government departments, and with other local governments, state and federal government, special districts, and the Thompson R2-J School District, as appropriate.
- 2.7. Promote a walkable environment in commercial locations by connecting internal sidewalks to the public sidewalk network and designing internal pedestrian circulation that is safe, direct, and comfortable.
- 2.8. Require new developments to provide bicycle and pedestrian improvements consistent with Loveland's street standards and the applicable land use category guidelines.
- 2.9. Coordinate bicycle and pedestrian planning and implementation with other infrastructure projects and land use decisions. Specifically, ensure coordination in implementation of the:
 - Bicycle and Pedestrian Plan
 - Parks and Recreation Master Plan
 - Transportation Plan
- 2.10. Emphasize trail access for citizens inside the City's Growth Management Area.
- 2.11. Consider the varying needs of citizens of all ages and abilities in planning and implementing the bicycle and pedestrian system.

Policy 3. Make the COLT bus system a convenient, efficient and functional choice.

- 3.1. Expand the City's public transit system consistent with adopted transit plans. Use transit plans when reviewing land use decisions to identify opportunities to make transit service more productive and better serve major transportation corridors and all major district destinations.
- 3.2. Stimulate the local economy through investment in public transportation infrastructure and operations.
- 3.3. Encourage transit-supportive densities in strategic locations and land use categories (see Chapter 3 Land Use Map and Transit Supported Development land use category description).
- 3.4. Encourage adequate funding and improvements to make COLT more convenient and communicate an image of quality to make it more desirable to choice riders.



Policy 4. Establish and maintain convenient connections between neighborhoods and to local destinations.

- 4.1. Require well-connected streets, sidewalks, and bike paths/lanes in new developments and redevelopment areas and between neighborhoods. Examine Larimer County Urban Area Street Standards to find opportunities to increase street connectivity
- 4.2. Establish street connectivity and block size targets that support walkability.
- 4.3. Enhance street connectivity in new developments with shorter, pedestrian-scale blocks and narrower streets to improve walkability and connectivity. Provide intermediate pedestrian connections where block lengths are long.
- 4.4. Provide incentives for highly connected grids and small block networks that exceed minimum requirements.
- 4.5. Improve existing intersections to facilitate north-south and east-west traffic.
- 4.6. Create new transportation corridors to overcome barriers to local traffic (waterways, railroads, I-25).
- 4.7. Look for opportunities to locate service providers closer to the populations they serve.
- 4.8. Recognize that transit alone is not sufficient to solve access issues for the elderly and those with disabilities and that the land use pattern must also support convenient, non-vehicular access to services.

Policy 5. Establish a sustainable financing foundation for a transportation system that provides dependable mode options with the ability to accommodate Loveland's growth.

- 5.1. Investigate all reasonable options for financing capital, operations, and maintenance costs for transportation and developing an implementation strategy that recognizes current funding realities and limitations. Seek funding sources that allow for stability and long range planning.
- 5.2. Monitor the schedule and eligibility requirements and proactively pursue state and federal funding available through the North Front Range MPO, Colorado Department of Transportation, Federal Highway Administration, and Federal Transit Administration.

Relevant Indicators

- Sidewalks and Bicycle Infrastructure
- Mode Split
- Connectivity Index
- Walkability



NEIGHBORHOODS & COMMUNITY ASSETS

It is crucial to preserve the quality of life and small-town feel that citizens enjoy. Continued investment and improvement in developed neighborhoods and their unique identity, as well as new areas, play an important role in this. This includes creating “full-service” communities, with small mixed-use areas and neighborhood-serving uses such as a grocery store or daycare. Building neighborhoods around community amenities such as parks and schools - as well as public art, festivals, and cultural offerings - fertilizes deep roots in relationships and a sense of community.

Loveland’s vision includes diversity in neighborhoods, from architectural style to housing types, tenures, affordability, and uses. Diverse neighborhoods will support housing equity, and a mix of housing types can provide for the needs of all ages, incomes and family types. Neighborhoods that include a variety of housing types and residents tend to be more resilient to economic and school challenges that would otherwise impact homogeneous homes or populations. In contrast, a neighborhood where all the homes are a similar size or layout, for example, may experience concentrated decline as consumer preferences change over time. A neighborhood with a variety of housing types also represents a more efficient use of infrastructure as the neighborhood is less likely to decline and cause the infrastructure to be under-utilized.

Fostering Community Resiliency

A socially resilient Loveland fosters and maintains a high quality of life for those that reside and work in Loveland. While not all threats lie within the domain of City’s role in land use and the built environment, the City can support the health, wellness, and safety needs of residents, and cultivate opportunities for them to interact with others and engage in neighborhood and community matters. Community resiliency also means that community members have options and choices when it comes to things like transportation, housing, employment, and recreation; so that people of all ages and abilities can lead independent and meaningful lives in Loveland. Solid leadership and strong regional relationships also help to unite community members and build a strong social fabric, which helps enhance Loveland’s ability to respond to future challenges and opportunities.



57% OF LOVELANDERS
agree or strongly agree that
City Council is approving
development that enhances
the quality of life in our
community.

2015 Annual Quality of Life Survey

THREATS TO LOVELAND’S HEALTH, ENVIRONMENT, AND INFRASTRUCTURE:

- *The quality of and community support for lifelong education*
- *Public safety, including bicycling, and pedestrian safety*
- *Not capitalizing on demographic shifts such as aging and attracting millennials*
- *An unhealthy population, days missed from work, and preventable illnesses*
- *Missed opportunities or inadequate funding for future trail and park acquisition and open land conservation*



Planning for community resiliency includes addressing factors related to the built environment, as well as integrating and addressing the social and economic needs and desires of residents. In terms of land use, Loveland can build social resiliency and capacity by ensuring that neighborhoods are walkable, connected, and within close proximity to shops, services, and public spaces so that people can easily and safely satisfy their daily needs and interact with one another. Maintaining quality, safe, and desirable neighborhoods that incorporate a mix of housing options also helps to support and accommodate residents at different life stages, such as first-time homeowners, families with school-aged children, retirees, and senior citizens. In addition, the City of Loveland can support social resiliency by continuing to check in with and listening to the ideas and concerns of community members, as well as continuing to coordinate regionally and strengthen relationships with neighbor communities and service providers.

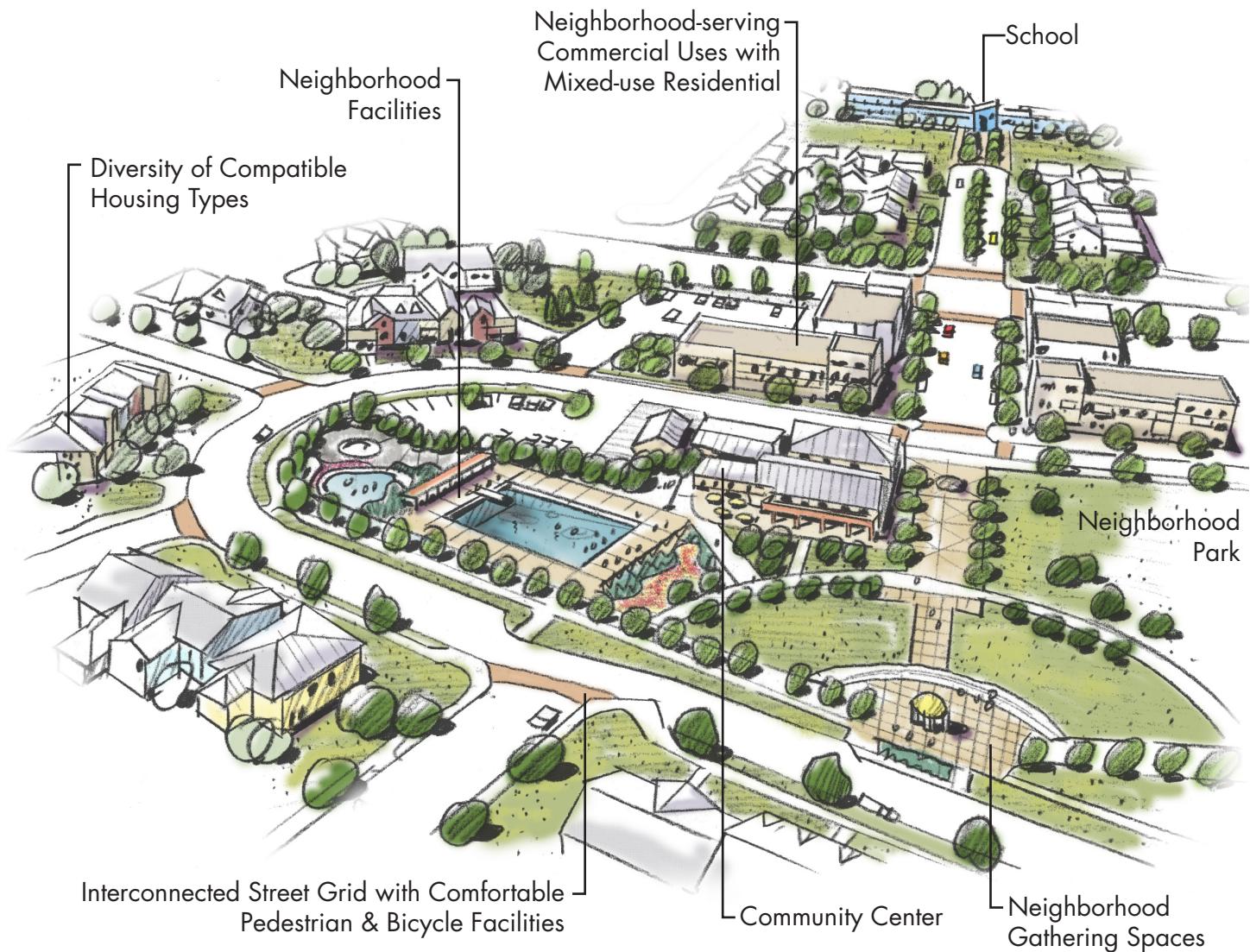
"The awareness, energy, and resources that communities bring to recovery from a painful and heart-wrenching disaster can catalyze actions that contribute to broader objectives of livability and sustainability. Those communities that recognize that linkage become stronger, more vibrant, and better able to withstand future events, because they have laid the groundwork for maintaining themselves as healthy, functional, and self-sufficient—they bounce forward."

From the 2014 Urban Land Institute (ULI) Advisory Services Panel Report for Northern Colorado, Connected Systems, Connected Futures: Building for Resilience and Prosperity.



NEIGHBORHOODS & COMMUNITY ASSETS

Plan Element: Facilitate Complete Neighborhoods



Artist's rendering, 2014

An attractive and diverse housing stock is vital for the City of Loveland to preserve its position as an attractive place to live and support its economic development goals. The evolving North Front Range economy and changing demographics are altering the dynamics of the local housing market, requiring an updated understanding of local housing needs. This comprehensive plan update provides the City the opportunity to strategically plan for its next phase of housing development, ensuring housing development meets the current and future needs of its residents.

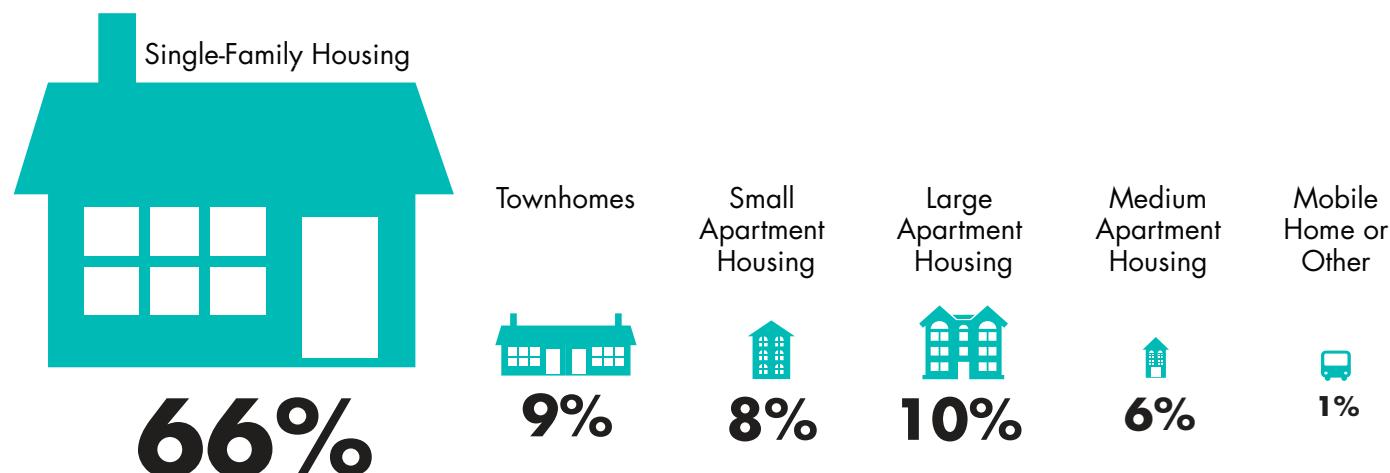
Since the 2005 Comprehensive Plan, City efforts have focused on creating welcoming neighborhoods; continued neighborhood growth throughout various parts of the City; integrating into the existing physical and social environment; and encouraging a variety of housing styles and types throughout the community that result in appropriately dense development. For more on the existing housing conditions and trends in Loveland, see the Housing Snapshot in Appendix F.



The public input process revealed a wide range of views among residents regarding how housing development should be prioritized and approached in the future. In addition to public comments on new housing opportunities (see Figure 2-7), many residents referenced current housing conditions. Residents stated the need for home improvements, which is unsurprising given that over 40 percent of Loveland housing units were constructed before 1980. However, many residents also noted an appreciation for the City's historic neighborhood design and suggested utilizing a similar pattern for future housing and neighborhood development. Loveland must also acknowledge and assist aging residents within the City, a group that will have increasing housing accessibility needs.

Current market trends show the popularity of neighborhoods that mix different housing types and densities with commercial and civic development in a pedestrian and bicycle friendly environment. With proper policies and zoning options, the development of these "complete neighborhoods" can be a viable and efficient option for the Loveland community. The land use plan and category descriptions such as the "Complete Neighborhoods" optional overlay in Chapter 3 provides a path for the creation of these neighborhoods.

It is the intent of this plan to allow mixed use housing types as an option for future development. As Loveland grows it will need to accommodate a wider variety of housing preferences. Development of a variety of neigh-



2014 American Community Survey

One recurring theme among residents is the desire for increased multifamily and mixed use housing development, housing types that are relatively limited currently—approximately two-thirds of Loveland housing units are single family homes. It is important for Loveland to continue to balance its past goal of not becoming overly dense with the realities of the current housing demands. The incorporation of multifamily and mixed use housing translates to a more diversified housing market overall, with greater variation in housing types, tenures, affordability and uses. With rental unit vacancy rates at a 10-year low and median gross rents at a high point, the Loveland housing market is in need of increased multifamily and mixed use housing.

borhood types should be an efficient process with high quality outcomes. As density increases, so too should community amenities, open space, and design quality.

There is a clear relationship between the income level of jobs throughout the City and housing types. A large proportion of retail and service-oriented jobs and slow growth in primary jobs exacerbates housing affordability issues. While multifamily and mixed use housing will help address housing affordability, a number of residents explicitly stated the need for increased affordable housing throughout the City. For Loveland to grow as a community in the fashion it wants—diverse, multi-cultural and vibrant—it needs to attract primary jobs, higher paying employers and prioritize creating housing affordability throughout the City.



We are a community that encourages affordable housing, and considers housing affordability in land use decisions. When communities talk about affordable housing, often it is in reference to a program that provides support, financial or otherwise to the production and maintenance of housing that charges below-market rates. The decision to undertake an affordable housing program is often based on the availability of funding, which competes against other City priorities on a yearly basis.

A more fiscally sustainable and resilient approach that can be implemented through a comprehensive plan is one that addresses housing affordability. Housing affordability speaks to the amount of income households have to spend to meet their housing needs. In a community with a housing affordability problem, households have less money to spend, for example, at local businesses.

A community that provides a wide range of housing types is more likely to have a housing supply and market that adequately serves people across the income

ALIGNING COMMUNITY DESIRES WITH MARKET DEMANDS

A good plan works with the market to achieve community desires. Loveland stakeholders have expressed a wish to live in a community that provides a range of retail and service options, including smaller outlets located within their neighborhood. However, current trends in commercial development may be favoring consolidation into larger sites, such as for the medical and dental uses that people enjoy having conveniently located within their neighborhood. Create Loveland looks for opportunities to work with developers to create neighborhood commercial and service nodes while recognizing that not all commercial development will fit this pattern.



Multifamily housing options



Senior housing options



Development that recalls historic neighborhoods, with alleys and detached sidewalks



spectrum. Density also plays a role in allowing market rate housing to be affordable because higher density housing has lower land costs per unit and can therefore be sold or rented for a lower price. Because housing and transportation are typically the two largest expenses in a household, locating housing so that a family only needs one (or no) car in order to access school, work, shopping, and recreation can have a positive impact on a family's finances.

This comprehensive plan supports housing affordability by facilitating the mixed density neighborhoods, close to transit service and ensuring that sufficient density is allowed in order to keep land costs per housing units reasonable. It further emphasizes retaining and attracting higher wage employers beyond traditional service employment.

The City has prospered over the last decade in large part due to its well-conceived and executed housing strategy. While many of the goals today are the same as they were then, it is important for this updated plan to reflect the present demographic, economic and housing characteristics. Policies promoting the development of new diverse, affordable, integrated and accessible housing will ensure Loveland continues its legacy as a welcoming and inclusive community.

The following land use policies will ensure that the City continues its commitment to a diverse community, grows residentially in an appropriate manner, acknowledges and provides for the needs of its residents and retains its historical character.

PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Encourage development of diverse housing types and complete neighborhoods (see also Neighborhood Character Policy 3).

- 1.1. Identify areas of the community appropriate for more diverse housing types and neighborhoods. As transportation intensity increases, housing intensity can increase to support transit and walkability goals.
- 1.2. The Complete Neighborhoods designation is intended to encourage alternatives to standard LDR and MDR development city-wide (see Chapter 3). Criteria for applying Complete Neighborhoods includes but is not limited to: public support; development program; transportation network that gives highest priority to pedestrian and bicycle modes; and site potential to create a fine-grained mix of housing types, densities, and neighborhood scale commercial and civic uses that accommodates a variety of household incomes, ages, and sizes.
- 1.3. Promote multifamily housing and mixed use developments that attract young families and retirees and provide for non-traditional households.
- 1.4. Increase regulatory flexibility to allow for neighborhood commercial land uses and higher-density and mixed use housing in appropriate locations, i.e., near commercial centers, transit stops and arterial roadways.
- 1.5. Provide incentives such as density bonuses or allowances for accessory dwelling units for neighborhoods that mix housing unit types and contain a commercial component desired for walkability.
- 1.6. Encourage development of housing types that appeal to high-quality employees and employers.
- 1.7. Use creativity and flexibility to achieve quality design in small lot neighborhoods. Allow for smaller housing units to accommodate a variety of housing needs.

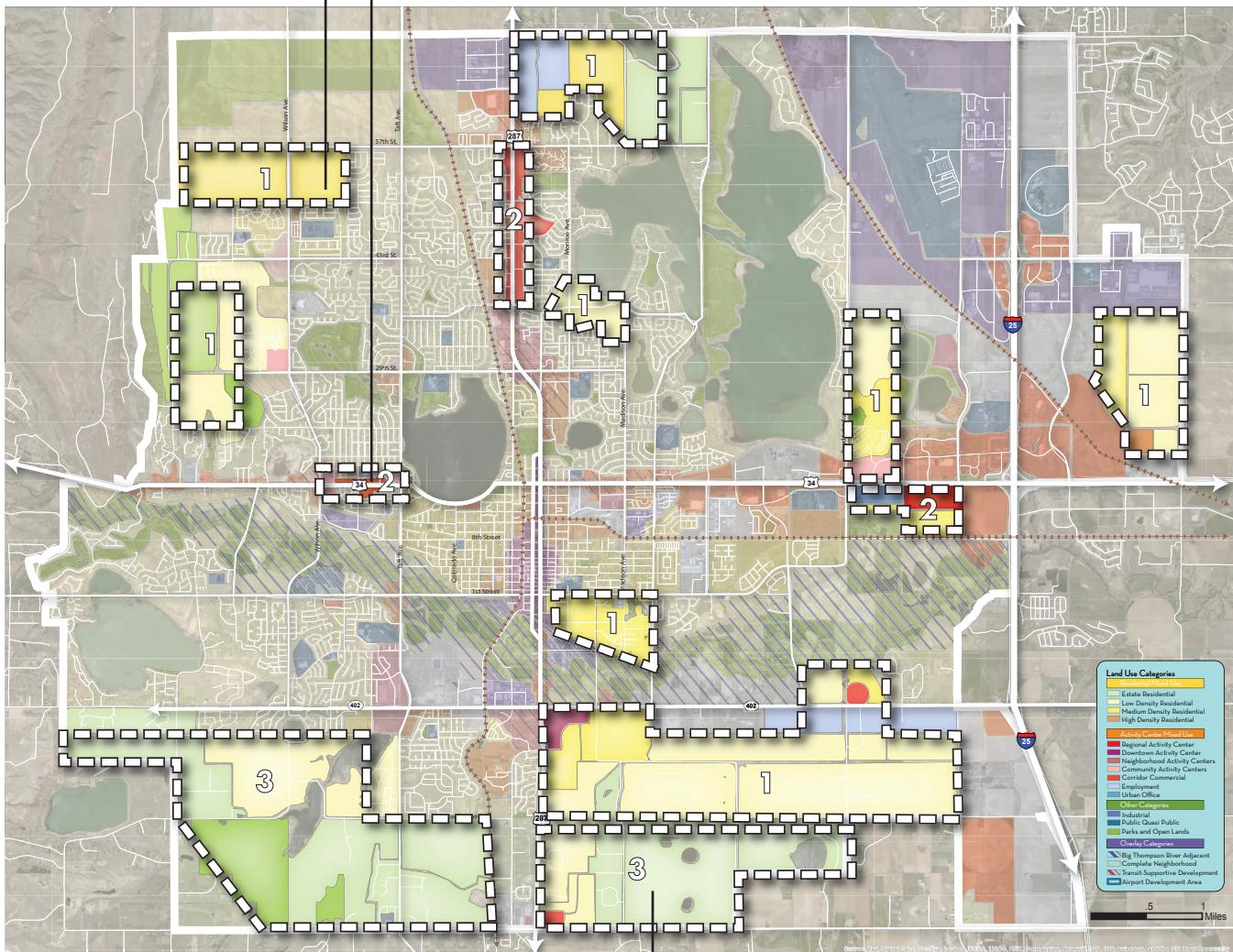
Policy 2. Support housing that meets the needs of low and moderate income households (see also Neighborhood Character Policy 3).

- 2.1. Identify and resolve barriers that impede the development of affordable housing.
- 2.2. Support market based mechanisms (i.e., density bonuses, fee waivers) to increase the supply of affordable housing.
- 2.3. Prioritize the development of affordable housing near commercial/employment centers, transit stops and social services.
- 2.4. Where appropriate, integrate affordable housing into new mixed-income neighborhoods to reduce segregation and concentration of poverty.



1 Develop New Mixed-Use and Mixed-Density Neighborhoods.

2 Improve Mixed-Use Neighborhoods that are Close to Primary Corridors and Housing Choices.



3 Create New Neighborhood Types that are Sensitive to Adjacent Natural Areas.

Figure 2-7: Land Use Plan opportunities to encourage complete neighborhoods and revitalize corridors with mixed use residential developments. The policies below support these opportunities.



Policy 3. Align new housing development with resident needs and community values.

- 3.1. Protect and preserve environmental assets in sensitive areas and adjacent to City Open Lands by using clustering development techniques.
- 3.2. Encourage a portion of new housing development to recall historical neighborhoods, including a variety of housing, alleys and small gridded blocks.
- 3.3. Allow live/work and commercial uses in residential neighborhoods where appropriate.
- 3.4. Retain some residential neighborhoods as purely residential.
- 3.5. Utilize residential design standards to achieve neighborhoods that have attractive streetscapes and public realms not visually dominated by garages.

Policy 4. Promote integration of housing in commercial and employment centers (see Chapter 3 Land Use Categories).

- 4.1. Add housing to underperforming, redeveloping and new commercial and employment areas.
- 4.2. Encourage new housing to locate in areas cost-efficiently served by existing or planned public infrastructure.
- 4.3. Work with developers to incorporate neighborhood-serving commercial interior to or within walking distance of new housing development.

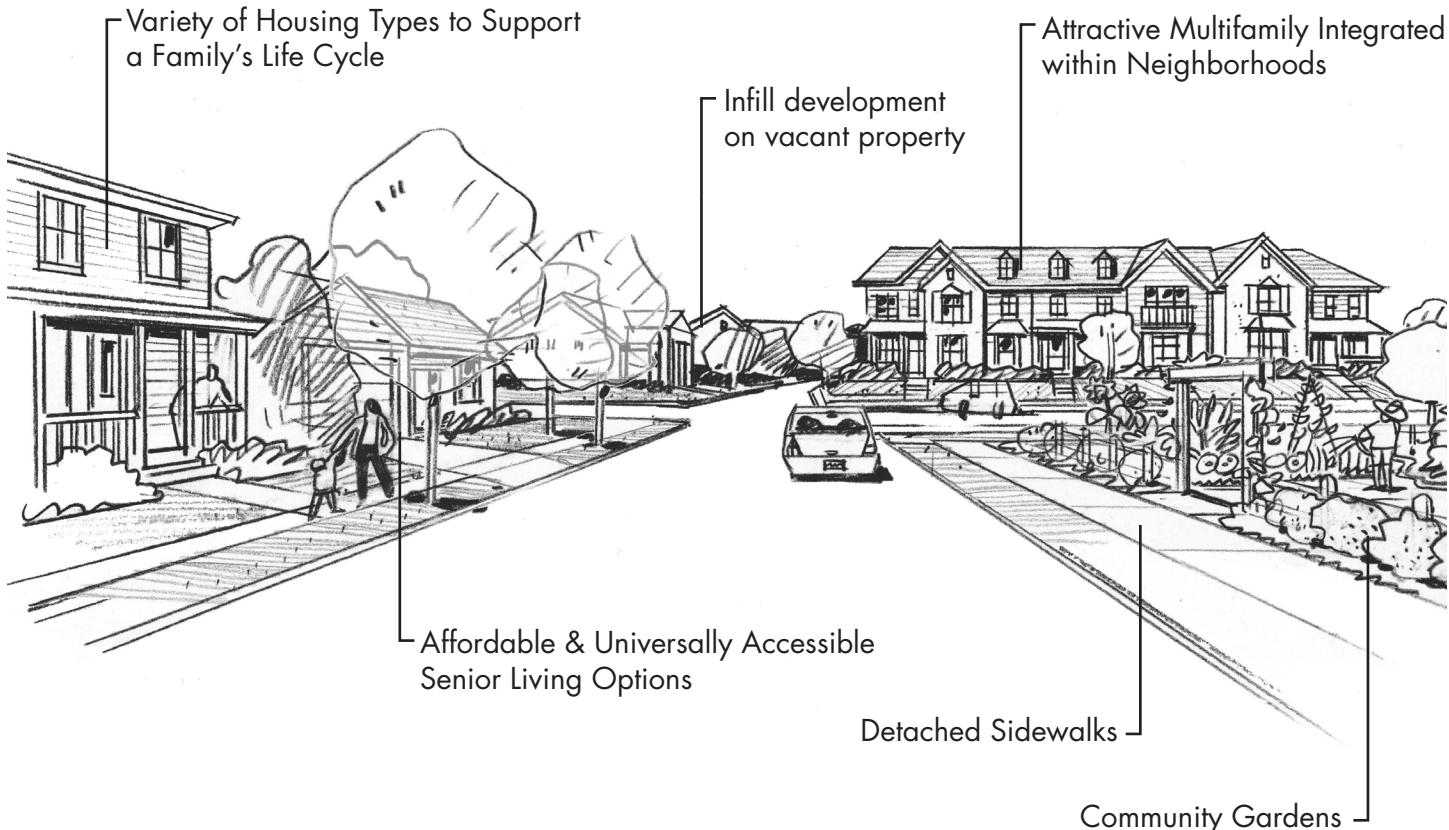
Relevant Indicators

- Residential Affordability
- Jobs-housing balance
- Residential Density
- Neighborhood Walkability



NEIGHBORHOODS & COMMUNITY ASSETS

Plan Element: Invest in Loveland's Older Neighborhoods



Artist's rendering, 2014

Loveland's established neighborhoods are key to continuing its revitalization and prosperity. Loveland's oldest districts require unique strategies to leverage property owner reinvestment and civic pride. These nearby districts are often Loveland's most ethnic-, architectural, age- and income-diverse neighborhoods and have long been attractive for their proximity to civic areas, Downtown amenities and businesses. Continued investment and improvement in Loveland's older neighborhoods will play an important role in preserving the historic charm and small-town feel that citizens enjoy and value.

Older neighborhoods offer a prime opportunity to make the most efficient use of existing infrastructure and achieve affordable housing goals. Established neighborhoods are similarly some of the City's most compact areas and offer the greatest potential for allowing people

to stay in their homes as they age, make walking/biking easy and cost-efficient, attract young families, and provide for the growing number of non-traditional households. Yet they often lack basic infrastructure improvements, such as sidewalks and bike lanes.

Many residents voiced concern that older neighborhoods are at risk of neglect, and that older homes should be preserved and renovated to maintain historic neighborhood character. It is a sad reality that a few older neighborhoods have declined and suffer from sub-standard conditions.

These neighborhoods – largely built in the early 1900s through 1950s – are also diverse in their organizational structures. Many older neighborhoods have informally developed long-standing social traditions and activities that help bind residents of the neighborhood together.





Two in five houses were built before 1980.

2014 GIS Loveland parcel data

Other neighborhoods have no such traditions or leadership to communicate concerns to the City. In comparison, many newer neighborhoods have homeowner associations with leadership liaisons to the City, as well as coordinated common ground maintenance. Redevelopment and infill development in existing neighborhoods faces a number of challenges: old infrastructure results in uncertainty and increased costs; existing neighbors may object to the prospect of change and increased traffic; sometimes the zoning of the property may not correspond with the development potential of the property or the requirements may make the development infeasible. Create Loveland recognizes the importance of allowing Loveland's older neighborhoods to evolve – balancing stability with vibrancy. While the Plan cannot make old water and sewer pipes new again, it can address the concerns of neighbors and lay the groundwork for utilizing zoning to support and not hinder redevelopment.

Zoning can address neighborhood concerns by including infill or redevelopment standards that address how new development relates to existing development instead of focusing solely on height, density, setbacks, etc. like current zoning policy does. Better standards can increase the level of certainty around development for both the neighbors and the developer. Zoning roadblocks can also be removed by modifying or loosening standards to make it more financially feasible or easier to fit a project onto a property. Care must be exercised as loosened standards can make a neighborhood less likely to accept change.

Changes to economic conditions and consumer preferences can make it so that the zoning of a neighborhood does not allow for the development demanded by the market. When pursuing a change in zoning in order to make new development economically feasible in an existing neighborhood, care must be taken. Rezoning can

be an appropriate tool when it would support not only the economic development of the property, but also the larger goals of the community and City, and not push too much change, too fast on an existing neighborhood. The vested interests of property owners are an important consideration. Examples of an appropriate situation for rezoning might be where a property is located in a transitional area where an investment in infrastructure is being made. Rezonings should be in compliance with the Comprehensive Plan and must not be spot zonings.

Central to Loveland's character are important historic themes surrounding agriculture and irrigation, transportation and tourism, cultural life and cultural landscapes, and the built architectural resources which support these activities (see the Historic Preservation Plan). Whether one considers the job-creating impact of a single rehabilitation project, the cost effectiveness of a revitalization program, the appeal of a heritage tourism strategy, or the inclusion of historic preservation as a central element in an overall economic development plan, when preservation has been tried and measured, there is but one conclusion: preservation pays. In addition to the pride in ownership and the protections provided by historic designation, historic building owners may take advantage of tax incentives and compete for grant programs to maintain their historic properties.

Last but not least, the City recognizes that a gap exists between the needs and abilities of older adults and the common design of the built environment and therefore supports policies which eliminate this gap. Actively involving older adults and an aging perspective in City land use and zoning processes can help raise the level of functioning and independence of older adults. This gap will narrow with an "age in everything" approach to planning, where older adults are considered in all program, housing, and facility planning.





Wayfinding and streetscape improvements



Park improvements



Multi-family housing and mixed-use developments

Targeted redevelopment



Façade improvements



PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Continue investing in older neighborhoods as they age.

- 1.1. Create safe and attractive connections from Downtown to surrounding neighborhoods through street tree plantings, pedestrian/bicycle infrastructure improvements, and pedestrian-scale lighting.
- 1.2. Work with neighborhood organizations to identify and eliminate negative factors of blight, such as deteriorating infrastructure, in aging neighborhoods.
- 1.3. Analyze blighted conditions by neighborhood and invest in infrastructure, to the extent that funds are available.

Policy 2. Reinforce the unique identity and visual appeal of neighborhoods (see also Housing Policy 3).

- 2.1. Continue improving park facilities in older neighborhoods to adjust for changes in demographics.
- 2.2. Within individual neighborhoods, foster characteristics that differentiate neighborhoods from one another; design with unifying features such as pavement design, signage, landscaping, street lighting and fencing.



Policy 3. Support active living and aging in place (see Housing Policies 1 and 2).

- 3.1. Respond to trends in Loveland's demographics (e.g., aging population) by encouraging housing diversity, accessibility, and affordability.
- 3.2. Actively involve older adults and an "aging in everything" perspective in policy and capital improvement planning activities.
- 3.3. Work to ensure housing affordability for existing residents, particularly for the elderly, to allow for aging within the community.
- 3.4. Encourage and provide support for mixed-use, mixed-income developments in areas undergoing redevelopment and/or revitalization.
- 3.5. Support lifecycle housing for seniors to age in place.
- 3.6. Create universal (i.e., enabling) housing design standards or incentives, allowing residents to age in place and creating full accessibility for all residents of varying levels of physical ability.

Policy 4. Preserve historical residential character (see Downtown Policy 4).

- 4.1. Continue identifying historic properties and neighborhoods to preserve when supported by residents and owners.
- 4.2. Encourage new development to respect and enhance the visual character of nearby historical buildings by designing new buildings to be compatible with the massing, materials, and setbacks of existing structures.
- 4.3. Minimize and discourage alterations and new construction that weaken the historic integrity of individual buildings and/or a neighborhood.
- 4.4. Preserve historical buildings that contain good design or other desirable features, and either restore to original condition or integrate the building into current design schemes while preserving their unique architectural style or design.

Policy 5. Refresh distressed neighborhoods (see also Downtown Policy 5).

- 5.1. Facilitate the rehabilitation of housing and redevelopment of aging private properties through the provision of loans, or technical support.
- 5.2. Maintain the character, structural integrity, and appearance of new and existing developments including the appropriate use of landscaping.
- 5.3. Stimulate infill in vacant properties and promote multiuse development in older neighborhoods by utilizing infill standards that allow for the development of buildings to meet today's needs while being compatible with neighboring structures and providing certainty to neighboring residents.
- 5.4. Emphasize strategic reinvestment in existing structures, e.g., solar systems, energy efficient appliances, insulation.

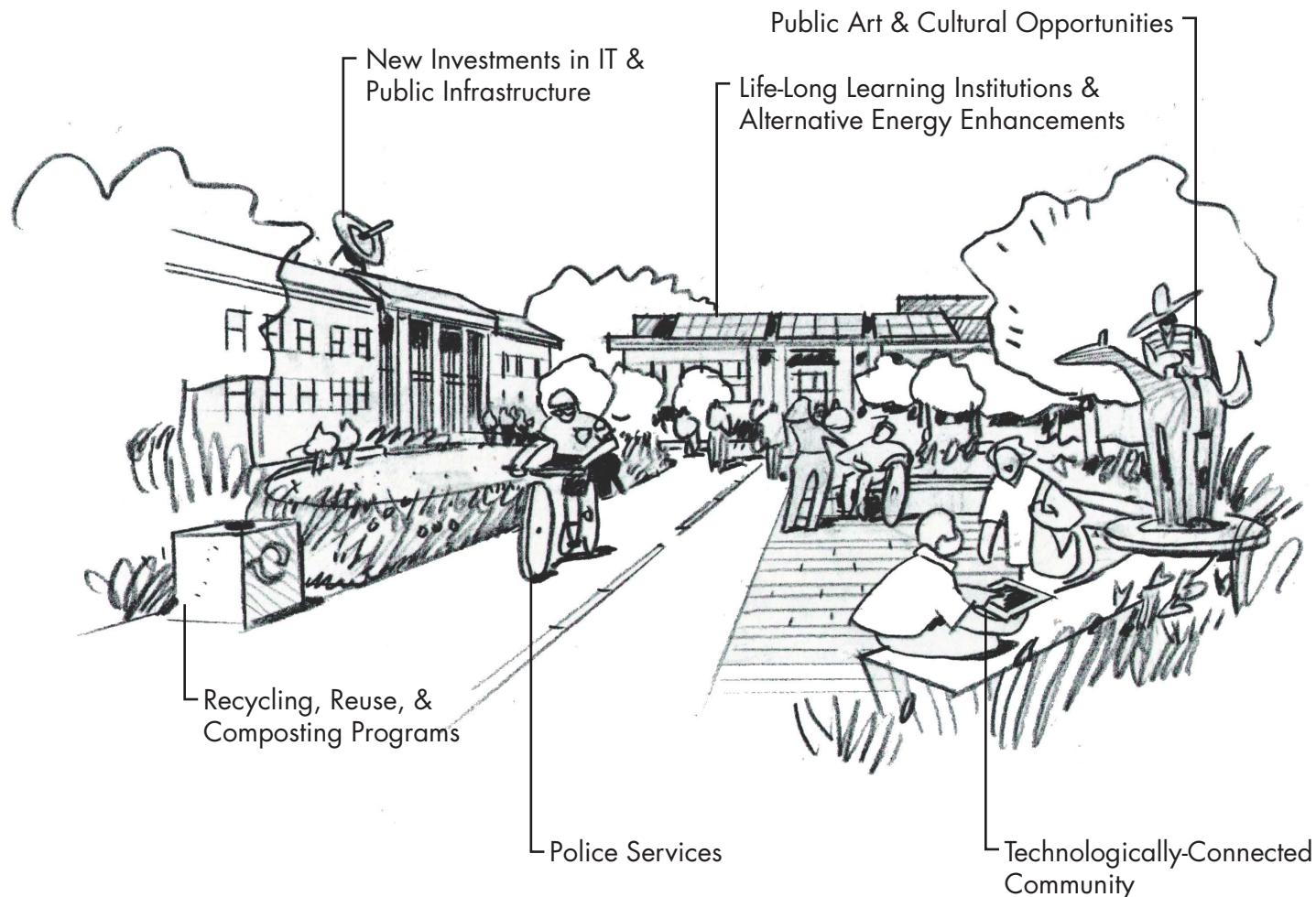
Relevant Indicators

- Residential Affordability
- Property Investment Activity
- Neighborhood Walkability



NEIGHBORHOODS & COMMUNITY ASSETS

Plan Element: Strengthen Loveland's Strategic Roles in the Community and the Region



Artist's rendering, 2014

Many of the environmental, economic and social challenges facing Loveland are not unique to our community alone but are shared by our neighboring cities. These issues are best addressed collaboratively, and Loveland's proactive role as a regional leader in Northern Colorado has grown considerably over the last decade.

The natural, geographic, and financial resource limitations that Loveland faces will continue to influence investments in community services. Loveland will continue to engage in regional planning and coordination where appropriate in order to address broader issues and

obtain service efficiencies, in the areas of Environment, Transportation, and Growth Management (see Figure 2-8).

Environment: Loveland's many lakes, reservoirs, canal, ditches, and of course, the Big Thompson River, all play important roles in the region's natural resources system. The balance between using these as recreational assets and as critical water resources will become even more important with the growth expected in the region. In the past, Loveland has tried to reserve lands and restrict intense development at the edges of the Growth



Management Area. In north Loveland this urban separation between municipalities is acknowledged regionally and collaboration between jurisdictions and private property owners restricts urban-level development. While in other cases, toward Windsor and Johnstown, the market demand has proven too great to limit development. To maintain its fiscal strength, Loveland will need to reinforce a pattern of compact and contiguous development that directs growth to where infrastructure capacity is available or can be provided efficiently, and away from floodplains and steep areas.

Transportation: Loveland is centrally located in northern Colorado and is one of three large cities within the North Front Range Metropolitan Planning Organization (NFRMPO) (with Fort Collins and Greeley being the other two). Loveland's proximity to other northern Colorado communities as well as the Denver metropolitan area results in a significant demand for regional travel. According to the 2010 NFRMPO Household Survey, nearly one-quarter of all trips made by Loveland residents have a destination outside of Loveland. This travel pattern underscores the need for regional collaboration and partnership for all modes of transportation. Loveland has partnered with CDOT, the NFRMPO, and its neighboring jurisdictions to plan for regional trails like the Big Thompson River Trail and Front Range Trail, regional transit service including FLEX connecting from Boulder to Fort Collins), CDOT's "Bustang" bus service along I-25, the envisioned commuter rail service, and regionally significant roadway projects like the planned widening of I-25. Heavy rail that bisects Loveland is critical to supporting the region's manufacturing, and agriculture industries. Loveland's regional partnerships will continue to be important in moving toward implementation of these regional transportation projects to facilitate regional and inter-regional travel for Loveland residents.

The Airport area has experienced a high level of development over the past few years. The area now represents a diverse mix of land use. In order to maintain a healthy and high functioning transportation center, it will require adjacent area developments to be compatible with Airport activities. Uniquely positioned at the confluence of regional transportation corridors such as the Union Pacific Railway, Interstate 25, US Highway 34, it offers the potential to support a wide variety of aircraft and travel modes.

Growth Management: Loveland's Growth Management Area (GMA) establishes the extent of the City's planned future municipal boundaries. Within the GMA, there are several pockets of county land that are entirely or partially surrounded by Loveland City limits. These areas are serviced by the City (police, fire, etc.), but are not incorporated and do not contribute to City tax revenues. Some of these lands are undeveloped, but others contain homes and businesses. Pacing development at the periphery with redevelopment of the City's core and incorporation of existing enclaves is a more efficient use of land and infrastructure, and helps focus Loveland's resources.

Ideas for implementing this included: building above the floodplain, directing development away from areas prone to natural hazards, and predicated new development on water, sewer and infrastructure capacities. The interface with surrounding towns will become more challenging, especially when it comes to shared services and community separators. Annexation policies below should be considered together with the Future Land Use Plan Map and Land Use category descriptions when evaluating a specific annexation, development or redevelopment proposal to ensure efficient provision of City services while encouraging infill development. The collaboration between water/sewer districts to provide sufficient infrastructure for potable water will become increasingly important, especially as the City grows south.

Community facilities already tend to be clustered near Downtown, which is a centralized and accessible area, especially for populations with limited access to transportation.



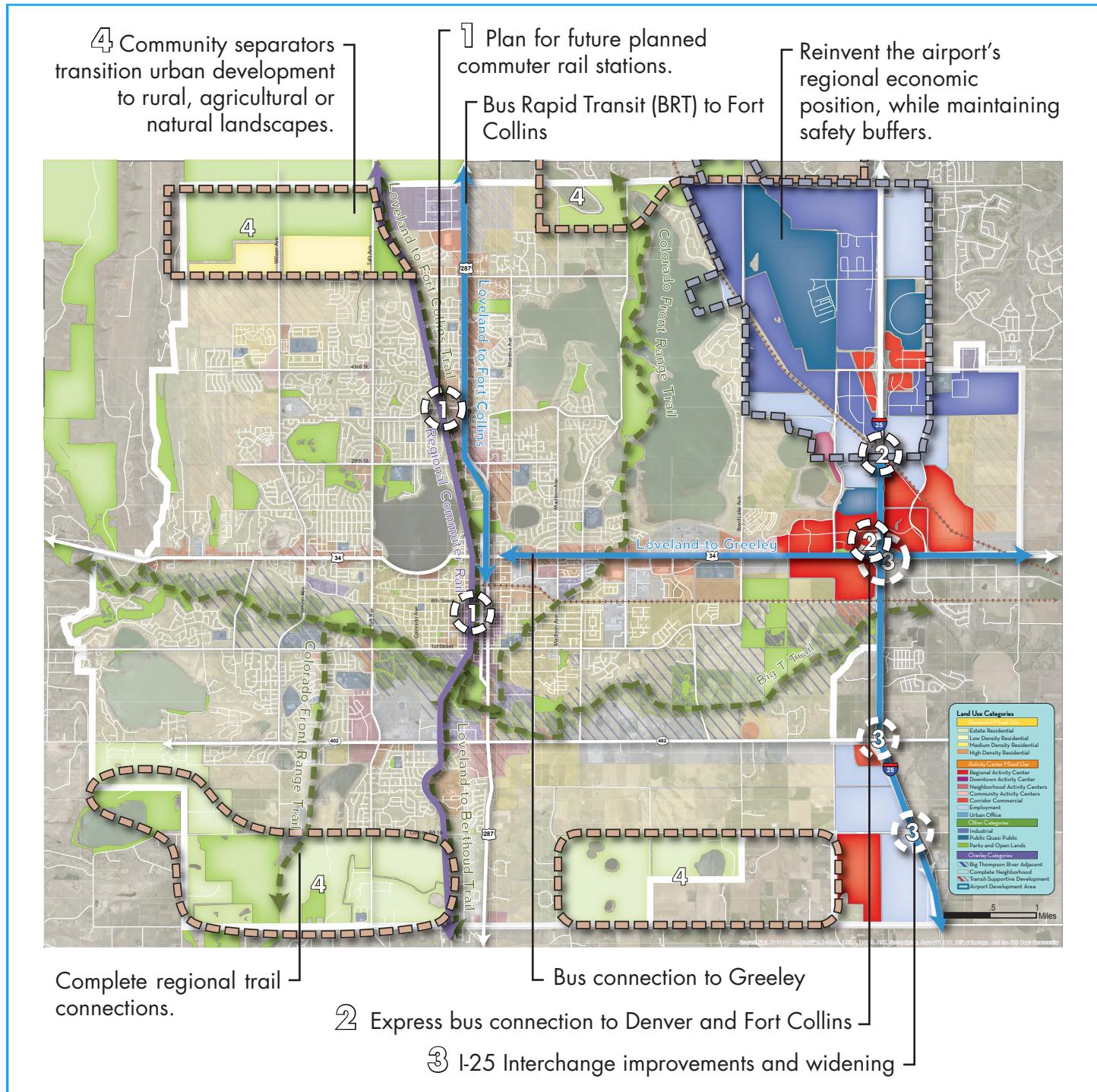


Figure 2-8: Land Use Plan opportunities to complete regional trail and transportation connections, and plan for sensitive transitions to surrounding municipalities and the airport. The policies below support these opportunities.



