

**LOVELAND HISTORIC PRESERVATION COMMISSION
MEETING AGENDA
MONDAY, July 17, 2017 6:00 PM
CITY COUNCIL CHAMBERS
500 E. THIRD STREET**

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“La Ciudad de Loveland está comprometida a proporcionar igualdad de oportunidades para los servicios, programas y actividades y no discriminar en base a discapacidad, raza, edad, color, origen nacional, religión, orientación sexual o género. Para más información sobre la no discriminación o para asistencia en traducción, favor contacte al Coordinador Título VI de la Ciudad al TitleSix@cityofloveland.org o al 970-962-2372. La Ciudad realizará las acomodaciones razonables para los ciudadanos de acuerdo con la Ley de Discapacidades para americanos (ADA). Para más información sobre ADA o acomodaciones, favor contacte al Coordinador de ADA de la Ciudad en bettie.greenberg@cityofloveland.org o al 970-962-3319”.

6:00 PM

I.	CALL TO ORDER	
II.	PLEDGE OF ALLEGIANCE	
III.	ROLL CALL	
IV.	WELCOME ISAAC LUJAN, NEW STUDENT COMMISSIONER	
V.	APPROVAL OF THE AGENDA	
VI.	APPROVAL OF PREVIOUS MEETING MINUTES	
VII.	REPORTS	6:05-6:15
a.	Citizen Reports	
	<i>This agenda item provides an opportunity for citizens to address the Commission on matters not on the consent or regular agendas.</i>	
b.	Council Update	
c.	Staff Update	
VIII.	REGULAR AGENDA	
a.	Motion for Alternate HPC Member	6:15-6:30
b.	HPC Meeting Time Change	6:30-6:40
c.	Pulliam Designation and Update	6:40-6:50
	• Second Reading of Designation scheduled for August 15 City Council Meeting	
	• Letter of Support from Norm Rehme	
	• Plan Phase I Approval Motion	
d.	Bill Reed Middle School Centennial (Stacee Kersley)	6:50-7:00
	• Corn Roast Parade Participation with FAN	
	• Heart Fundraiser	
	• Saturday May 5 Tour de Pants	
	• Subcommittee (Next Meeting July 18 10:00am)	
e.	Zero Percent Loan Program (Motion on Term)	7:00-7:10
f.	Saving Places Presentation 2018	7:10-7:30
g.	Set Next Meeting's Agenda/Identify Action Items	7:30-7:35
VIII.	COMMISSIONER COMMENTS	7:35-7:45
	<i>This agenda item provides an opportunity for Commissioners to speak on matters not on the regular agenda.</i>	
IX.	ADJOURN	

1 **City of Loveland**
2 **Historic Preservation Commission**
3 **Meeting Summary**
4 **May 15, 2017**
5

6 A meeting of the Loveland Historic Preservation Commission was held Monday, May 15th, 2017 at 6:00 P.M.
7 in the City Council Chambers, 500 E 3rd Street Loveland, CO. Historic Preservation Commissioners in
8 attendance were Zachary Askeland, Jim Cox, Stacee Kersley, Amanda Nash, Paula Sutton and Jon-Mark
9 Patterson. Councilor Liaison, John Fogle, Nikki Garshelis and Cita Lauden of Development Services were also
10 present.

11
12 **Guests:** *Mike Perry, and Sharon Danhauer, Loveland Historical Society*
13

14 **CALL TO ORDER**

15 *Commission Chair Patterson called the meeting to order at 6:03 p.m.*
16

17 **APPROVAL OF THE AGENDA**

18 *Commissioner Cox made a motion to approve the agenda. Commissioner Nash seconded the motion and it*
19 *passed unanimously.*
20

21 **APPROVAL OF PREVIOUS MEETING MINUTES**

22 *Commissioner Sutton made a motion to approve the April meeting minutes. Commissioner Nash seconded the*
23 *motion and it passed unanimously.*
24