PLAN POLICIES AND SUPPORTING STRATEGIES

Policy 1. Protect important regional lands and facilities (see also Environment Policy 1).

- 1.1. Accelerate the completion of regional and state-wide trail corridors, such as the Front Range Trail, Big Thompson Trail, BNSF Fort Collins to Berthoud Trail, and other trails in partnership with adjacent communities and agencies.
- 1.2. Coordinate regionally along the Big Thompson corridor, where floodplain protection and acquisition of open lands will play a vital role in community resiliency and recreation.
- 1.3. Sensitively transition urban development to rural, agricultural, natural landscapes in the north, west, and south edges of the community through conservation easements, development review, and fee-simple acquisition.



Airport development area

Policy 2. Maintain and expand convenient transportation connections between regional destinations (see also Mobility Policy 4 and 5).

- 2.1. Proactively plan for and leverage Federal and state funding for regional transit, such as Bus Rapid Transit (BRT).
- 2.2. Actively participate in NFRMPO regional transportation planning efforts to define current and future (2040) transportation needs of Loveland and the region as a whole.
- 2.3. Work cooperatively with CDOT, the NFRMPO and other northern Colorado communities to identify opportunities to provide and increase the effectiveness of regional transit service and convenient freight route traffic along regionally significant transportation corridors. When possible, partner with freight railroads on Operation Lifesaver and Stay Safe programs.
- 2.4. Investigate options for regional governance of transit service.
- 2.5. Coordinate land use planning around future transit hubs and commuter rail stations to maximize the community's economic benefits in regional transit service.
- 2.6. Encourage consistency between local capital improvements and regional infrastructure priorities.
- 2.7. Coordinate with CDOT to support regional efforts to increase capacity on I-25.
- 2.8. Coordinate with CDOT on the implementation of improvements along US 34, US 287, and SH 402.



Policy 3. Support strategic planning and growth at the Fort Collins-Loveland Airport.

- 3.1. Support the implementation of the Airport Strategic Plan by protecting against encroachment of non-compatible land uses, creating and supporting a sustainable business model, and encouraging public and private investment.
- 3.2. Locate appropriate new commercial development near the Airport, while maintaining flight buffers around the Airport.
- 3.3. Encourage and incentivize development of aerospace technologies in the form of manufacturing, maintenance, and educational research both on and adjacent to the Airport.
- 3.4. Create a multimodal transportation hub, as the Airport is located at a confluence of existing transportation resources such as the Union Pacific Railway, Interstate 25, US Highway 34, and aviation infrastructure that can support a wide variety of aircraft.
- 3.5. Enhance and invest in airport safety and infrastructure that supports regional transportation demands.
- 3.6. Create an Airport District Zone with land use designations and development standards to support the Airport area becoming a key economic and innovation center for the region.

Policy 4. Coordinate the timing, location, and character of growth within the Growth Management Area (Annexation).

- 4.1. Annexations shall promote quality developments.
- 4.2. All annexations shall be contingent upon a development agreement that clearly details the rights and obligations of the City and the land owner regarding the annexation and development of the annexed land.
- 4.3. Property owners and developers are encouraged to assemble available adjoining land parcels and prepare a master plan design for the larger area, rather than submit separate individual proposals.
- 4.4. Encourage the annexation of county enclaves within City limits and discourage the creation of future enclaves.

Policy 5. Evaluate the fiscal and environmental impacts of development of annexation proposals. (Note: The following requirements are already applicable for the development or redevelopment of property already within the City as well.)

- 5.1. Consider the capacity of community services and facilities, environmental resources, education, and transportation to accommodate development when annexing new lands into the City.
- 5.2. Consider the need for open lands and natural areas within the city limits when evaluating annexation proposals consistent with the recommendations contained in the adopted Parks & Recreation Master Plan.
- 5.3. Minimize the short and long term costs to the City of providing community services and facilities for the benefit of the annexed area. Annexation proposals that are accompanied by a specific development proposal shall include a cost/benefit study detailing the economic impacts of the proposed development based upon a fiscal model acceptable to the City.
- 5.4. Analyze the impact on the education system of proposed annexations, when accompanied by a specific development proposal, including recommendations of the Thompson R2-J School Board or their staff.
- 5.5. The annexation of land should be allowed only if the owner can provide assurances that the land does not contain hazardous conditions that may pose a danger to the City or that reasonable avoidance and mitigation measures can be taken in the event that hazards or contamination exists. To make this determination, a Phase I Environmental Report should be prepared by a qualified third-party specialist.
- 5.6. Evaluate all development agreements and proposed annexations against the fiscal model included in this plan, ensuring that they deal satisfactorily with any fiscal or environmental impacts upon the property.



Policy 6. Encourage a pattern of compact and contiguous development.

- 6.1. Direct growth to where infrastructure capacity is available, or committed to be available in the future. Continue to align financial incentives with contiguous development by requiring developers to install the infrastructure required to support their development.
- 6.2. Expand urban development and levels of service in a thoughtful and deliberate way through integration in land use, utility, and transportation planning; implementation of growth management policies; and the identification and preservation of open lands and natural areas.
- 6.3. Encourage development of new annexations that are immediately contiguous to other land in the City that are already receiving City services.
- 6.4. Do not extend City utilities outside the City limits without formal approval by the City Council.

Policy 7. Coordinate growth boundaries and service efficiencies with adjoining governmental entities.

- 7.1. Seek opportunities to coordinate and partner with other local governments, special districts, school districts, and regional, state and federal agencies on the provision of community facilities that have multi-jurisdictional impacts.
- 7.2. Engage in joint strategic planning efforts, as appropriate, with residents, landowners, adjoining municipalities, local service providers, and Larimer County to advance the vision and policies of Loveland's Comprehensive Plan.
- 7.3. Consider and participate in updates to the Larimer County Master Plan, including build-out and utility provision time-frame criteria, with the location, distribution, compact pattern, and characteristics of future land uses designated within the City's Growth Management Area.
- 7.4. Maintain intergovernmental agreements with Larimer County that accomplish the vision of Loveland's Comprehensive Plan, Larimer County Master Plan, and the growth management concerns of each jurisdiction.

Policy 8. Remain regionally competitive.

- 8.1. Facilitate the extension of technological infrastructure throughout the City.
- 8.2. Provide public services, facilities, and spaces that are accessible to populations with limited access to transportation.
- 8.3. Coordinate with the Thompson School District, AIMS Community College, and higher education institutions to prepare the workforce of the future and encourage job creation.
- 8.4. Create a land use pattern that allows for educational facilities to be fully integrated into the community, including commercial areas.
- 8.5. Collaborate with police department, fire rescue authority, and school districts to ensure a safer Loveland.
- 8.6. Maintain and improve current levels of service as the City continues to grow.



Fire Administration and Development Center

Relevant Indicators

- Property Investment Activity
- Mode Split



CHAPTER 3: OUR PLACES

INTRODUCTION



This chapter presents market-supported development opportunities in Loveland with a focus on five key areas. Each area has strengths and weaknesses that will inform the type of development it might attract in the long term. The market studies described on the following pages and in Appendix D were the basis for identifying changes to the Land Use Map. The City of Loveland will have a role to play in steering private investment in these areas to capitalize on their assets, while ensuring they contribute positively to the City overall.

These five areas are put into a citywide context in the second half of this chapter, which focuses on the City's Land Use Plan. The Land Use Plan geographically depicts 16 land use categories and represents the long-term vision for growth based on the character and location of existing development and the community's desired future. Changes to the Land Use Plan from the 2005 Plan were primarily within the five key areas. Few changes were made to residential areas.



MARKET-SUPPORTED DEVELOPMENT OPPORTUNITIES

As a vibrant community, Loveland has many areas that are likely to attract private sector development interest. This section highlights five such areas. These opportunity areas, listed below and shown in Figure 3-1, include major transportation corridors and areas ideal to accommodate future population growth. This section describes conditions and characteristics of each area as of February 2015 and examines their potential and opportunities for additional development.

- 1. Airport Area
- 2. I-25 / US 34 Area
- 3. Highway 402 Corridor
- 4. US 34 Corridor
- 5. US 287 Corridor

Loveland's Downtown represents an important opportunity area. However, a market study was not completed as part of this planning effort because a Downtown specific retail study has been completed and another is underway as of June 2015.

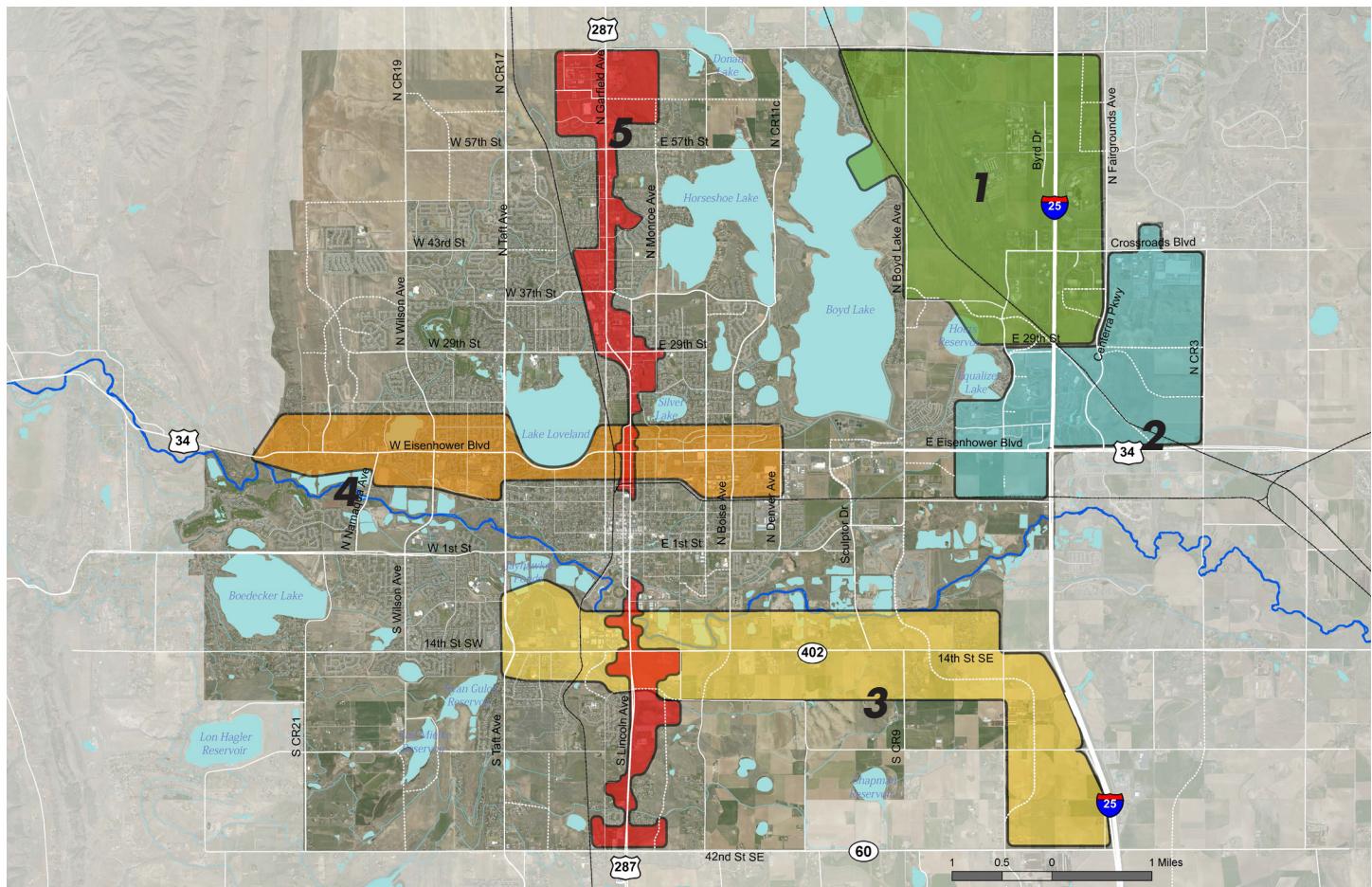


Figure 3-1. Development Opportunity Areas



Airport Area

The cities of Loveland and Fort Collins have identified the Airport area as a key economic development driver for the region. An Airport Strategic Plan has been adopted by both cities to guide development of the property within and adjacent to the airport. The following paragraphs summarize the significant findings of that report.

The Airport area has strong potential for future development given the combination of undeveloped land, the designation of the nearby area of Loveland and Windsor as a beneficiary of funds provided through Colorado's Regional Tourism Act (RTA) to develop tourist draws, and the proximity of existing attractions and facilities, such as the Budweiser Events Center and Embassy Suites Conference Center. Currently, the Airport area is comprised primarily of undeveloped land and light industry/warehouse uses. Retail space and office space are also present in the area, but represent only about a twenty-five percent of what has been built. The airport area is shown in Figure 3-2.

STRENGTHS

- Development in the Airport area has a great deal of support from the cities of Loveland and Fort Collins. In addition to having regional backing, this support has the ability to encourage and draw private investment to the area.
- The Airport Strategic Plan identifies over 200 acres on the existing Airport property available for development. Much of this acreage has pre-existing facilities and infrastructure that could be utilized to expedite the development process.
- Multi modal transportation resources are adjacent to the Airport that could allow for the creation of a regional transportation hub.
- Hotels and conference centers within the Airport area also provide potential customers in the form of non-local visitors, as does the Budweiser Events Center and the Larimer County Fairgrounds, and, in the future, the proposed tourist attractions to be built through RTA funding.
- Commercial real estate data show about 540 acres of undeveloped land in the Airport area currently available, much of which is contiguous to and suitable for large development. Throughout the

Airport area, about 1,400 acres of undeveloped land exist. The undeveloped land would also allow developers greater freedom in the design process, as minimal constraints would exist.

- The entire Airport area greatly benefits from high visibility along I-25 and good regional access via the I-25 and Crossroads Blvd. interchange. Visibility and access will only increase in the coming years with increased regional transit in the area.

WEAKNESSES

- The land would likely require substantial investment in the form of site and infrastructure improvement, in addition to building costs.
- With no substantial residential neighborhoods in the Airport area, (a desired circumstance in the interest of public safety), retailers would likely compete with the nearby Promenade Shops at Centerra for customers.
- The Airport limits certain forms of development in the area due to FAA safety requirements.

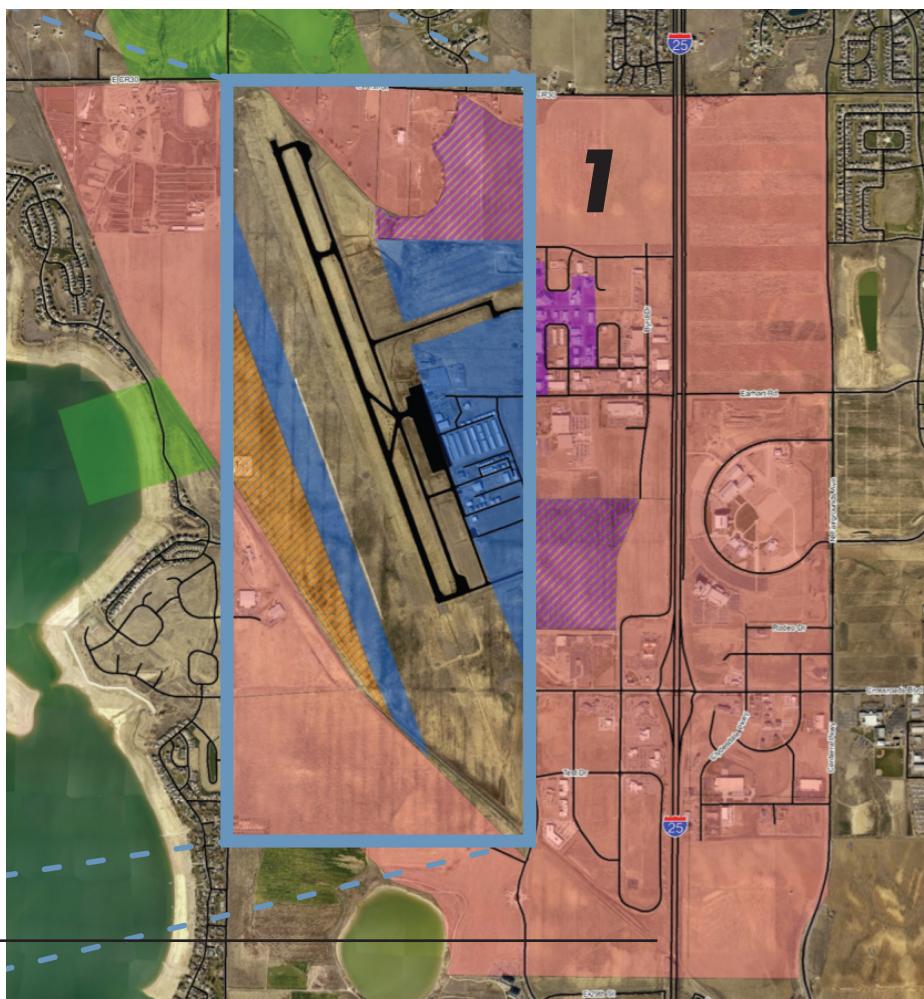
DEVELOPMENT OPPORTUNITIES

Due to the large amount of undeveloped land, The City of Loveland has the unique opportunity to strategically plan the Airport area development in a way that aligns with the city's goals and objectives, and the area's strategic competitive advantages rooted in such factors as: the area's designation by the Lemelson Foundation as the Center of Innovation of this decade; designation of the airport as the testbed for the FAA's NextGen air traffic control system; the locale for research and development of un-manned aerial vehicles for the Defense Advanced Research Projects Agency; availability of advanced studies by the local research universities (CSU, CU, Ames, and NCU) in the areas of sensors, aviation and aerospace, alternative energy, and autonomous transportation, among others; and recognition as one of the most productive regions in America for fostering new business start-ups. It is important that land development policies and zoning are consistent with exploiting such advantages. Properly crafted land use policies can spur economic growth in the areas cited. With the promise of such job creation, the Airport could qualify for designation as a Colorado Aviation Development



200+ acres on the Airport site are suitable for both aviation and non-aviation uses

Over 250 acres of undeveloped land near the I-25 and railroad intersection is a potential location for transit-oriented development that integrates air, highway and rail transportation.



Airport Development Areas

- Commercial/Mixed Use Employment Area
- Aviation Development
- Mixed Use/Aviation
- Open space/Agriculture
- Through the Fence (TTF)
- TTF/Commercial Mixed Use Employment Area

Figure 3-2. Airport Area (from the Airport Strategic Plan)



Zone, garnering employee hiring tax credits for participating enterprises. As part of the Airport Strategic Plan, 200+ acres on the Airport site have been identified as suitable development areas for both aviation and non-aviation uses; diversification of revenue streams is a key strategy in the plan. Development at the Airport could utilize the current facilities and infrastructure, as well as benefit from the 10,000 enplanements per year, representing potential customers.

The I-25 EIS designates the area as a potential location for transit oriented development, as it is well situated to be part of a multi-modal regional system that integrates air, highway and rail transportation. There are currently over 250 acres of undeveloped land near the I-25 and railroad intersection, a location that is positioned for providing rail and highway access, as well as proximity to the Airport. Additionally, the Promenade Shops at Centerra (not part of the Airport area) are located directly south of the I-25 and railway intersection, which would provide patrons additional transportation options. Rail service is likely a long term prospect, as there is substantial uncertainty surrounding rail funding.

Currently, the Airport area lacks housing options. Development of residential land uses needs to be sufficiently clear of the Airport operating area to protect the safety of the public. It is critical that residential not encroach on the Airport, which would threaten the Airport's long term future. The area immediately surrounding the I-25 and Crossroads Blvd. intersection, as indicated on the future land use map, is a potential area for residential redevelopment, especially given its proximity to commercial retail.

The area is part of the location of several tourist attractions planned as part of Loveland's and other communities Regional Tourism Act (RTA) application. If successful, the area east of I-25 in the Airport area will be home to a sports field complex, a water park and hotels. The area is already close to the Ranch complex, which includes an indoor arena and fairgrounds facilities. Once completed, the area will have an agglomeration of entertainment venues and additional visitor-supportive retail development that will enhance the area.

The parcels of land located south of County Road 30, west of the railroad and east of Boyd Lake Avenue could be developed as a new industrial park. Most of the Airport area is already industrial, but there is limited availability for new industrial development. The Airport area is an appealing industrial location because of its proximity to large markets (Denver metro area, Fort Collins, etc.) and the transportation access, as it is close to I-25. The city should preserve future industrial development opportunities in this area as industrial land is limited in Loveland.

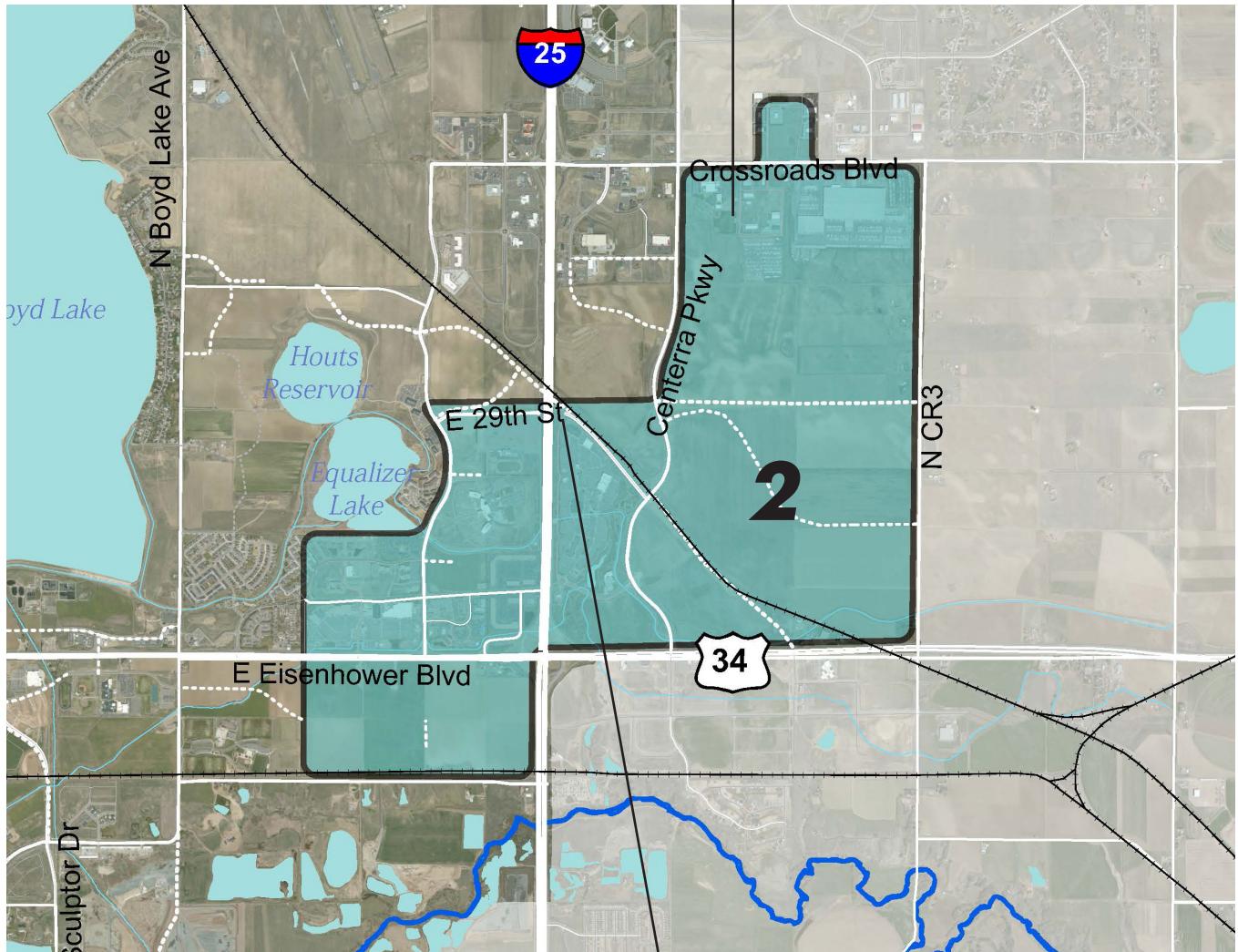
CITY OF LOVELAND'S ROLE IN DEVELOPMENT

- Continue to work with the City of Fort Collins and Larimer County to develop a new intergovernmental agreement that will help guide the future of the Airport area.
- Encourage high quality investment in the Airport area that is consistent with the city's long term goals and policies.
- Preserve industrial land in the Airport area and resist rezoning to other uses.
- Support the Airport Strategic Plan to attract commercial, corporate and private use of the Airport.
- Support commercial air service offerings that create the ability for a greater volume of residents to directly benefit from the Airport as a transportation resource.
- Enhance and invest in airport safety and infrastructure that supports regional transportation demands.
- Offer economic incentives according to the city's incentive policy.
- Create an Airport District Zone with land use designations and development standards to support the Airport area becoming a key economic and innovation center for the region.



The area is suitable for office and industrial development due to easy access to air and highway transportation.

Retain the industrial land use classifications along Crossroads Blvd., as industrial space in Loveland is limited.



High traffic volumes along I-25 and US 34 will ensure the area remains a strong location for future retail.

Facilitate mixed-use development with denser housing options near the express bus stop and the potential future rail transit station.

Figure 3-3. I-25 / US 34 Area



I-25 / US 34 Area

The I-25 / US 34 area is a well-established commercial center in the regional economy and serves as the primary gateway to the City of Loveland from I-25. The area is anchored by the Outlets at Loveland, the Promenade Shops at Centerra and the Medical Center of the Rockies. Despite the existing uses in the I-25 / US 34 area, a large amount of undeveloped land remains (340 acres, 25 of which are currently for sale). The I-25 / US 34 area development is primarily retail and industrial, with some office and multi-family housing present. The I-25 / US 34 area is shown in Figure 3-3.

STRENGTHS

- Strong existing customer base in the I-25 / US 34 area, anchored by The Promenade Shops at Centerra and the Outlets at Loveland.
- High levels of visibility and easy access from I-25 and US 34 make the area a prominent location in the northern Colorado regional economy.
- Proximity to I-25 and US 34 provides good visibility and easy access to commercial establishments in the area.
- Presence of the Medical Center of the Rockies draws additional people throughout the region to the area, representing potential customers for future retail development.
- A large amount of undeveloped land (340 acres) suitable for large development, with minimal assemblage necessary given the large parcel sizes.

WEAKNESSES

- Large amount of existing retail could make it difficult for new retail to succeed; and
- Limited residential areas in close proximity make the area's viability heavily reliant on its ability to attract regional customers.

DEVELOPMENT OPPORTUNITIES

The high volumes of traffic along I-25 and US 34 area will ensure the area remains a strong location for future retail. The area is also suitable for office and industrial development due to easy access to air and highway transportation. An Express Bus Service, as of this writing, is scheduled to begin providing access to and from the Denver metro area in Spring 2015. The northeast quadrant of the interchange has been identified as a potential future rail transit stop in the I-25 EIS and could support transit oriented development if funding for the rail line ever materializes.

With improved transit access and facilities, along with the variety and appeal of retail in the area, the I-25 / US 34 area could become a more feasible and attractive location to reside in the coming years. The undeveloped land directly around the I-25 / US 34 interchange should integrate a mix of housing options into future development. This area is an opportunity to integrate new denser housing options with commercial space.

Preserving the industrial use designation in the northern part of the I-25 / US 34 area is also important given the citywide lack of industrially zoned land and apparent strong demand for industrial space located near I-25.

CITY OF LOVELAND'S ROLE IN DEVELOPMENT

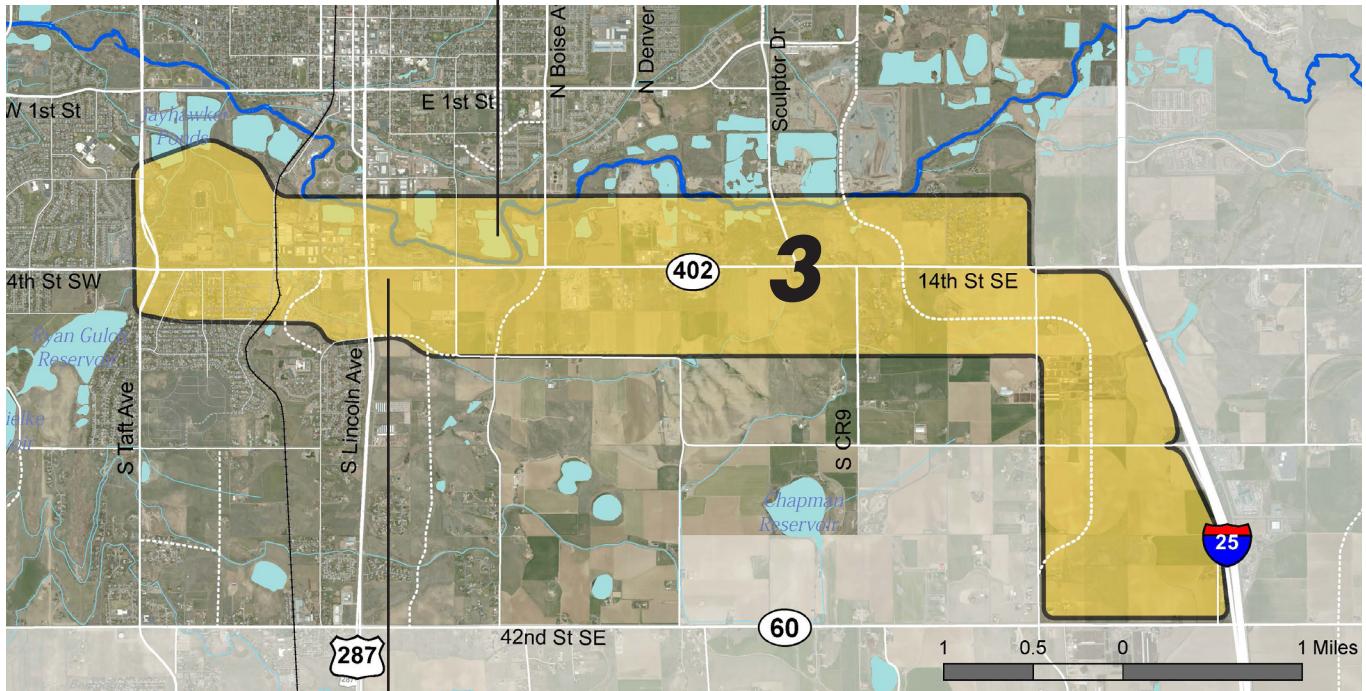
- Encourage a mix of housing development in the area. Review the city's current housing stock to ensure that new housing development in the area is consistent with community needs.
- Where appropriate, utilize urban renewal policies to organize and incentivize desired redevelopment projects.
- Consider permitting density bonuses to incentivize mixed use redevelopment.
- In addition to preserving undeveloped land around the I-25 and railway crossing (discussed in Airport area, but bounded by the I-25 / US 34 area as well), facilitate Enhanced Corridor development near the express bus stop near the I-25 / US 34 interchange.
- Retain the industrial land use classifications along Crossroads Blvd., as industrial space in Loveland is limited.



Study area further to develop land use mix that supports vibrant economic corridors, future transit and other modes.

Promote development to better manage and celebrate the river as a community resource.

Create a strategic development plan for SR 402.



Cluster new office, industrial and manufacturing uses at intersections, or other strategic locations.

Facilitate new neighborhood and community centers.

Develop new mixed-use and mixed-density neighborhoods.

Figure 3-4. Highway 402 Corridor Area



Highway 402 Corridor Area

The Highway 402 corridor represents a promising area given the large amount of undeveloped land and proximity to regional roadways. Little development currently exists between US 287 and I-25 along Highway 402, with almost all development located between South Taft Avenue and US 287. The Highway 402 area contains the large Rocky Mountain Center for Innovation and Technology (formerly the Agilent Technologies Campus), which has 810,000 square feet of combined office, manufacturing and mixed use space. The corridor is an alternative entry point to the increasingly congested US 34 / I-25 interchange and traffic counts along Highway 402 are increasing. The Highway 402 Corridor is shown in Figure 3-4.

STRENGTHS

- About 480 acres of undeveloped land exist in the area (17 acres currently available), most of which is between US 287 and I-25;
- The RMCIT provides immediately ready space for a range of businesses in various industries;
- Proposed regional transportation improvements would better integrate and provide ease of access to the Highway 402 area; and
- Residential neighborhoods in the area represent a potential customer and employment base for future commercial development.

WEAKNESSES

- Currently very little commercial or industrial activity exists in the area between US 287 and I-25.
- Highway 402 and I-25 interchange is a secondary gateway to Loveland. Traffic counts are much higher at the US 34 and I-25 interchange, although traffic along Highway 402 is increasing.
- No current north-south transportation corridors between US 287 and I-25, making this area relatively isolated.
- Due to elevation issues, expensive infrastructure and utility extensions are necessary for development.

DEVELOPMENT OPPORTUNITIES

As displayed on the future land use map, the intersection of Highway 402 and South County Road 9 could be a strong location for a mixed use/commercial node. The viability of such development is contingent upon infrastructure improvements in the immediate area, such as interchange improvements at I-25 and Highway 402 and the construction of a roadway connecting Boyd Lake Avenue to Highway 402, then continuing south to County Road 16. These infrastructure improvements would lead to increased traffic in the Highway 402 area, and if similar patterns to US 34 development are observed, development at the Highway 402 and South County Road 9 intersection could be highly successful.

The Highway 402 and US 287 intersection contains a large amount of retail businesses, but noticeably absent from the existing retail is a full service grocery store. Given the residential neighborhoods located to the south and west of the intersection, the potential for more residential development in the corridor and how heavily traveled US 287 is, the development of a full service grocery store could be viable in the future; and likely would not negatively impact other grocery stores in the city. Currently, undeveloped land exists around the Highway 402 and US 287 intersection that is well suited (parcel size, road access, etc.) for grocery store development.

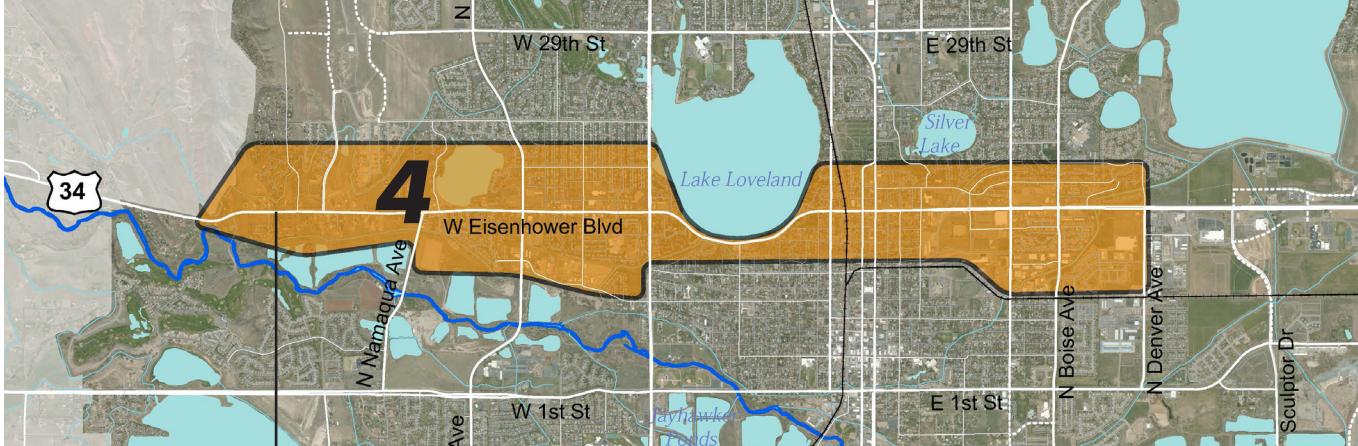
The RMCIT presents a unique opportunity for the city to attract new businesses to the area in a variety of industries. The RMCIT offers well-built and pre-existing infrastructure, which would reduce facility investment costs for potential businesses. Additionally, the RMCIT is easy to access from all directions, north-south via US 287 or South Taft Avenue and east-west via Highway 402. The facility is also situated alongside a potential future commuter rail line, which would only increase the RMCIT's attractiveness as a business location.

There are several parcels located within Loveland's growth management area at the southwest corner of the I-25/Highway 402 interchange. This interchange, along with a proposed interchange just to the south at County Road 16 will be the last to develop in Loveland and represent a final opportunity for highway-focused regional retail. Key parcels at this interchange should be reserved for retail.



Facilitate convenient transit and freight truck travel.

Infill underutilized commercial strip with multifamily housing.



Capitalize on and celebrate Loveland's gateways to promote a first-impression of Loveland as a world-class destination for art, leisure, and business

Create a redevelopment plan for US 34.

Figure 3-5. US 34 Corridor Area

The Highway 402 area west of US 287 contains single-family residential neighborhoods; multifamily development is minimal. Additional housing options in the Highway 402 area will likely be needed to support the RMCIT workforce. An undeveloped parcel of land that is well suited for housing development lies to the southwest of the Highway 402 and South Taft Avenue intersection. This parcel is located near the RMCIT and the Thompson Valley Towne Center. Undeveloped parcels around the Highway 402 and US 287 intersection also represent strong housing development sites (depicted in the future land use map), with easy access to regional roadways, an increasing number of retail businesses and relative proximity to downtown Loveland.

CITY OF LOVELAND'S ROLE IN DEVELOPMENT

- Work with the RMCIT to heavily market and promote Loveland to prospective tenants.

- Provide incentives according to the city's economic incentive policy, specifically targeting the RMCIT.
- Plan, finance and begin infrastructure improvements to the Highway 402 and I-25 interchange and the roadway construction connecting Boyd Lake Avenue to County Road 16.
- Explore infrastructure financing mechanisms, such as special districts to speed construction of water, sewer and transportation infrastructure.
- Explore agreements with adjacent jurisdictions to determine the most efficient utility provider.
- Prioritize housing mix around the intersections of Highway 402 and South Taft Avenue and Highway 402 and US 287.
- Maintain flexibility in future land use designations as this corridor represents a long term opportunity.



US 34 Corridor Area

The US 34 Corridor serves as the primary east-west gateway into Loveland. In addition to local traffic, the US 34 Corridor serves tourists traveling to Rocky Mountain National Park (Estes Park) via I-25 and US 34. Compared to the other market analysis areas, the US 34 Corridor area is highly developed, with only a handful of large undeveloped sites in existence. Still, over 170 acres of undeveloped land exists in the US 34 Corridor area. Commercial and industrial facilities are generally located in close proximity to the highway, and residential is predominately found to the north and south of the corridor. The US 34 Corridor is shown in Figure 3-5.

STRENGTHS

- US 34 is a heavily traveled highway, which is attractive for future retail development.
- The US 34 Corridor area contains a large amount of existing residential representing potential retail customers.
- The US 34 Corridor area has numerous regional roadways running north-south, connecting the area to surrounding communities.
- The high level of development throughout the area will minimize infrastructure and utility costs associated with new development or redevelopment.

WEAKNESSES

- Limited undeveloped land, especially larger parcels, places constraints on future development.
- Sprawl along the US 34 Corridor area; strip centers; and lack of a central focal point may lead to higher amounts of pass through traffic (i.e., Rocky Mountain National Park tourists driving through Loveland without stopping).
- Highway volumes are beginning to exceed road capacity during peak periods causing congestion, queuing and increased travel times.
- Lack of street signage, making wayfinding difficult, and need for improved streetscapes.

DEVELOPMENT OPPORTUNITIES

With the limited amount of undeveloped land throughout the US 34 Corridor area, innovative ideas to redevelop existing sites are critical for the area's long term economic outlook. One opportunity is the Sugar Factory Redevelopment area, which lies to the southeast of the US 34 and Madison Avenue intersection. This sizable parcel is well suited for mixed use development, in addition to the general retail that already exists.

Currently, the US 34 and US 287 intersection is a productive economic center with numerous retail businesses and offices. Although single-family residential surrounds the intersection, little multifamily housing is located nearby. This intersection is appropriate for medium to high density residential interspersed with commercial because of its strong location at a major regional intersection. Additionally, it has appeal given the abundance of community amenities and proximity to downtown.

The western segment of US 34 is currently home to several dated commercial properties and unincorporated enclaves. The area would benefit from some assemblage, organization and infrastructure investment. If landowners in the area are willing, the city could annex and provide some investment in sidewalks, lighting and other infrastructure, which could then incentivize private investment and redevelopment. More modern commercial offerings in this location could attract shoppers from northwestern Loveland to shop in town instead of going to Fort Collins.

An enhanced gateway at the western edge of the US 34 Corridor area could inform travelers about Loveland sites, attractions, retail and dining options, in addition to welcoming visitors to the city. Continued signage along the US 34 could encourage visitation to downtown or other commercial centers throughout the city.

CITY OF LOVELAND'S ROLE IN DEVELOPMENT

- Consider developing a US 34 Corridor Plan, similar to the Highway 287 Plan, to reflect current and projected market conditions; and to create a cohesive identity for the corridor.
- Assess the economic feasibility of urban renewal policies to catalyze the Sugar Factory



Redevelopment project, as well as other redevelopment along US 34.

- Identify key undeveloped land parcels throughout the area that could be advantageous for future development.
- Consider economic development incentives that adhere to stated city policy for attracting employment and retail redevelopment to the US 34 Corridor area.
- Fund and construct an improved gateway on the west end of US 34 and improve road signage along US 34.
- Where landowners are willing, consider annexation of unincorporated land along the corridor and invest in public infrastructure (i.e., curb & gutter, sidewalks, lighting, etc.)

US 287 Corridor Area

The US 287 Corridor serves as the primary north-south gateway into Loveland. Four miles west of I-25, US 287 provides intercity travel and is the most convenient route for north/south vehicle-trips from one end of the City to the other. US 287 has traditionally been the primary business corridor in Loveland, anchored by Downtown at its center point, but in recent decades, development and economic activity has migrated east to the I-25 and US 34 interchange. Today, the US 287 Corridor provides local retail, service and entertainment uses for Loveland residents. The US 287 Corridor is shown in Figure 3-6.

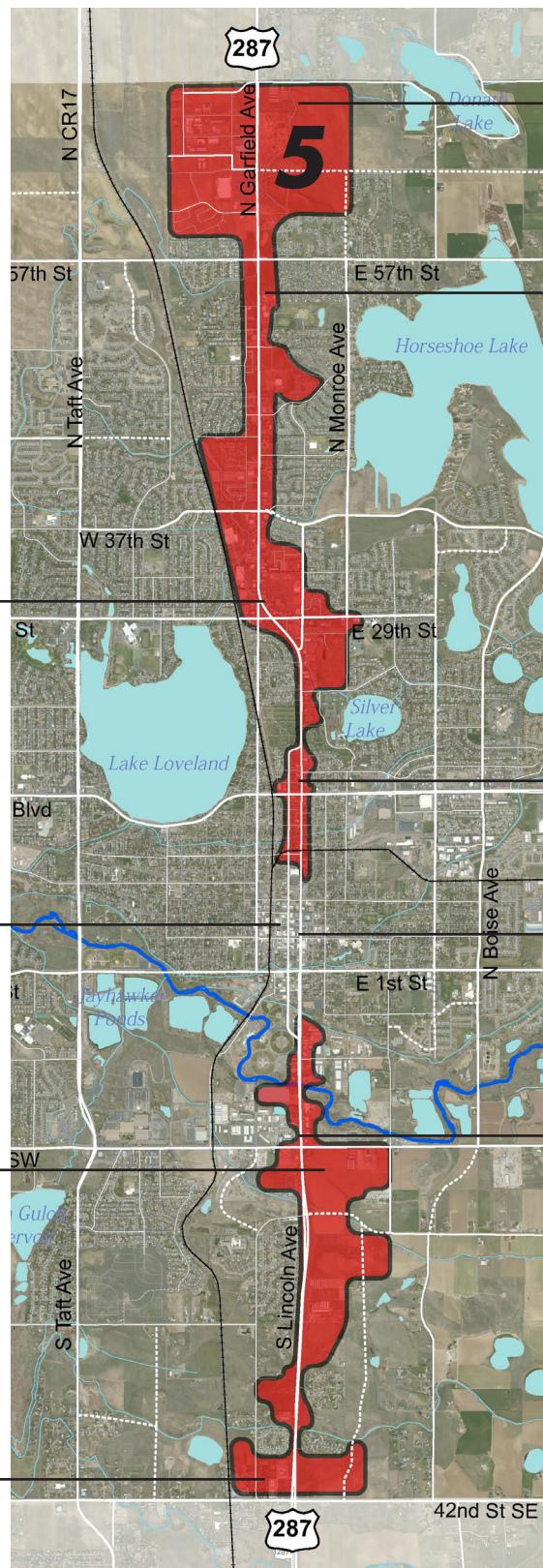
STRENGTHS

- With 22 percent of Loveland's total jobs, the US 287 Corridor is one of the primary employment concentrations in the City.
- The corridor's location, mix of uses and trade area demographics will support the continued viability of the area for community serving retail goods and services.
- For most major store categories, store sales in the northern segment trade area are higher than resident expenditure potential, which indicates that the stores attract shoppers from outside the trade area.
- The Big Thompson River is a significant natural amenity that could be capitalized upon to stimulate redevelopment in the southern segment of the corridor.

WEAKNESSES

- A number of the commercial shopping centers and freestanding stores in the corridor are showing their age and are in need of reinvestment or revitalization.
- Office vacancy rates are high and there is limited demand for additional office space.
- Due to parking lots along the street and wide building setbacks, much of US 287 lacks a well-defined edge.





Develop a revitalization plan to stimulate redevelopment of the 29th Street commercial area; improve circulation and access and enhance the public realm.

Evaluate the feasibility of redesigning the couplet to reorient uses to an enhanced streetscape.

Focus commercial development at the intersection of US 287 and Highway 402.

Consider uses other than a large business park in this area due to lack of access from I-25.

Concentrate commercial and industrial development near 65th Street.

Broaden the feasible uses in the B-Developing Business zoning district in order to facilitate residential and mixed-use development.

Create a redevelopment plan for the US 287 and US 34 intersection as a key gateway into Downtown.

Improve Downtown with enhanced streetscaping, artistic gateways, and reduced vehicular lanes and speeds.

Develop a revitalization plan for the Big Thompson River area, annex county land, and mitigate the flood hazard.

Figure 3-6. US 287 Corridor Area



- Due to frequent curb cuts providing access to businesses, there are numerous potential points of conflict between motorists, pedestrians and potential cyclists.
- Connections to adjacent neighborhoods are poor.

DEVELOPMENT OPPORTUNITIES

The Corridor has the potential to remain a viable commercial location and improve its sales and performance if the following changes are made:

- Commercial uses are better organized within defined areas or nodes,
- Better connected to the surrounding neighborhoods that comprise its primary trade area, and
- Designed and landscaped to attract higher value commercial uses and less oriented to automobile traffic that has traditionally driven its growth.

The majority of employment along the Corridor is clustered into four nodes. The employment base in each node is different and they have differing economic roles and market demand. The four major concentrations are industrial uses at SW 14th Street (500 jobs), commercial uses near Downtown (2,400 jobs), commercial uses between 29th Street and 37th Street (2,300 jobs), and commercial and industrial uses at 65th Street (1,300 jobs). The future economic opportunities along the corridor are related mainly to the potential for each of these four areas, which are further described below.

US 287 and Highway 402

The forecast demand for additional commercial and industrial development along US 287 south of Highway 402 is limited. There is a large area zoned for a business park on the south edge of the corridor. This area will likely never attract the development planned for. If commercial zoning remains along the corridor in this area, a scattered amount of development may occur but will likely struggle and may preclude other opportunities. The land uses along this segment of the corridor need to be refined to focus commercial development further north at the intersection of US 287 and Highway 402.

The commercial and industrial area north of Highway 402 through the Thompson River floodway to the entryway to Downtown is in need of revitalization. The existing industrial and commercial space may be an asset in providing low cost space to new businesses but needs significant reinvestment to do so. The City should consider annexing remnant county properties and developing a strategic approach to revitalization of this area. The recent flood and the changes necessary to mitigate future flooding presents an opportunity to better leverage the appeal of the river, parks, and open space to generate demand for recreation and retail. The City should identify a location to integrate the river area with commercial development.

Downtown

US 287 needs to shift from being a Downtown throughway to a Downtown gateway that allows people in all modes to circulate safely. The Art In Public Places Program should be used to create distinctive community entrances whenever possible. The spaces between the couplets should be explored as a way to spur economic activity and east-west connectivity. Slower traffic and an improved streetscape will serve to enhance commercial viability for Downtown businesses and commercial properties. Reducing the number of lanes from three to two through the couplet should be evaluated.

29th Street Area

The commercial node centered at 29th street, stretching up to 37th Street, is the main neighborhood serving commercial area on US 287. This area has the potential to be a major community gathering point serving northern Loveland residents. The area is hampered currently by poor circulation and access. The City should try to revitalize under-performing retail spaces by making the area a destination for surrounding residents by transforming underutilized areas into public amenities and gathering points. An improved circulation and access pattern will enhance the attractiveness of retail spaces to shoppers and business and open up new retail locations.



65th Street Area

There are several vacant commercially zoned parcels north of 37th Street that should be rezoned to allow for other uses. There is too much commercial land planned along the corridor. The focus of commercial and industrial development should be around the 65th Street intersection and planned developments there. The recent development activity is a positive sign and the City should explore ways to continue to foster this activity. Changes to US 287 should be proposed that will support the future traffic and circulation needs of the area.

CITY OF LOVELAND'S ROLE IN DEVELOPMENT

- Rezone portions of the corridor to attract mixed-use and multi-family housing developments while encouraging a concentration of commercial and/or industrial uses in each of the four nodes.
- Improve the streetscape to create a pedestrian and bike-friendly environment well served by transit.
- Annex unincorporated lands to ensure their use and development are consistent with the City's vision for the US 287 Corridor.
- Develop a revitalization plan to stimulate redevelopment of the 29th Street commercial area.
- Create a redevelopment plan for the US 287 and US 34 intersection as a key gateway into Downtown.
- Mitigate the flood hazard along the Big Thompson River and create a plan to convert the US 287/ Big Thompson River crossing into a River District.
- Evaluate the feasibility of redesigning the couplet to reorient uses to an enhanced streetscape.



LAND USE PLAN

The Land Use Plan represents the long-term vision for growth based on the character and location of existing development and the community's desired future. The plan maximizes relationships among residential, commercial, and public development, taking greatest advantage of the transportation and infrastructure network. To protect Loveland's high quality of life, the plan proposes a diversified mix of uses that is supported by the market and responsive to changes in demographics and natural disasters.

WHAT IS THE DIFFERENCE BETWEEN A LAND USE PLAN AND ZONING?

The Land Use Map and descriptions in this chapter, as well as the policy statements in Chapter 2, help direct development patterns and infrastructure improvements citywide to achieve the vision. Zoning refers to land use entitlements and requirements that regulate appropriate use, bulk, height, density, and other characteristics appropriate for a specific site. The general recommendations of the land use plan form the basis for specific zoning and land development code regulations.

The Land Use Plan in Figure 3-9 covers the entire Loveland Growth Management Area in anticipation of build-out in approximately 25 years. It is advisory – not regulatory – yet it forms the basis for the City's zoning code and is the primary means of implementing the plan. Zoning governs property entitlements such as densities and allowable uses, while the Land Use Plan presents a desired future condition. The plan encompasses 16 land use categories divided among residential mixed use neighborhoods, activity center mixed use areas, other uses, and overlay categories.

Each land use category defines the primary land use mix, desired form, and the zoning districts that would accomplish the purpose of the land use category.

Most of the categories also prioritize transportation modes, including walking, biking, driving and taking transit, depending on the desired mix and concentration of various uses. For example, the Downtown category designates walking as the highest priority mode while the Industrial category prioritizes vehicles. Within this prioritization is a description of the types of multi-modal transportation facilities necessary within each land use category.

Figure 3-8 summarizes all categories.

Residential Mixed Use Categories

Four land use categories represent the broad range of residential development in Loveland, including Estate, Low-, Medium-, and High-Density housing. With the exception of Estate Residential, small-scale commercial uses are allowed in all the residential categories as long as it meets the criteria for Neighborhood Activity Centers and is not located within $\frac{3}{4}$ of a mile of a similar use. All new neighborhoods should appropriately transition and connect to adjacent developments. Where applicable, proposed development in all residential categories should be sited and/or clustered to protect the natural features of a given site, and sensitively transition to public open lands. Additionally, the maximum density allowed in each residential category should be considered on a project basis, depending on the surrounding character, future land uses, transportation network, and other necessary infrastructure.



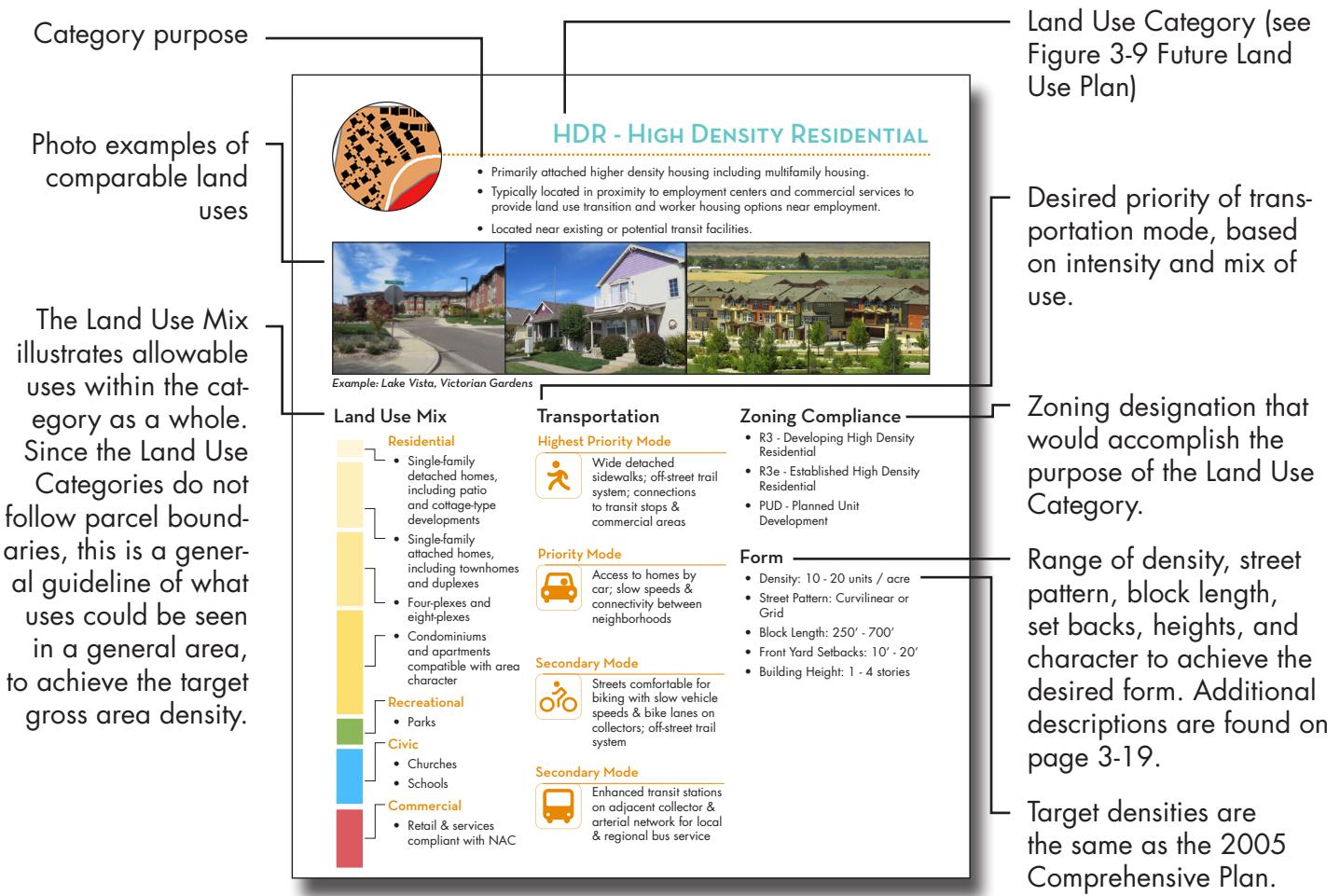


Figure 3-7. How to Use Land Use Category Descriptions

Activity Center Mixed Use Categories

Six categories describe Activity Centers where people shop, work, and to a lesser extent, live. These categories are Downtown, Neighborhood, Community, and Regional Activity Centers, as well as Corridor Commercial, and Employment. Downtown includes the highest mix of uses within a pedestrian-friendly environment that encourages vibrant street life. Neighborhood, Community, and Regional Activity Centers allow a similar mix of uses, but their locations in Loveland are contextually based, considering existing and desired scales of development and the surrounding transportation network. Corridor Commercial generally falls within a half

mile of major arterials, while Employment centers tend to be located near the intersections of arterials and encourage campus-style business parks.

Many of these categories encourage mixed-use residential. Mixed use residential means residential in the same building with non-residential uses, such as residential at ground level with non-residential or above a non-residential use. In the case of mixed-use above a ground floor non-residential use, the mixed-use residential does not count toward the area limits on residential uses within the total activity center area.



Other Categories

There are three "Other" categories. The Industrial category allow for manufacturing and warehousing uses, where appropriate, with complementary employment and commercial uses. The Public/Quasi Public category provides for such uses as schools, government services, and utilities.

The Parks, Open Lands & Environmentally Sensitive Places category includes parks that offer active recreational opportunities, like sports fields, and natural areas that provide wildlife habitat and opportunities for passive recreation. Development areas should be planned to protect views of distinctive natural features, such as ridge lines, open space separators, mountain backdrop, major bodies of water, wildlife habitat and other smaller natural areas and parks. Considerations in planning for environmentally sensitive lands should include, but not be limited to:

- Where views of buildings would disrupt the view or value of established open space or natural features, buildings should be integrated into the existing natural character through sensitive location and design of structures and associated improvements. For example, visual impacts can be reduced and better view protection provided through careful building placement and consideration of building heights, building bulk, and separations between buildings; Also, variations in rooflines and building mass can be used to maintain the visual integrity of the landscape and minimize large expanses of flat planes in highly visible locations.
- Lower densities or clustering should be planned contiguous to natural features, with densities graduated in intensity away from the adjacent development or natural feature.
- Buffers and setbacks should be increased where the adjoining use is a public area or significant natural feature.
- Buildings should be clustered and located along contour lines in a manner that minimizes disturbance of slopes and protects views of the natural feature.

Overlay Categories

Three overlay categories overlap one or more of the thirteen previously mentioned categories to provide additional development opportunities to facilitate achieving one or more of the land use themes. The River Adjacent overlay intends to identify development opportunities along the edges of the flood plain to celebrate the river as a natural resource and recreational asset for Loveland citizens and visitors alike. The Enhanced Corridor overlay intends to infuse neighborhood-serving commercial and civic services and transit connections into neighborhoods to provide an opportunity for residents to walk, bike or use transit to obtain these services. The Complete Neighborhood category encourages a fine-grained mix of housing types and commercial uses.

SUGGESTED FUTURE LAND USE MAP CHANGES

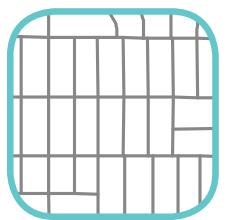
Through the public input and expert analysis conducted as part of the Create Loveland planning process the public and planning team considered opportunities to extend and support existing successful land uses, respond to market demands, facilitate development that better responds to current conditions and lot arrangement, and align with current entitlements. These opportunities are shown on Figure 3-10, Suggested Future Land Use Changes. These changes are not officially adopted with this Plan because they require further examination and public review that is beyond the scope of Create Loveland. The suggested land use changes are shown here for future consideration as they represent important ideas for Loveland's future. The intention would be to review, refine, and adopt these changes through a separate public process, when development is more imminent or as part of a specific planning project.



Form Descriptions

STREET PATTERN

A development's street pattern has an impact on its character and function. A network of highly connected streets supports the needs of all users, including pedestrians, bicyclists, transit riders, and motor vehicles, by offering multiple routes to a destination and reducing reliance on arterial roadways. Less connected street patterns, such as those with culs-de-sac and dead ends, support a higher level of privacy, but create higher traffic volumes on arterial roads, increase demand for higher speeds, and discourage walkability.



Grid



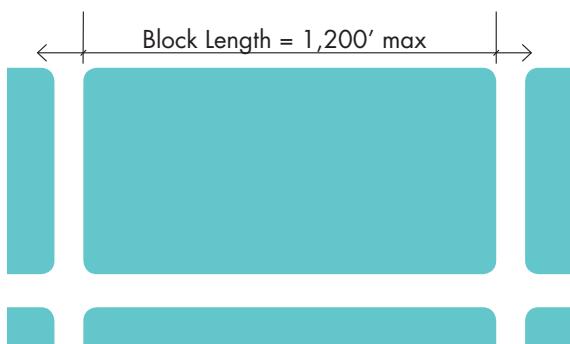
Modified Grid



Curvilinear

BLOCK LENGTH

Block lengths influence development and redevelopment potential and flexibility and the ability to create walkable environments. Typically 250' is the minimum size of a block face in order to allow for sufficient development potential. The maximum recommended block face length is 1200' to still allow for convenient pedestrian circulation between destinations.

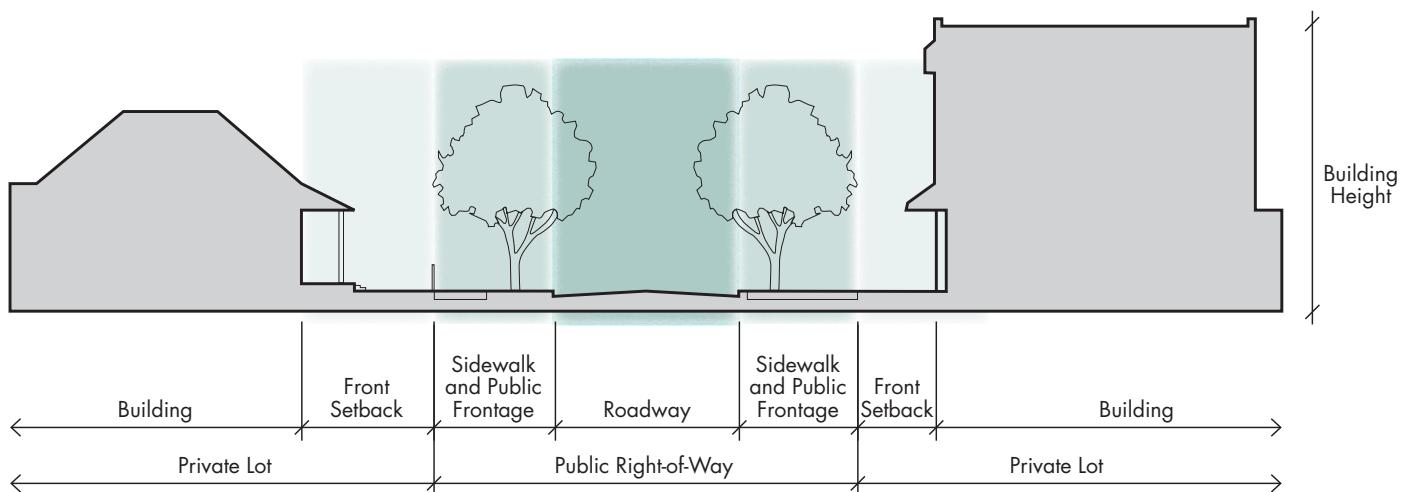


SETBACK

A setback is the closest distance of a building from the property line. Setback ranges are determined by the desired character and function. Buildings located closer to the street and sidewalk can create a more pedestrian friendly environment by providing visual interest, a feeling of enclosure, and slowing traffic. Buildings with larger setbacks allow parking, landscaping, or open space that creates an environment more compatible with rural or high traffic speed environments.

BUILDING HEIGHT

Building height influences a place's character. Taller buildings are appropriate for places that are meant to be activity centers with a higher density of development. Shorter buildings can create an environment that is less dense.



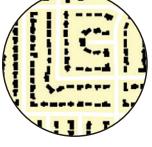
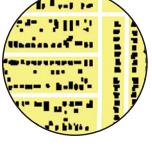
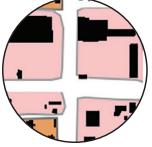
Land Use Category	Primary Uses	Transportation	Example
Residential Mixed Use			
	ER - Estate Residential	Single-family detached homes	Vehicular access prioritized, off-street trails, & paved shoulders Horseshoe Lake First Subdivision
	LDR - Low Density Residential	Single-family homes with limited duplex and multi-family homes	Bike lanes, trails, detached sidewalks, slow vehicular speeds, & limited transit Mariana Butte
	MDR - Medium Density Residential	Single-family, duplexes & multi-family homes	Bike lanes, trails, detached sidewalks, slow vehicular speeds, & transit Established neighborhoods near Downtown
	HDR - High Density Residential	Multi-family homes & townhomes, with limited single-family detached homes	Detached sidewalks, bike lanes, trails, enhanced transit, & slow vehicular speeds Lake Vista
Activity Center Mixed Use			
	RAC - Regional Activity Center	Regional commercial, service, & employment uses, high density housing as appropriate	Vehicular access prioritized, detached sidewalks, bike lanes, & transit Promenade Shops at Centerra
	DAC - Downtown Activity Center	Diverse mix of historic & new uses in the downtown business area	Oversized sidewalks, bike lanes, enhanced transit, & slow vehicular speeds Downtown
	CAC - Community Activity Center	Employment & civic uses anchored by large-format retail	Detached sidewalks, bike lanes, vehicular access from arterials, & transit S. Taft Avenue / Highway 402
	NAC - Neighborhood Commercial	Local retail & civic uses	Detached sidewalks, bike lanes, transit, & slow vehicular speeds Village of Five Parks in Arvada, Northlake

Figure 3-8. Land Use Categories



Land Use Category	Primary Uses	Transportation	Example
Activity Center Mixed Use			
	CC - Corridor Commercial	Local & regional retail uses, high density housing as appropriate	Detached sidewalks, bike lanes, enhanced transit, & vehicular access from arterials
	E - Employment	Regional employment & related commercial uses	Detached sidewalks, bike lanes, enhanced transit, & vehicular access from arterials
Other Categories & Overlays			
	I - Industrial	Employment, light & heavy industrial, & outdoor storage	Freight movement prioritized, detached sidewalks, transit, & limited bike facilities
	PQP - Public Quasi Public	Schools, government uses, & the airport	Detached sidewalks, bike lanes, vehicular access from arterials, & transit
	POL - Parks, Open Lands & Environmentally Sensitive Places	Parks, city-owned natural areas, & privately conserved lands	Detached sidewalks, trails, limited transit access, & limited vehicular access
	CN - Complete Neighborhood	A variety of housing integrated with commercial & employment uses	Detached sidewalks, bike lanes, enhanced transit, & slow vehicular speeds
	EC - Enhanced Corridor Overlay	High-density residential mixed with commercial, employment & civic uses	Bus/rail transit hub, oversized sidewalks, bike lanes, & slow vehicular speeds
	RA - River Adjacent Overlay	Big Thompson River 100-year floodplain & adjacent, impacted parcels	Daybreak, UT; Woodward Governor in Fort Collins

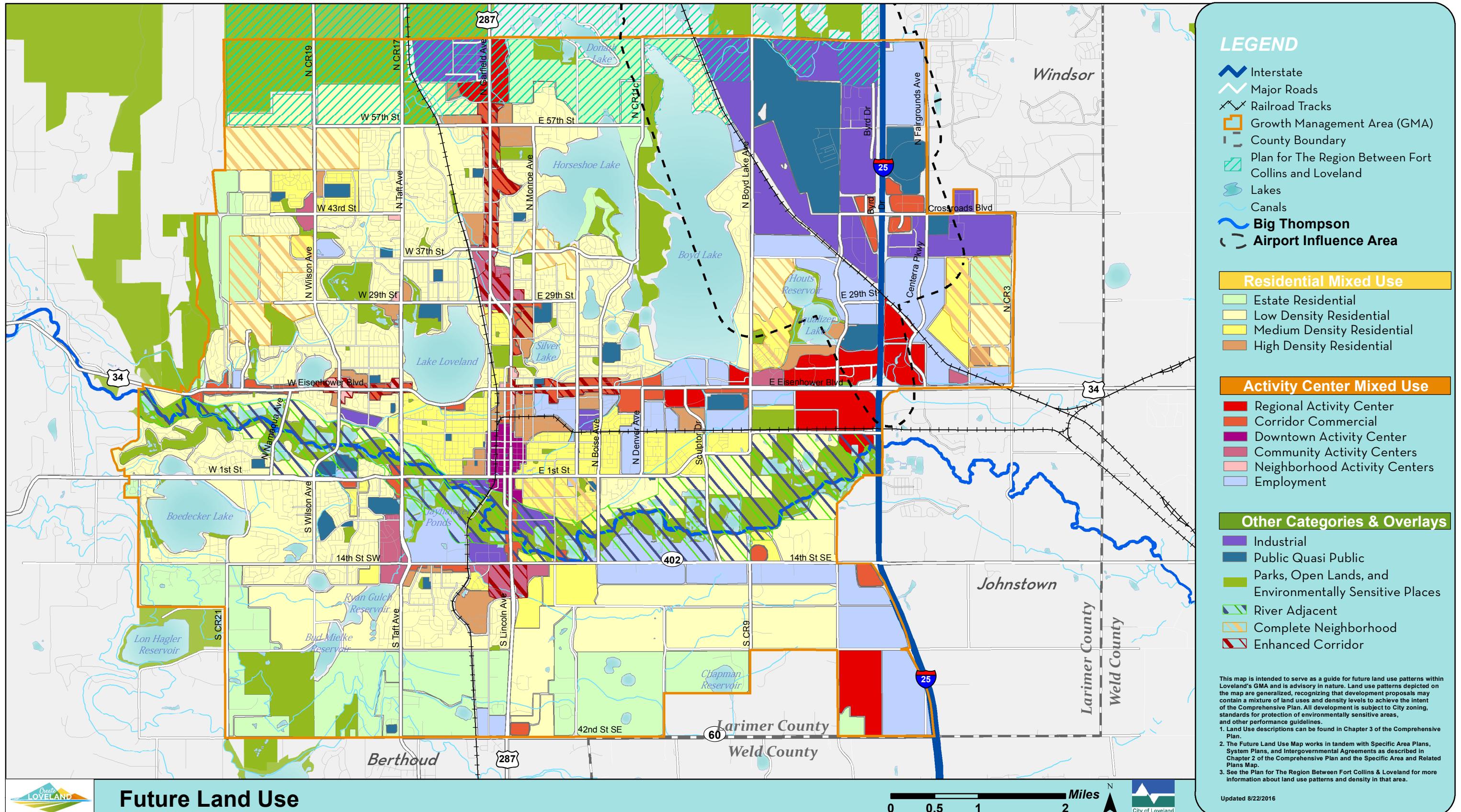
Figure 3-8. Land Use Categories



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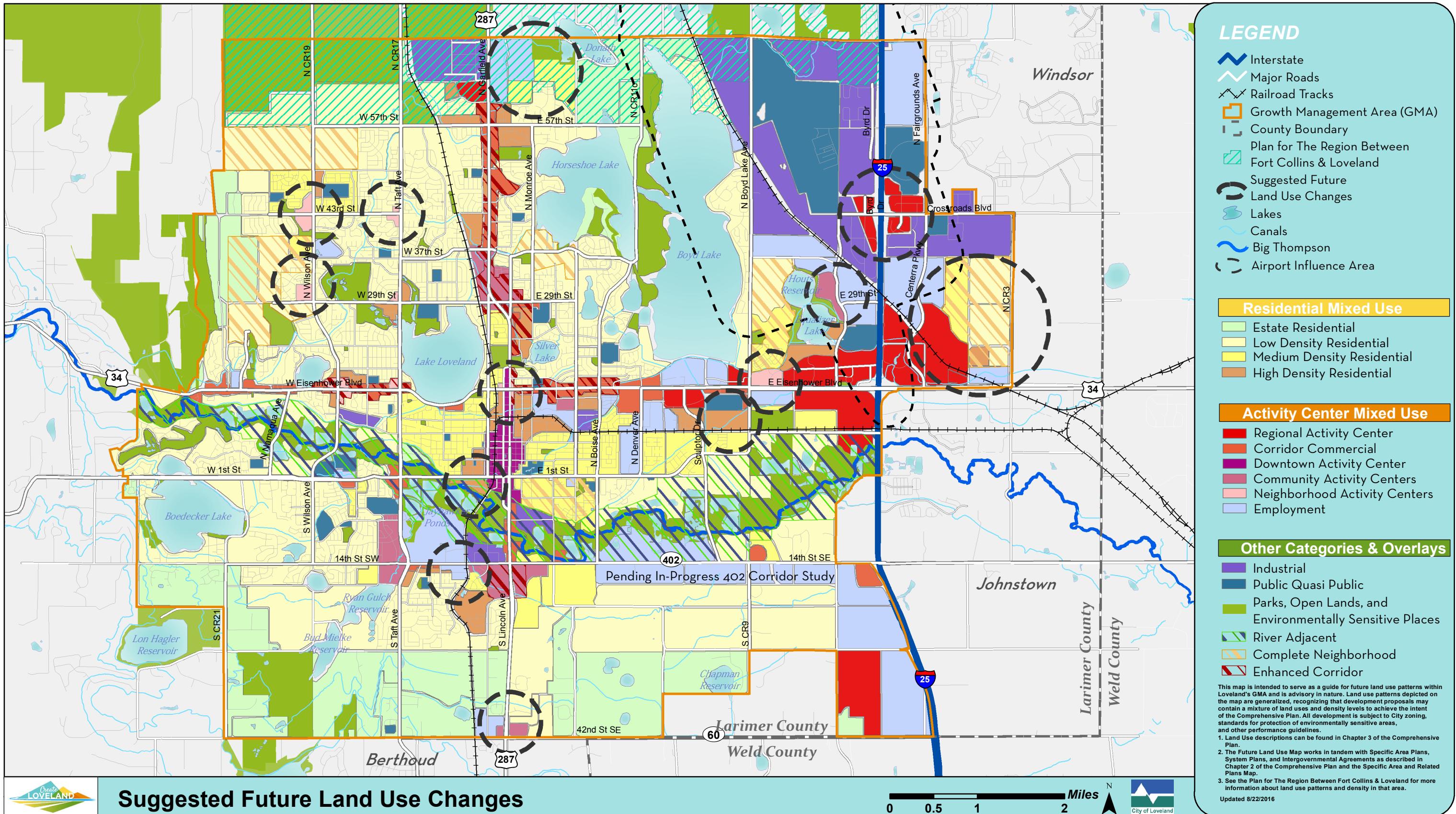
Figure 3-9. Future Land Use Plan



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Figure 3-10. Suggested Future Land Use Changes



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ER - ESTATE RESIDENTIAL



- Intended to provide for lower residential densities and larger lot areas and / or significant common open space achieved by clustering housing.
- Frequently located near or adjacent to significant natural features and established open spaces at the outer limits of the City's GMA Boundary.



Example: Horseshoe Lake Subdivision

Land Use Mix

Residential

- Single-family detached homes

Transportation

Highest Priority Mode



Primary access to homes by car; slow speeds

Zoning Compliance

- New ER - Estate Residential
- PUD - Planned Unit Development

Priority Mode



Off-street trail system

Form

- Density: up to 2 units / acre; for sites with significant undevelopable natural features, gross density below the maximum range should be considered
- Street Pattern: Curvilinear
- Block Length: NA
- Front Yard Setbacks: 30'+
- Building Height: 1 - 3 stories
- Clustered housing encouraged to achieve gross density while protecting sensitive natural areas

Recreational

- Parks

Civic

- Churches
- Schools

Priority Mode

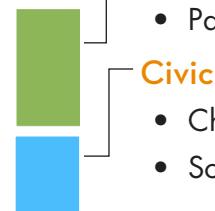


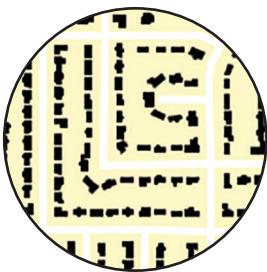
Paved shoulders

Non-prioritized Mode



Transit on adjacent collector & arterial network as appropriate





LDR - Low Density Residential

- Can consist of a variety of housing types, but includes primarily detached single family residential housing.
- Represents the largest residential component (geographically) of the City's Land Use Plan and the majority of newly developing neighborhoods.



Example: Marianna Butte

Land Use Mix

Residential

- Single-family detached homes, including patio & cottage-type developments
- Single-family attached homes, including townhomes & duplexes
- Condominiums & apartments compatible with area

Recreational

- Parks

Civic

- Churches
- Schools
- Public/quasi-public uses

Commercial

- Retail & services compliant with NAC

Transportation

Highest Priority Mode



Streets comfortable for biking with slow vehicle speeds & bike lanes on collectors; off-street trail system

Priority Mode



Detached sidewalks; off-street trail system; connections to transit stops & adjacent neighborhoods

Priority Mode



Access to homes by car; slow speeds & connectivity between neighborhoods

Secondary Mode



Transit on adjacent collector & arterial network as appropriate

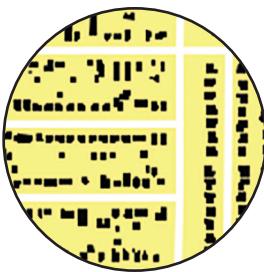
Zoning Compliance

- R1 - Low Density Residential
- R1e - Established Low Density Residential
- PUD - Planned Unit Development

Form

- Density: 2 - 4 units / acre
- Street Pattern: Curvilinear or Grid
- Block Length: 250' - 650'
- Front Yard Setbacks: 15' - 40'
- Building Height: 1 - 3 stories





MDR - MEDIUM DENSITY RESIDENTIAL

- Provides for a variety of housing types at a moderate density.
- Compatible with older neighborhoods around the center of the city.
- New neighborhoods and infill development may include a mix of housing types, including townhomes.



Example: Established Neighborhoods Near Downtown

Land Use Mix

Residential

- Single-family detached homes, including patio & cottage-type developments
- Single-family attached homes, including townhomes & duplexes
- Four-plexes & eight-plexes
- Condominiums & apartments compatible with area

Recreational

- Parks

Civic

- Churches
- Schools

Commercial

- Retail & services compliant with NAC

Transportation

Highest Priority Mode



Detached sidewalks; off-street trail system; connections to transit stops, adjacent neighborhoods & commercial areas

Priority Mode



Streets comfortable for biking with slow vehicle speeds & bike lanes on collectors; off-street trail system

Priority Mode



Access to homes by car; slow speeds & connectivity between neighborhoods

Secondary Mode



Transit on adjacent collector & arterial network; shelters & benches

Zoning Compliance

- R2 - Two Family Residential
- R3e - Established High Density Residential
- PUD - Planned Unit Development
- PP - Public Park

Form

- Density: 4 - 10 units / acre
- Street Pattern: Grid
- Block Length: 250' - 800'
- Front Yard Setbacks: 10' - 25'
- Building Height: 1 - 4 stories





HDR - HIGH DENSITY RESIDENTIAL

- Primarily attached higher density housing including multifamily housing.
- Typically located in proximity to employment centers and commercial services to provide land use transition and worker housing options near employment.
- Located near existing or potential transit facilities.



Example: Lake Vista, Victorian Gardens

Land Use Mix



Residential

- Single-family detached homes, including patio and cottage-type developments
- Single-family attached homes, including townhomes and duplexes
- Four-plexes and eight-plexes
- Condominiums and apartments compatible with area character



Recreational

- Parks



Civic

- Churches
- Schools



Commercial

- Retail & services compliant with NAC

Transportation

Highest Priority Mode



Wide detached sidewalks; off-street trail system; connections to transit stops & commercial areas

Priority Mode



Access to homes by car; slow speeds & connectivity between neighborhoods

Secondary Mode



Streets comfortable for biking with slow vehicle speeds & bike lanes on collectors; off-street trail system

Secondary Mode



Enhanced transit stations on adjacent collector & arterial network for local & regional bus service

Zoning Compliance

- R3 - Developing High Density Residential
- R3e - Established High Density Residential
- PUD - Planned Unit Development

Form

- Density: 10 - 20 units / acre
- Street Pattern: Curvilinear or Grid
- Block Length: 250' - 700'
- Front Yard Setbacks: 10' - 20'
- Building Height: 1 - 4 stories





RAC - REGIONAL ACTIVITY CENTER

- Serves regional commercial, service and employment uses at major intersections along interstates and state highways.
- Allows for limited, high density residential.



Example: Promenade Shops at Centerra

Land Use Mix

Commercial

- Medium- and large-format retail
- Major cultural & entertainment uses
- Hotels

Employment

- Medium- to high-rise regional & corporate offices
- Technology
- Light manufacturing

Civic

- Higher education facilities
- Major public/quasi-public uses
- Transit facilities

Recreational

- Plazas & parks

Residential

- A minimum of 10 units / acre not located on major

Transportation

Highest Priority Mode



Regional access to/ from interstate & state highways; slow speeds, intuitive connectivity & wayfinding within

Priority Mode



Wide detached sidewalks with amenities like benches, planters, gathering places

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway

Priority Mode



Enhanced transit stations on adjacent collector & arterial network for local & regional bus service

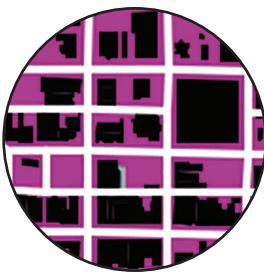
Zoning Compliance

- MAC - Mixed-use Activity Center
- PUD - Planned Unit Development
- B - Developing Business

Form

- Larger scale plazas and paths
- Encourage high-quality architecture
- Street Pattern: Modified Grid
- Block Length: 300' - 1,500'
- Front Yard Setbacks: 0' - 700'
- Building Height: As determined by landscaping, easements & parking lot design





DAC - DOWNTOWN ACTIVITY CENTER

- Central business district serving the local and regional area.
- Encourage preservation of historic character, redevelopment and infill.
- Encourage diverse mix of land use, including arts-related uses, restaurants, and mixed use residential.



Examples: Historic Shops in Downtown Loveland, Loveland Museum, Artspace, Lincoln Place

Land Use Mix

Commercial

- Retail & services
- Entertainment uses
- Major cultural & arts uses
- Hotels

Employment

- Medium- to high-rise regional & corporate offices
- Technology

Civic

- Higher education facilities
- Major public/quasi-public uses

Recreational

- Plazas & parks
- Art in public places

Residential

- Single-family
- Multi-family
- Vertical mixed-use

Transportation

Highest Priority Mode



Oversized sidewalks with amenities like benches, planters, gathering places

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway; bike parking

Priority Mode



Enhanced transit stations to serve frequent local & regional bus &/or rail service

Non-prioritized Mode



Slow speeds; use context sensitive design to encourage motorists to slow down through Downtown

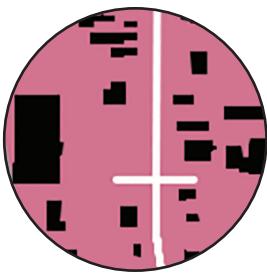
Zoning Compliance

- BE - Established Business
- B - Developing Business outside of areas currently zoned BE

Form

- Emphasis on streetscape
- Outdoor seating encouraged in conjunction with plazas
- Preserve historic character
- Street Pattern: Grid
- Block Length: 300' - 350'
- Front Yard Setbacks: 0' - 20'
- Building Height: Multiple stories as allowed by zoning
- Encourage mode transfer facilities





CAC - COMMUNITY ACTIVITY CENTER

- Serves shopping needs of the community within a 2-mile radius.
- Typically anchored by a grocery store with employment and civic uses.



Example: Thompson Valley Town Center, Orchards Shopping Center

Land Use Mix

Commercial

- Medium- and large-format retail
- Entertainment like restaurants, theaters
- Hotels/motels

Employment

- Low-rise office
- Medical facilities

Civic

- Middle/ high schools
- Places of worship
- Senior or community center
- Public/quasi-public uses
- Park and ride

Recreational

- Plazas & parks

Residential

- Single-family attached & multi-family adjacent to core; up to 16 units/ acre
- Vertical mixed-use

Transportation

Highest Priority Mode



Wide detached sidewalks with amenities like benches, planters, gathering places; connectivity to adjacent uses

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway; bike parking

Priority Mode



Access to/from arterials; slow speeds within & connectivity between adjacent uses

Secondary Mode



Transit on adjacent collector & arterial network; shelters & benches

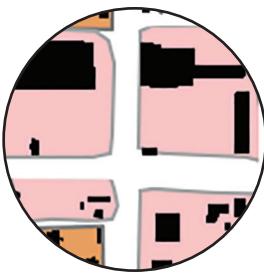
Zoning Compliance

- B - Developing Business
- MAC - Mixed-use Activity Center
- PUD - Planned Unit Development

Form

- Attractive pedestrian circulation
- Public plaza/open space within core
- Links to park/open space
- Dispersed parking
- Street Pattern: Grid
- Block Length: 350' maximum with the option to combine blocks as long as convenient bicycle and pedestrian circulation is maintained
- Front Yard Setbacks: 25' - 100'
- Building Height: 1 - 4 stories
- Core Non-residential Area: 10 - 30 acres





NAC - NEIGHBORHOOD ACTIVITY CENTER

- Serves daily convenience needs of surrounding neighborhood primarily within 1/2 mile walking distance.
- Possible social and recreational focal point for surrounding neighborhood.
- Retail designed to compliment neighborhood structure, activities, and character.



Example: North Park Place Offices; Village of Five Parks, Arvada

Land Use Mix

Commercial

- Small-scale retail & services, like drug stores & gift shops
- Convenience grocery
- Deli

Employment

- Small-scale offices, like insurance agencies

Civic

- Elementary school
- Public/quasi-public uses, like post offices & libraries

Recreational

- Plazas & parks

Residential

- Mixed-use encouraged where appropriate

Transportation

Highest Priority Mode



Wide detached sidewalks with amenities like benches, planters, gathering places; connectivity to adjacent uses

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway

Secondary Mode



Transit on adjacent collector & arterial network; shelters & benches

Non-prioritized Mode



Slow speeds

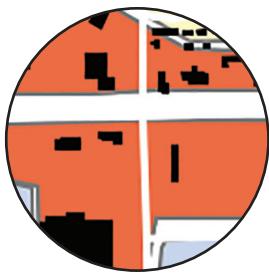
Zoning Compliance

- B - Developing Business
- R3e - Established High Density Residential
- MAC - Mixed-use Activity Center
- PUD - Planned Unit Development

Form

- Dispersed parking
- Attractive pedestrian circulation
- Places for neighborhood activities encouraged
- Street Pattern: Grid
- Block Length: 300' - 600'
- Front Yard Setbacks: 0' - 25'
- Building Height: 1 - 2 stories
- Core Non-residential Area: Up to 6 acres
- Buildings should front onto public sidewalks where possible.
- Pedestrian connections to adjacent neighborhoods with pedestrian amenities





CC - CORRIDOR COMMERCIAL

- Serves local and regional retail uses; applies to a limited number of established businesses.
- New development under this category should better integrate parcels and circulation as they redevelop. Redevelopment should emphasize quality architecture and public realm over parking



Example: Shops at Wintergreen Village, Hwy 287

Land Use Mix

Commercial

- Retail
- Entertainment (restaurants, theaters, etc.)
- Hotels/motels

Employment

- Low-rise office
- Medical facilities

Civic

- Middle/ high schools
- Places of worship
- Senior or community center
- Public/quasi-public uses

Recreational

- Plazas

Residential

- Single- & multi-family as permitted by zoning
- Mixed-use preferred

Transportation

Highest Priority Mode



Wide detached sidewalks with amenities like benches, planters, gathering places; connectivity between adjacent uses

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway

Priority Mode



Enhanced transit stations on adjacent collector & arterial network for local & regional bus service

Secondary Mode



Access to/from arterials; slow speeds within & connectivity between adjacent uses

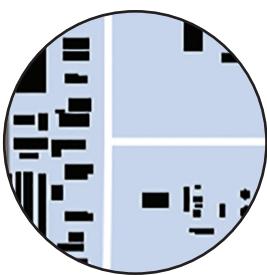
Zoning Compliance

- BE - Established Business
- B - Developing Business
- MAC - Mixed-use Activity Center
- PUD - Planned Unit Development

Form

- Upgrade existing streetscape and building appearance
- Screen existing parking lots
- Improve circulation and access control
- Street Pattern: Grid
- Block Length: 250' - 1,300'
- Front Yard Setbacks: 15' - 200'
- Building Height: 1 - 3 stories
- Core Non-residential Area: Shallow strips along portions of existing arterial roads





E - EMPLOYMENT

- Regional employment and related commercial uses.
- Emphasizes open space and preservation of natural features as buffers.
- Proposed developments that do not contain office or light industrial uses may be allowed if such uses or zoning exist near the proposed development.



Example: Office on Hwy 287, Centerra office building at Rangeview

Land Use Mix



Commercial

- If near other office or light industrial uses or zoning



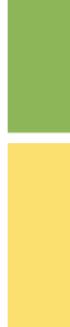
Employment

- Low- to medium-rise offices
- Light industry



Recreational

- Open space



Residential

- Up to 16 units / acre on parcels without access or visibility to major transportation corridors
- Vertical mixed-use

Transportation

Highest Priority Mode



Detached sidewalks, connections to transit stops

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway

Priority Mode



Enhanced transit stations on adjacent collector and arterial network for local and regional bus service

Priority Mode



Access to/from arterials; slow speeds within and connectivity between adjacent uses

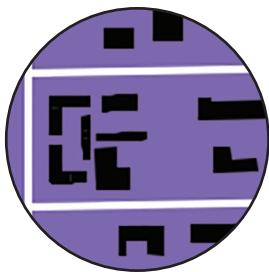
Zoning Compliance

- B - Developing Business
- I - Industrial
- PUD - Planned Unit Development
- E - Employment

Form

- For large sites, campus setting with unified building design, open space, viewshed protection
- For infill sites, minimize setbacks, encourage taller buildings, a mix of uses, and pedestrian access
- High-quality architecture
- Street Pattern: Grid
- Block Length: 1,000' - 2000'
- Front Yard Setbacks: 20' - 200'
- Building Height: 1 - 4 stories, or as allowed by zoning





I - INDUSTRIAL

- Provides locations for a wide range of industrial uses and related services, where appropriate; avoid residential, restaurant, and retail encroachment.
- Ranges from attractive light industrial/office uses to less attractive heavy industrial and uses with outdoor storage.



Example: Longview - Midway, Arvada light industrial

Land Use Mix



Commercial

- Uses compatible with industrial uses, like auto services

Employment

- Manufacturing
- Wholesale
- Warehousing
- Offices compatible with industrial uses



Recreational

- Open space included as part of a development or campus

Transportation

Highest Priority Mode



Freight movements to/ from interstate and state highways

Secondary Mode



Detached sidewalks

Secondary Mode



Transit on adjacent collector and arterial network; provide shelters and benches

Non-prioritized Mode



Shared facilities with vehicles

Zoning Compliance

- I - Industrial
- B - Developing Business
- PUD - Planned Unit Development

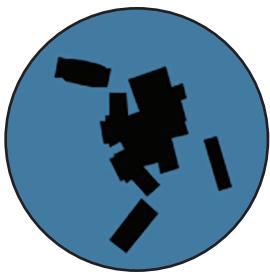
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- Standards as determined by *Commercial and Industrial Architectural Standards* (Municipal Code 18.53).

Location Factors

- Concentrated in the vicinity of the Airport and the Crossroads/I-25 area.
- Other locations are scattered throughout the city that primarily reflect established development patterns.
- Industrial locations typically provide direct access to major highways.





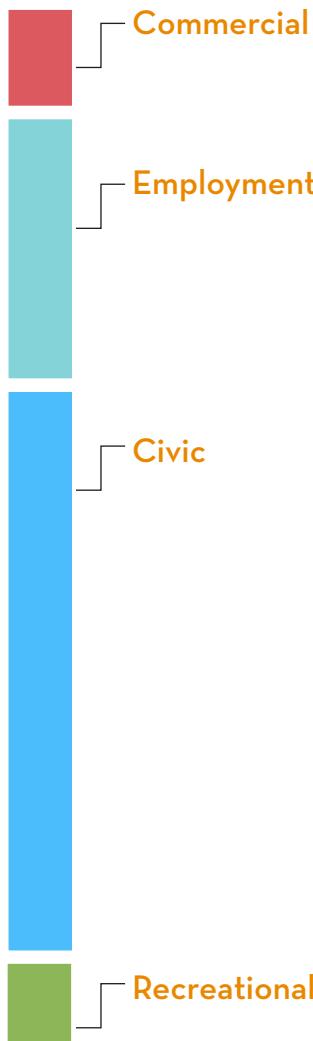
PQP - PUBLIC QUASI PUBLIC

- Includes civic and governmental uses, churches, schools, and medical facilities.



Example: Immanuel Lutheran Church and School, Loveland City Hall

Land Use Mix



Transportation

Highest Priority Mode



Detached sidewalks, connections to transit stops

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway

Priority Mode



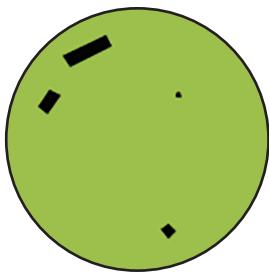
Access to/from arterials; slow speeds within and connectivity between adjacent uses

Secondary Mode



Transit on adjacent collector and arterial network; shelters and benches





POL - PARKS, OPEN LANDS & ENVIRONMENTALLY SENSITIVE PLACES

- Includes publicly-owned parks, open lands, golf courses and related facilities; privately conserved lands (deed restrictions or conservation easement); and environmentally sensitive lands such as floodways.
- An indication of environmental constraints and opportunities.



Example: City Open Lands, Glen Arbor Park, Big Thompson River

Land Use Mix

Recreational

- Parks
- Natural Areas
- Open Lands
- Conservation Easements
- Golf Courses
- Cemeteries
- Rural Land Use Plans

Transportation

Highest Priority Mode



Detached sidewalks, connections to transit stops

Priority Mode



Wide shared use trails

Non-prioritized Mode



Transit on adjacent collector and arterial network as appropriate

Non-prioritized Mode



Minimal facilities provided; access to trailheads and maintenance only

Zoning Compliance

- PP - Public Park
- A variety of zoning districts permit such uses

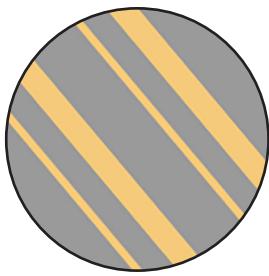
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- Wetland factors and regulatory constraints may apply in areas where wetland conditions exist
- Guidelines for protection of Environmentally Sensitive Areas as determined by the Parks and Recreation Master Plan

Location Factors

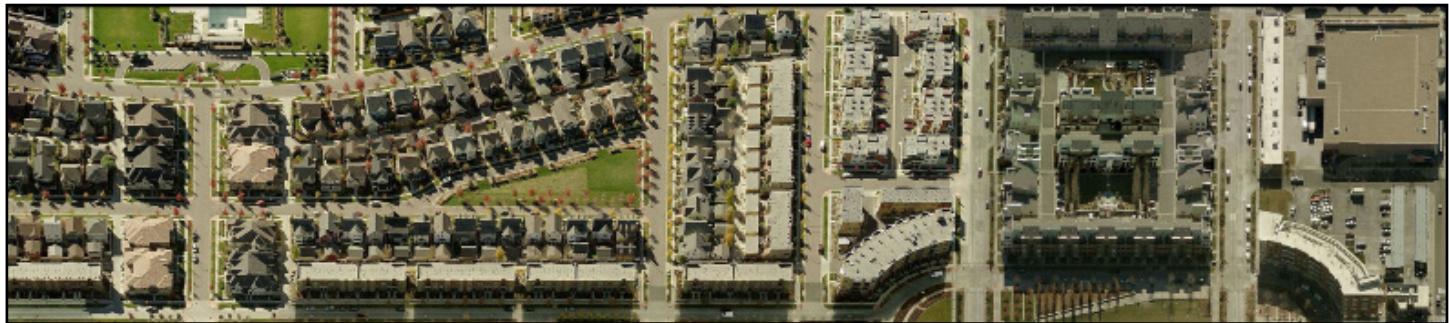
- The Future Land Use Plan Map primarily indicates significant existing parks, open lands, and the Big Thompson River floodway. Future uses of this nature may be located, where appropriate, in any of the land use categories.





CN - COMPLETE NEIGHBORHOODS OVERLAY

- Optional alternative land use designation for LDR and MDR city-wide. Suitable locations are identified through public input.
- A fine-grained mix of housing types, densities, and neighborhood scale commercial and civic uses, arranged in a pattern that supports pedestrian and bicycle transportation.
- Promotes integration of commercial and employment uses with housing.



Example: Stapleton in Denver showing a range of housing types, neighborhood-serving commercial, and community facilities with high street connectivity. See also the Facilitate Complete Neighborhoods artists rendering in Chapter 2.

Land Use Mix

Residential

- Single-family detached homes, including patio and cottage-type developments
- Single-family attached homes, including townhomes and duplexes
- Four-plexes and eight-plexes
- Condominiums and apartments compatible with area character

Recreational

- Parks, plazas & private commons

Civic

- Churches
- Schools

Commercial

- Retail & services compliant with NAC

Transportation

Highest Priority Mode



Wide detached sidewalks with amenities like benches, planters, gathering places; connections to transit stops

Priority Mode



Streets comfortable for biking with slow vehicle speeds & bike lanes on collectors; off-street trail system

Priority Mode



Enhanced transit stations on adjacent collector & arterial network for local & regional bus service

Non-prioritized Mode



Slow speeds

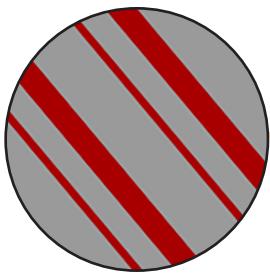
Zoning Compliance

- Underlying zoning will vary.

Form

- Highly connected transportation network
- Places for neighborhood activity encouraged
- Links to parks / open space
- Average density: 8 units / acre
- Street Pattern: Grid
- Block Length: 350' maximum
- Front Yard Setbacks: 0' - 25'
- Building Height: 1 - 3 stories





EC -ENHANCED CORRIDOR OVERLAY

- Intended to encourage redevelopment patterns and densities sufficient to leverage new private re-investment along established commercial corridors.



Example: Daybreak, UT; Mason Street in Fort Collins

Description

- Underlying designations include a wide range of commercial, employment, and residential uses.
- Maximize transit investment and advance transit readiness.
- Emphasize improving site planning and form rather than regulating use.

Location Factors

- Along arterial roads and near planned stations along commuter rail and I-25 corridors.
- Encourage mode transfer facilities.

Transportation

Highest Priority Mode



Transit mobility hub or commuter rail stations to serve frequent local and regional bus &/or rail service

Priority Mode



Oversized sidewalks with amenities like benches, planters, gathering places; connections to transit stops & adjacent areas

Priority Mode



Designated bike accommodation such as bike lanes or protected bikeway; bike parking

Non-prioritized Mode



Slow speeds within the development; parking access to transit

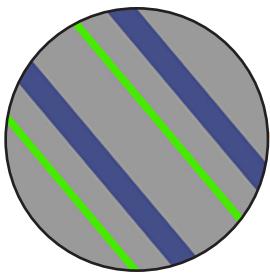
Zoning Compliance

- Underlying zoning will vary.

Form

- Highly connected transportation network
- Places for neighborhood activity encouraged
- High quality architecture
- Density: 10 - 30 units / acre
- Street Pattern: Grid
- Block Length: 350' maximum
- Front Yard Setbacks: 0' - 15'
- Building Height: 2 - 7 stories





RA - RIVER ADJACENT OVERLAY

- Encourage appropriate restrictions on development in and adjacent to the floodplain to protect public health, safety, and welfare.



Example: Daybreak, UT; Royal Bank of Scotland

Description

- The River Adjacent overlay category incorporates the majority of the 100-year floodplain as designated by the Federal Emergency Management Agency (FEMA). This designation is depicted as an overlay with underlying land use designations that vary depending on location.
- This overlay is not a use, per se, but instead an indication of physical constraints and opportunities that influence appropriate use and restrictions on development in these areas. Its purpose is to ensure that residential and non-residential developments within or adjacent to the Big Thompson River floodplain maximize economic, recreation, and natural assets, and respond appropriately to river resources in terms of flood resiliency, structure siting, access, buffering and natural system function.

Location Factors

- FEMA floodplain.
- Adjacent areas north of Highway 402 that have the opportunity to be influenced by the Big Thompson River system (bluffs, riparian habitats, wildlife corridors) more than adjacent properties as shown on the Future Land Use Map.
- Mineral extraction is recognized as an existing and anticipated use, though discouraged within city limits.
- Areas of mineral extraction should be reclaimed in a way that supports the River Adjacent Overlay.

Zoning Compliance

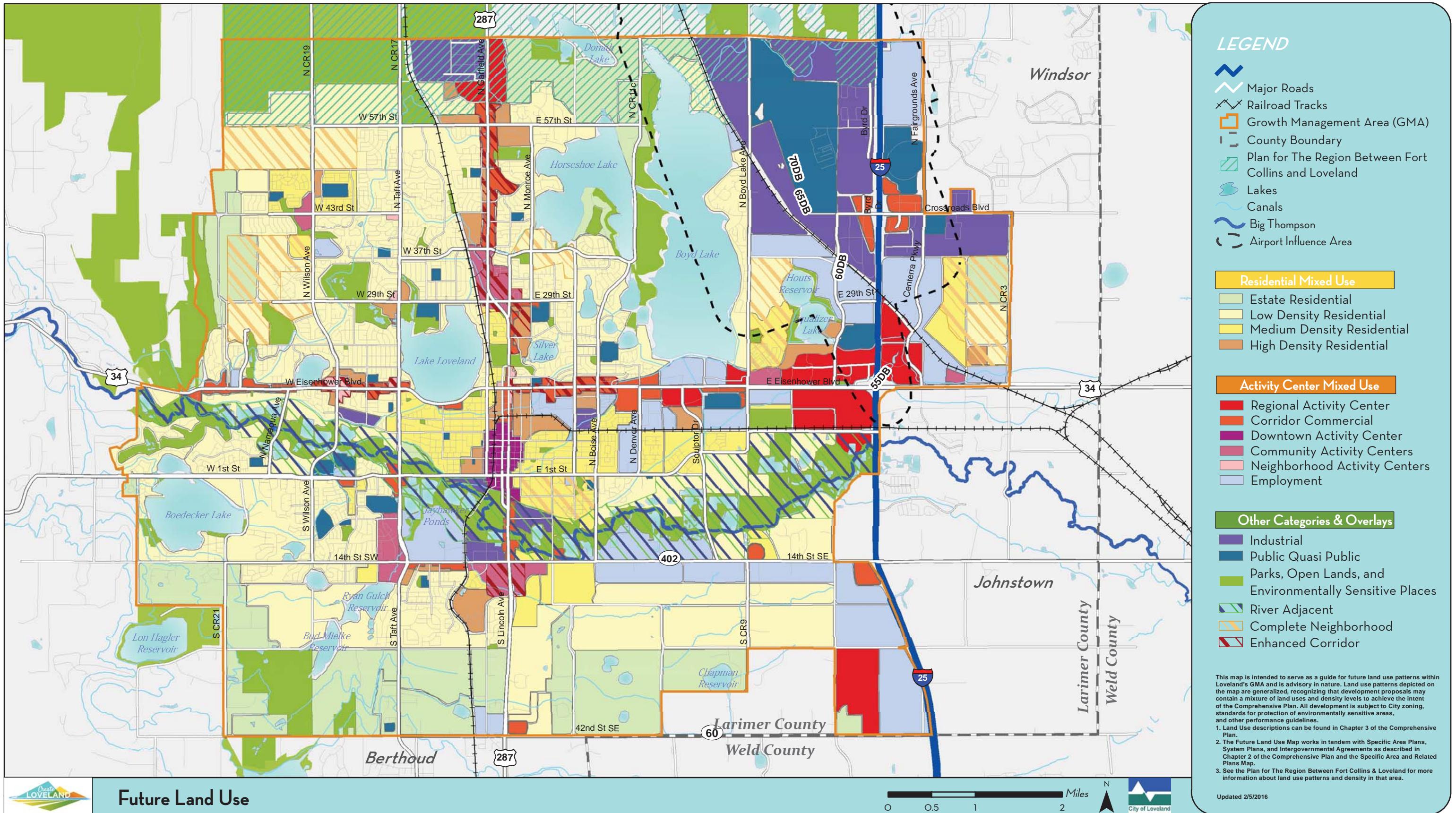
- As may be determined by underlying land use designation, Environmentally Sensitive Areas guidelines, and floodplain regulations.

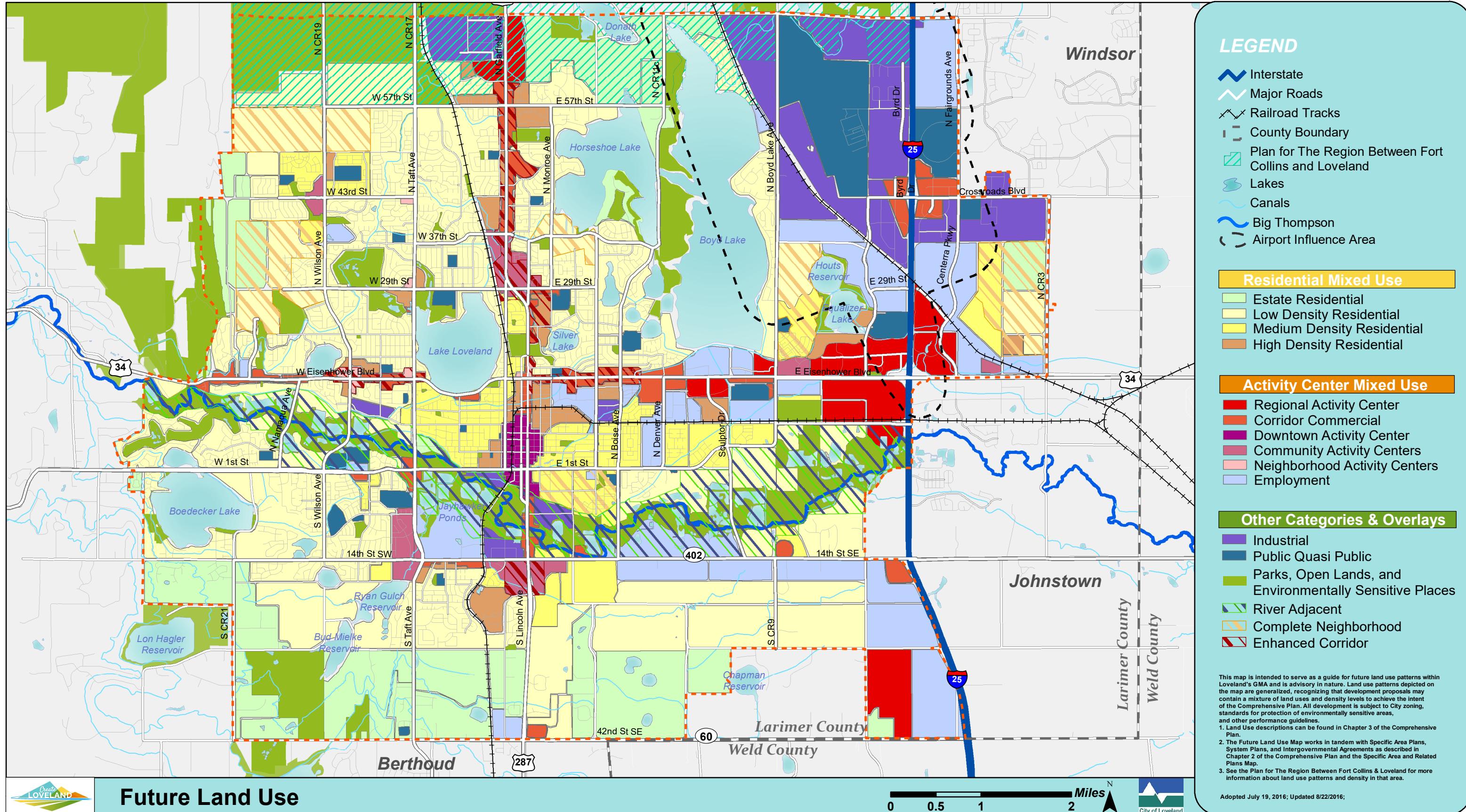
Form

- Guidelines for protection of Environmentally Sensitive Areas as determined by the Parks and Recreation Master Plan.
- As determined by applicable local and federal floodplain regulations and guidelines where within the FEMA floodplain.
- Wetland factors and regulatory constraints may also apply in areas where wetland conditions also exist.
- Clustering; stormwater best management practices.
- Recreational connectivity to off-street trail system, and easements for people and water as needed.
- Visual access to natural features.



Figure 3-9. Future Land Use Plan





Planning Commission Staff Report

February 26, 2018

Agenda #: Regular Agenda - 2

Title: The Foundry Theatre – Site Development Plan (PZ 17-227)

Applicant: Scott Ranweiler, Brinkman Partners

Request: **Be-Established Business District Site Development Plan Review**

Location: Between E. First Street and E. Second Street (north/south) and between N. Lincoln Avenue and N. Cleveland Avenue (east/west)

Existing Zoning: Be – Established Business District

Proposed Use: Mixed-use development (Foundry)

Staff Planner: Troy Bliss

Staff Recommendation

Subject to additional evidence presented at the public hearing, City staff recommends the following motion:

Recommended Motions:

1. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated February 26, 2018, and based on those findings, approve the Foundry Theatre Site Development Plan, subject to the conditions listed in Section IX, as amended on the record.*

Summary of Analysis

This is a public hearing and quasi-judicial matter to consider The Foundry Theatre Site Development Plan (SDP). The role of the Planning Commission is to determine whether the plan as presented is in compliance with the standards specified in the Be Zoning District, Chapter 18.24 of the Loveland Municipal Code. The decision of the Planning Commission is final with respect to the SDP barring appeal. The project is a collaboration between the applicant, Brinkman Partners, and the City of Loveland.

The Foundry represents the City Council's effort to create a "downtown catalyst" project that will spur revitalization and renewed investment in the downtown. The envisioned mix of residential, entertainment, restaurant and retail uses, along with a city-owned parking structure oriented around a central plaza is part of a longstanding community vision. The financial and timing aspects of the project were established in January of 2016 between the Council and Brinkman; the project team is now working with a high level of urgency in order to meet various development parameters. City staff has worked closely with the Brinkman team to move the design to fruition. Staff believes that all key issues have been resolved and recommends approval of the submitted plans.

I.

VICINITY MAP/AERIAL PHOTOGRAPHS



(The Foundry Site as Highlighted – Theatre Site Outlined in Red)



(View: Looking south from E. Third Street – Prior to Site Demolition)



(View: Looking north from Irrigation Ditch along E. First Street – Prior to Site Demolition)



THE FOUNDRY

02.06.16


II. INTRODUCTION

The Foundry Description and Status

The SDP is the fundamental application guiding the overall mixed-use redevelopment plan for the Foundry. The project itself is a \$75 million redevelopment in the core of downtown Loveland and is the focal point of the City's downtown redevelopment plans since 2009. The Foundry is a public/private partnership between the City of Loveland and Brinkman Partners that has been approved by City Council.

The Foundry represents a significant reinvestment to Loveland and its downtown. The redevelopment does create a catalyst for the south end – adding a destination to downtown that could draw regionally or beyond. This is also the single largest redevelopment in downtown Loveland that the City has ever considered. As an entrance or exit (depending on which way you are traveling), the magnitude of this project will present a visual attraction that incorporates elements from downtown but creates its own unique place. A key component of the project has been to provide more parking for downtown in the form of a multi-level parking garage. Uses including mixed-use, theater, and hotel have taken shape around creating this vision.

The Project is consistent with the City's approved Downtown Strategic Plan, specifically:

Goal 1 - Maintain and enhance the economic vitality of Downtown through private/public partnerships.

Goal 2 – Identify funding gaps to project development and structure tools to fill the gaps and achieve development.

And;

Goal 4 – Identify strategic catalyst projects that will significantly improve the economic conditions in downtown.

The Downtown Vision Book, approved by Council in 2010, envisioned this project and was the first to coin the term “South Catalyst.” The Vision Book was the basis for the original RFP for the developer, which led to the “North Catalyst” project (“Gallery Flats”) as well as the South Catalyst, now Foundry Project.

As outlined in Section 18.24.050.B of the Loveland Municipal Code, the Planning Commission shall review the SDP and issue a decision based on specific findings that would approve, approve with conditions, or deny the project as presented. Decision of the Planning Commission is final. This decision may however be appealed as specified in Section 18.80.050 of the Loveland Municipal Code. City Council approved a Disposition and Redevelopment Agreement in December 2016, which identifies, among many other items, timing on consideration of entitlements for the project.

This SDP application covers the third and final phase of the Foundry Project, for development of a theatre. Remaining project components an amenity package for all site furnishings and final façade design of the parking garage, which are anticipated to be presented to the Planning Commission on March 12, 2018. The project site is approximately 4 acres in size located in the heart of downtown between Backstage Alley and E. 1st Street and N. Lincoln Avenue and Cleveland Avenue. In order to visualize the magnitude and scope of this project, please see the following link: (<https://vimeo.com/183515325>). (Please note the video *does not* depict the final facades or building designs. It only illustrates the project mass and general building locations.) Prior actions by the Planning Commission related to this project have included:

- Recommendation for approval on vacating Opera Alley, portions of E. Third Street, a portion of E. Second Street;
- Approval of a Site Development Plan for the first phase of the Foundry (i.e. Parking Garage, Lincoln Mixed-Use Building, Cleveland Mixed-Use Building, and Central Plaza; and,
- Approval of a Site Development Plan for the second phase of the Foundry (i.e. Hotel).

The overall intent with this third phase is to obtain land use approval relative to compliance with the Be zoning district for a theatre operated by Metropolitan.



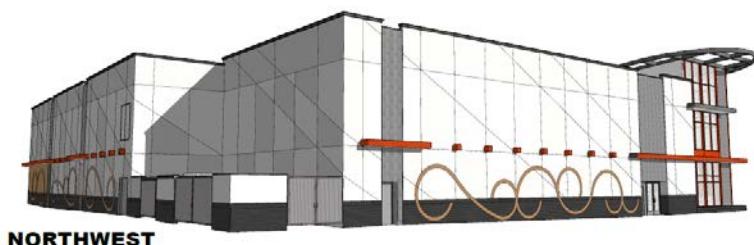
Foundry Theatre Overview

The Foundry Theatre represents the third phase of the project in terms of land use entitlements. The site is approximately 0.65 acres in size, legally described as Lot 2, Block 3 of the Loveland Eleventh Subdivision, located at the far northeast end of the Foundry development. The general location is the northwest corner of N. Lincoln Avenue and E. Third Street. The building consists of a 26,000+ square foot, 2-story, 7-screen theatre. Exterior building materials are similar to those approved on the other Foundry buildings (i.e. brick, stucco, and decorative metal) with a color palate that does introduce some new colors like the red entry. Additionally, the rhythm is very linear (with the exception of the oval metal grid structures located at the southeast and southwest building corners). It is of the same bulk and scale as the parking garage and mixed-use buildings under construction to the south. In terms of height, the theatre is the shortest primary building within the Foundry development. The building is approximately 42 feet in height which is about 23 feet less than the mixed use buildings, about 13 feet less than the hotel (not under construction) and less than the bulk of the parking garage.



In terms of the site, the main entrance to the building is located along E. Third Street (southwest corner) that incorporates a lot of glass and store front systems, important to a downtown setting. The entry is embellished by prominent red window frames and marquee topped with a large oval tower element. The

southern portion of the site orients itself to the internal plaza. The east building elevation is another prominent elevation in terms of being adjacent to a public street (N. Lincoln Avenue). While no entry is provided, it was important to create entry features and architectural elements that relate to the street from both a pedestrian and vehicular perspective.



Service access is proposed off of Backstage Alley to the north. It will be fully enclosed and screened from public view. Along the west property boundary is an extension of the pedestrian walkway (paseo)

through the Foundry connecting to Backstage Alley. Backstage Alley is currently being redesigned to not only be a service area for all the businesses along the alley but also to establish a pedestrian corridor.

III. ROLE OF THE PLANNING COMMISSION

This Site Development Plan for the Foundry Theatre is a public hearing in which the Planning Commission determines whether the project as presented is consistent with applicable Be Zoning District standards based upon the findings outlined in Section IV of this staff report. City staff is recommending conditional approval to the Planning Commission. Conditions of approval are primarily conditions that apply to the Foundry development as a whole and have been applied to previous phases.

As part of the Planning Commission review, a determination needs to be made that the following findings have been met:

- The proposed development complies with the standards of Chapter 18.24 and any other provisions of the Municipal Code;
- The proposed development is consistent with the City's HIP Streets Master Plan;
- The proposed development is compatible with surrounding properties when considering the allowances for development intensity specified in Chapter 18.24 and the urban orientation of downtown; and,
- Adequate infrastructure is available to serve the proposed development.

The Planning Commission does not determine if the theatre use is appropriate. A theatre in the Be Zoning District is allowed by right. Exterior building material colors are not part of the Planning Commission consideration unless accent colors are found to not be compatible with predominant base colors.

IV. REVIEW OF THE THEATRE

Project Review

With respect to building design, the building falls short in complying with the following applicable Be zoning requirements:

- East building elevation facing N. Lincoln Avenue:
 - Windows and doors are to comprise at least 40% of the building façade;
 - No building wall shall extend more than 25 horizontal feet without a window or opening; and,
 - Building recesses and/or projections of approximately 4 feet shall be provided along at least 20% of the façade.
- All building facades:
 - At least 30% of the facades shall include brick or stone – finish materials consistent with the historic character of the area.

The type/functionality of a theatre use and the orientation of the lot fronting three public rights-of-way (i.e. N. Lincoln Avenue, E. Third Street and Backstage Alley) complicates development being able to fully comply with these standards. In consideration, City staff has found that the intent is being met based on the following:

- East building elevation facing N. Lincoln Avenue:
 - The interior space along N. Lincoln Avenue includes all screening rooms. Introducing 40% of windows/doors defeats the purpose. Faux windows are being applied along the upper portion of the building. However, the intent is to limit faux windows and/or doors

- due to not being “true” openings. Use of the movie poster glass inserts and backdrop to the sign/tower element add to the overall efforts in glazing requirements.
- The building would be constructed at the property line. Therefore, the only option to address building recesses/projections is recessing. Again, this complicates the functionality and use of the interior screening room space – essentially taking away square footage. The screening rooms are programmed to specific dimensions. The overall size of the lot adds further complications – it is a tight fit. In order to speak to the purpose and intent, elements of the building such as the oval tower, upper faux windows, and sign marquee provide appropriate projections. These elements do extend beyond the property line but given that they are elevated at certain heights above the sidewalk, such encroachments are allowed.
- All building facades:
 - The base and primary pedestrian level of the building incorporates the same type of brick that will be used on other buildings within the Foundry (i.e. black and red brick). Instead of adding brick to 30% of the entire building façades, which drives cost, the alternative is to include another compatible high-quality masonry element (i.e. stucco that incorporates a patterned design).

Other Key Project Considerations

Parking:

The overall Foundry site is located within General Improvement District #1 (GID) which will contribute to the assessments collected for maintaining/upgrading public parking and pedestrian facilities downtown. This project represents a big contribution to the GID due to the size of redevelopment and inclusion of the parking garage. As specified in 18.24.060.B, off-street parking is not required for non-residential or mixed-use developments located in the GID. And, while parking is not a component to Planning Commission’s consideration on the SDP, it is important to understand the relationship of the Foundry to the parking garage and its effects on downtown as a whole.

Walker Parking Consultants prepared a parking study in June 2016 with an update in December 2016 (see **Attachment 1**). This study is based on an overall shared-parking demand analysis that modeled aggregate, peak, and shared parking for all uses on the site. The model is specific enough to provide a breakdown of parking demand generated by different user groups, weekday versus weekend demand patterns, and the fluctuations in this demand at different times of the year. The analysis concludes that on average, the parking demand for the Foundry would never exceed the amount of parking spaces in the parking garage. Moreover, the parking garage would always have available public space for downtown visitors as a whole – not just the Foundry. This is important to note because the parking garage (and lot it sits on) will be owned and maintained by the City, offering public parking for all of downtown.

Adequate Community Facilities (ACF) Review:

The purpose of ACF is to ensure that community facilities needed to support new development meet or exceed the adopted level of service established by the City. Section 16.41.020 requires all non-residential and/or residential (containing more than 12 dwelling units) site plans to conform to ACF. The DRT has evaluated ACF throughout review of the Foundry with the following analysis:

16.41.100 Fire Protection and Emergency Rescue Services

Loveland Fire Authority – Adequate fire protection services are currently in place. To ensure that fire protection and emergency rescue services remain in place during construction, a development agreement is being prepared. Additionally, Loveland Fire Authority has been working with the applicant’s construction team in establishing proper access during construction in the event of any emergency. All

fire protection standards for the City of Loveland are being met as referenced in Appendix A – Table 2.3 of Chapter 16.41 of the Loveland Municipal Code.

16.41.110 Transportation Facilities

Transportation Development Review - Staff believes that this finding can be met, due to the following:

1. A Traffic Impact Study (TIS), prepared by Sean Kellar, P.E., PTOE, has been submitted with The Foundry Site Development Plan which demonstrates that the existing transportation system, can adequately serve the proposal.
2. Access to the development will be provided by the existing downtown street network with new driveway access to a parking garage located on Second Street.
3. The TIS has demonstrated that the operation of Cleveland Avenue, Lincoln Avenue, Second Street and Third Street will meet City standards.
4. The TIS shows the need for a west-bound right turn lane on First Street at Lincoln Avenue for the proposed development.
5. The proposed development is estimated to generate approximately 2,244 daily trips, 211 weekday AM peak hour trips, and 289 weekday PM peak hour trips and 349 Saturday peak hour trips.

In conclusion, the development of the subject property pursuant to any of the uses permitted by right under the zoning district will not adversely impact any existing City infrastructure. A positive determination of adequacy for transportation facilities for the proposed application has been made under the provisions above.

16.41.120 and 16.41.130 Water Facilities and Services AND Wastewater Facilities and Services

Water/Wastewater - This development is situated within the City's current service area for both water and wastewater. Previous buildings within the development area received water and wastewater services from the City. Significant water and wastewater infrastructure upgrades will occur prior to building construction to provide water main capacity and relocate the existing wastewater main.

The Department finds that the Development will be compliant to ACF for the following reason:

1. Water and wastewater facilities and services meet or exceed the applicable ACF criteria.

16.41.140 Stormwater Facilities

Stormwater - Staff believes that this the ACF finding can be met, due to the following:

1. Original development within downtown Loveland was constructed long before Storm Drainage Criteria was developed. As such, the original drainage system in downtown Loveland was deemed inadequate within the City of Loveland Master Drainage Plan. The Loveland Stormwater Utility has since constructed all of the identified storm drainage master planned improvements within downtown Loveland.
2. When constructed, the development will not negatively affect the existing City storm drainage infrastructure and will comply with the Adequate Community Services ordinance outlined in the Loveland Municipal Code, Section 16.41.140 the best it can given the downtown Loveland parameters of which we have to work.

16.41.150 Power

Power – This development is situated within the City’s current service area for power. Previous buildings within the development area received power service from the City. Power infrastructure upgrades will occur prior to building construction to provide City power services to the new development. The Power Division finds that the development will comply with Adequate Community Facilities for the following reasons:

1. The proposed development will not negatively affect City power facilities.
2. The proposed public facilities and services are adequate and consistent with the City’s utility planning and provides for efficient and cost-effective delivery of City power service.

ACF Review Summary: In summary, adequate infrastructure is in place to accommodate the development along with changes that will create greater levels of service compared to what is currently in place. For example, the inclusion of a right turn lane at the intersection of N. Lincoln Avenue and E. First Street will create greater efficiency in vehicular movements. Additionally, improvements to the original drainage system in downtown will no longer have a negative impact to the City’s storm drainage infrastructure. From an infrastructure perspective, the Foundry will add to improving downtown as a whole.

Key Issues

A significant amount of coordination and initial planning was conducted with this project. Weekly meetings were held with the DRT and Brinkman Partners between October 6, 2016 and December 22, 2016, prior to any development application review. Formal applications were submitted at the beginning of January 2017 which began another series of bi-weekly meetings with the DRT and Brinkman Partners over the course of almost 3 months. This commitment to the project has been extremely valuable in addressing key issues ahead of time and finding solutions. Significant issues were uncovered that included:

- Complications with respect to location of existing fiber in N. Cleveland Avenue that needs to be re-routed;
- Construction of a right-turn lane at the intersection of E. First Street and N. Lincoln Avenue;
- CDOT approval on lane configurations in N. Lincoln Avenue and N. Cleveland Avenue;
- Re-routing sewer main;
- Transformer locations;
- Re-routing of external service provider lines (i.e. Century Link and Comcast);
- Dewatering of the parking garage; and,
- Grading/drainage for new development in relation to existing.

Staff, Applicant, Neighborhood Interaction

A. Notification

Mike McBride with BHA provided an affidavit, certifying that proper notice was provided which included signs posted in prominent locations and written notice mailed to all surface owners within 300 feet of the site on February 10, 2018. Additionally, notice was published in the Reporter Herald on February 10, 2018. All notices stated that the Planning Commission will hold a public hearing on February 26, 2018.

B. Neighborhood Interaction/Response

A neighborhood meeting is not required in conjunction with this application. However, from a neighborhood and surrounding property owner perspective, a lot of outreach has been done with the Foundry project as a whole. This has included information being conveyed through City newsletters/press releases, the Loveland Downtown Development

Authority (LDDA), speaking with surrounding business owners, and sharing the proposal during downtown events. Information obtained suggests a strong support to the project. Many citizens are encouraged to see redevelopment of this magnitude in downtown. City staff has also received email correspondence in support of the Foundry Theatre.

V. ATTACHMENTS

1. Parking Study Excerpts (for reference only)
2. Traffic Impact Study Excerpts
3. Loveland Eleventh Subdivision (for reference only)
4. Foundry Theatre Site Development Plan
5. Foundry Theatre Perspectives

VI. SITE DATA

ACREAGE OF SITE	+/- 4.0 ACRES
EXISTING ZONING	BE – CENTRAL BUSINESS DISTRICT
MASTER PLAN DESIGNATION	DAC – DOWNTOWN ACTIVITY CENTER
EXISTING USE	VACANT/UNDEVELOPED
PROPOSED USE.....	MIXED-USE DEVELOPMENT (FOUNDRY)
ACREAGE OF OPEN SPACE PROPOSED	N/A
EXISTING ADJACENT ZONING AND USE - NORTH.....	BE – CENTRAL BUSINESS DISTRICT – VARIOUS COMMERCIAL USES
EXISTING ADJACENT ZONING AND USE - EAST	BE – CENTRAL BUSINESS DISTRICT – VARIOUS COMMERCIAL USES
EXISTING ADJACENT ZONING AND USE - SOUTH	BE – CENTRAL BUSINESS DISTRICT – VARIOUS COMMERCIAL USES
EXISTING ADJACENT ZONING AND USE - WEST	BE – DEVELOPING BUSINESS – VARIOUS COMMERCIAL USES AND RESIDENTIAL USES
UTILITY SERVICE PROVIDER - SEWER	CITY OF LOVELAND
UTILITY SERVICE PROVIDER - ELECTRIC.....	CITY OF LOVELAND
UTILITY SERVICE PROVIDER - WATER	CITY OF LOVELAND
WATER RIGHTS PAID	NO WATER RIGHTS DUE

VII. BACKGROUND

The Loveland Original Town Addition is the oldest part of the City, annexed in 1877. The addition includes properties between E. Ninth Street and E. First Street (north and south) and N. Lincoln Avenue and N. Garfield Avenue (east and west). Most of the properties are within the Be zoning district. There are also some commercial and high-density residential properties up near E. Ninth Street.

The City went through an extensive environmental, demolition, and abatement process over the course of many months before getting to the point of preparing the SDP with Brinkman Partners. A lot went into this process involving a number of City staff and outside consultation to better understand the nature of the property and deliver a buildable site for the Foundry.

In January 2016, City Council selected Brinkman Partners (“Developer”) as the preferred developer following a competitive bid process. Throughout 2016, the City engaged in negotiation with the Brinkman Partners on the project. As negotiations progressed, the developer engaged the DRT, starting

the process of developing the SDP. At that point, the Developer renamed the project, the Foundry from its previous name of South Catalyst.

The DRT along with Brinkman Partners began a series of in-depth weekly design review meetings from October 6, 2016 to December 22, 2016 (11 weeks) before submittal of any formal development applications for review. The purpose was for the creation of a project charter. With a project of this size and scope, it was extremely important to identify all the participants, their roles, and open up all lines of communication. A project schedule was developed and agreed to between the DRT and Brinkman Partners – setting clear expectations and identifying key milestones/deliverables. And WE created the framework – allowing for a less complication and more efficiency during an aggressive review schedule. An incredible amount of coordination in terms of infrastructure, bringing external agencies to the table (CDOT, Comcast, Century Link, Xcel Energy), and design solutions resulted from these initial meetings. The value of this approach was extremely beneficial to the project. Everyone involved from the DRT to the Brinkman Team members, a huge amount of initial time and effort was put forth. It demonstrates the collaboration and quality of work presented. The behind the scenes work is not always brought forward. However, with The Foundry it was critical to the success of the project - worthy of recognition.

Remaining Components

Details of the parking garage façade and amenities/site furniture, and theatre are still undergoing design review. These final design features will be brought to the Planning Commission for review and approval at a later date – likely March 12, 2018. The following includes further details regarding these items:

- Parking Garage: Final detailing of the parking garage have not been fully provided. The applicant and the City staff are investigating features to enhance the building. Consideration has through the Arts Commission to make this determination. An artist has been selected that will feature three dimensional ribbons (meant to resemble flames associated with a foundry) along with a sculpture of a sun.
- Amenities/Site Furniture: Specific materials, colors, building/structure designs for the amenities/street furniture including but not limited to railings, benches, bicycle racks, planters, tree grates, fire pit, splash pad, shade structure, decorative lighting, and the *Little Man Ice Cream* have not been finalized. The expectation is that once these are finalized, Planning Commission will have the opportunity to review the site amenity package in relation to *Destination Downtown: HIP Streets Master Plan*.
- Specific Colors Palate for Ground Surfaces: All pavement colors including concrete, brick pavers, patios, etc. are not included. This however is not required in conjunction with Chapter 18.24 but has influenced the City's efforts in updating *Destination Downtown: HIP Streets Master Plan*. These elements are anticipated with the site amenity package as well.

VIII. FINDINGS AND ANALYSIS

Site Development Plan – Foundry Theatre

In approving a SDP application, the Planning Commission must determine that the findings outlined in this section have been met (Title 18, Chapter 18.24, Section 18.24.050.B). The following information provided includes the code citation/requirements (findings) identified in ***bold italic*** and the responses (analysis) underneath:

1. The proposed development complies with the standards of this chapter and any other applicable provisions of the Loveland Municipal Code.

18.24.060 Standards Applying to Entire BE Zoning District

18.24.060.A. Building Height:

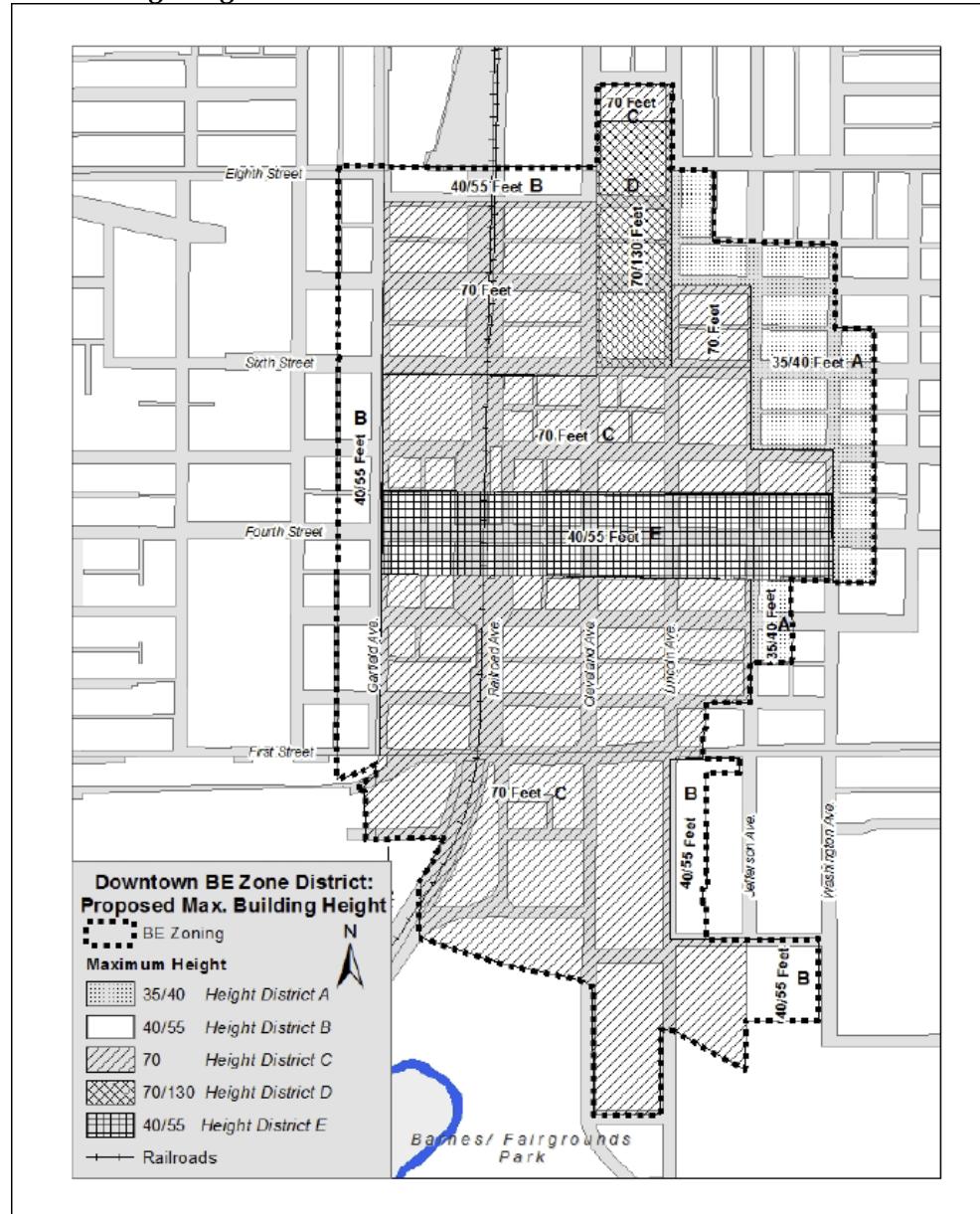


Figure 18.24.060-1: Downtown Area Height Limits

The Foundry site is located in Height District C as depicted in Figure 18.24.060-1. The building is less than 70 feet in height (approximately 55 feet). The tallest buildings within the overall project include both mixed-use buildings which are under 66 feet in height.

18.24.060.B. Off Street Parking:

The Foundry site is located in the GID. No off-street parking is required for non-residential and mixed-use development. Please refer to Section IV. (above) for information regarding parking.

18.24.060.D. Signs:

Signs shown on the building elevations are illustrative and have not been fully developed but will be designed to comply with all applicable City standards. The City will also be exploring options for unique signs like the marquee (shown along the east façade) through current efforts in updating the zoning ordinance. Electronic signs are currently not allowed in downtown due to their moving parts/flashing lights.

18.24.060.E. Illumination:

A photometric plan is included with the SDP demonstrating compliance with the City's outdoor lighting standards. All functional lighting and exterior to the site is designed to include full cut-off luminares. While illustrated in the photometric plan, decorative lighting intended to provide ambiance is not evaluated under the City's outdoor lighting standards for being full cut-off.

18.24.060.F. Outdoor Eating Areas:

All areas along E. Third Street anticipated to include outdoor seating for eating areas will be fenced and distinguishable from the general pedestrian path. These areas will not create inadequate clear space affecting pedestrian movement. All areas will be defined by appropriate enclosures and properly maintained by the business owners.

18.24.060.G. Outdoor Storage:

No outdoor storage is proposed with this project. All service areas including trash/recycling/laundry/etc. are designed to be incorporated within each mixed-use building completely screened from view.

18.24.060.H. Outdoor Display:

No outdoor display is proposed with this project except during special events which require separate permit approvals.

18.24.060.I. Alley Levels of Service:

No alleys are being affected with this phase.

18.24.060.J. Civic Structures:

The parking garage is the only civic structure associated with this project. Details were provided to the Planning Commission in March 2017 with the expectation to have façade designs for a future hearing.

18.24.080 General and Core Character Areas Urban Design Standards:

18.24.080.C Primary Pedestrian Streets:

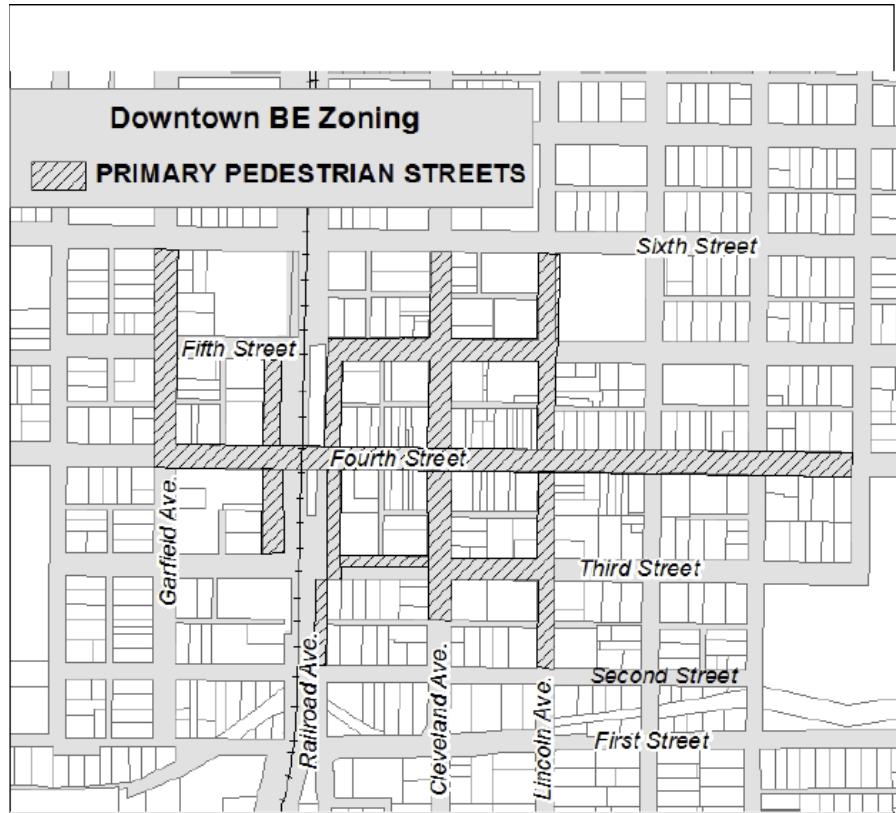
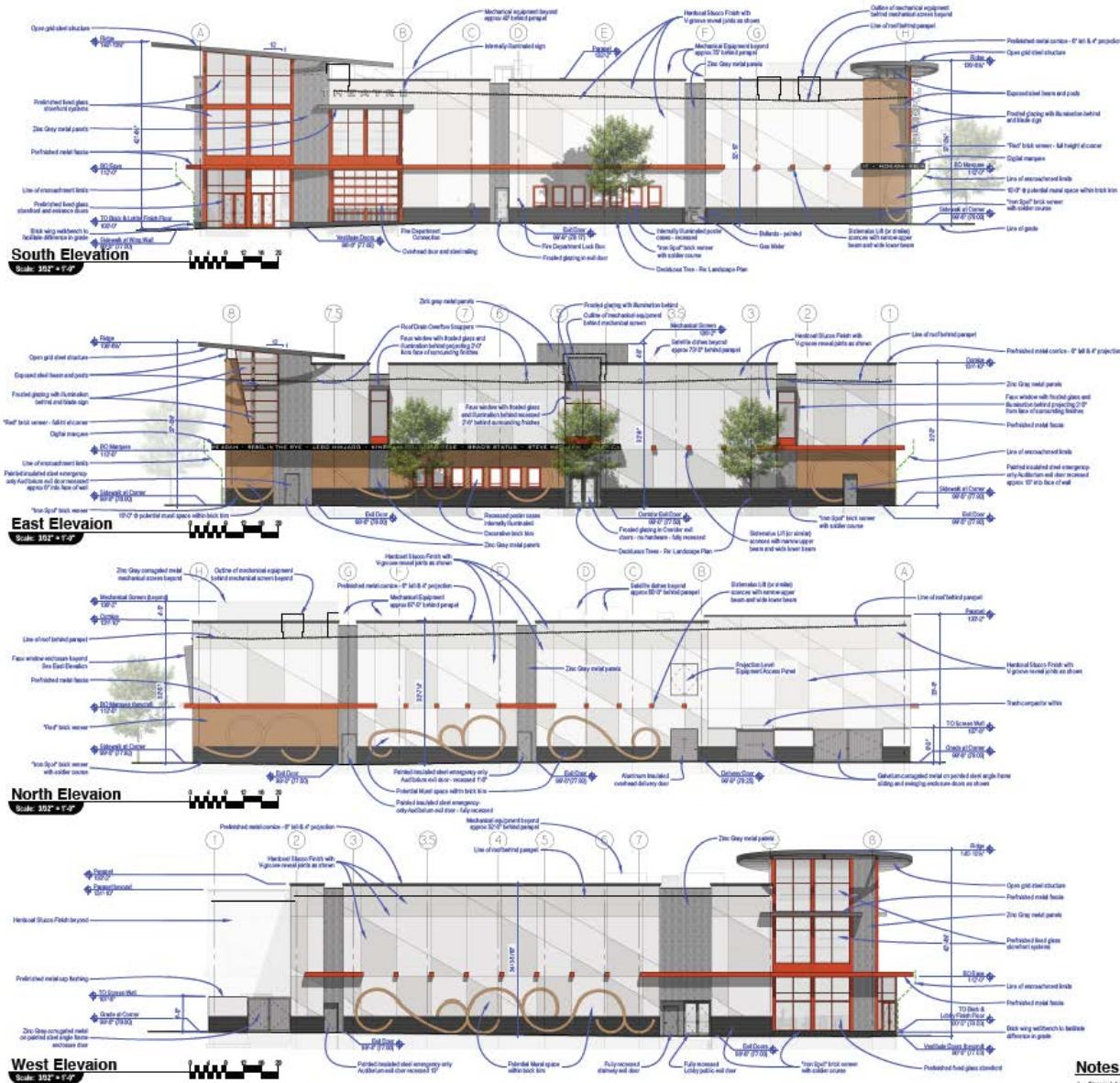


Figure 18.24.080-1: primary pedestrian streets

The primary pedestrian streets associated with this project include N. Lincoln Avenue (from Backstage Alley to E. Second Street), N. Cleveland Avenue (From Backstage Alley to Opera Alley), and E. Third Street (between N. Lincoln Avenue and N. Cleveland Avenue) as depicted in Figure 18.24.080-1.

18.24.080.D-F. Primary and Secondary Elevations and Lot Frontage:



The building fronts two primary pedestrian streets (i.e. N. Lincoln Avenue and E. Third Street). The building provides over an 14-foot setback from building façade to face of curb for the majority of the building frontages. Site design for the Foundry focuses heavily on the primary pedestrian streets in terms of creating adequate clear space for pedestrian movement – especially when considering architectural elements like canopies/awnings that extend beyond the property lines. The street level walk (where there are no elevation changes) maintains a wide path along all street frontages. Amenities such as street canopy streets, street furniture, outdoor seating areas, and decorative lighting will all add to the pedestrian experience creating a pleasant and safe walkable development around the perimeters – especially along a State Highway.

Notes

1. Signage is to be approved by separate permit process.

18.24.080.G. Architectural Features

The following architectural standards are applicable to the Core Character Area in the Be zoning district:

- Building shall incorporate a combination of features including columns, pilasters, window dormers, bay windows, corbels, balconies, porches, or other similar architectural features that add interest;
- Elevations facing public streets and plazas shall contain a cornice parapet, capstone finish, eaves, projecting at least 12 inches, or other roof features;
- All rooftop mechanical equipment shall be screened from public streets;
- Each building fronting a public street shall have at least one primary entrance – placed on the primary pedestrian street;
- Windows/doors shall comprise at least 40% of the ground floors and 15% on all upper floors facing N. Lincoln Avenue, N. Cleveland Avenue, and E. Third Street. No wall facing a public street shall extend more than 20 feet (horizontally) without a window or other opening;
- Facades shall include recesses or projections and quality materials that reinforce the pedestrian character of the downtown (i.e. brick, textured and/or ground face concrete block, textured architectural precast panels, masonry, natural/synthetic stone, exterior insulation finishing systems, stucco, and similar high quality materials), and;
- Facades in the core character area are not required to mimic historical architecture – however should be compatible in scale, rhythm, materials, and mass

The building includes recesses/projections, raised parapets, cantilevers, canopies, etc. The building incorporates these elements along all facades – especially placing a lot of emphasis towards the public streets. The building includes a primary entrance along E. Third Street and exits that resemble primary entrances along N. Lincoln Avenue. A significant amount of glazing is used at the entry of the building. However, given the nature of a theatre it becomes difficult to provide the amount of required window/door treatments. Building perspectives are included in the SDP illustrating the amount of recesses/projections that can be seen with the entrances/exits, roof-lines, marquee elements, and sign locations. The materials selected for the building pull from those used throughout downtown such as brick, stucco, and decorative metal panels. (The use of metal is intended to be limited to an accent material (25% or less of any one façade). The building is designed with a strong linear orientation found throughout downtown but not within any traditional historic context. The building has more of a modern feel, especially with the choice of colors and architectural detailing. In terms of scale, rhythm, materials, and mass it is compatible with downtown as a whole but it will also create its own uniqueness that can be distinguished from downtown which is intentional with this development and the nature of use.

18.24.080.H and J. Open Space and Pedestrian Facilities:

A great benefit and significant amenity to the Foundry project is the inclusion of a central plaza. This provides a focal point of activity where a variety of events can occur. The entire site is designed around the plaza with internal pedestrian connections leading to all areas of the development and into downtown as a whole. All perimeter and internal walkways have been designed to maximize the pedestrian experience – creating wide adequate clear spaces.

18.24.080.K. Other Site Amenities:

The Foundry will have a variety of other site amenities that will be present in detail later. These include the *Little Man Ice Cream*, fire pit, splash pad, central turf, planters, decorative lighting, benches, outdoor eating areas, patios/balconies, and City of Loveland Police presence as examples. These amenities and others are very important to the project, adding to the overall design.

18.24.110 Landscaping

18.24.110.D. Street Trees:

The following street tree requirements apply to all of downtown:

- Street trees shall be provided along all street frontages;
- Street trees shall be planted on 35-foot centers, as feasible;
- Installation of street trees shall be a minimum of 10 feet in width with new sidewalk construction (can be reduced based on site constraints);
- Street trees shall be of a species considered canopy trees;
- A minimum horizontal clearance of 6 feet shall be maintained;
- Tree lawns shall be low growing and durable - no rock mulching permitted (not applicable);
- Existing mature street trees should be maintained, where feasible (not applicable), and;
- All existing healthy and mature trees shall be preserved and incorporated into the design (not applicable)

All streets abutting the Foundry will include street canopy trees installed in tree grates within the public sidewalks – maintaining clear zones greater than 6 feet. The installation of street trees includes tree grate areas that are 8 feet wide. Not only are there site constraints but the intent with the design is to maximize a solid hard surface for pedestrian movement. By reducing 2 feet, more solid hard surface is picked-up along the sidewalks, while still maintaining an appropriate industry standard for the health of the trees.

2. *The proposed development is consistent with the goals of the document, Destination Downtown: Heart Improvement Project Downtown Strategic Plan and Implementation Strategy.*

The goals of the Destination Downtown plan focus on three (3) general areas. Specific descriptions of these goals and ideas in which to achieve them are included in Attachment 2 from the Destination Downtown plan for reference. The following is a brief description of the goals and an analysis of the Foundry project in reference to each:

Incorporating sustainability through design, making downtown a destination area.

The Foundry is designed to respect and celebrate Loveland's history. Its focus towards art through celebrating the City's foundries and artists is the basis behind the project, which emphasizes the integration of art throughout downtown. The Foundry pulls together a mixture of residential/lodging and commercial uses around a central plaza – creating a true destination area for downtown. The project is seen as a continuation of downtown – not competing with other businesses but rather providing more opportunities to draw people downtown – adding to the sustainability of downtown.

Multi-modal street design that respects the safety for vehicles, pedestrians, and bicyclists.

The Foundry site fronts along primary pedestrian streets (N. Lincoln Avenue, N. Cleveland Avenue, and E. Third Street) as depicted in Section 18.24.080 of the Loveland Municipal Code for the Be zoning district. Primary pedestrian streets are intended to facilitate comfortable pedestrian circulation to multiple destinations throughout downtown. The improvements that will be made along these streets demonstrate compliance with a downtown standard for development/redevelopment specific to creating strong emphasis to pedestrian connectivity. Wider sidewalks are designed along these frontages, providing greater separation from the street to provide a safer more pleasant pedestrian experience.

Primary vehicle access (such as to the parking garage) is taken off of a secondary street (E. Second Street) to respect safety and provide greater ingress/egress for vehicles. The parking garage will serve as the primary vehicular access to both mixed-use buildings. Future uses such as the theater and hotel will also utilize the parking garage. However, vehicle drop-offs are anticipated along both E. Third Street and E. Second Street. Particularly with respect to E. Third Street, a reconfigured design was created to minimize pedestrian and vehicle impacts through the curvilinear street, changes in surface materials, lighting, etc. – placing more emphasis on pedestrians.

Focus on public spaces that offer a variety of uses for a variety of users.

A key component to the Foundry in terms of focus on public spaces is the central plaza with connecting walkways (paseos) extending to all edges of the development to access downtown. The central plaza incorporates a variety of outdoor seating/eating areas along the ground floor of the mixed-use buildings, covered pavilion, benches, seating walls, etc. It is a great amenity to the project through the open space provided but also is anticipated to serve as a venue for a variety of special events in Loveland. The relationship of the central plaza to the parking garage is a key component, offering convenience in pulling people into downtown, especially when special events are occurring within the central plaza.

3. *The proposed development is compatible with surrounding properties while considering its location in an urban environment characterized by a diversity of uses and building types.*

The Foundry is structured around these criteria. This is a development that is specifically geared towards a downtown setting by means of building scale, use, pedestrian emphasis, and exterior open spaces. Additionally, this particular area within the Loveland Addition includes a diversity of uses, which the proposed project is compatible.

4. *Adequate infrastructure is available to serve the proposed development.*

As outlined in Section I. of this report (above), standards for ACF compliance are the criteria used by the City in demonstrating adequate infrastructure is available to serve the development. Review conducted by the DRT for the Foundry has resulted in all levels of service including fire protection/emergency rescue services, transportation facilities, water/wastewater facilities, stormwater facilities, and power to comply with Chapter 16.41 of the Loveland Municipal Code. It is important to note that in terms of compliance, infrastructure improvements will need to be constructed in conjunction with the development to comply with and/or improvement ACF.

IX. RECOMMENDED CONDITIONS

The following conditions are being recommended by the DRT for inclusion in a Development Agreement that will be recorded in conjunction with the Loveland Eleventh Subdivision. These conditions represent City/Developer obligations relative to public/private improvements.

Current Planning:

1. Future Site Development Plans associated with a Hotel, Theater, or any permitted use within the Be - Established Central Business District located on Lot 1, Block 1 and Lot 2, Block 3 of the Loveland Eleventh Subdivision shall be subject to Section 18.24.050 of the Loveland Municipal Code such that public hearing(s) with the Planning Commission will be required, regardless of whether or not criteria numbers 1, 2, and 3 apply.
2. The Metro District shall be responsible for maintaining all improvements located between building facades and edge of curb/gutter along all public rights-of-way depicted on the approved Foundry Site Development Plans. The Metro District shall be responsible for maintaining all improvements located within Outlots A and B of the Loveland Eleventh Subdivision. And, the Metro District shall be responsible for maintaining the portion of E. Third Street right-of-way as depicted on the approved Foundry Site Development Plan. Maintenance shall include but not be limited to pruning of all trees and shrubs, replacement of dead or dying plant materials, repair/replacement of damaged hard surfaces, repair/replacement of damaged irrigation systems, snow removal, trash clean-up, etc.
3. Streetscape improvements between building facade(s) and edge of curb/gutter along the south side of E. Second Street shall be designed/constructed in conjunction with development of a Hotel or any permitted use within the Be - Established Central Business District located on Lot 1, Block 1 of the Loveland Eleventh Subdivision.
4. All landscape and hardscape improvements located from the south edge of curb/gutter along E. Third Street and the north edge of curb/gutter along E. Second Street (north to south) AND the west edge of curb/gutter along N. Lincoln Avenue and the east edge of curb along N. Cleveland Avenue (east to west) shall be installed prior to or at the time of a Letter of Completion for either Lincoln or Cleveland Mixed-Use buildings as depicted on the approved Foundry Site Development Plan. Any landscape and/or hardscape improvements not installed at such time shall require escrow as specified in Title 16 of the Loveland Municipal Code.
5. For purposes of considering permitted freestanding or wall mounted signs, the premise of the Foundry shall be defined as the boundaries of the Loveland Eleventh Subdivision. All signs shall conform to the current City of Loveland design requirements including Design Guidelines for Downtown Loveland and/or Destination Downtown: HIP Streets Master Plan in effect at the time sign permits are submitted to the City for review/approval.
6. Trash/recycling/laundry/etc. shall be collected in designated loading/unloading areas. All deliveries to commercial and residential uses shall be made from designated loading/unloading areas. And, all moving activities shall occur in designated loading/unloading areas. Loading/unloading areas are depicted on the approved Foundry Site Development Plan. Such activities are prohibited to occur in any other locations within the public rights-of-way without City approval.
7. All service areas contained within the Mixed-Use buildings along N. Lincoln Avenue and N. Cleveland Avenue shall remain closed at all times except for trash/recycling/laundry/etc. collections.

8. All roof-top mechanical units, ground level mechanical units, and meters/electrical panels/boxes/conduit/wiring/etc. located on building facades shall be fully screened from public view. At the time of Letters of Completion for any building/structure depicted on the approved Foundry Site Development Plan, inspections will be performed by the City to assure proper screening. If full screening is not provided, the City shall reserve the right to require retrofitting.

Transportation:

1. All public improvements shall comply with the Larimer County Urban Area Street Standards (LCUASS) and any variances approved through the review process.
2. The developer agrees to acquire and dedicate, at no cost to the City, any rights-of-way necessary for the required street improvements associated with this development.
3. Prior to the issuance of any building permits within Lot 2, Block3 of the Loveland Eleventh Subdivision, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct the following public improvements unless already designed and constructed by others:
 - a) All public street improvements on North Lincoln Avenue, North Cleveland Avenue, East 2nd Street and East 3rd Street including roadway paving, curb & gutter, ramps and sidewalks as shown on the City approved Public Improvement Construction Plans titled The Foundry prepared by Interwest Consulting Group for the Loveland Eleventh Subdivision.
 - b) All public improvements as shown on the City approved Public Improvement Construction Plans titled The Foundry Theater, Lot 2, Block 3 of the Loveland Eleventh subdivision.
 - c) All final signing and striping as shown on the City approved Public Improvement Construction Plans titled The Foundry prepared by Interwest Consulting Group for the Loveland Eleventh Subdivision.
 - d) Alley improvements within Back Stage Alley as shown on the City approved Public Improvement Construction Plans.
4. All improvements on East 3rd Street other than the standard asphalt pavement shall be maintained by the same Metro District established to maintain the Central Plaza area for The Foundry. Curb, gutter and sidewalk maintenance is the responsibility of the adjacent property owner on all public streets per City Municipal Code.
5. Prior to the issuance of a Certificate of Occupancy for any buildings within the Loveland Eleventh Subdivision with the exception of the parking garage structure on Second Street, the Westbound right turn lane on First Street at Lincoln Avenue must be constructed and accepted by the City for use by the public.
6. Prior to placement of any amenities within the Public Right-Of-Way for The Foundry Hotel, Loveland Eleventh Subdivision, the developer shall obtain a Revocable Encroachment Permit from the City Public Works Department. The Revocable Encroachment Permit allows special amenities such as furniture, railings, planter pots and structural overhangs etc...to be placed within the right-of-way under special conditions of the permit.
7. City signed Site Development Plans (including any associated Public Improvement Construction

Plans), or the issuance of building permits, does not allow any construction within public street or alley rights-of-way or pedestrian easements. A separate City Development Construction Permit or Street right-of-way (ROW) Work Permit must be obtained by the Developer and/or his Contractor at the City Project Engineering office (and approved by Project Engineering) prior to any repair or construction of sidewalk, curb and gutter, driveway accesses, or any other construction in City street or alley rights-of-way or pedestrian easements, (this includes all items proposed in rights-of-way such as utility street cuts, sidewalk ramps, construction staging proposed in street, landscaping, traffic control, etc.). (Call 970-962-2510 to discuss details to obtain a ROW Work Permit).

8. Prior to the commencement of any construction activity that will involve any existing or proposed street signs or traffic control devices for or within public street rights-of-way (ROW), the Developer and/or his Contractor shall contact the City Traffic Division at (970) 962-2535 to coordinate the removal, relocation, installation, and/or proper storing of the sign(s) or traffic control device(s) and obtain a ROW work permit from the City Public Works Engineering Division to do such work. However, if the Developer and/or his Contractor removes or relocates any existing street sign(s) or traffic control device(s) for or within the public ROW without first obtaining a ROW work permit from the City Public Works Division, then the contractor will be charged for the labor, materials, and equipment to reinstall the sign(s) or traffic control device(s) as deemed necessary by the City. The Developer and/or his Contractor will also be charged to replace any existing street signs or traffic control devices that were damaged or blemished during any construction activity as deemed necessary by the City. The Developer and/or his Contractor may also be subject to additional fines as per the Loveland Municipal Code.

9. All trees, shrubs, and other plant materials located within clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of the Larimer County Urban Area Street Standards (LCUASS). Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet and shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity. Trees are also required to be kept limbed up a minimum of 8' above all street sidewalks.

Stormwater Engineering:

1. Prior to City signatures on the Site Development Plan, the Developer shall provide the City of Loveland with an acceptable final grading plan. The final grading plan shall also include all four sides of the adjacent Morgan property and shall provide equal to or better grading than currently exists around all four sides of the Morgan property.

Date: December 19, 2016
To: Scott Ranweiler
Email: scott.ranweiler@brinkmanpartners.com
From: Bill Surna
Project #: N1-2016-262
Regarding: Shared Parking Analysis – Foundry Cleveland / Lincoln

This memo presents the findings of a Shared Parking Analysis for the proposed development in Loveland, CO. We reviewed the shared parking analysis that was previously prepared for the proposed development. The methodology and concepts used in the previously prepared analysis are nearly identical to our approach; both are based on the Urban Land Institute's methodology. Therefore, this memo will not include a description of the concepts and factors typically included in shared parking analysis.

The land uses in the proposed development have changed. Specifically, we understand that a 90 to 100-room hotel has replaced the office space in the previous analysis. Our understanding of the current plans for the development are:

	Residential	Retail
125	1.0 Bedroom Units	13,969 s.f. Retail Space
2	1.5 Bedroom Units	
24	2.0 Bedroom Units	Hotel (Leisure)
4	3.0 Bedroom Units	95 Rooms

Cinema
625 Seats

Also from the previous report, we understand that a parking ratio of .70 spaces per bedroom has been negotiated with the City of Loveland for the residential parking demand. We used the .70 ratio for residential parking plus .10 per bedroom for visitors to residents.

We used our shared parking demand model, implementing the negotiated residential ratios, to estimate peak parking demand for the two following scenarios:

1. The residential parking would be open and shared (non-segregated) among all parking user groups.
2. The parking for residents, not including visitors to residents, would be segregated.

However, given the mix of land uses above, the reduction in the peak number of parking spaces due to sharing is limited. The reduction in the estimated peak demand occurs as demand generated from the retail stores during the evening declines while the demand generated by the cinema increases. The overall parking demand peaks in the evening, as does the demand generated by the residents and the hotel.

For these reasons, the estimated peak accumulation resulting from the shared parking calculations are identical for both scenarios. This memo illustrates the results of Scenario 1 (all spaces are shared); however, the estimated peak demand for both scenarios is 434 spaces.

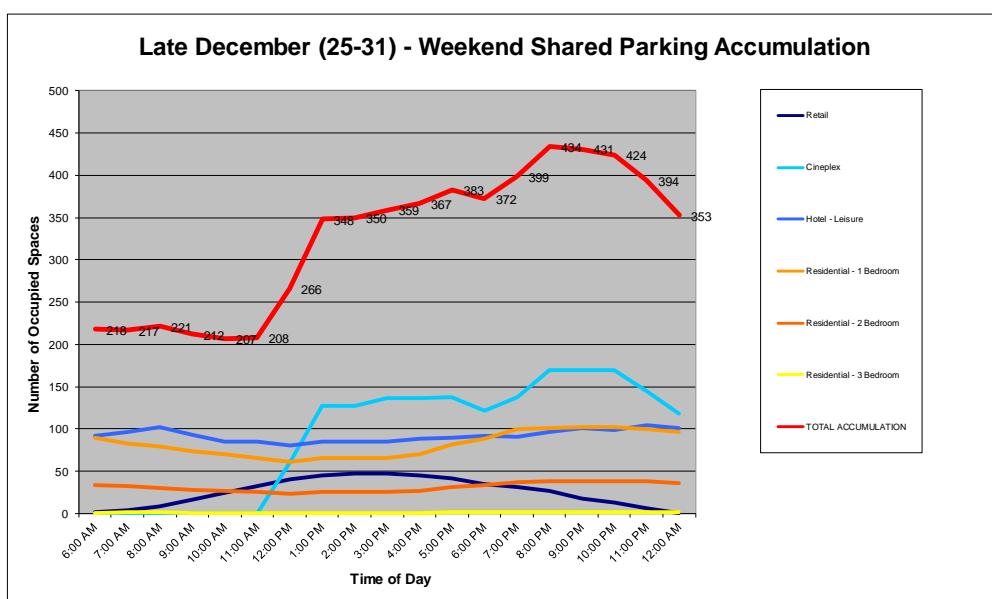
Scenario 1 – Non-segregated Shared Parking with Negotiated Residential Ratios

Table 1 shows the results from the shared parking model. The overall peak demand of 434 spaces is projected to occur during the holiday season in the evening on a weekend. The next highest estimated peak period of 421 spaces is projected to occur in July on a weekend. Figure 1 graphically portrays the projected accumulation pattern.

Table 1 – Shared Parking Model Results

Peak Accumulation	Day/Month	Peak Hour
277	Weekday - January	8:00 PM
375	Weekend - January	9:00 PM
278	Weekday - February	8:00 PM
365	Weekend - February	9:00 PM
280	Weekday - March	8:00 PM
379	Weekend - March	9:00 PM
278	Weekday - April	8:00 PM
365	Weekend - April	9:00 PM
280	Weekday - May	8:00 PM
378	Weekend - May	9:00 PM
300	Weekday - June	8:00 PM
397	Weekend - June	9:00 PM
323	Weekday - July	8:00 PM
421	Weekend - July	9:00 PM
306	Weekday - August	8:00 PM
394	Weekend - August	8:00 PM
254	Weekday - September	8:00 PM
331	Weekend - September	8:00 PM
254	Weekday - October	8:00 PM
350	Weekend - October	8:00 PM
269	Weekday - November	8:00 PM
379	Weekend - November	8:00 PM
257	Weekday - December	8:00 PM
348	Weekend - December	8:00 PM
371	Weekday - Late December (25-31)	8:00 PM
434	Weekend - Late December (25-31)	8:00 PM
Peak Month		
434	Weekend - Late December (25-31)	8:00 PM
Peak Base Demand		
482		
Shared Parking Reduction	48	

Figure 1 – Annual Peak Shared Parking



Foundry South Catalyst Project, Loveland

Traffic Impact Study

Prepared For:

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February 13, 2017
Sean K. Kellar, PE, PTOE

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1.0 Introduction

This Traffic Impact Study (TIS) is for the proposed South Catalyst Project in Downtown Loveland located between Cleveland Avenue and Lincoln Avenue; north of 1st Street and south of 4th Street. See Figure 1: Project Location. The purpose of this TIS is to identify project traffic generation characteristics, to identify potential traffic related impacts on the adjacent street system, and to develop mitigation measures required for identified traffic impacts.

Kellar Engineering LLC (KE) has prepared the TIS to document the results of anticipated traffic conditions in accordance with the Larimer County Urban Area Street Standards (LCUASS). The proposed development is anticipated to generate approximately 2,244 daily weekday trips, 211 AM peak hour trips, 289 PM peak hour trips, and 349 Saturday peak hour trips. See Table 1: Trip Generation.

2.0 Existing Conditions

The location of the project site is in Downtown Loveland located between Cleveland Avenue and Lincoln Avenue; north of 1st Street and south of 4th Street. The land uses in this area are mix of commercial, office, parking, and residential.

2.1 Existing Roadway Network

Primary access to the project area will be from 1st Street, Lincoln Avenue, and Cleveland Avenue. East/west traffic will use 1st Street, and north/south traffic will travel via Lincoln Avenue and Cleveland Avenue. 1st Street is an existing east/west 2-lane arterial with a posted speed of 30 mph adjacent to the project site. 1st Street currently has bike lanes, sidewalks, and two 12' wide thru lanes adjacent to the project site. 1st Street also has left-turn lanes at: Railroad Avenue, Cleveland Avenue, and Lincoln Avenue. 1st Street is classified as a 2-lane arterial between Lincoln Avenue and Washington Avenue and classified as a 4-lane arterial between Railroad Avenue and Lincoln Avenue on the 2035 Transportation Plan. Lincoln Avenue (US 287) is an existing northbound one-way street with a posted speed of 30 mph adjacent to the project site. Lincoln Avenue has two northbound thru lanes, on street parking, and sidewalks adjacent to the project site. US

287 is classified as a 6-lane arterial on the 2035 Transportation Plan where 3-lanes northbound is Lincoln Avenue and 3-lanes southbound is Cleveland Avenue. Cleveland Avenue (US 287) is an existing southbound one-way street with a posted speed of 30 mph adjacent to the project area. Cleveland Avenue has 3 southbound thru lanes from 4th Street to 3rd Street and 2 southbound thru lanes from 3rd Street to 1st Street. Cleveland Avenue has sidewalks on both sides of the street and a southbound right-turn lane and a southbound left-turn lane at 1st Street.

Figure 1: Project Location



Figure 2: Site Plan



PC ATTACHMENT 2

2.2 Existing Traffic Volumes

Existing peak hour traffic volume counts were conducted by All Traffic Data Services Inc. using Miovision data collection cameras at the ten study intersections on Thursday, January 14, 2016 and on Saturday, January 16, 2016. The counts were conducted during the peak hours of adjacent street traffic in 15-minute intervals from 7:00 AM to 9:00 AM and 4:00 PM to 6:00 PM on Thursday, 1/14/16 and in 15-minute intervals from 11:00 AM to 1:00 PM on Saturday, 1/16/16. These turning movement counts are shown in Figure 3 with the count sheets provided in Appendix A.

2.3 Existing Operation

The ten key intersections were evaluated using techniques provided in the 2010 Highway Capacity Manual. Using the recent peak hour traffic shown in Figure 3, the existing peak hour operation is shown in Table 3. Additionally, the appropriate Synchro outputs are provided in Appendix H. A description of the level of service (LOS) for signalized and unsignalized intersections from the 2010 Highway Capacity Manual and LCUASS Table 4-2 showing the City of Loveland's Motor Vehicle LOS Standards (Intersections) are also provided in Appendix D. The key intersections operate acceptably during the peak hours except for 1st/Railroad. The existing northbound shared thru/left lane operates at a LOS F which also causes the northbound approach to operate at LOS F during the weekday PM peak hour. The South Catalyst project does not contribute any traffic to this northbound left movement and therefore is not required to mitigate per LCUASS criteria.

2.4 Existing Pedestrian and Bicycle Facilities

All streets within and adjacent to the project area currently have sidewalks along both sides of the street. Bike lanes also exist on 1st Street adjacent to the project site. As the properties develop, the public streets are required to comply with the LCUASS requirements which require sidewalks along both sides of the public street and bike lanes along arterials.

2.5 Existing Transit Facilities

This area is currently served by the City of Loveland's Transit (COLT). COLT fixed routes 100, 200, and 300 currently serve the project area with stops at: 1st/Washington, 1st/Cleveland, and 5th/Cleveland. See Appendix E: Transit Map for route information.

3.0 Proposed Development

The proposed development is for a proposed mixed-use development located in Downtown Loveland located between Cleveland Avenue and Lincoln Avenue; north of 1st Street and south of 4th Street. See Figure 1: Project Location and Table 1: Trip Generation. The short range analysis year 2018 includes the proposed development for this project plus an increase in background traffic. The long range analysis year 2035 also includes the proposed development for the project plus an increase in background traffic. Future traffic growth rates were obtained from the North Front Range Metropolitan Planning Organization (NFRMPO) projections of approximately 2% per year growth.

3.1 Trip Generation

Site generated traffic estimates are determined through a process known as trip generation. Rates and equations are applied to the proposed land uses to estimate traffic generated by the development during a specific time interval. The acknowledged source for trip generation rates is the *Trip Generation Report* published by the Institute of Transportation Engineers (ITE). ITE has established trip generation rates in nationwide studies of similar land uses. For this study, KE used the *ITE 9th Edition Trip Generation Report* average trip rates. The Downtown South Catalyst Project is anticipated to generate approximately 2,244 daily weekday trips, 211 AM peak hour trips, 289 PM peak hour trips, and 349 Saturday peak hour trips Table 1 summarizes the estimated trip generation for the proposed development.

3.2 Trip Distribution

Distribution of site traffic on the street system was based on the area street system characteristics, existing traffic patterns and volumes, anticipated surrounding development areas, and the proposed access system for the project. The directional distribution of traffic is a means to quantify the percentage of site generated traffic that approaches the site from a given direction and departs the site back to the original source. Figure 4 illustrates the trip distribution used for the project's analysis.

3.3 Traffic Assignment

Traffic assignment was obtained by applying the trip distributions to the estimated trip generation of the development. Figure 5 shows the site generated peak hour traffic assignment.

3.4 Short Range Total Peak Hour Traffic

Site generated peak hour traffic volumes were added to the background traffic volumes to represent the estimated traffic conditions for the short range 2018 horizon. These background (2018) and short range (2018) total traffic volumes are shown in Figure 6 and Figure 7 respectively.

3.5 Long Range Total Peak Hour Traffic

Site generated peak hour traffic volumes were added to the background traffic volumes to represent the estimated traffic conditions for the long range 2035 horizon. These background (2035) and long range (2035) total traffic volumes are shown in Figure 8 and Figure 9 respectively.

4.0 Traffic Operation Analysis

KE's analysis of traffic operations in the site vicinity was conducted to determine the capacity at the identified intersections. The acknowledged source for determining overall capacity is the 2010 Edition of the Highway Capacity Manual.

4.1 Analysis Methodology

Capacity analysis results are listed in terms of level of service (LOS). LOS is a qualitative term describing operating conditions a driver will experience while traveling on a particular street or highway during a specific time interval. LOS ranges from an A (very little delay) to an F (long delays). A description of the level of service (LOS) for signalized and unsignalized intersections from the 2010 Highway Capacity Manual and a table showing the City of Loveland's Motor Vehicle LOS Standards (Intersections) are also provided in Appendix D.

4.2 Intersection Operational Analysis

Operational analysis was performed for the ten key intersections and the proposed parking garage access for the short range 2018 horizon and the long range 2035 horizon. The calculations for this analysis are provided in Appendix H. Using the short range traffic volumes and the existing lane geometry and intersection control; eight of the ten studied intersections are projected to operate acceptably and meet the LOS requirements for the City of Loveland. However, the following two intersections are anticipated to not meet LOS requirements at time of full project build-out during the 2018 Short Range Total weekday PM peak hour: 1st/Railroad and 1st/Washington. The northbound shared thru/left lane at 1st/Railroad is projected to operate at a LOS F; causing the northbound approach to operate at LOS F during the weekday PM peak hour. Additionally, 1st/Washington is projected to operate at LOS E overall during the weekday PM peak hour from the delay on the southbound and northbound approaches. See Table 4. However, because the South Catalyst project contributes less than two percent of the traffic volume to the movements which do not meet the ACF delay standard, per LCUASS 4.5.1.D, the South Catalyst project is not required to mitigate. The South Catalyst project does not contribute any traffic to the northbound left movement at 1st/Railroad nor does it contribute anything above nominal traffic volumes to the north and south legs at 1st/Washington. Therefore the project is not required to mitigate these intersections in order to comply with LCUASS criteria. It is however recommended that both of these intersections are monitored by the City in the long range future.

Per the Manual on Uniform Traffic Control Devices (MUTCD), traffic signals are not to be installed until signal warrants are met. It is not anticipated that signal warrants will be met at the stop controlled key intersections. Additionally, the existing stop controlled intersections do not meet recommended spacing for traffic signal installations.

Per Figure 8-4 of the Larimer County Urban Area Street Standards (LCUASS), additional right-turn lanes are not warranted at the studied intersections. A westbound to northbound right-turn lane at 1st/Lincoln is not projected to be warranted in the studied peak hours for the short range total 2018 horizon. However, this study found that adding a westbound right-turn lane at this intersection would help relieve some of the

westbound queue at 1st/Lincoln during the PM peak hour. This westbound right-turn lane will allow traffic traveling to the project site to utilize the right-turn lane and not impact westbound thru traffic at the 1st Street/Lincoln Avenue intersection. This westbound right-turn lane should have a minimum storage length of 150 feet. See Synchro outputs in Appendix H for the HCM calculations.

4.3 Adequate Community Facilities (ACF) Ordinance Criteria Link Volumes

The 2018 short range total peak hour link volumes were compared with the ACF Traffic Thresholds in Table 2 to verify that the streets within the project area meet the link volume criteria in the Adequate Community Facilities (ACF) Ordinance. As shown in Table 2, the street links will meet the ACF Ordinance criteria for year 2018 total traffic.

4.4 Service Accesses

The project is also proposing two services accesses (one on Cleveland Avenue and one on Lincoln Avenue) to service the proposed buildings. These service accesses will not be for vehicular access but for authorized operations only. The services are expected to house trash/recycling and grease interceptors. These services are anticipated to occur during off-peak hours (4:00 AM to 6:00 AM) with low volume traffic. See exhibit in Appendix G.

Table 1: Trip Generation (ITE Trip Generation, 9th Edition)

ITE Code	Land Use	Size	Average Daily Trips			AM Peak Hour Trips					PM Peak Hour Trips					Saturday Peak Hour Trips			
			Rate	Total	Rate	% In	In	% Out	Out	Total	Rate	% In	In	% Out	Out	Total	In	Out	Total
310	Hotel	100 Rooms	8.17	817	0.53	59%	31	41%	22	53	0.60	51%	31	49%	29	60	41	32	73
220	Apartments	140 DU	6.65	931	0.51	20%	14	80%	57	71	0.62	65%	57	35%	30	87	33	33	66
826	Retail	15 KSF	44.32	665	6.84	48%	49	52%	54	103	2.71	44%	18	56%	23	41	59	59	118
445	Movie Theater	25 KSF	NA	NA	NA	NA	NA	NA	NA	NA	4.91	62%	76	38%	47	123	89	29	118
Subtotal				2,413			94		133	227			182		129	311	222	153	375
7% Internal Capture				169			7		9	16			13		9	22	16	11	26
Total			2,244		87				124	211			169		120	289	206	142	349

DU = Dwelling Units

KSF = Thousand Square Feet

N/A = Not Applicable. Information not provided in ITE Trip Generation

*Parking Structures do not have ITE Trip Generation Rates but are considered ancillary uses to support the trips associated with the overall development

Figure 3: Recent Peak Hour Traffic

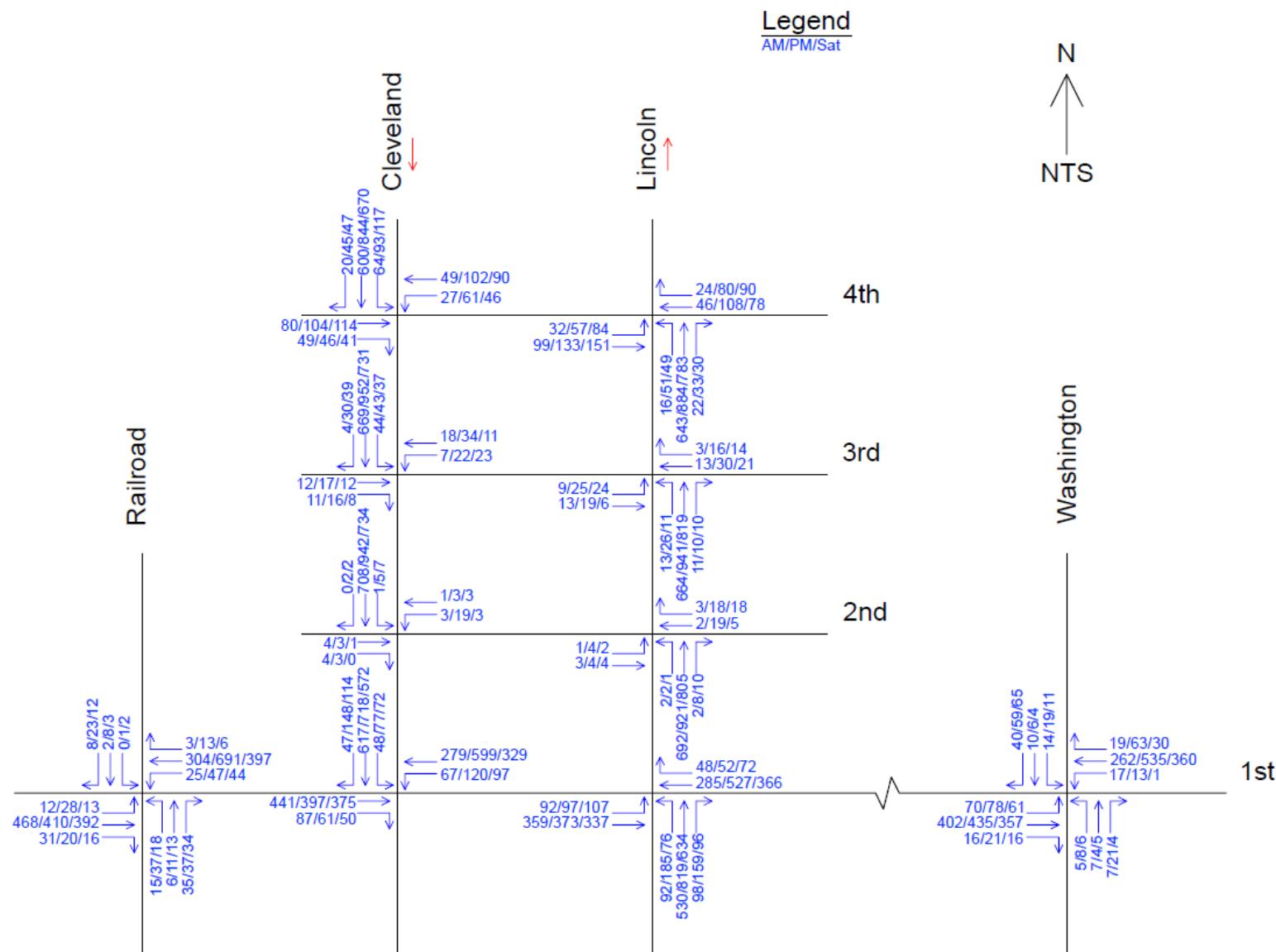


Figure 4: Trip Distribution

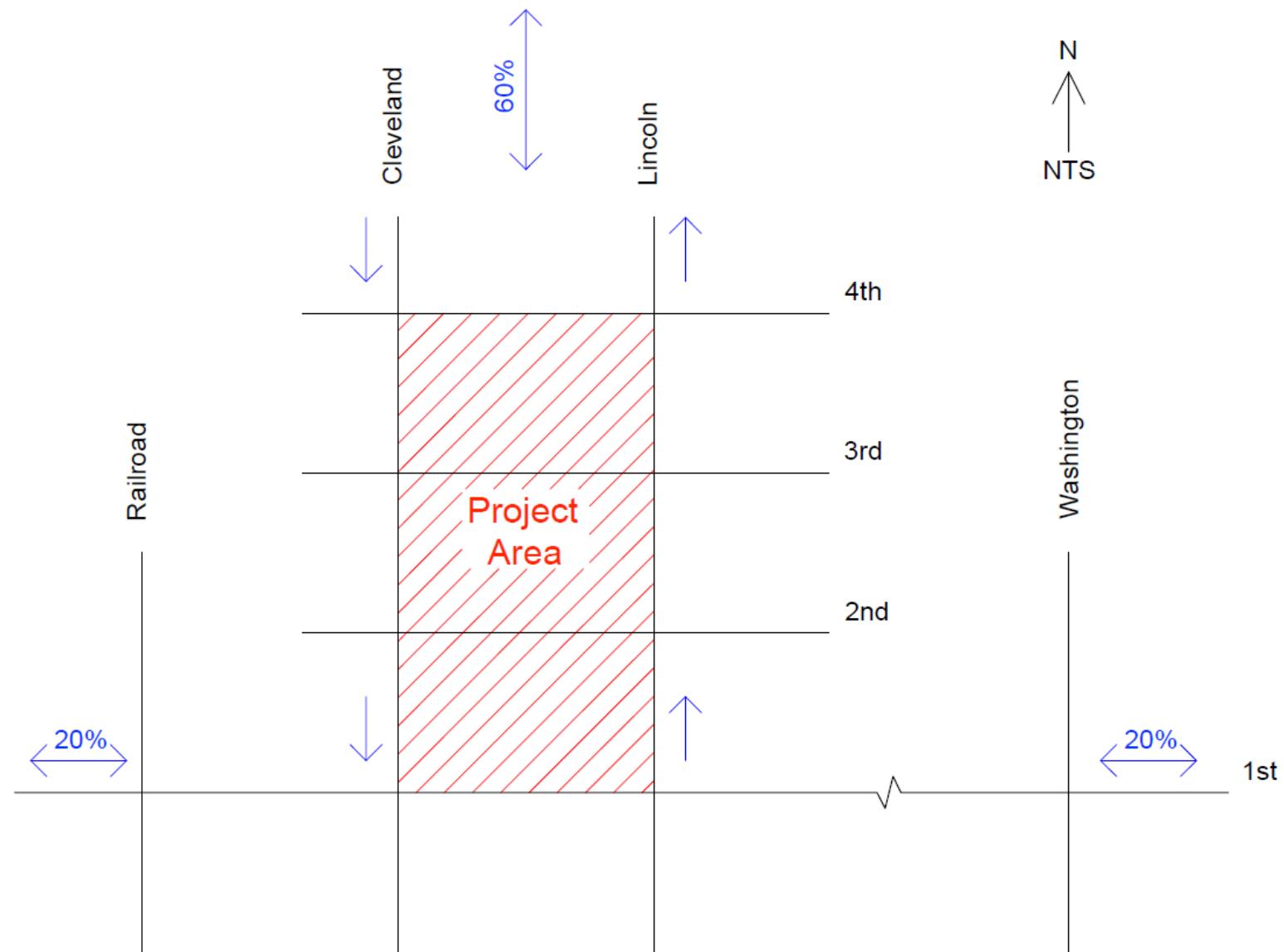


Figure 5: Site Generated Peak Hour Traffic

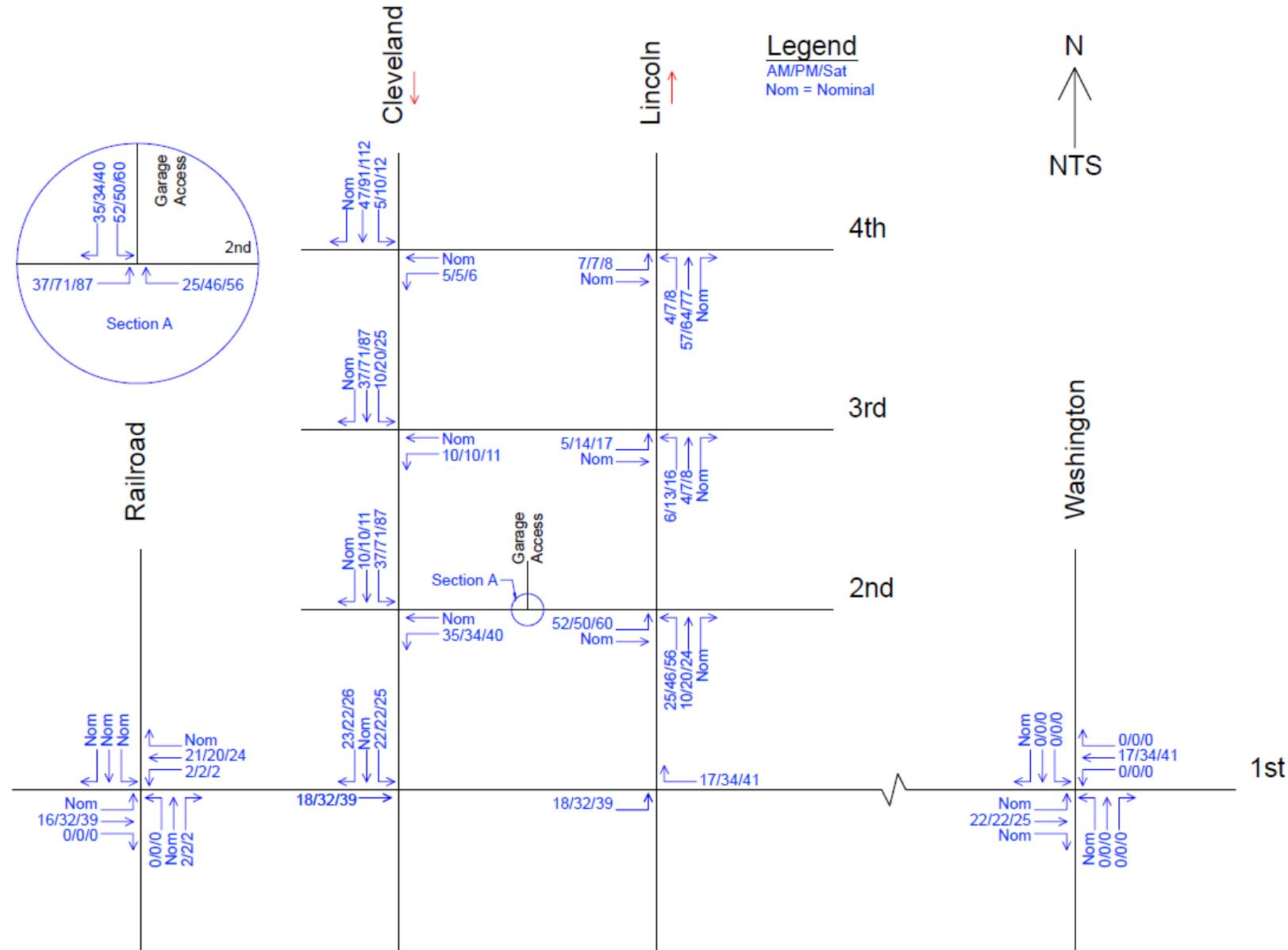


Figure 6: 2018 Background Peak Hour Traffic

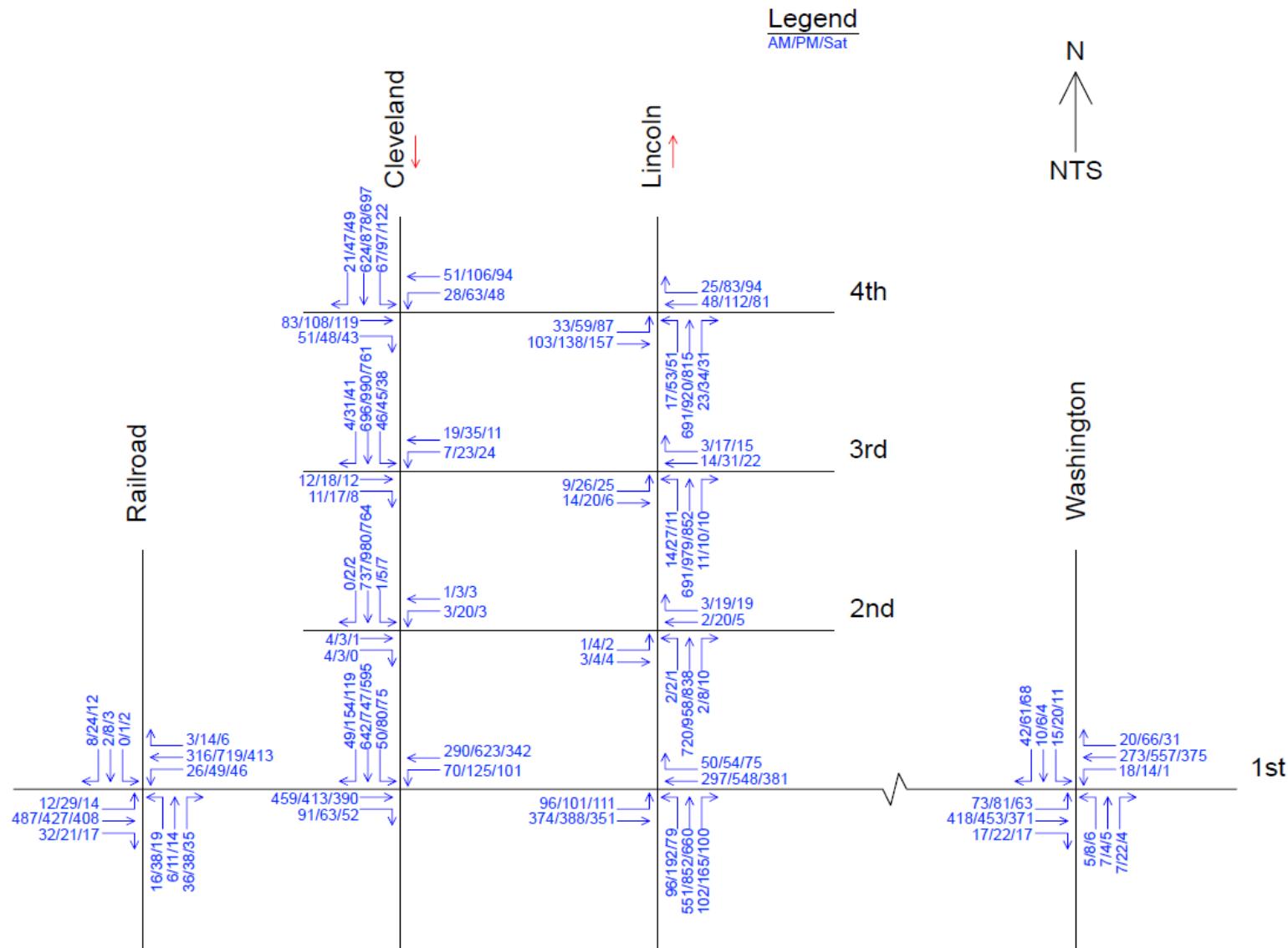


Figure 7: 2018 Short Range Total Peak Hour Traffic

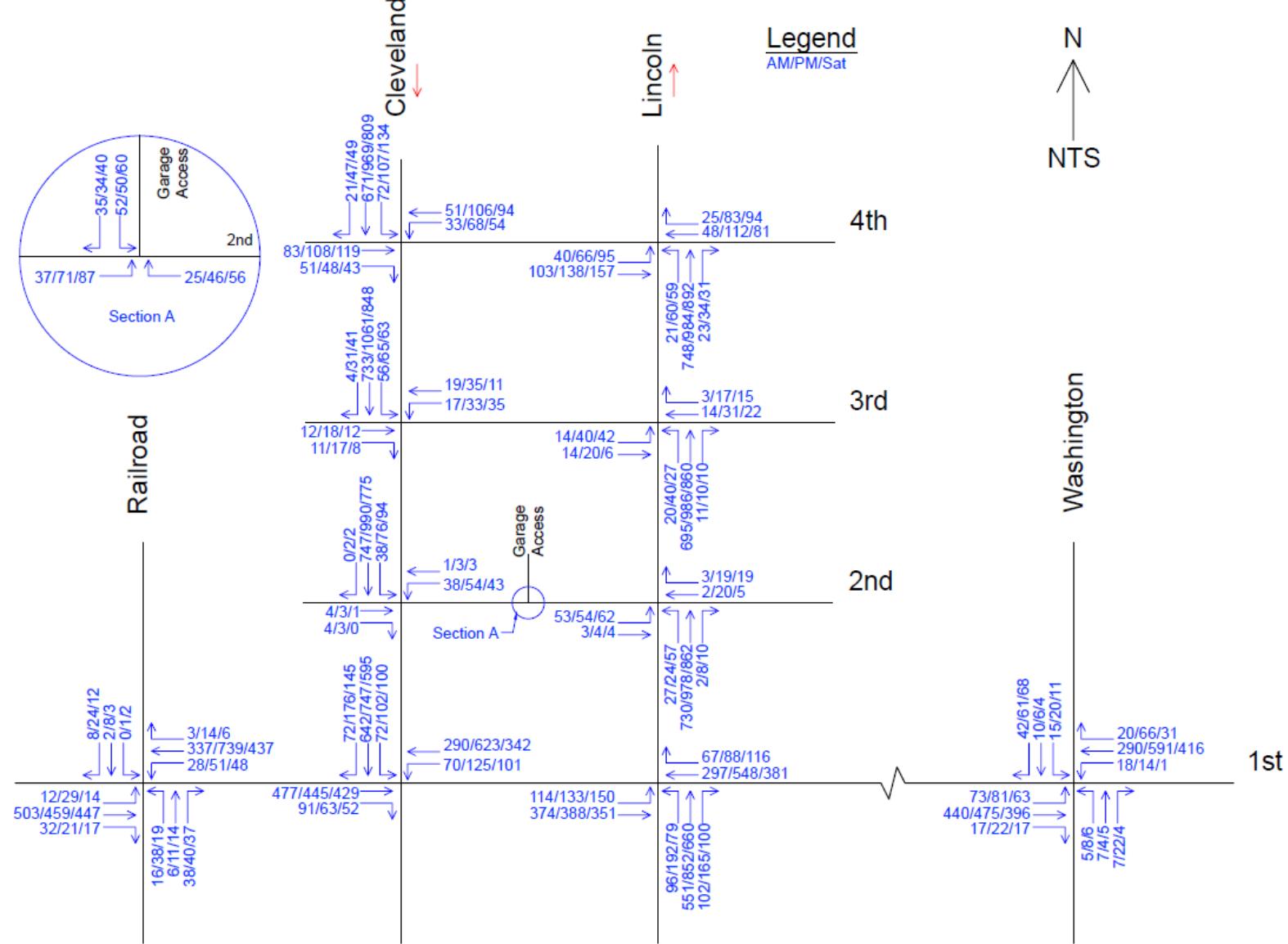


Figure 8: 2035 Background Peak Hour Traffic

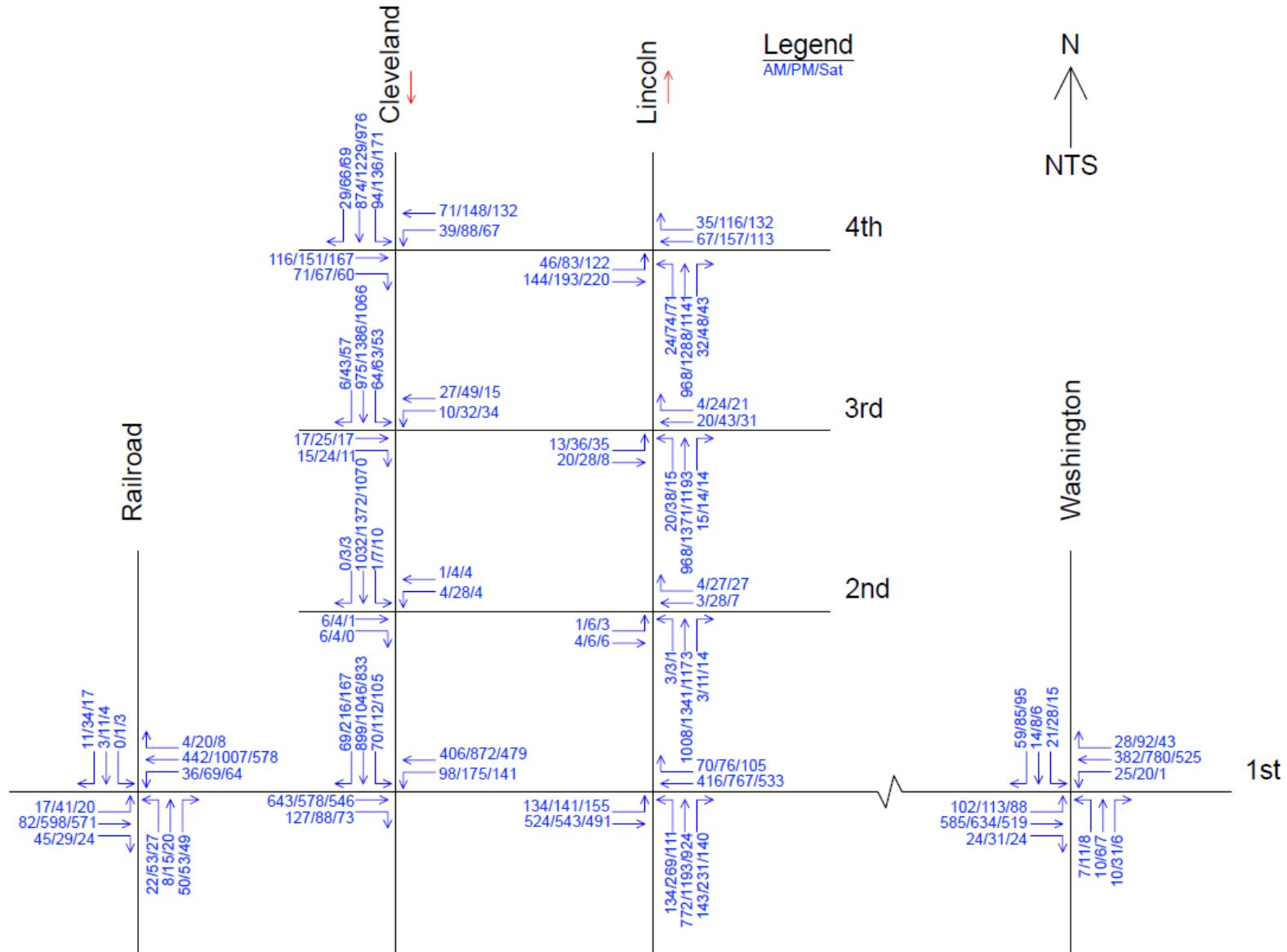


Figure 9: 2035 Long Range Total Peak Hour Traffic

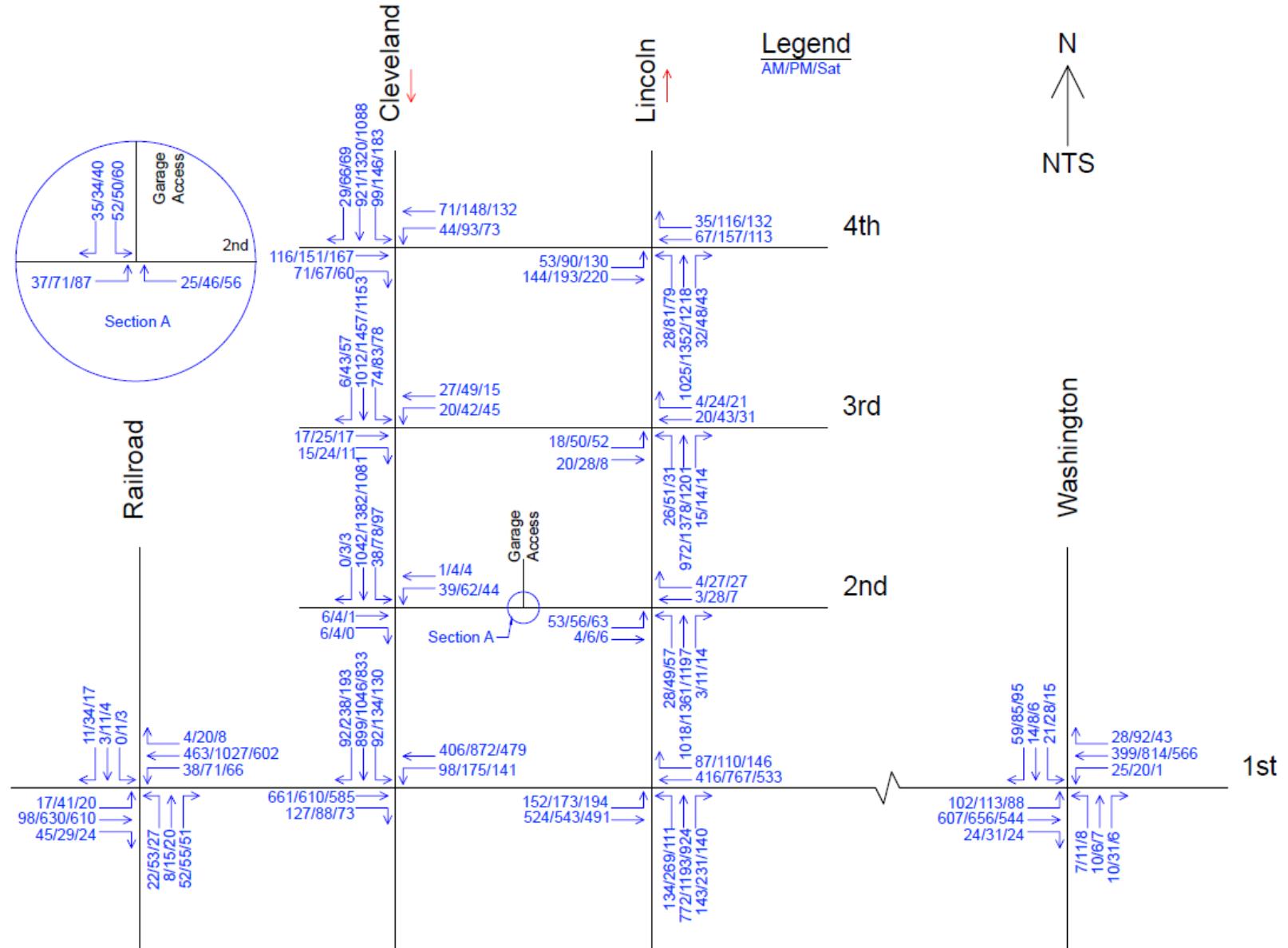


Table 2: 2018 Short Range and 2035 Long Range Peak Hour Link Volumes

Street Segment	Direction	Existing Traffic Volume AM/PM/Sat	Date of Traffic Counts	2018 Background Traffic	2035 Background Traffic	Site Generated Traffic	2018 Total Traffic AM/PM/Sat	2035 Total Traffic AM/PM/Sat	ACF Traffic Threshold	Year 2018 ACF Compliance
Lincoln - 1st St. to 2nd St.	NB	696/931/816	Jan. 2016	724/969/849	1014/1356/1189	35/66/80	759/1035/929	1049/1422/1269	1620	Y/Y/Y
										Y/Y/Y
Lincoln - 2nd St. to 3rd St.	NB	688/977/840	Jan. 2016	716/1016/874	1002/1423/1224	10/20/24	726/1036/898	1012/1443/1248	1620	Y/Y/Y
										Y/Y/Y
Lincoln - 3rd St. to 4th St.	NB	681/968/862	Jan. 2016	709/1007/897	992/1410/1256	61/71/85	770/1078/982	1053/1481/1341	1620	Y/Y/Y
										Y/Y/Y
Cleveland - 4th St. to 3rd St.	SB	717/1025/807	Jan. 2016	746/1066/840	1045/1493/1176	47/91/112	793/1157/952	1092/1584/1288	2520	Y/Y/Y
										Y/Y/Y
Cleveland - 3rd St. to 2nd St.	SB	709/949/743	Jan. 2016	738/987/773	1033/1383/1082	14/81/98	752/1068/871	1047/1464/1180	1640	Y/Y/Y
										Y/Y/Y
Cleveland - 2nd St. to 1st St.	SB	712/943/758	Jan. 2016	741/981/789	1037/1374/1104	45/44/51	786/1025/840	1082/1418/1155	1640	Y/Y/Y
										Y/Y/Y
1st St. - Railroad to Cleveland	EB	528/458/425	Jan. 2016	549/477/442	769/667/619	18/32/39	567/509/481	787/699/658	810	Y/Y/Y
	WB	332/751/447	Jan. 2016	345/781/465	484/1094/651	23/22/26	368/803/491	507/1116/677	810	Y/Y/Y
1st St. - Cleveland to Lincoln	EB	451/470/444	Jan. 2016	469/489/462	657/685/647	18/32/39	487/521/501	675/717/686	810	Y/Y/Y
	WB	346/719/426	Jan. 2016	360/748/443	504/1047/621	Nom	360/748/443	504/1047/621	810	Y/Y/Y
1st St. - Lincoln to Jefferson	EB	457/532/433	Jan. 2016	475/553/450	667/775/631	22/22/25	497/575/475	689/797/656	810	Y/Y/Y
	WB	333/579/438	Jan. 2016	346/602/456	485/843/638	17/34/41	363/636/497	502/877/679	810	Y/Y/Y
1st St. - Jefferson to Washington	EB	488/534/434	Jan. 2016	508/556/452	711/778/632	22/22/25	530/578/477	733/800/657	695	Y/Y/Y
	WB	307/602/431	Jan. 2016	319/626/448	447/877/628	17/34/41	336/660/489	464/911/669	695	Y/Y/Y
4th Street - Cleveland to Lincoln	EB	131/190/235	Jan. 2016	136/198/244	191/277/342	7/7/8	143/205/252	198/284/350	505	Y/Y/Y
	WB	76/163/136	Jan. 2016	79/170/141	111/237/198	5/5/6	84/175/147	116/242/204	505	Y/Y/Y
3rd Street - Cleveland to Lincoln	EB	22/44/30	Jan. 2016	23/46/31	32/64/44	5/14/17	28/60/48	37/78/61	340	Y/Y/Y
	WB	25/56/34	Jan. 2016	26/58/35	36/82/50	10/10/11	36/68/46	46/92/61	340	Y/Y/Y
2nd Street - Cleveland to Lincoln	EB	4/8/6	Jan. 2016	4/8/6	6/12/9	52/50/60	56/58/66	58/62/69	340	Y/Y/Y
	WB	4/22/6	Jan. 2016	4/23/6	6/32/9	35/34/40	39/57/49	41/66/49	340	Y/Y/Y

Table 3: Existing Peak Hour Operation

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Cleveland	EB Thru/Right	C	C	C
	EB Approach	C	C	C
	WB Left	B	B	B
	WB Thru	A	A	A
	WB Approach	A	A	A
	SB Left	C	C	C
	SB Thru	C	C	C
	SB Right	C	C	C
	SB Approach	C	C	C
	Overall	C	B	C

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Lincoln	EB Left	B	B	B
	EB Thru	A	A	A
	EB Approach	B	A	B
	WB Thru/Right	C	D	C
	WB Approach	C	D	C
	NB Thru/Left	B	C	B
	NB Right	B	B	B
	NB Approach	B	C	B
	Overall	B	C	B

Table 3: Existing Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Railroad	EB Left	A	A	A
	EB Thru/Right	A	A	A
	EB Approach	A	A	A
	WB Left	A	A	A
	WB Thru	A	A	A
	WB Right	A	A	A
	WB Approach	A	A	A
	NB Thru/Left	C	F	D
	NB Right	B	B	B
	NB Approach	C	F	C
	SB Thru/Left	C	E	D
	SB Right	B	B	B
	SB Approach	B	C	C
	Overall	A	B	A

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Washington	EB Thru/Left/Right	A	A	A
	EB Approach	A	A	A
	WB Thru/Left/Right	A	A	A
	WB Approach	A	A	A
	NB Thru/Left/Right	C	C	C
	NB Approach	C	C	C
	SB Thru/Left/Right	C	D	C
	SB Approach	C	D	C
	Overall	B	D	B

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
2nd/Cleveland	EB Thru/Right	B	C	C
	EB Approach	B	C	C
	WB Thru/Left	B	C	C
	WB Approach	B	C	C
	SB Thru/Left/Right	A	A	A
	SB Approach	A	A	A
	Overall	A	A	A

Table 3: Existing Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
2nd/Lincoln	EB Thru/Left	B	C	C
	EB Approach	B	C	C
	WB Thru/Right	B	C	B
	WB Approach	B	C	B
	NB Thru/Left/Right	A	A	A
	NB Approach	A	A	A
	Overall	A	A	A

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
3rd/Cleveland	EB Thru/Right	B	C	C
	EB Approach	B	C	C
	WB Thru/Left	C	C	B
	WB Approach	C	C	B
	SB Thru/Left/Right	A	A	A
	SB Approach	A	A	A
	Overall	A	A	A

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
3rd/Lincoln	EB Thru/Left	B	C	C
	EB Approach	B	C	C
	WB Thru/Right	B	C	C
	WB Approach	B	C	C
	NB Thru/Left/Right	A	A	A
	NB Approach	A	A	A
	Overall	A	A	A

Table 3: Existing Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
4th/Cleveland	EB Thru/Right	D	C	C
	EB Approach	D	C	C
	WB Thru/Left	C	C	C
	WB Approach	C	C	C
	SB Thru/Left/Right	A	A	A
	SB Approach	A	A	A
	Overall	B	B	B

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
4th/Lincoln	EB Thru/Left	A	B	B
	EB Approach	A	B	B
	WB Thru/Right	B	C	C
	WB Approach	B	C	C
	NB Thru/Left/Right	C	C	C
	NB Approach	C	C	C
	Overall	B	C	C

Table 4: 2018 Short Range Total Peak Hour Operation

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
1st/Cleveland	EB Thru/Right	D	C	C	Y
	EB Approach	D	C	C	Y
	WB Left	B	B	B	Y
	WB Thru	A	C	A	Y
	WB Approach	A	B	A	Y
	SB Left	B	B	B	Y
	SB Thru	C	C	C	Y
	SB Right	B	C	C	Y
	SB Approach	C	C	C	Y
	Overall	C	C	B	Y

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
1st/Lincoln	EB Left	B	B	B	Y
	EB Thru	B	B	A	Y
	EB Approach	B	B	A	Y
	WB Thru	C	D	C	Y
	WB Right	B	B	C	Y
	WB Approach	C	C	C	Y
	NB Thru/Left	B	C	B	Y
	NB Right	A	B	B	Y
	NB Approach	B	C	B	Y
	Overall	B	C	B	Y

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
2nd/Garage Access	EB Thru/Left	A	A	A	Y
	EB Approach	A	A	A	Y
	WB Thru/Right	A	A	A	Y
	WB Approach	A	A	A	Y
	SB Left/Right	A	B	B	Y
	SB Approach	A	B	B	Y
	Overall	A	A	A	Y

Table 4: 2018 Short Range Total Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
1st/Railroad	EB Left	A	A	A	Y
	EB Thru/Right	A	A	A	Y
	EB Approach	A	A	A	Y
	WB Left	A	A	A	Y
	WB Thru	A	A	A	Y
	WB Right	A	A	A	Y
	WB Approach	A	A	A	Y
	NB Thru/Left	D	F	E	See 4.2 Page 11
	NB Right	B	B	B	Y
	NB Approach	C	F	C	See 4.2 Page 11
	SB Thru/Left	C	E	D	Y
	SB Right	B	C	B	Y
	SB Approach	B	C	C	Y
Overall		A	B	A	Y

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
1st/Washington	EB Thru/Left/Right	A	A	A	Y
	EB Approach	A	A	A	Y
	WB Thru/Left/Right	A	A	A	Y
	WB Approach	A	A	A	Y
	NB Thru/Left/Right	C	D	D	Y
	NB Approach	C	D	D	Y
	SB Thru/Left/Right	C	E	C	Y
	SB Approach	C	E	C	See 4.2 Page 11
	Overall	B	E	C	See 4.2 Page 11

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
2nd/Cleveland	EB Thru/Right	C	C	C	Y
	EB Approach	C	C	C	Y
	WB Thru/Left	B	C	C	Y
	WB Approach	B	C	C	Y
	SB Thru/Left/Right	A	A	A	Y
	SB Approach	A	A	A	Y
	Overall	A	A	A	Y

Table 4: 2018 Short Range Total Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
2nd/Lincoln	EB Thru/Left	B	C	C	Y
	EB Approach	B	C	C	Y
	WB Thru/Right	B	C	B	Y
	WB Approach	B	C	B	Y
	NB Thru/Left/Right	A	A	A	Y
	NB Approach	A	A	A	Y
	Overall	A	A	A	Y

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
3rd/Cleveland	EB Thru/Right	C	C	C	Y
	EB Approach	C	C	C	Y
	WB Thru/Left	C	D	C	Y
	WB Approach	C	D	C	Y
	SB Thru/Left/Right	A	A	A	Y
	SB Approach	A	A	A	Y
	Overall	A	A	A	Y

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
3rd/Lincoln	EB Thru/Left	B	C	C	Y
	EB Approach	B	C	C	Y
	WB Thru/Right	C	C	C	Y
	WB Approach	C	C	C	Y
	NB Thru/Left/Right	A	A	A	Y
	NB Approach	A	A	A	Y
	Overall	A	A	A	Y

Table 4: 2018 Short Range Total Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
4th/Cleveland	EB Thru/Right	C	C	C	Y
	EB Approach	C	C	C	Y
	WB Thru/Left	C	C	B	Y
	WB Approach	C	C	B	Y
	SB Thru/Left/Right	A	A	A	Y
	SB Approach	A	A	A	Y
	Overall	A	A	A	Y

Intersection	Movement	Level of Service (LOS)			ACF Compliance
		AM	PM	Saturday	
		LOS	LOS	LOS	
4th/Lincoln	EB Thru/Left	C	B	A	Y
	EB Approach	C	B	A	Y
	WB Thru/Right	C	C	B	Y
	WB Approach	C	C	B	Y
	NB Thru/Left/Right	A	A	C	Y
	NB Approach	A	A	C	Y
	Overall	A	B	B	Y

Table 5: 2035 Long Range Total Peak Hour Operation

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Cleveland	EB Thru/Right	D	D	D
	EB Approach	D	D	D
	WB Left	B	B	B
	WB Thru	B	B	B
	WB Approach	B	B	B
	SB Left	C	B	B
	SB Thru	D	D	C
	SB Right	C	C	A
	SB Approach	C	C	C
	Overall	C	C	C

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Lincoln	EB Left	B	F	B
	EB Thru	B	B	B
	EB Approach	B	C	B
	WB Thru	C	F	C
	WB Right	C	B	B
	WB Approach	C	F	C
	NB Thru/Left	B	E	C
	NB Right	A	C	B
	NB Approach	B	E	C
	Overall	B	E	C

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
2nd/Garage Access	EB Thru/Left	A	A	A
	EB Approach	A	A	A
	WB Thru/Right	A	A	A
	WB Approach	A	A	A
	SB Left/Right	A	B	B
	SB Approach	A	B	B
	Overall	A	A	A

Table 5: 2035 Long Range Total Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Railroad	EB Left	A	B	A
	EB Thru/Right	A	A	A
	EB Approach	A	A	A
	WB Left	A	A	A
	WB Thru	A	A	A
	WB Right	A	A	A
	WB Approach	A	A	A
	NB Thru/Left	C	F	F
	NB Right	A	B	B
	NB Approach	B	F	E
	SB Thru/Left	C	F	E
	SB Right	B	C	B
	SB Approach	B	E	C
	Overall	A	D	B

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
1st/Washington	EB Thru/Left/Right	A	A	A
	EB Approach	A	A	A
	WB Thru/Left/Right	A	A	A
	WB Approach	A	A	A
	NB Thru/Left/Right	E	F	E
	NB Approach	E	F	E
	SB Thru/Left/Right	D	F	D
	SB Approach	D	F	D
	Overall	D	F	E

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
2nd/Cleveland	EB Thru/Right	C	D	D
	EB Approach	C	D	D
	WB Thru/Left	C	D	C
	WB Approach	C	D	C
	SB Thru/Left/Right	A	A	A
	SB Approach	A	A	A
	Overall	A	B	A

Table 5: 2035 Long Range Total Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
2nd/Lincoln	EB Thru/Left	C	E	D
	EB Approach	C	E	D
	WB Thru/Right	C	E	C
	WB Approach	C	E	C
	NB Thru/Left/Right	A	A	A
	NB Approach	A	A	A
	Overall	A	B	A

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
3rd/Cleveland	EB Thru/Right	C	E	D
	EB Approach	C	E	D
	WB Thru/Left	C	F	C
	WB Approach	C	F	C
	SB Thru/Left/Right	A	A	A
	SB Approach	A	A	A
	Overall	A	A	A

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
3rd/Lincoln	EB Thru/Left	C	F	D
	EB Approach	C	F	D
	WB Thru/Right	C	E	D
	WB Approach	C	E	D
	NB Thru/Left/Right	A	A	A
	NB Approach	A	A	A
	Overall	A	B	A

Table 5: 2035 Long Range Total Peak Hour Operation (continued)

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
4th/Cleveland	EB Thru/Right	C	B	C
	EB Approach	C	B	C
	WB Thru/Left	C	B	B
	WB Approach	C	B	B
	SB Thru/Left/Right	A	A	A
	SB Approach	A	A	A
	Overall	A	B	B

Intersection	Movement	Level of Service (LOS)		
		AM	PM	Saturday
		LOS	LOS	LOS
4th/Lincoln	EB Thru/Left	A	B	B
	EB Approach	A	B	B
	WB Thru/Right	B	B	B
	WB Approach	B	B	B
	NB Thru/Left/Right	C	B	B
	NB Approach	C	B	B
	Overall	B	B	B

Note: Per City of Loveland requirements, ACF compliance does not apply to year 2035 Long Range Analysis. ACF compliance only applies to the year 2018 Short Range Analysis.

5.0 Multimodal Transportation Facilities

As cities continue to grow and become more urban, the emphasis upon all modes of transportation becomes more important. The following sections address the pedestrian, bicycle, and transit facilities that will be available in the vicinity of the project site.

5.1 Pedestrian and Bicycle Facilities

All streets within and adjacent to the project area currently have sidewalks along both sides of the street. Bike lanes also exist on 1st Street adjacent to the project site. As the project develops, the public streets will be required to comply with the LCUASS requirements which require sidewalks along both sides of the public street and bike lanes along arterials. Additionally, future development of the project area will be focused on providing complete streets and adequate pedestrian circulation throughout the project site and pedestrian connectivity to Downtown Loveland.

5.2 Transit Facilities

This area is served by the City of Loveland's Transit (COLT). COLT fixed routes 100, 200, and 300 currently serve the project area with stops at: 1st/Washington, 1st/Cleveland, and 5th/Cleveland. It is anticipated that COLT will continue to serve the project area upon project build-out. See Appendix E: Transit Map for route information.

6.0 Conclusions

This Traffic Impact Study (TIS) for the proposed Downtown Loveland South Catalyst Project verifies that the project will be able to meet the City of Loveland's Standards for traffic at the time of development.

The findings of the TIS are summarized below:

1. The Downtown Loveland South Catalyst Project has demonstrated the ability to comply with the Adequate Community Facilities (ACF) Ordinance and the Larimer County Urban Area Street Standards (LCUASS) and meet the City's standards for traffic at the time of development.
2. The Downtown Loveland South Catalyst Project is anticipated to generate approximately 2,244 daily weekday trips, 211 AM peak hour trips, 289 PM peak hour trips, and 349 Saturday peak hour trips
3. A westbound right-turn lane in 1st Street at the 1st Street/Lincoln Avenue intersection is required by LCUASS with phase1 of the project. This westbound right-turn lane will allow traffic traveling to the project site to utilize the right-turn lane and not impact westbound thru traffic at the 1st Street/Lincoln Avenue intersection. This westbound right-turn lane should have a minimum storage length of 150 feet. The westbound queue at 1st Street/Lincoln Avenue will be a problem with or without the development of the Foundry project.
4. With the exception of adding a westbound right-turn lane at the 1st Street/Lincoln Avenue intersection, it is anticipated that the existing roadway geometries in the project area will be able to adequately handle the project's traffic.
5. It is not anticipated that signal warrants will be met at the stop controlled key intersections. Additionally, the existing stop controlled intersections do not meet recommended spacing for traffic signal installations.

DATE: 1/3/2017
FILE NAME: 20160827SUB
SCALE: 1"=30'
DRAWN BY: CSK
CHECKED BY: DBD

LOVELAND ELEVENTH SUBDIVISION

Being a Subdivision of Blocks 19, 24, and a portion of Block 18 of the Original Town of Loveland,
and Vacated Rights of Way of East Third Street and Vacated Right of Way of Opera Alley,
Situete in the Southwest Quarter of Section 13, Township 5 North, Range 69 West of the 6th P.M.,
City of Loveland, County of Larimer, State of Colorado

STATEMENT OF OWNERSHIP, SUBDIVISION AND DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS that the undersigned, The Foundry Loveland, LLC, a Colorado limited liability company and the City of Loveland, Colorado, a Colorado home rule municipality, being all the owners and lienholders of the following described property, except any existing public streets, roads or highways, which property is located in the Southwest Quarter of Section 13, Township 5 North, Range 69 West of the 6th P.M., being more particularly described as follows:

Block 18

Lot 1, Morgan Subdivision as recorded on February 10, 1981 at Book 2102, Page 19, and Lots 18 through 24, Block 18, Original Town of Loveland, and the vacated right of way of East Third Street as recorded on April 4, 2017 as Reception No. 20170021516.

Said described parcel contains 34,586 Square Feet or 0.794 Acres, More or Less.

Block 19

Lot 1, Amended Plat of Lots 1 Through 7, Block 19, Original Town of Loveland, as recorded on October 26, 2010 as Reception 2010006540, and Lots 8 Through 24, Block 19, Original Town of Loveland, and portions of the vacated right of way of East Third Street as recorded on April 4, 2017 as Reception No. 20170021516, and the vacated right of way of Opera Alley as recorded on April 4, 2017 as Reception No. 20170021516.

Said described parcel contains 93,611 Square Feet or 2.149 Acres, More or Less.

Block 24

Lots One (1) through Twelve (12), Block Twenty-four (24) of the Original Plat of the Town of Loveland as recorded on October 18, 1877 at Reception No. 5280 and re-recorded on November 15, 1877 at Reception No. 5335, excepting those parcels deeded to the Colorado Department of Transportation per documents recorded at Reception No.'s 2001053327, 2001089804 and 2002085435, within the records of the Larimer County Clerk and Recorder, all described parcels situated in the West Half of the Southwest Quarter (W1/2SW1/4) of Section Thirteen (13), Township Five North (T.5N.), Range Sixty-nine West (R.69W.) of the Sixth Principal Meridian (6th P.M.), City of Loveland, County of Larimer, State of Colorado.

Said described parcels contains 48,382 Square Feet or 1.111 Acres, More or Less.

Containing Total of (4.054 acres) (176,578 square feet) more or less (±), and is subject to all easements and right-of-ways on record or existing, do hereby subdivide the same into lots, blocks, tracts, outlets, rights-of-ways, and easements, to include all public streets, roads, alleys, drainage and ditches, (i) all such rights-of-ways and easements, other than utility easements and private easements, to and for public use, except where indicated otherwise on this plat; and (ii) all such utility easements to and for public use for the installation and maintenance of utility, irrigation and drainage facilities, and do hereby designate the same as LOVELAND ELEVENTH SUBDIVISION to the City of Loveland Colorado.

All expenses involving necessary improvements for water system, sanitary sewer system, storm sewer system, curb and gutters, sidewalks, street improvements, street signs, traffic control signs, alley grading and surfacing, gas service, electric system, grading and landscaping shall be paid by the City of Loveland.

VACATION STATEMENT

Know all men by these presents that we the undersigned, being the owner(s) of the land described herein, and as shown on the attached map do hereby vacate all lots and blocks of the above described parcel of land.

OWNER(S): The Foundry Loveland, LLC, a Colorado limited liability company
By: Brinkman Entity Management, LLC, a Colorado limited liability company, Manager

By: *KB*
Kevin Brinkman, Manager

NOTARIAL CERTIFICATE

STATE OF COLORADO

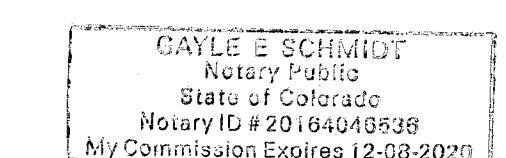
COUNTY OF LARIMER

The foregoing instrument was acknowledged before me this 20th day of April, 2017,
by Kevin Brinkman as Manager of Brinkman Entity Management, LLC, a Colorado limited liability company
Manager of The Foundry Loveland, LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires 12/31/2020

Kevin Brinkman
Notary Public



ATTORNEY'S CERTIFICATE

I, Benjamin D. Kramer, an attorney licensed to practice law in the State of Colorado, certify that I have examined the Title Commitment referenced below related to the portion of land dedicated to the City of Loveland, Colorado by this plat, excluding that land owned by The Foundry Loveland, LLC described in the Bargain and Sale Deed recorded with the Larimer County Clerk and Recorder at Reception No. 2016067924, and that based on Title Commitment Order Number FCC25146382-5, issued by Land Title Guarantee Company effective March 23, 2017 and my actual knowledge, all persons executing the dedication of this plat are the owners or duly authorized signatories of such land referenced in this Attorney's Certificate in fee simple, such land is free and clear of all liens and encumbrances, except encumbrances set forth in Schedule B - Section 2 of such Title Commitment as of the date thereof, and any such encumbrances do not impair the use of such land dedicated to the City of Loveland for the purposes set forth on this plat; provided, however, the use of Outlot A and/or Lot 1 Block 1 may be impaired by easement and/or other rights vested in the Greeley & Loveland Irrigation Company.

So sworn this 20 day of April, 2017.

Benjamin D. Kramer
Attorney at Law

DIRECTOR OF DEVELOPMENT SERVICES

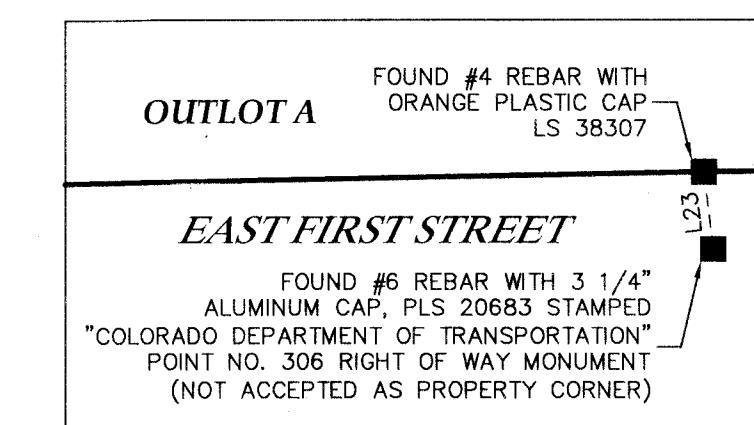
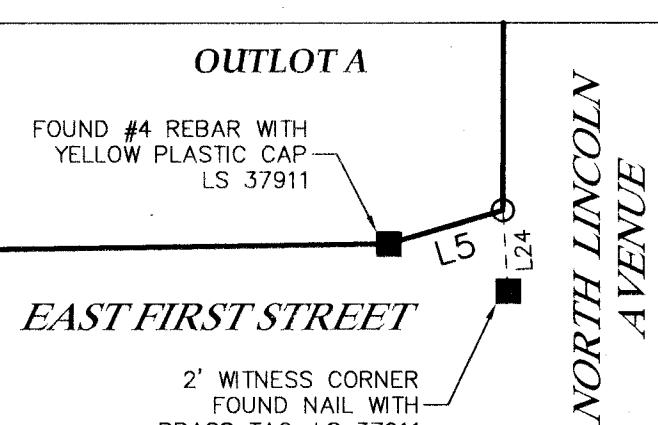
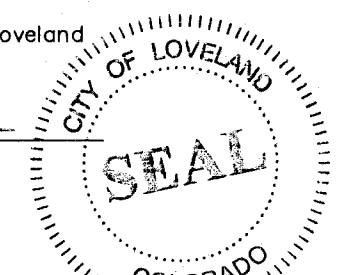
This plat is approved by the Director of Development Services of the City of Loveland, Larimer County, Colorado, this 2017 day of April, 2017, for filing with the Clerk and Recorder of Larimer County and for conveyance to the City of the public dedications shown herein, which are accepted; subject to the provisions that approval in no way obligates the City of Loveland, for the financing or constructing of improvements on land, streets or easements dedicated to the public except as specifically agreed to by the Director of Development Services.

Benjamin D. Kramer
Director of Development Services

Witness my hand and seal of the City of Loveland

ATTEST:

Acting City Clerk
Acting City Clerk



DETAIL A
NOT TO SCALE

LINE TABLE		
LINE	BEARING	LENGTH
L1	N001°34'44"E	24.00'
L2	N89°10'23"W	12.00'
L3	S00°15'40"W	19.03'
L4	N001°12'4"E	20.39'
L5	S73°41'26"W	3.10'
L6	S89°13'38"W	46.93'
L7	S88°53'51"W	37.61'
L8	S87°50'45"W	37.62'
L9	N00°49'37"E	10.00'
L10	N18°47'22"E	20.80'
L11	N89°13'25"W	3.00'
L12	N89°13'25"W	2.00'
L13	N00°15'40"E	10.00'
L14	N00°15'40"E	10.00'
L15	N001°12'4"E	10.00'

LINE TABLE		
LINE	BEARING	LENGTH
L16	N001°12'4"E	10.00'
L17	N001°12'4"E	10.00'
L18	S89°10'23"E	10.00'
L19	S00°15'40"E	10.00'
L20	N001°12'4"E	16.00'
L21	N001°12'4"E	18.58'
L22	N001°54"E	21.92'
L23	N05°56'30"W	0.41'
L24	S03°40'17"E	2.10'
L25	N90°00'00"W	1.00'
L26	N001°54"E	12.00'
L27	N90°00'00"E	1.00'
L28	N001°45'59"E	3.99'
L29	S89°13'25"E	30.00'
L30	N001°34'E	20.00'

LINE TABLE		
LINE	BEARING	LENGTH
L31	S89°43'46"E	3.94'
L32	S00°16'14"W	13.00'
L33	N89°43'46"W	3.92'
L34	N30°11'24"E	20.65'
L35	N001°12'4"E	33.13'

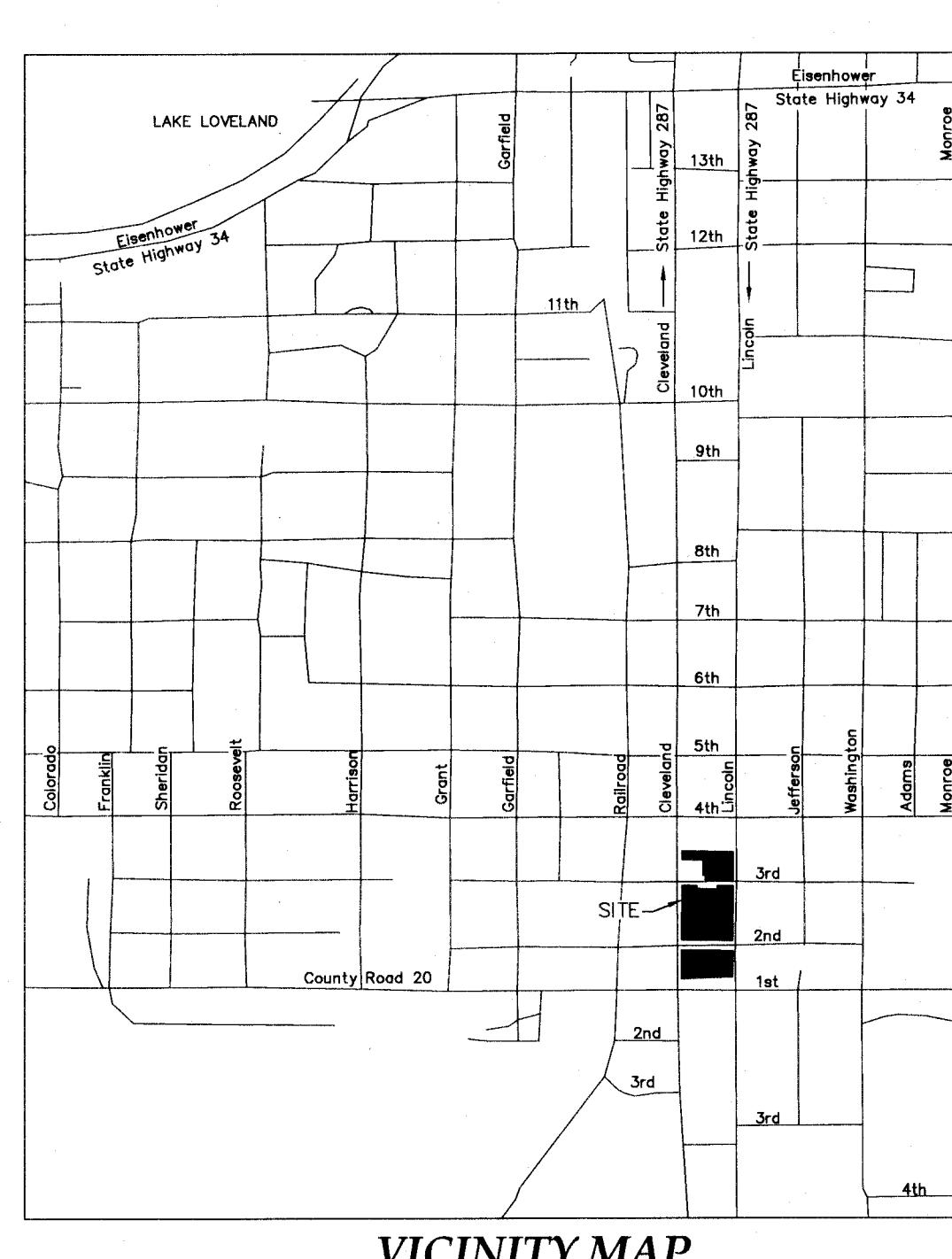
LAND USE TABLE		
LOTS (6)	3.320 ACRES	82%
TRACT A	0.430 ACRES	11%
OUTLOT A	0.304 ACRES	7%
TOTAL	4.054 ACRES	100%

OWNERS: CITY OF LOVELAND
227 EAST 2ND STREET
LOVELAND, CO 80537
THE FOUNDRY LOVELAND, LLC
3528 PRECISION DRIVE #100
FORT COLLINS, CO 80528

ENGINEER: INTERWEST CONSULTING GROUP
1218 ASH STREET, UNIT A
WINDSOR, CO 80550

SURVEYOR: KING SURVEYORS
DAVID DUSSAL
650 GARDEN DRIVE
WINDSOR, CO 80550
PHONE: (970) 686-5011

REVISIONS: CITY COMMENTS & LINE WORK
2/12/17
REVISED OUTLOT & TRACK NAMES
CSK 3/14/17
REVISED LOT LINES & EASEMENT
LEC 4/12/17
REVISED EASEMENTS
LEC/CSK 4/19/17
COGO CHECKED

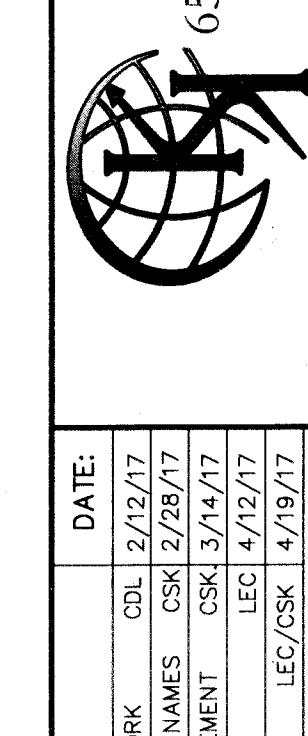


VICINITY MAP
SCALE: 1"=1000'

LOVELAND ELEVENTH SUBDIVISION
INTERWEST CONSULTING GROUP
1218 ASH STREET, UNIT A
WINDSOR, CO 80550

PROJECT #: 20160827
SHT 1 OF 2
1
LOVELAND ELEVENTH SUBDIVISION

KING SURVEYORS

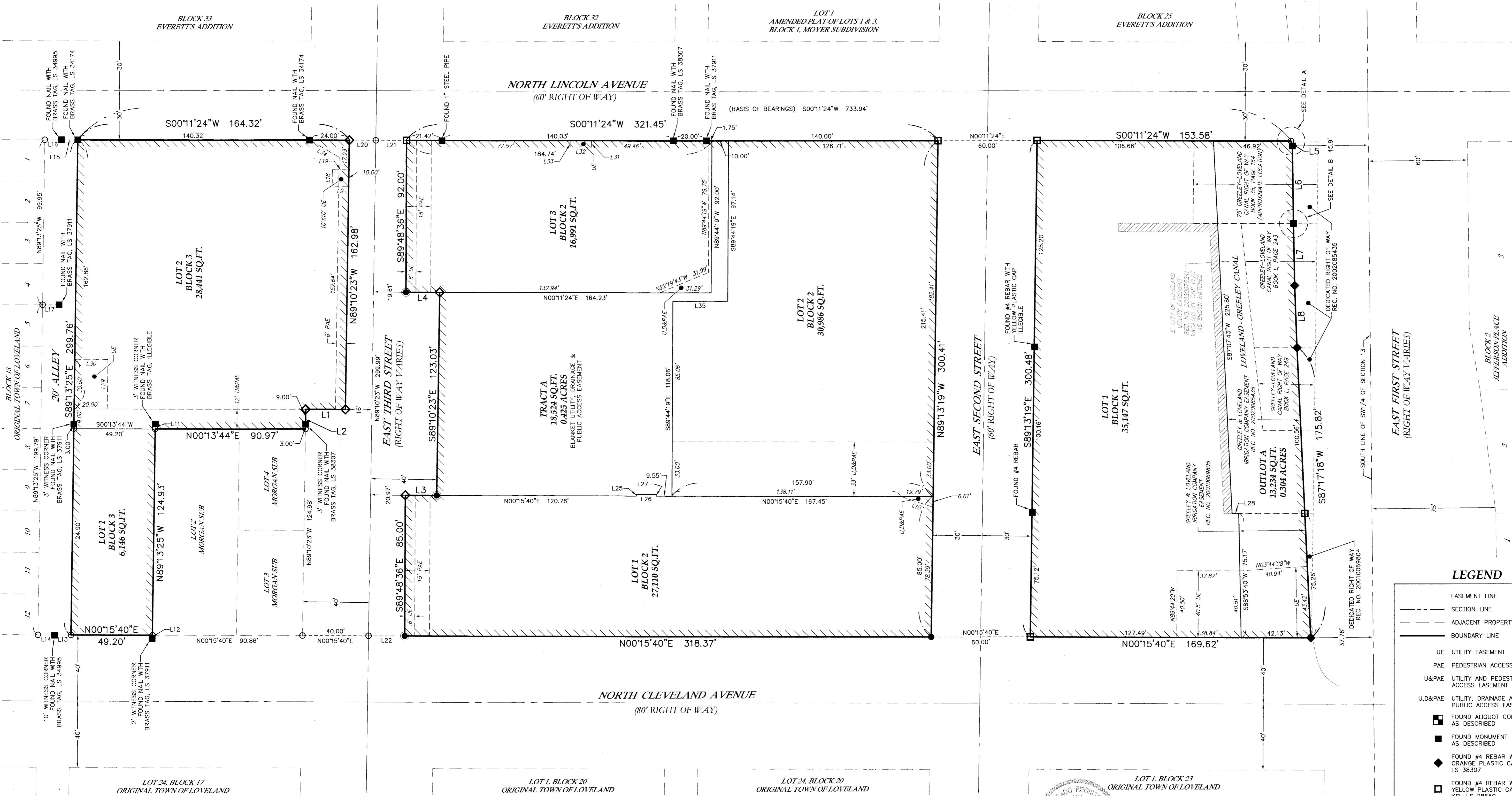


PC ATTACHMENT 3

LOVELAND ELEVENTH SUBDIVISION
 DATE: 1/3/2017
 FILE NAME: 20160827SUB
 SCALE: 1"=30'
 DRAWN BY: CSK
 CHECKED BY: DBD

LOVELAND ELEVENTH SUBDIVISION

Being a Subdivision of Blocks 19, 24, and a portion of Block 18 of the Original Town of Loveland,
 and Vacated Rights of Way of East Third Street and Vacated Right of Way of Opera Alley,
 Situate in the Southwest Quarter of Section 13, Township 5 North, Range 69 West of the 6th P.M.,
 City of Loveland, County of Larimer, State of Colorado



KING SURVEYORS
 650 E. Garden Drive | Windsor, Colorado 80550
 phone: (970) 686-5011 | fax: (970) 686-5821



© CITY OF LOVELAND
 CITY EASEMENT REC. NO. 2002085435
 VACATED BY THIS PLAT
 AS SHOWN HIGHLIGHTED

PROJECT #:	LOVELAND ELEVENTH SUBDIVISION	REVISIONS:	DATE:
20160827	FOR INTERWEST CONSULTING GROUP	CITY COMMENTS & LINE WORK REVISED OUT LINES & TRACK NAMES REVISED LOT LINES & EASEMENT REVISED EASEMENTS COCO CHECKED	COL 2/1/17 REC. NO. 2002085435 BOOK L, PAGE 243 REC. NO. 2002085435 BOOK L, PAGE 249 REC. NO. 2002085435 REC. NO. 2002085435 REC. NO. 2002085435
20160827	1218 ASH STREET UNIT A WINDSOR, CO 80550		
2			
3			

2

LOVELAND ELEVENTH SUBDIVISION

PC ATTACHMENT 3

LOVELAND ELEVENTH SUBDIVISION
 David B. Dusel - On Behalf Of King Surveyors
 Colorado Registered Professional
 Land Surveyor #28650

LOVELAND ELEVENTH SUBDIVISION
 David B. Dusel
 King Surveyors
 4/19/17
 #28650

LEGEND	
EASEMENT LINE	
SECTION LINE	
ADJACENT PROPERTY LINE	
BOUNDARY LINE	
UE UTILITY EASEMENT	
PAE PEDESTRIAN ACCESS EASEMENT	
U&PAE UTILITY AND PEDESTRIAN ACCESS EASEMENT	
U,D&PAE UTILITY, DRAINAGE AND PUBLIC ACCESS EASEMENT	
FOUND ALIQUOT CORNER AS DESCRIBED	
FOUND MONUMENT AS DESCRIBED	
FOUND #4 REBAR WITH ORANGE PLASTIC CAP LS 38307	
FOUND #4 REBAR WITH YELLOW PLASTIC CAP STAMPED KS, LS 28650	
FOUND RIVET WITH BRASS TAG, LS 28650	
SET 24" OF #4 REBAR WITH A YELLOW PLASTIC CAP STAMPED KS, LS 28650	
SET RIVET WITH A BRASS TAG STAMPED KS, LS 28650	
CALCULATED POSITION	

SITE DEVELOPMENT PLAN

LOT 2, BLOCK 3, LOVELAND ELEVENTH SUBDIVISION
THE FOUNDRY THEATER

LAND USE TABLE

ZONING	BE - CENTRAL BUSINESS DISTRICT
MASTER PLAN DESIGNATION	DAC- DOWNTOWN ACTIVITY CENTER
SITE AREA	28,441 SF (0.65 AC)
FAIR	0.93
GROSS BUILDING SQUARE FOOTAGE	26,363 SF
BUILDING HEIGHT	42'-6"
OCCUPANCY CLASSIFICATION	A-1 - MOTION PICTURE THEATER A-2 - RESTAURANT
CONSTRUCTION TYPE	TYPE II-B
FULLY SPRINKLERED PER NFPA 13	

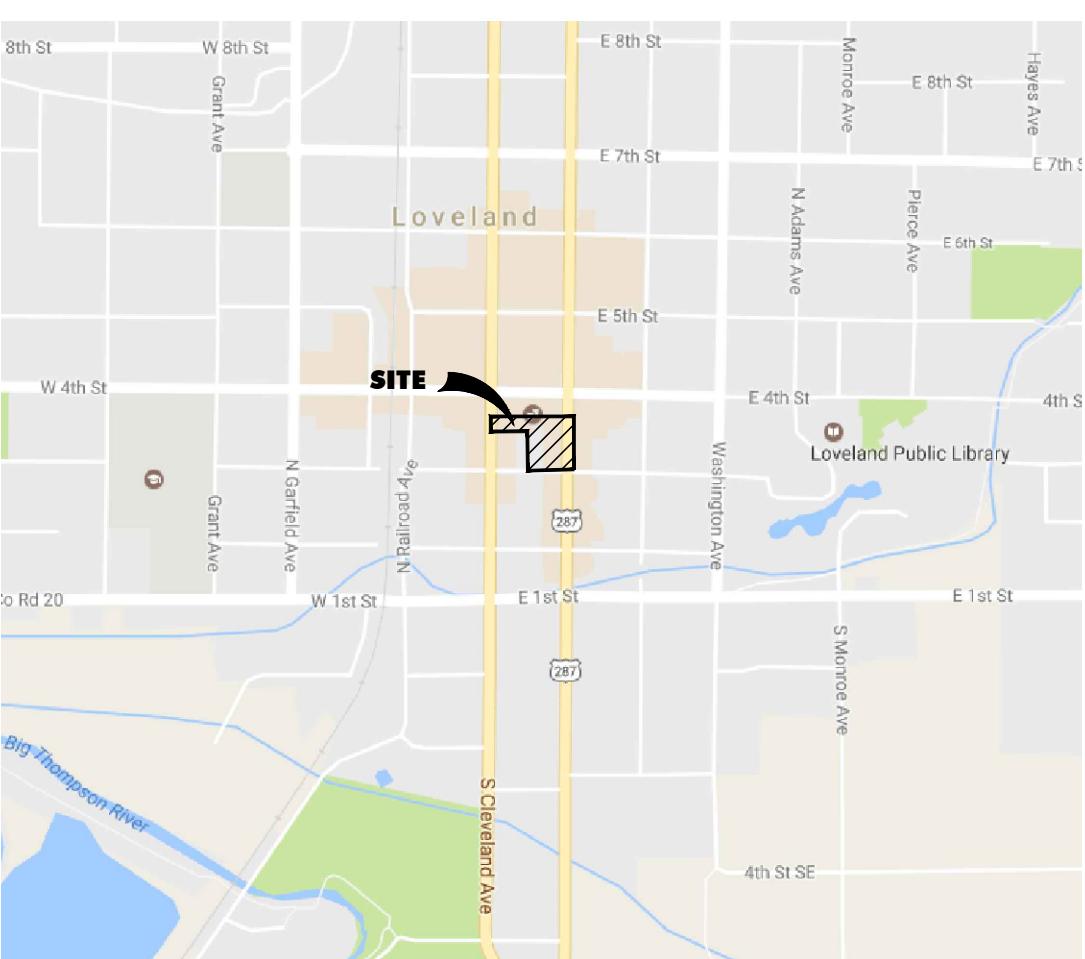
PARKING DATA

THEATER	549 SEATS
PARKING REQUIRED	1 SPACE PER 3 SEATS
	= 183 SPACES REQUIRED
PARKING PROVIDED IN PARKING GARAGE	463 SPACES PROVIDED
BIKE PARKING REQUIRED (2 SPACES PER 25 AUTO)	15 SPACES REQUIRED
BIKE PARKING PROVIDED	42 SPACES PROVIDED
(THIS SITE IS LOCATED WITHIN GENERAL IMPROVEMENT DISTRICT #1 PER ORDINANCE _____).	

PLANNING REVIEW CONDITIONS

- FUTURE SITE DEVELOPMENT PLANS ASSOCIATED WITH A HOTEL, THEATER, OR ANY PERMITTED USE WITHIN THE BE - ESTABLISHED CENTRAL BUSINESS DISTRICT LOCATED ON LOT 1, BLOCK 1 AND LOT 2, BLOCK 3 OF THE LOVELAND ELEVENTH SUBDIVISION SHALL BE SUBJECT TO SECTION 18.24.050 OF THE LOVELAND MUNICIPAL CODE SUCH THAT PUBLIC HEARING(S) WITH THE PLANNING COMMISSION WILL BE REQUIRED, REGARDLESS OF WHETHER OR NOT CRITERIA NUMBERS 1, 2, AND 3 APPLY.
- THE METRO DISTRICT SHALL BE RESPONSIBLE FOR MAINTAINING ALL IMPROVEMENTS LOCATED BETWEEN BUILDING FAÇADES AND EDGE OF CURB/GUTTER ALONG ALL PUBLIC RIGHTS-OF-WAY DEPICTED ON THE APPROVED FOUNDRY SITE DEVELOPMENT PLANS. THE METRO DISTRICT SHALL BE RESPONSIBLE FOR MAINTAINING ALL IMPROVEMENTS LOCATED WITHIN OUTLOTS A AND B OF THE LOVELAND ELEVENTH SUBDIVISION, AND THE METRO DISTRICT SHALL BE RESPONSIBLE FOR MAINTAINING THE PORTION OF E. THIRD STREET RIGHT-OF-WAY AS DEPICTED ON THE APPROVED FOUNDRY SITE DEVELOPMENT PLAN. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO PRUNING OF ALL TREES AND SHRUBS; REPLACEMENT OF DEAD OR DYING PLANT MATERIALS; REPAIR/REPLACEMENT OF DAMAGED HARD SURFACES; REPAIR/REPLACEMENT OF DAMAGED IRRIGATION SYSTEMS; SNOW REMOVAL; TRASH CLEAN-UP, ETC.
- STREETSCAPE IMPROVEMENTS BETWEEN BUILDING FAÇADE(S) AND EDGE OF CURB/GUTTER ALONG THE SOUTH SIDE OF E. SECOND STREET SHALL BE DESIGNED/CONSTRUCTED IN CONJUNCTION WITH DEVELOPMENT OF A HOTEL OR ANY PERMITTED USE WITHIN THE BE - ESTABLISHED CENTRAL BUSINESS DISTRICT LOCATED ON LOT 1, BLOCK 1 OF THE LOVELAND ELEVENTH SUBDIVISION.
- ALL LANDSCAPE AND HARDSCAPE IMPROVEMENTS LOCATED FROM THE SOUTH EDGE OF CURB/GUTTER ALONG E. THIRD STREET AND THE NORTH EDGE OF CURB/GUTTER ALONG E. SECOND STREET (NORTH TO SOUTH) AND THE WEST EDGE OF CURB/GUTTER ALONG N. LINCOLN AVENUE AND THE EAST EDGE OF CURB ALONG N. CLEVELAND AVENUE (EAST TO WEST) SHALL BE INSTALLED PRIOR TO OR AT THE TIME OF A LETTER OF COMPLETION FOR EITHER LINCOLN OR CLEVELAND MIXED-USE BUILDINGS AS DEPICTED ON THE APPROVED FOUNDRY SITE DEVELOPMENT PLAN. ANY LANDSCAPE AND/OR HARDSCAPE IMPROVEMENTS NOT INSTALLED AT SUCH TIME SHALL REQUIRE ESCROW AS SPECIFIED IN TITLE 16 OF THE LOVELAND MUNICIPAL CODE.
- FOR PURPOSES OF CONSIDERING PERMITTED FREESTANDING OR WALL MOUNTED SIGNS, THE PREMISE OF THE FOUNDRY SHALL BE DEFINED AS THE BOUNDARIES OF THE LOVELAND ELEVENTH SUBDIVISION. ALL SIGNS SHALL CONFORM TO THE CURRENT CITY OF LOVELAND DESIGN REQUIREMENTS INCLUDING DESIGN GUIDELINES FOR DOWNTOWN LOVELAND AND/OR DESTINATION DOWNTOWN: HIP STREETS MASTER PLAN IN EFFECT AT THE TIME SIGN PERMITS ARE SUBMITTED TO THE CITY FOR REVIEW/APPROVAL.
- TRASH/RECYCLING/LAUNDRY/ETC. SHALL BE COLLECTED IN DESIGNATED LOADING/UNLOADING AREAS. ALL DELIVERIES TO COMMERCIAL AND RESIDENTIAL USES SHALL BE MADE FROM DESIGNATED LOADING/UNLOADING AREAS. AND ALL MOVING ACTIVITIES SHALL OCCUR IN DESIGNATED LOADING/UNLOADING AREAS. LOADING/UNLOADING AREAS ARE DEPICTED ON THE APPROVED FOUNDRY SITE DEVELOPMENT PLAN. SUCH ACTIVITIES ARE PROHIBITED TO OCCUR IN ANY OTHER LOCATIONS WITHIN THE PUBLIC RIGHTS-OF-WAY WITHOUT CITY APPROVAL.
- ALL SERVICE AREAS CONTAINED WITHIN THE MIXED-USE BUILDINGS ALONG N. LINCOLN AVENUE AND N. CLEVELAND AVENUE SHALL REMAIN CLOSED AT ALL TIMES EXCEPT FOR TRASH/RECYCLING/LAUNDRY/ETC. COLLECTIONS.
- ALL ROOF-TOP MECHANICAL UNITS, GROUND LEVEL MECHANICAL UNITS, AND METER/ELECTRICAL PANELS/BOXES/CONDUIT/WIRING/ETC. LOCATED ON BUILDING FAÇADES SHALL BE FULLY SCREENED FROM PUBLIC VIEW. AT THE TIME OF LETTERS OF COMPLETION FOR ANY BUILDING/STRUCTURE DEPICTED ON THE APPROVED FOUNDRY SITE DEVELOPMENT PLAN, INSPECTIONS WILL BE PERFORMED BY THE CITY TO ASSURE PROPER SCREENING. IF FULL SCREENING IS NOT PROVIDED, THE CITY SHALL RESERVE THE RIGHT TO REQUIRE RETROFITTING.

VICINITY MAP



SIGNATURES AND APPROVALS

APPROVED THIS 20 DAY OF February, 2018 BY THE
CURRENT PLANNING MANAGER OF CITY OF LOVELAND, COLORADO.

SHEET INDEX

SHEET 1 OF 7	COVER SHEET
SHEET 2 OF 7	SITE PLAN
SHEET 3 OF 7	LANDSCAPE PLAN
SHEET 4 OF 7	ARCHITECTURAL ELEVATIONS
SHEET 5 OF 7	PERSPECTIVES AND MATERIALS
SHEET 6 OF 7	SITE PHOTOMETRIC PLAN
SHEET 7 OF 7	LIGHTING CUT SHEETS

OWNERS CERTIFICATION

The undersigned agree that the real property described in the application for Site Development Plan filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.46 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto. The undersigned also understands that if construction of all improvements is not completed and if the Site Development Plan uses are not established within three years of the date of approval, or other completions date or dates established in a development agreement approved by the city, the city may take an action to declare the Site Development Plan abandoned and null and void.

(Signature)

(Title)

STATE OF COLORADO)
COUNTY OF LARIMER) ss.

The foregoing agreement was acknowledged before me this _____ day of, _____, 20____, by _____.

Witness my hand and official seal.

My commission expires: _____.

Notary Public

OWNERS CERTIFICATION

The undersigned agree that the real property described in the application for Site Development Plan filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.46 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto. The undersigned also understands that if construction of all improvements is not completed and if the Site Development Plan uses are not established within three years of the date of approval, or other completions date or dates established in a development agreement approved by the city, the city may take an action to declare the Site Development Plan abandoned and null and void.

(Signature)

(Title)

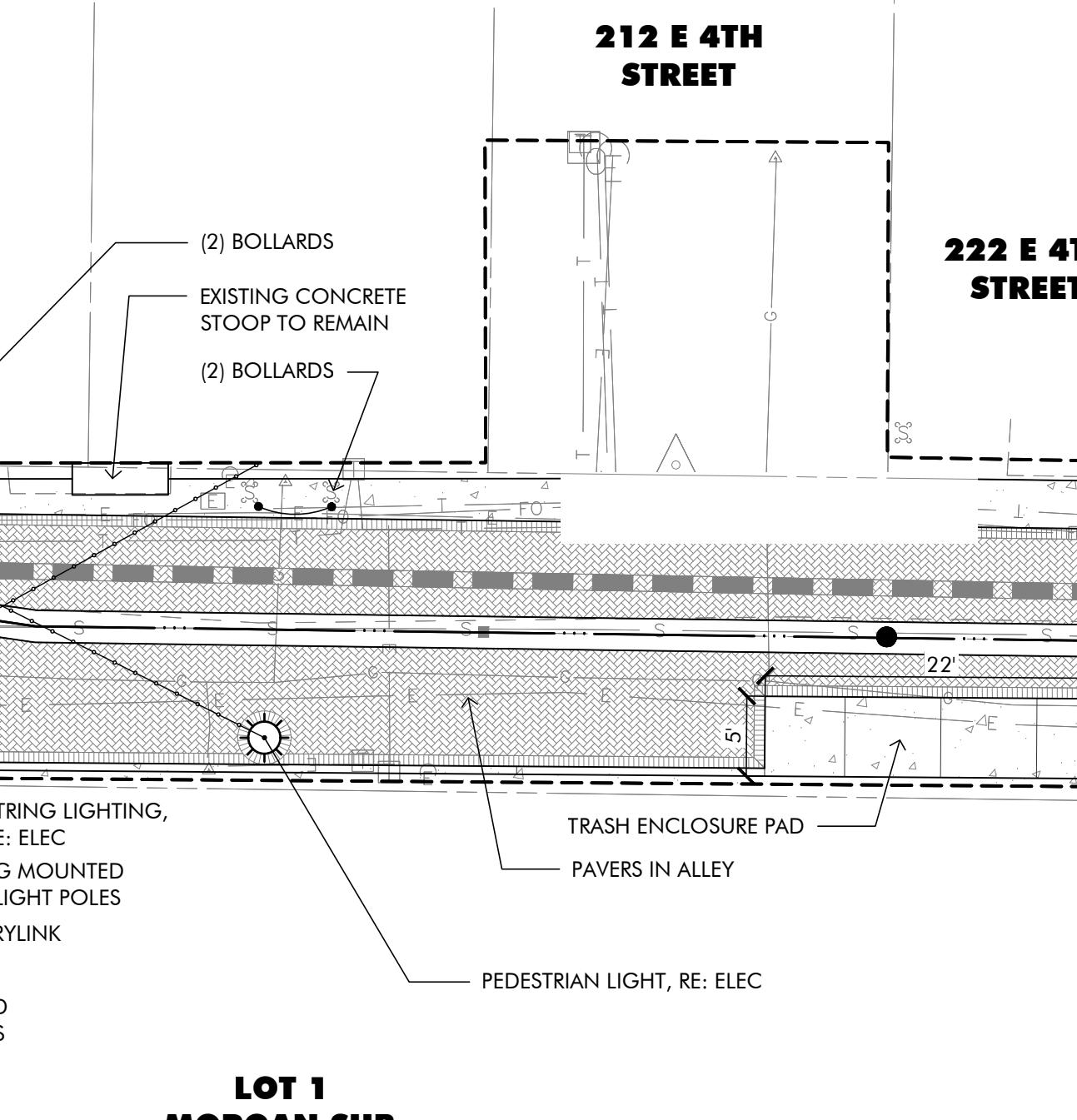
STATE OF COLORADO)
COUNTY OF LARIMER) ss.

The foregoing agreement was acknowledged before me this _____ day of, _____, 20____, by _____.

Witness my hand and official seal.

My commission expires: _____.

Notary Public



TRANSPORTATION CONDITIONS

1. ALL PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS) AND ANY VARIANCES APPROVED THROUGH THE REVIEW PROCESS.

2. THE DEVELOPER AGREES TO ACQUIRE AND DEDICATE, AT NO COST TO THE CITY, ANY RIGHTS-OF-WAY NECESSARY FOR THE REQUIRED STREET IMPROVEMENTS ASSOCIATED WITH THIS DEVELOPMENT.

3. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WITHIN THE LOVELAND ELEVENTH SUBDIVISION, PURSUANT TO THE PROVISIONS IN SECTION 16.40.010.B OF THE LOVELAND MUNICIPAL CODE, THE DEVELOPER SHALL DESIGN AND CONSTRUCT THE FOLLOWING PUBLIC IMPROVEMENTS UNLESS ALREADY DESIGNED AND CONSTRUCTED BY OTHERS:

3.1. ALL PUBLIC STREET IMPROVEMENTS ON NORTH LINCOLN AVENUE, NORTH CLEVELAND AVENUE, EAST 2ND STREET AND EAST 3RD STREET INCLUDING ROADWAY PAVING, CURB & GUTTER, RAMPS AND SIDEWALKS AS SHOWN ON THE CITY APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS TITLED THE FOUNDRY AND THE FOUNDRY HOTEL PREPARED BY INTERWEST CONSULTING GROUP FOR THE LOVELAND ELEVENTH SUBDIVISION.

3.2. ALL PUBLIC IMPROVEMENTS AS SHOWN ON THE CITY APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS TITLED THE FOUNDRY THEATER, LOT 2, BLOCK 3 OF THE LOVELAND ELEVENTH SUBDIVISION.

3.3. ALL FINAL SIGNING AND STRIPING AS SHOWN ON THE CITY APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS TITLED THE FOUNDRY PREPARED BY INTERWEST CONSULTING GROUP FOR THE LOVELAND ELEVENTH SUBDIVISION.

3.4. ALLEY IMPROVEMENTS WITHIN BACK STAGE ALLEY AS SHOWN ON THE CITY APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS.

4. ALL IMPROVEMENTS ON EAST 3RD STREET OTHER THAN THE STANDARD ASPHALT PAVEMENT SHALL BE MAINTAINED BY THE SAME METRO DISTRICT ESTABLISHED TO MAINTAIN THE CENTRAL PLAZA AREA FOR THE FOUNDRY. CURB, GUTTER AND SIDEWALK MAINTENANCE IS THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER ON ALL PUBLIC STREETS PER CITY MUNICIPAL CODE.

5. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDINGS WITHIN THE LOVELAND ELEVENTH SUBDIVISION WITH THE EXCEPTION OF THE PARKING GARAGE STRUCTURE ON SECOND STREET, THE WESTBOUND RIGHT TURN LANE ON FIRST STREET AT LINCOLN AVENUE MUST BE CONSTRUCTED AND ACCEPTED BY THE CITY FOR USE BY THE PUBLIC.

6. PRIOR TO PLACEMENT OF ANY AMENITIES WITHIN THE PUBLIC RIGHT-OF-WAY FOR THE FOUNDRY HOTEL, LOVELAND ELEVENTH SUBDIVISION, THE DEVELOPER SHALL OBTAIN A REVOCABLE ENCROACHMENT PERMIT FROM THE CITY PUBLIC WORKS DEPARTMENT. THE REVOCABLE ENCROACHMENT PERMIT ALLOWS SPECIAL AMENITIES SUCH AS FURNITURE, RAILINGS, PLANTER POTS AND STRUCTURAL OVERHANGS ETC... TO BE PLACED WITHIN THE RIGHT-OF-WAY UNDER SPECIAL CONDITIONS OF THE PERMIT.

7. CITY SIGNED SITE DEVELOPMENT PLANS (INCLUDING ANY ASSOCIATED PUBLIC IMPROVEMENT CONSTRUCTION PLANS), OR THE ISSUANCE OF BUILDING PERMITS, DOES NOT ALLOW ANY CONSTRUCTION WITHIN PUBLIC STREET OR ALLEY RIGHTS-OF-WAY OR PEDESTRIAN EASEMENTS. A SEPARATE CITY DEVELOPMENT CONSTRUCTION PERMIT OR STREET RIGHT-OF-WAY (ROW) WORK PERMIT MUST BE OBTAINED BY THE DEVELOPER AND/OR HIS CONTRACTOR AT THE CITY PROJECT ENGINEERING OFFICE (AND APPROVED BY PROJECT ENGINEERING) PRIOR TO ANY REPAIR OR CONSTRUCTION OF SIDEWALK, CURB AND GUTTER, DRIVEWAY ACESSES, OR ANY OTHER CONSTRUCTION IN CITY STREET OR ALLEY RIGHTS-OF-WAY OR PEDESTRIAN EASEMENTS, (THIS INCLUDES ALL ITEMS PROPOSED IN RIGHTS-OF-WAY SUCH AS UTILITY STREET CUTS, SIDEWALK RAMPS, CONSTRUCTION STAGING PROPOSED IN STREET, LANDSCAPING, TRAFFIC CONTROL, ETC.). (CALL 970-962-2510 TO DISCUSS DETAILS TO OBTAIN A ROW WORK PERMIT).

8. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY THAT WILL INVOLVE ANY EXISTING OR PROPOSED STREET SIGNS OR TRAFFIC CONTROL DEVICES FOR OR WITHIN PUBLIC STREET RIGHTS-OF-WAY (ROW), THE DEVELOPER AND/OR HIS CONTRACTOR SHALL CONTACT THE CITY TRAFFIC DIVISION AT (970) 962-2535 TO COORDINATE THE REMOVAL, RELOCATION, INSTALLATION, AND/OR PROPER STORING OF THE SIGN(S) OR TRAFFIC CONTROL DEVICE(S) AND OBTAIN A ROW WORK PERMIT FROM THE CITY PUBLIC WORKS ENGINEERING DIVISION TO DO SUCH WORK. HOWEVER, IF THE DEVELOPER AND/OR HIS CONTRACTOR REMOVES OR RELOCATES ANY EXISTING STREET SIGN(S) OR TRAFFIC CONTROL DEVICE(S) FOR OR WITHIN THE PUBLIC ROW WITHOUT FIRST OBTAINING A ROW WORK PERMIT FROM THE CITY PUBLIC WORKS DIVISION, THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS, AND EQUIPMENT TO REINSTALL THE SIGN(S) OR TRAFFIC CONTROL DEVICE(S) AS DEEMED NECESSARY BY THE CITY. THE DEVELOPER AND/OR HIS CONTRACTOR WILL ALSO BE CHARGED TO REPLACE ANY EXISTING STREET SIGNS OR TRAFFIC CONTROL DEVICES THAT WERE DAMAGED OR BLEMISHED DURING ANY CONSTRUCTION ACTIVITY AS DEEMED NECESSARY BY THE CITY. THE DEVELOPER AND/OR HIS CONTRACTOR MAY ALSO BE SUBJECT TO ADDITIONAL FINES AS PER THE LOVELAND MUNICIPAL CODE.

9. ALL TREES, SHRUBS, AND OTHER PLANT MATERIALS LOCATED WITHIN CLEAR SIGHT TRIANGLES SHALL BE TRIMMED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 7 OF THE LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS). UNDER CURRENT LCUASS REQUIREMENTS, TREES SHALL BE LIMBED TO A HEIGHT OF NOT LESS THAN EIGHT (8) FEET AND SHRUBS AND OTHER PLANT MATERIALS SHALL BE MAINTAINED AT A HEIGHT OF NOT MORE THAN THIRTY (30) INCHES, AND SAID MAINTENANCE SHALL BE CONDUCTED IN PERPETUITY. TREES ARE ALSO REQUIRED TO BE KEPT LIMBED UP A MINIMUM OF 8' ABOVE ALL STREET SIDEWALKS.

Thorp Associates P.C.
131 Stanley Ave, Ste 100
Estes Park, CO 80515
Phone 970.586.9528
www.thorpassoc.com

bha
1603 Oakridge Drive
Fort Collins, CO 80525
phone 970.223.7577
www.bhadesign.com

THE FOUNDRY THEATER
SITE DEVELOPMENT PLAN
LOVELAND, CO 80538

DRAWN: DE
CHECKED: MM
APPROVED: RS
DATE: FEB 2, 2018

THE FOUNDRY
ISSUED FOR:
SITE DEVELOPMENT
PLAN
SHEET TITLE:
COVER SHEET
SCALE:
SHEET NUMBER
SHEET 1 OF 7
PC ATTACHMENT 4

THE FOUNDRY THEATER

SITE DEVELOPMENT PLAN

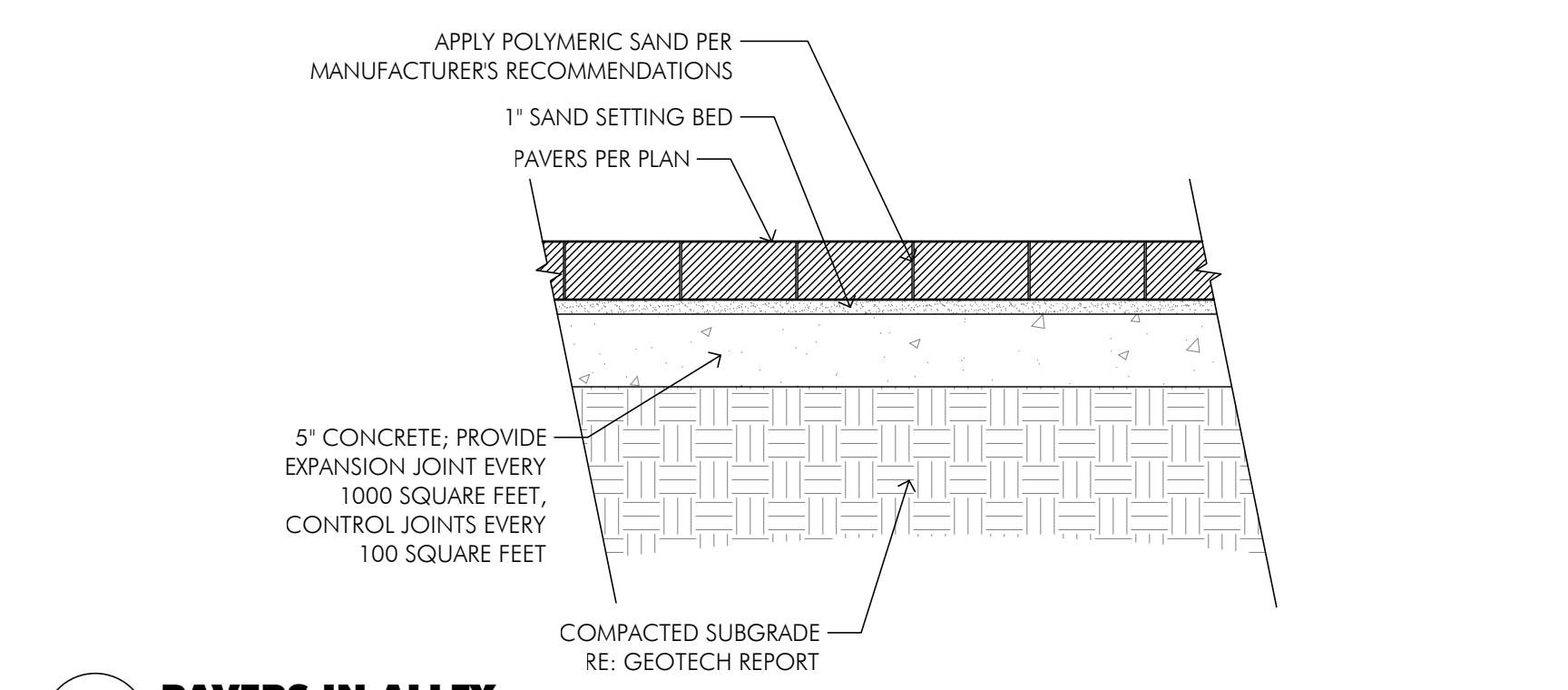
LOVELAND, CO 80538

DRAWN: DE
CHECKED: MM
APPROVED: RS
DATE: FEB 2, 2018

THE FOUNDRY
ISSUED FOR:
SITE DEVELOPMENT
PLAN
SHEET TITLE:
SITE PLAN
SCALE:
SHEET NUMBER

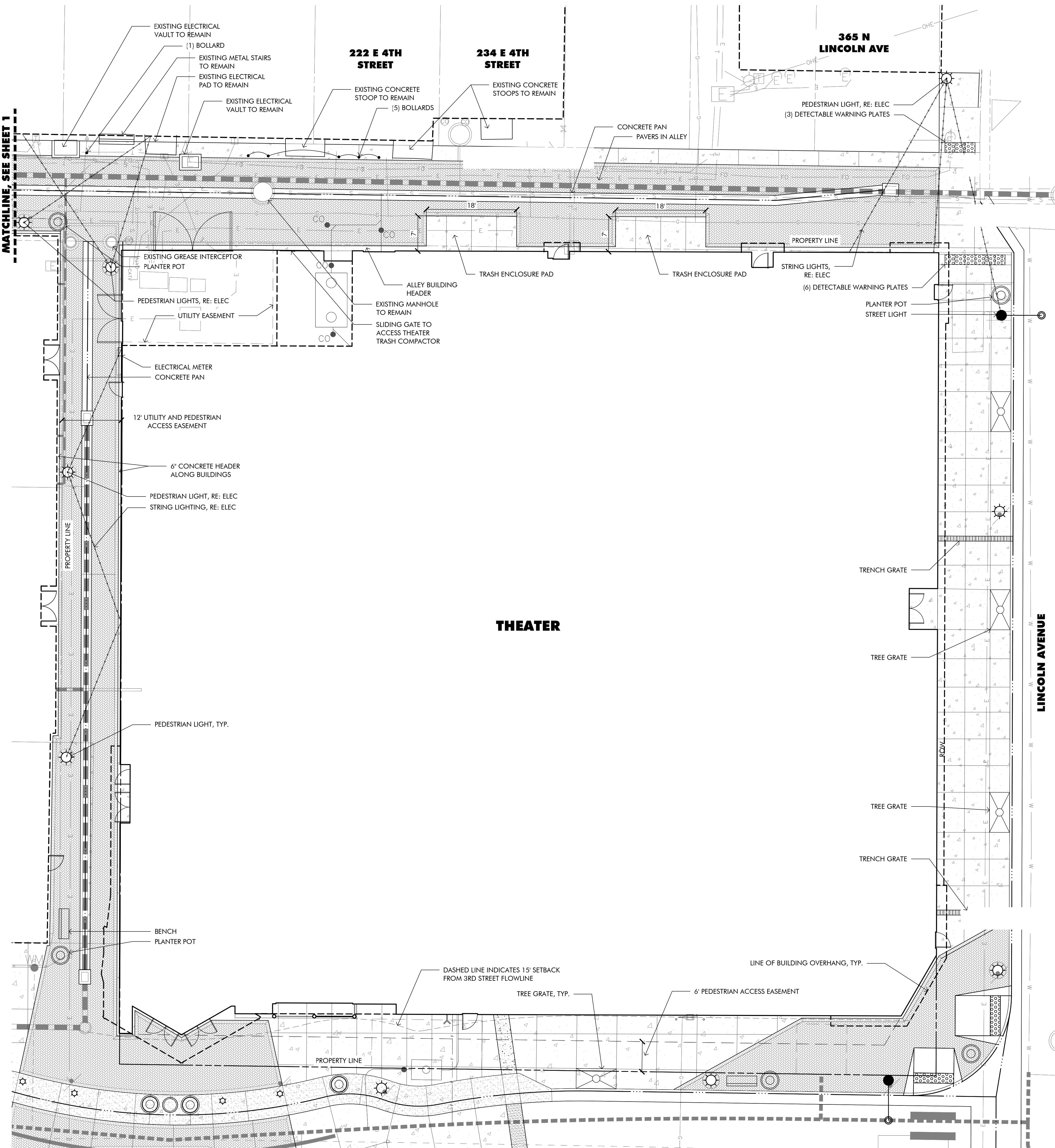
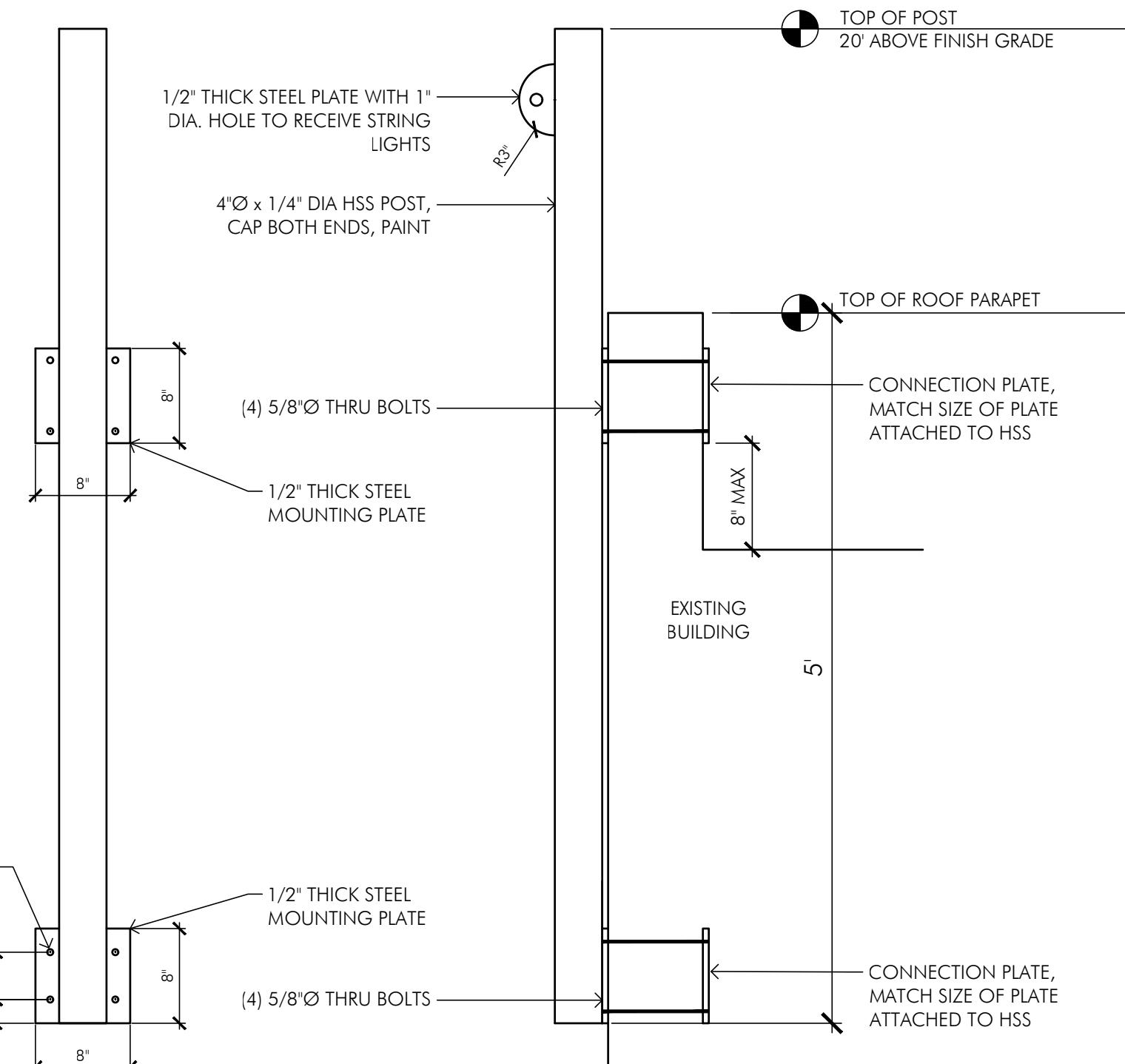
SHEET 2 OF 7

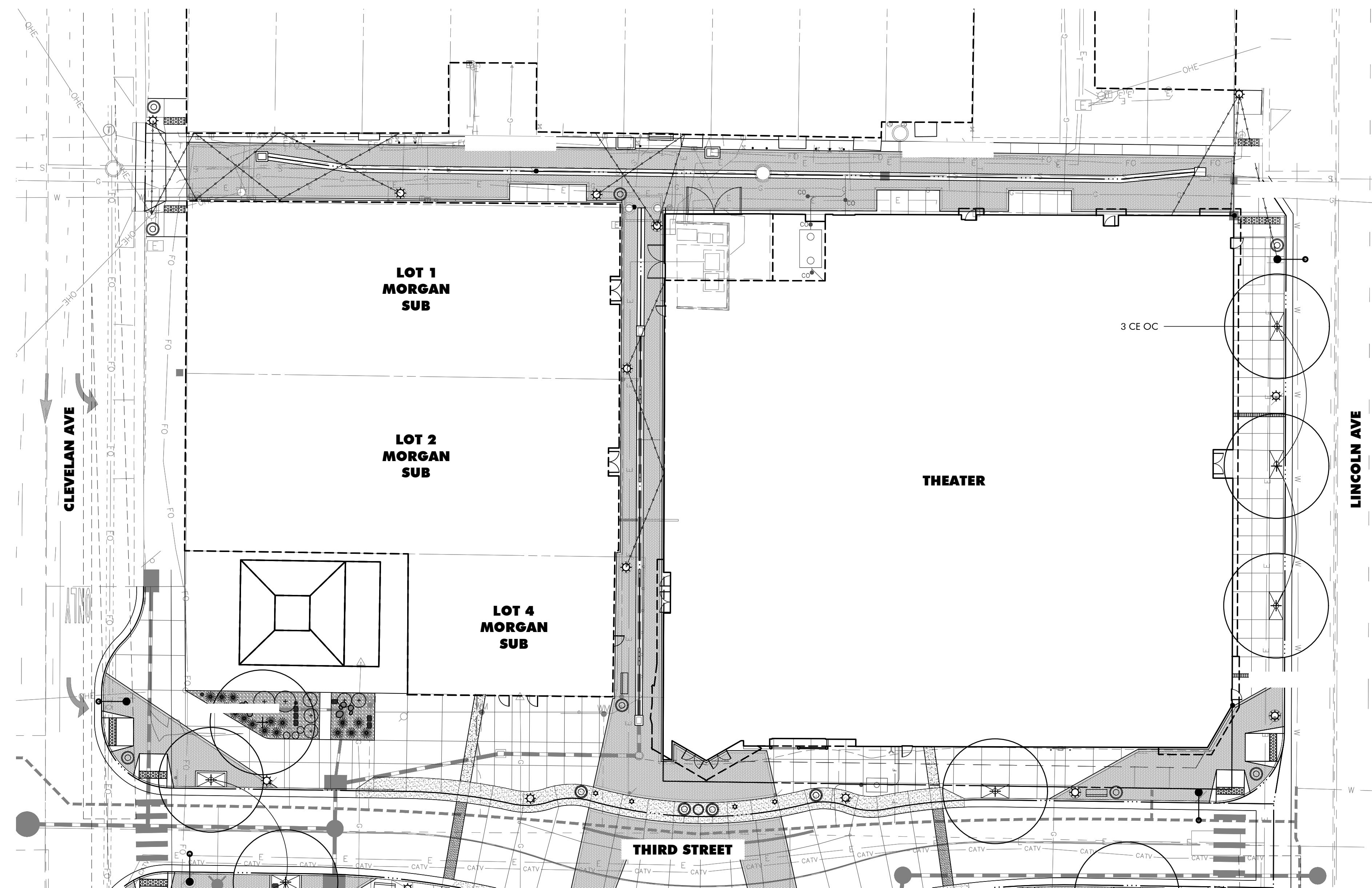
PC ATTACHMENT 4



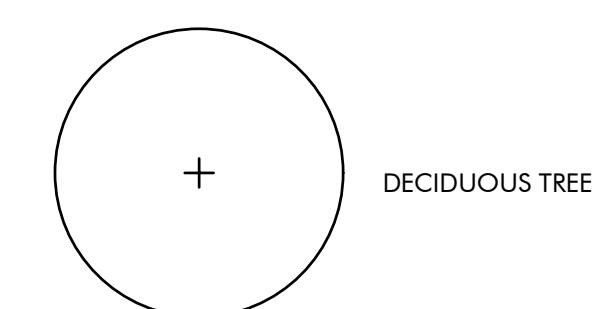
NOTES

- DETAILED AND DIMENSIONED SHOP DRAWINGS SHALL BE PROVIDED BY CONTRACTOR TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO FABRICATION
- STEEL CONNECTIONS SHALL BE MADE WITH A CONTINUOUS WELD. GRIND WELDS SMOOTH & FLUSH WITH ADJACENT SURFACES LEAVING NO BURRS OR SHARP EDGES
- PAINT POSTS, PLATES AND HARDWARE WITH HIGH PERFORMANCE PAINT...





LEGEND



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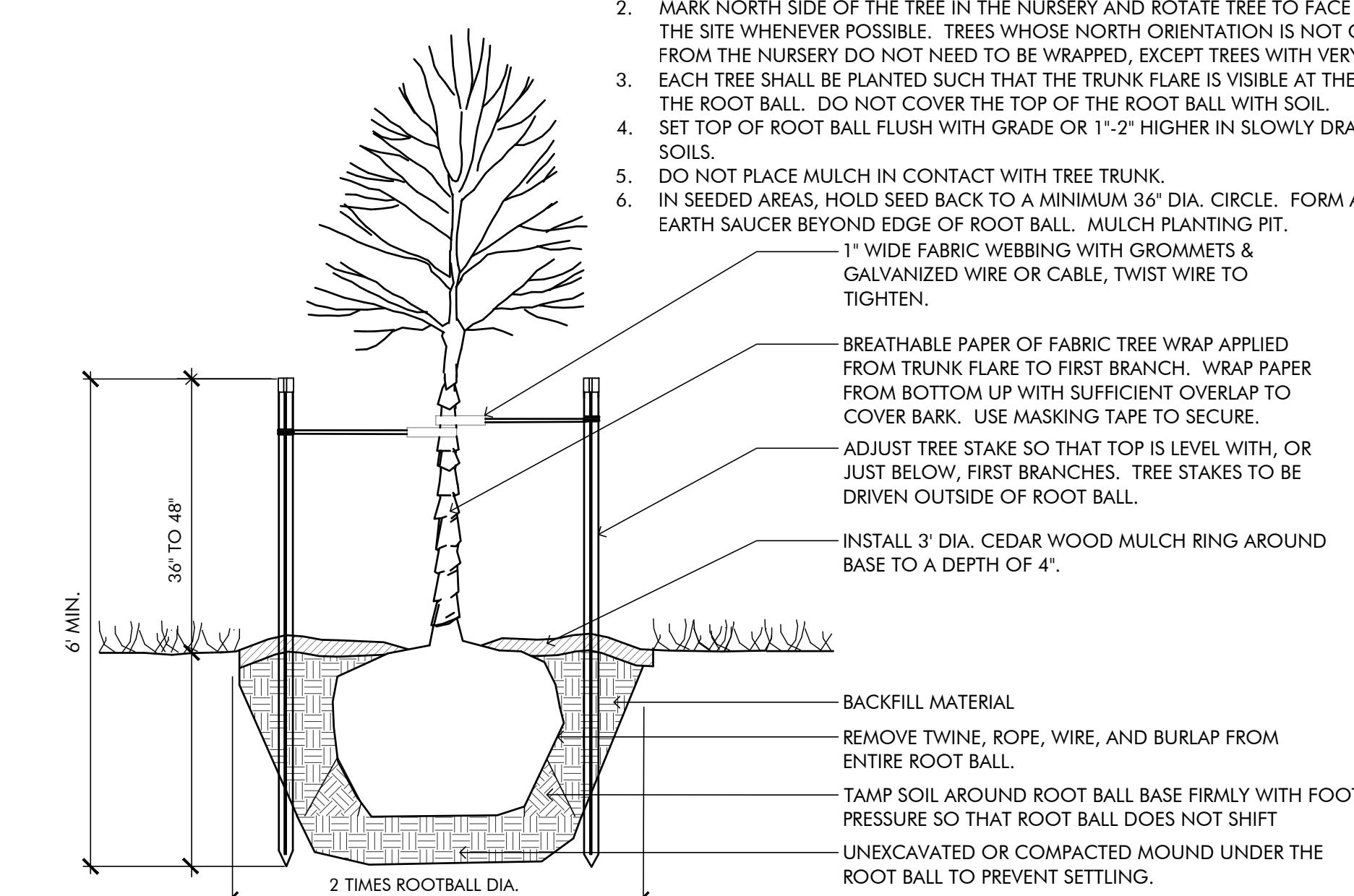
THE FOUNDRY THEATER

SITE DEVELOPMENT PLAN

LOVELAND, CO 80538

PLANT LIST

Deciduous Trees		Common Name	Size	Root	Quantity
Symbol	Botanical Name	Western Hackberry	2" Cal.	BB	3



DECIDUOUS TREE PLANTING

DRAWN: DE
CHECKED: MM
APPROVED: RS
DATE: JAN 2, 2018

THE FOUNDRY
ISSUED FOR:
SITE DEVELOPMENT
PLAN

SHEET TITLE:
LANDSCAPE PLAN

SCALE:
SHEET NUMBER

SHEET 3 OF 7

PC ATTACHMENT 4

TA

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THE FOUNDRY THEATER

SITE DEVELOPMENT PLAN

LOVELAND, CO 80538

DRAWN: JEC
CHECKED: RMT
APPROVED:
DATE: FEB 2, 2018

THE FOUNDRY
ISSUED FOR:
SITE DEVELOPMENT
PLAN
SHEET TITLE:
ARCHITECTURAL
ELEVATIONS
SCALE: 3/32" = 1'-0"
SHEET NUMBER

Notes

1. Signage to be approved by separate permit process.

South Elevation

Scale: 3/32" = 1'-0"

0 4 8 12 16 20

Key features and dimensions labeled in the drawing:

- Open grid steel structure
- Ridge 140'-10 1/2"
- 12'-1"
- 285
- THEATRE
- Prefinished fixed glass storefront systems
- Zinc Gray metal panels
- Prefinished metal fascia
- BO Eave 112'-0"
- 42'-4 1/2"
- Line of encroachment limits
- Prefinished fixed glass storefront and entrance doors
- TO Brick & Lobby Finish Floor 100'-0"
- Sidewalk at Wing Wall 98'-6" (77.00)
- Brick wing wall/bench to facilitate difference in grade
- Open grid steel structure
- Mechanical equipment beyond approx 40' behind parapet
- Hardcoat Stucco Finish with V-groove reveal joints as shown
- Internally illuminated sign
- Parapet 132'-2"
- Zinc Gray metal panels
- Mechanical Equipment beyond approx 75' behind parapet
- Prefinished metal cornice - 6' tall & 4" projection
- Open grid steel structure
- Exposed steel beam and posts
- Frosted glazing with illumination behind and blade sign
- "Red brick veneer - full height at corner
- Digital marquee
- BO Marquee 112'-0"
- Line of encroachment limits
- 10'-0" potential narrow space within brick trim
- "Iron Spot" brick veneer with soldier course
- Sidewalk at Corner 9'-6" (78.0)
- Line of grade
- Internally illuminated poster cases - recessed
- "Iron Spot" brick veneer with soldier course
- Sistemalux Lifter (or similar) sconces with narrow upper beam and wide lower beam
- Bollards - painted
- Gas Meter
- Frosted glazing in exit door
- Overhead door and steel railing
- Vestibule Doors 98'-6" (77.00)
- Fire Department Connection
- Exit Door 99'-8" (78.17)
- Fire Department Lock Box
- Deciduous Tree - Re: Landscape Plan

East Elevation

Scale: 3/32" = 1'-0"

Key features and dimensions labeled in the drawing:

- Ridge: 136'-6 1/2"
- Open grid steel structure
- Exposed steel beam and posts
- Frosted glazing with illumination behind and blade sign
- Red" brick veneer - full ht at corner
- Digital marquee
- BO Marquee: 112'-0"
- Line of encroachment limits
- Painted insulated steel emergency only Auditorium exit door recessed approx 6" into face of wall
- Sidewalk at Corner: 99'-6" (78.00)
- "Iron Spot" brick veneer
- 10'-0" Ø potential mural space within brick trim
- 12'-1"
- 7.5
- 8
- 7.5
- 6
- 5
- 3.5
- 3
- 2
- 1
- Zink gray metal panels
- Frosted glazing with illumination behind
- Outline of mechanical equipment behind mechanical screen
- Roof Drain Overflow Scuppers
- Faux window with frosted glass and illumination behind projecting 2'-0" from face of surrounding finishes
- Mechanical Screen: 136'-2"
- Satellite dishes beyond approx 73'-0" behind parapet
- Hardcoat Stucco Finish with V-groove reveal joints as shown
- Line of roof behind parapet
- Corrie: 131'-1"
- Zinc Gray metal panels
- Faux window with frosted glass and illumination behind projecting 2'-0" from face of surrounding finishes
- Prefinished metal fascia
- Line of encroachment limits
- Painted insulated steel emergency only Auditorium exit door recessed approx 1 3/4" into face of wall
- Sidewalk at Corner: 9'-5" (7.7)
- Exit Door: 99'-6" (78.00)
- Corridor Exit Door: 99'-0" (77.50)
- "Iron Spot" brick veneer with soldier course
- Frosted glazing in Corridor exit doors - no hardware - fully recessed
- Recessed poster cases internally illuminated
- Decorative brick trim
- Zinc Gray metal panels
- Sistemalux Lift (or similar) sconces with narrow upper

North Elevation

Architectural drawing showing the North Elevation of a building. The drawing includes a scale bar at the bottom and various labels with callouts pointing to specific features. Key features include:

- Brick Veneer:** "Red" brick veneer and "Iron Spot" brick veneer with soldier course.
- Entrance:** Exit Door 99'-0" (77.50) and Delivery Door 99'-5" (78.25).
- Roofline:** Zinc Gray corrugated metal mechanical screen beyond, Prefinished metal fascia, and Prefinished metal cornice - 6" tall & 4" projection.
- Parapet:** Parapet 133'-2" and Line of roof behind parapet.
- Equipment:** Mechanical Equipment approx 67'-0" behind parapet, Zinc Gray metal panels, Projection Level Equipment Access Panel, and a Trash compactor within.
- Lighting:** Satellite dishes beyond approx 55'-0" behind parapet.
- Other:** Hardcoat Stucco Finish with V-groove reveal joints as shown, Hardcoat Stucco Finish with V-groove reveal joints as shown, and Potential Mural space within brick trim.

Dimensions shown in the drawing include:

- 136'-2" (Mechanical Screen beyond)
- 131'-10" (Cornice)
- 4'-0" (Cornice)
- 32'-5" (BO Marquee beyond)
- 112'-0" (BO Marquee beyond)
- 32'-7 1/4" (Zinc Gray metal panels)
- 33'-8" (TOS screen Wall)
- 99'-5" (77.92) (Sidewalk at Corner)
- 99'-0" (77.50) (Exit Door)
- 99'-5" (77.92) (Exit Door)
- 99'-9" (78.25) (Delivery Door)
- 9'-6" (7.80) (Gate at Corner)

TA

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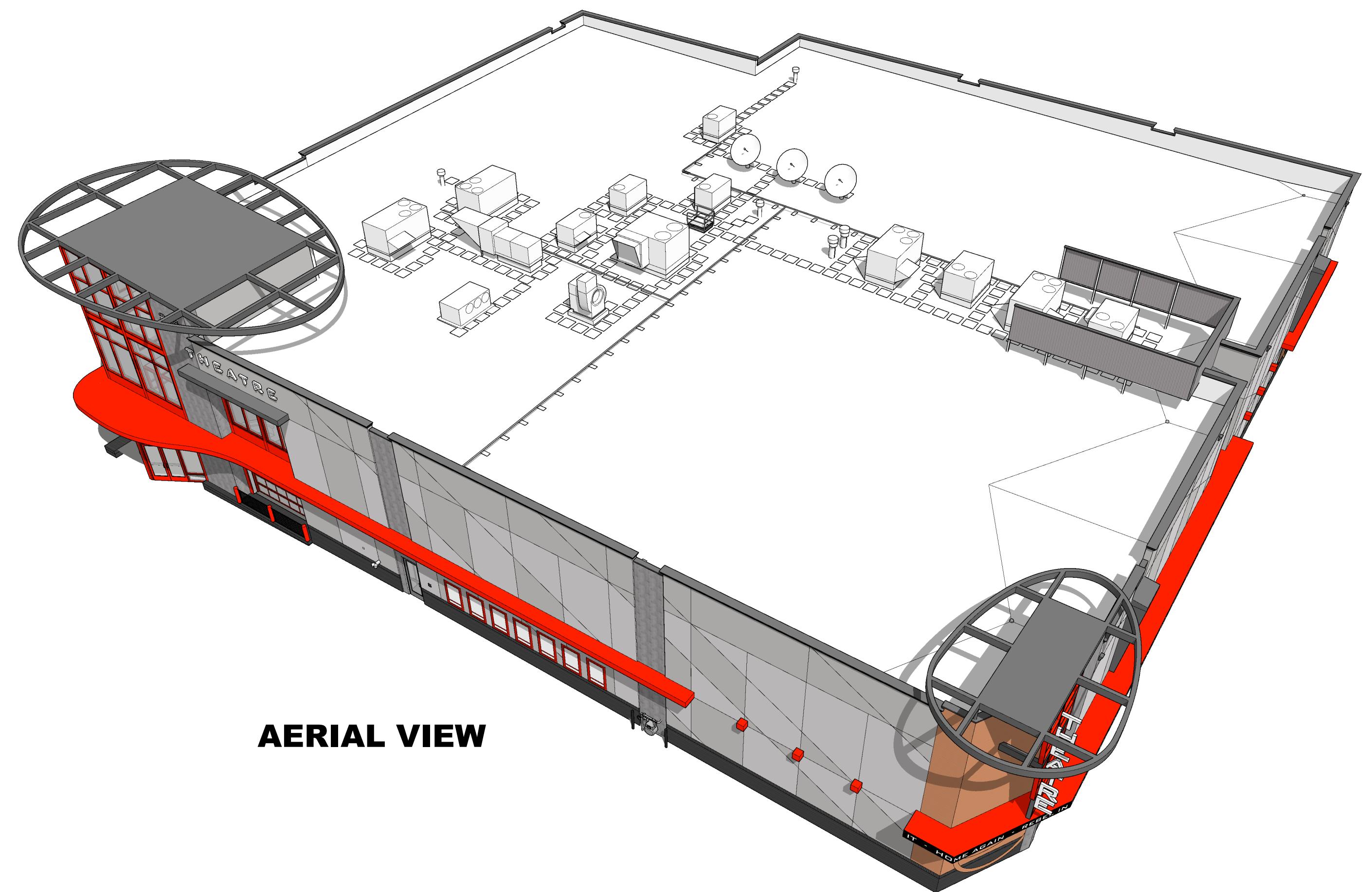
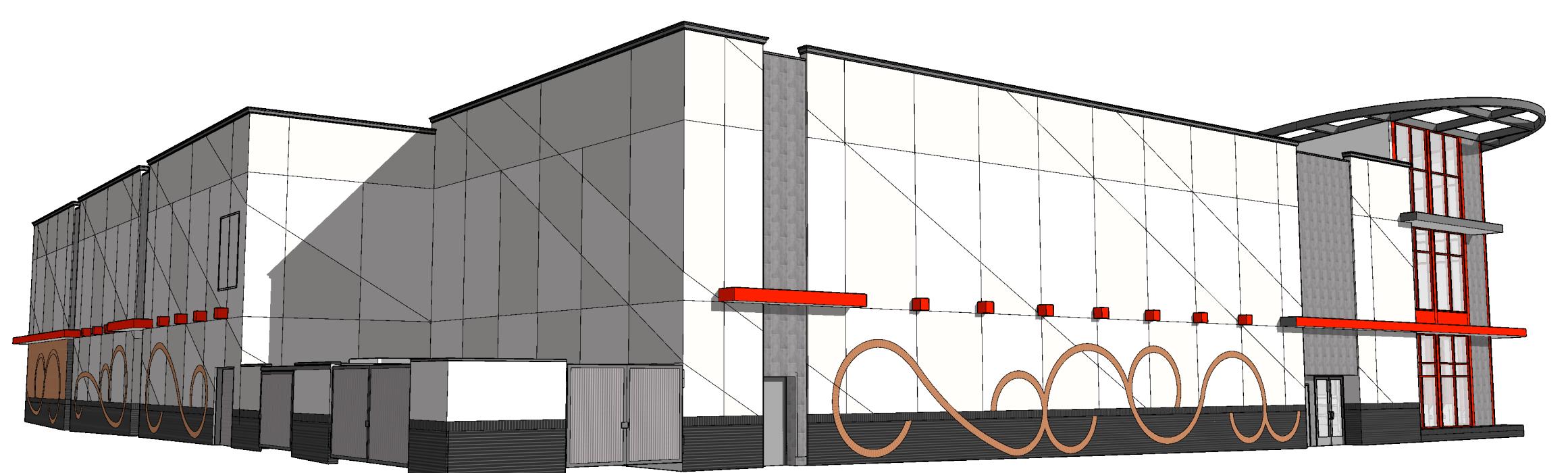
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THE FOUNDRY THEATER

SITE DEVELOPMENT PLAN

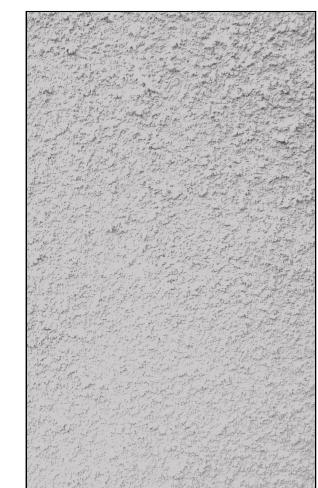
LOVELAND, CO 80538

**AERIAL VIEW****SOUTHWEST****SOUTHEAST****NORTHEAST****NORTHWEST**

FACE BRICK
Lakewood Brick Co
"Medium Red Grain"



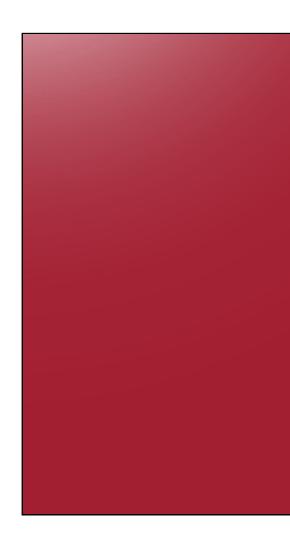
BASE BRICK
Interstate Brick
"Obsidian L-3"
aka "Iron Spot"



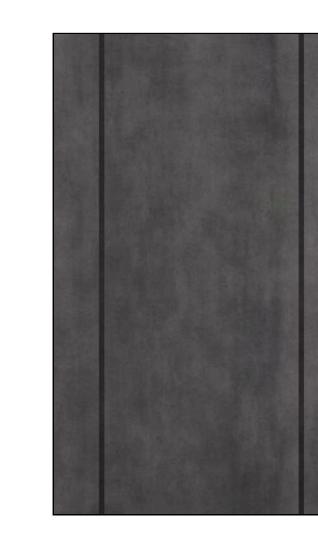
LIGHT COLOR
STUCCO



DARKER COLOR
STUCCO



WINDOW FRAMES
AND BRAKE METAL
Berbridge
"Deep Red"



METAL SIDING AND
ROOF SCREEN
Berbridge
"Zinc Grey"



METAL CORNICES AND
GRID STRUCTURE "HATS"
Berbridge
"Charcoal Grey"

Exterior Finish Materials and Colors

Notes

1. Signage to be approved by separate permit process.

DRAWN: JEC
CHECKED: RMT
APPROVED:
DATE: FEB 2, 2018

THE FOUNDRY
ISSUED FOR:
SITE DEVELOPMENT
PLAN
SHEET TITLE:
PERSPECTIVES
AND MATERIALS
SCALE: Not to Scale
SHEET NUMBER
SHEET 5 OF 7

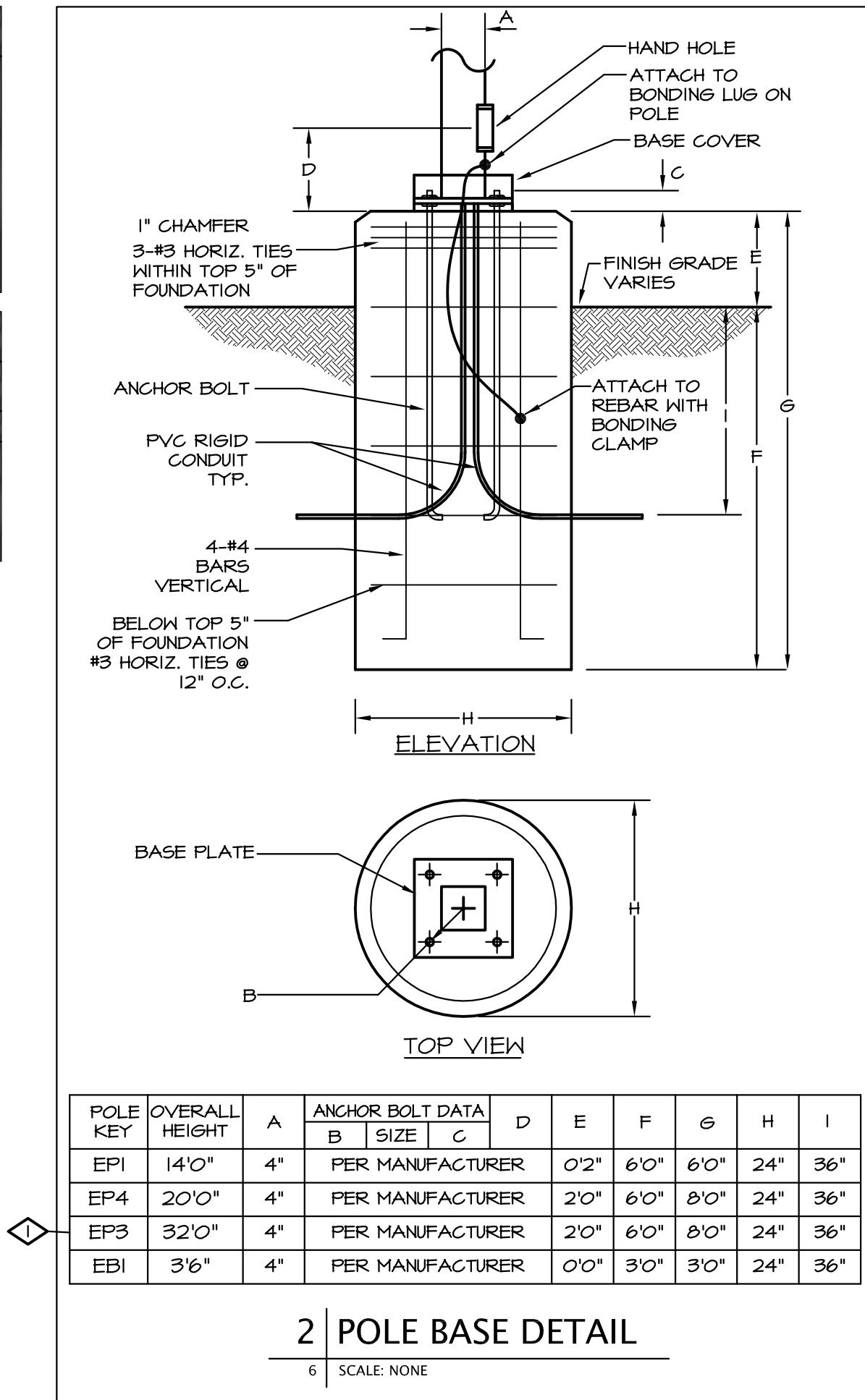
PC ATTACHMENT 4

THE FOUNDRY THEATER

SITE DEVELOPMENT PLAN

LOVELAND, CO 80538

POLE BASE GENERAL NOTES			
A. REFER TO SITE PLAN FOR PEDESTAL LIGHTING BASE SPECIFICATIONS FOR GROUNDING AND CONDUIT. ALL BASES TO BE PROVIDED WITH DOUBLE NUTS ON BOLTS INCLUDING FLAT WASHERS. BOLT AND CONDUIT LENGTHS TO MATCH ARCHITECTURAL TREATMENT OF TOP OF POLE FOUNDATIONS. TREATMENT TO BE DONE IN FIELD. EXACTING MEASUREMENTS ARE PROVIDED COORDINATE WITH ARCHITECTURAL AND CIVIL FOR EXACT.			
KEYNOTE LEGEND			
<table border="1"> <tr> <td>KEY</td> <td>VALUE</td> </tr> </table> <p>I. USE WITH BREAKAWAY BASE, STOCK NUMBER 261-0010. REFER TO CITY OF LOVELAND STANDARDS FOR APPROVED MANUFACTURERS, CATALOG NUMBERS, AND OTHER DETAILS.</p>		KEY	VALUE
KEY	VALUE		



TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	QTY	LAMP WATT	TYPE	LUMEN OUTPUT	COLOR TEMP	MAX WATTS	CUTOFF	MOUNTING INFORMATION	NOTES	
EPI	PEDESTRIAN LED BOLLARD	EATON INV	ABB-BI-LED-42-DI-5-XX-0030	UNV	1	16	LED	16	3000K	711	B1-U1-G1	POLE GROUND	42"	
ES3	EXTERIOR LED STRING LIGHTING	AMERICAN LIGHTING	LS-1-15-BK, PG30F-E12-VW	120/24	1	0.5	LED	14	2700K	1200	NOT VERIFIED	SUSPENDED	12'-0"	1
EPI-A	PEDESTRIAN-SCALE LED POST-TOP	EATON INV	ARB-BI-LED-DI-T5-XX-0030	UNV	1	24	LED	2300	3000K	24	B2-U1-G1	POLE GROUND	14'-0"	2
EP4-A	ALLEY LED POST-TOP WITH CUSTOM 20' POLE, WITH LIGHT FIXTURE ATTACHED TO HALL MOUNT ARM AT 14' TOF	EATON INV	PDR-ARB-BI-LED-DI-T5-XX-0030	UNV	1	24	LED	2300	3000K	24	B2-U1-G1	POLE GROUND	14'-0"	3
EP4-A	ALLEY LED POST-TOP WITH CUSTOM 20' POLE, WITH LIGHT FIXTURE ATTACHED TO HALL MOUNT ARM AT 14' TOF WITH 30° PLANTER ARMS	EATON INV	PDR-ARB-BI-LED-DI-T5-XX-0030	UNV	1	24	LED	2300	3000K	24	B2-U1-G1	POLE GROUND	14'-0"	2
EW1	DECORATIVE THEATER WALLSCONCE WITH SMALL UPLIGHT BEAM	SISTEMALUX	S.5033H-UNV-14	UNV	1	18.2	LED	311	3000K	18.2	NOT CUTOFF	SURFACE WALL	14'-0"	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), WFD - WALL FIXTURE DEPTH

GENERAL NOTES:

A. EG TO CONFIRM ALL FIXTURE FINISHES WITH ARCHITECT/OWNER PRIOR TO PURCHASE.

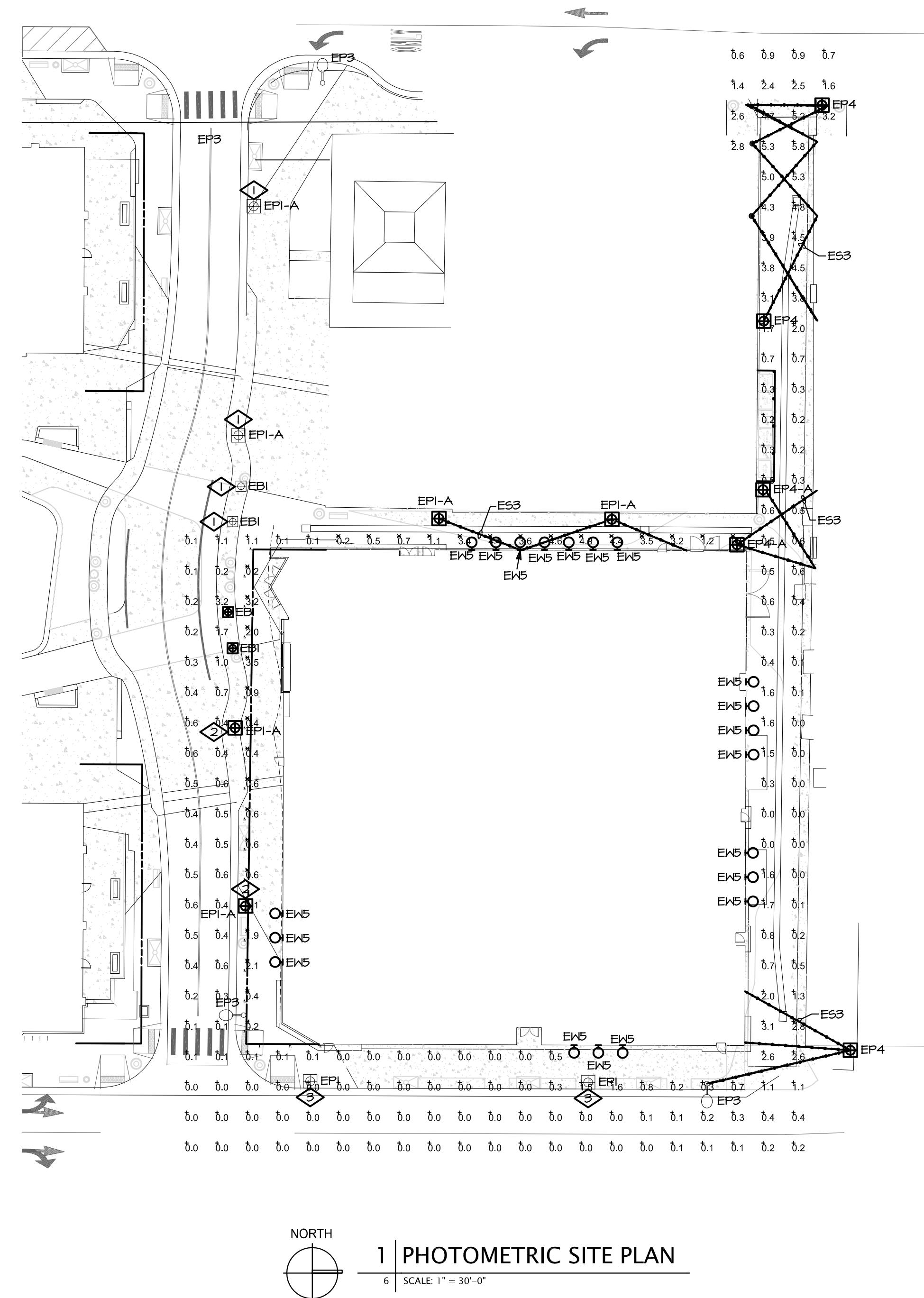
SPECIFIC NOTES:

1. EG SHALL PROVIDE ALL PARTS AND PIECES NECESSARY FOR A FULLY FUNCTIONAL SYSTEM INCLUDING, BUT NOT LIMITED TO, TRANSFORMERS, POWER FEEDS, CONNECTORS, ETC.

2. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

3. EG TO CONTACT MANUFACTURER ABOUT CUSTOM MOUNTING BRACKET. MOUNT FIXTURE HEAD SUCH THAT IT MAINTAIN AN OVERALL FIXTURE HEIGHT OF 14', BUT THE POLE IS TO BE 20' IN OVERALL HEIGHT.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
3rd St Sidewalk	X	1.2 fc	3.5 fc	0.2 fc	17.5:1	6.0:1
NS Alley	X	2.6 fc	4.9 fc	0.2 fc	24.5:1	13.0:1
Property Line	+	0.9 fc	4.3 fc	0.1 fc	43.0:1	9.0:1
Site	+	1.0 fc	5.8 fc	0.0 fc	N/A	N/A











Current Planning Division
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MEMORANDUM

February 21, 2018

To: Planning Commission

From: Bob Paulsen, Current Planning Manager

Subject: 2017 Accomplishments & 2018 Goals

At the beginning of each year, the Planning Commission reviews its accomplishments from the previous year and establishes goals for the new year. **Below I have provided a draft list of items for the Commission's review and adjustment.**

Planning Commission Accomplishments in 2017

- Conducted 20 regular meetings in 2017 that included 39 separate agenda items and 29 public hearings.
- Conducted 21 study sessions on various components of the Unified Development Code. The UDC represents the first major rewrite of Loveland's 40 year old development standards. In this process, the Commission worked closely with Planning staff and the lead project consultant in developing innovations that form the core structure of the new code.
- Conducted 2 Field trips to view and assess local commercial and multi-family development.
- Conducted a joint meeting with the Larimer County Commission and the Larimer County Planning Commission, working to resolve the disputed portion of Loveland's Growth Management Area (GMA)--which was officially resolved.
- Forwarded a recommendation to City Council requesting that 2 positions on the Planning Commission be available to residents of the GMA--recommendation failed.
- Had 1 Planning Commissioner elected to the City Council.
- Supported downtown revitalization:
 - Approved 3 phases of The Foundry project in separate public hearings.
 - Recommended approval of the DDA Plan of Development to City Council
- Supported affordable housing:
 - Reviewed and recommended changes to the Affordable Housing Code
 - Reviewed and approved an expansion to the Mirasol affordable senior housing project
- Reviewed and approved

- Guided the development and adoption of Create Loveland, the City's fully updated comprehensive plan. Adoption of Create Loveland is the culmination of a multi-year planning effort that included extensive citizen participation and significant Planning Commission input. This important long-term plan sets a policy framework for community growth and development, establishing a community vision and a foundation for more detailed planning efforts.
- Guided the development and adoption of the Flexible Zoning Overlay Code. These new zoning standards are designed to facilitate the development of sites challenged by disinvestment or site constraints, giving developers the option to create their own development standards. This flexibility is balanced by the opportunity for neighboring property owners and residents to provide input in the design and approval process.
- Established improved communication and cooperation between the City and other government entities, including Thompson School District and Larimer County. Approved a new campus for Loveland Classical Schools, the Larimer Humane Society and Larimer County offices on Denver Avenue. The Commission is dedicated to building upon the significant cooperation achieved in 2015 and 2016 in order to foster a better community.
- Helped plan the new Development Center that opened in May of 2016. The new facility is designed to better serve the development community and Loveland citizens by assembling the City's development permitting operations in a central facility.
- Facilitated the development of additional affordable senior housing units with approval of the Mirasol Community expansion proposal.
- Provided initial input on the **Downtown Foundry** project that is scheduled for public hearing in the first quarter of 2017.

Planning Commission Goals for 2018

- Conduct final study sessions and the public hearing on the Unified Development Code and forward a recommendation onto the City Council for adoption in mid-2018.
- Increase collaboration with other City boards and commissions, working to share information and improve cooperation that will foster the development of better policies and a more informed public. Boards that may be the best collaboration candidates include the Historic Preservation Commission, the Transportation Advisory Board and the Construction Advisory Board.
- Continue fostering cooperation and collaboration with other government entities, including the Thompson School District and Larimer County. Pursue opportunities where collaboration will foster ongoing community benefits.
- Conduct field visits with staff that help the Commission guide the development of site and architectural standards that will be included in the Unified Development Code.
- Obtain training on how to develop site and architectural standards that achieve community goals in order to guide development of the Unified Development Code.
- Downtown Revitalization: Monitor and remain active in downtown planning and development initiatives.
 - Schedule regular staff briefings with the Commission

Planning Commission Accomplishments & Goals

- Participate on committees and in workshops
 - Monitor progress made by the Downtown Development Authority & the Loveland Downtown Team
- Implementation of the Loveland 287 Strategic Plan: Obtain regular staff updates on implementation efforts, ensuring that adequate resources and attention is given to corridor revitalization.

Concept Review Effectiveness Survey

BACKGROUND

In early February of 2018, the Current Planning Division sent out emails to approximately 200 customers who had participated in a Concept Review meeting in 2016 or 2017. Each customer was asked to complete a satisfaction survey through Survey Monkey on their Concept Review experience.

To date, 57 completed surveys have been returned. Based on the pattern of returns, at least a few more returned surveys are expected.

Concept Review meetings are designed to assist developers or others in determining the feasibility of their development idea and to identify the process needed to acquire City approval. These meetings are free and include City reviewers that participate in the development review process, including Planning, Transportation, Water/Wastewater, Stormwater and Fire. While Concept Review meetings are designed to assist customers with a wide range of projects, from major subdivisions to modest building expansions, it is important to note that the Concept Review process is not geared to Building Permit customers.

SURVEY RESULTS (as of Feb 14th)

Response Rate: Approximately 28% to date

Question 1: Was the CR process helpful:

- 36 Yes
- 14 Somewhat
- 5 No

Question 2: Were the written comments understandable and useful

- 26 Yes
- 7 Somewhat
- 1 No

Question 3: Did the Concept Review provide a clear map for future steps

- 22 Yes
- 9 Somewhat
- 3 No

Question 4: Rate Staff helpfulness

- 18 Very Satisfied
- 13 Satisfied
- 3 Dissatisfied
- 0 Very Dissatisfied

Question 5: Rate Staff Knowledge

- 17 Very Satisfied
- 13 Satisfied
- 2 Dissatisfied
- 1 Very Dissatisfied

Concept Review Effectiveness Survey

Question 6: Rate Staff Preparedness

- 18 Very Satisfied
- 13 Satisfied
- 3 Dissatisfied
- 0 Very Dissatisfied

Question 7: Rate the overall process

- 15 Satisfied
- 11 Satisfied
- 3 Dissatisfied
- 2 Very Dissatisfied