25 **CITIZEN REPORTS**

26 *Mike Perry, with the Loveland Historical Society, expressed his thoughts regarding the*
27 *GW Train Depot. He suggested we wait to give Granby a chance to finalize their contract with OmniTrax.*
28 *Sharon Danhauer, Loveland Historical Society, said she thought it was important to try to keep the Depot in*
29 *Loveland.*
30

31 **CITY COUNCIL UPDATE**

32 *Mayor Pro Tem Fogle shared that the Foundry project continues to move forward. He also shared that the*
33 *Broadband issue will be returning to City Council in June.*
34

35 **PULLIAM SUBCOMMITTEE**

36 *Chair Patterson, shares that Phase 1 of the Pulliam renovation is moving along. Commissioner Sutton,*
37 *suggests a survey of the materials in the Pulliam Building in the event that materials are lost during the*
38 *renovation.*
39

40 **STUDENT RECRUITMENT**

41 *Nikki Garshelis reports that there were four Student Commissioner applicants. Interviews are underway.*
42

43 **STAFF UPDATE**

44 *Nikki Garshelis reviewed the staff report, which included:*

45 • Great Western Train Depot
46 • Timberlane Farm Museum
47 • Uhrich Residence 948 N. Jefferson Avenue Nomination
48 • CLG Regional Forum Hosted by Loveland
49 • HPC Budget as of 5.15.17

50 • Pulliam Committee Building Working Group
51

52 **CONSIDERATION OF NEW BUSINESS**

53 **TOUR DE PANTS REVIEW**

54 A discussion about the success of the Tour de Pants event ensued. Commissioner Cox will bring the pictures
55 to the next meeting.

56 **ELECTION OF VICE CHAIR**

57 *Commissioner Kersley, made a motion to elect Commissioner Askeland as the Historic Preservation
58 Commission Vice Chair. Commissioner Cox seconded the motion and it passed unanimously.*

59 **DOWNTOWN DESIGN STANDARDS**

60 There was a discussion about the City's Downtown Design Standards. The LDP and DDA are requiring plans
61 before granting money for Downtown Businesses.

62 **SAVING PLACES PRESENTATION 2018**

63 There was a discussion that Commissioners bring their ideas for the 2018 Saving Places Presentation to the
64 next meeting in preparation for the event.

65 **NEXT MEETING'S AGENDA**

66 1. Tour de Pants Review with Photos
67 2. Discuss Property Outreach to add Bill Reed Middle School to Historic Register
68 3. HPC participation in Cherry Pie Festival and Corn Roast Festival

69
70 **Meeting adjourned at 7:32 p.m.**

LOVELAND HISTORIC PRESERVATION COMMISSION

STAFF UPDATE

Meeting Date: July 17, 2017
To: Loveland Historic Preservation Commission
From: Nikki Garshelis, Development Services

Format: If a more in-depth discussion or extensive questions on a specific item is desired, staff requests that the HPC Chair establish if it is the Commission's consensus to have a longer discussion. Staff will be happy to answer questions on any item with individual commissioners after the meeting. *If the staff update indicates that staff will be pursuing a particular course of action, no comment from the Commission indicates that the Historic Preservation Commission is supportive of that course of action.*

Isaac Lujan: Isaac was selected from four student candidates as the next HPC student member. He is in the 10th grade at Loveland high school and is very interesting in an architectural career. City Council approved his appointment at the July 5th City Council agenda.

Open HPC Position: Three HPC interviews were held on June 29, 2017. The fourth interview is in the process of being scheduled at this writing.

Timberlane Farm Museum: City Council and City staff toured the Jessup Farm in Fort Collins to gather ideas on how to assist the Timberlane Farm Board with their request to make the farm sustainable while remaining a community venue and museum. As a result of the tour, a historic preservation private developer has been contacted to review the museum property. Their specialty is to develop historic properties with the use of tax credits, grants and other incentives.

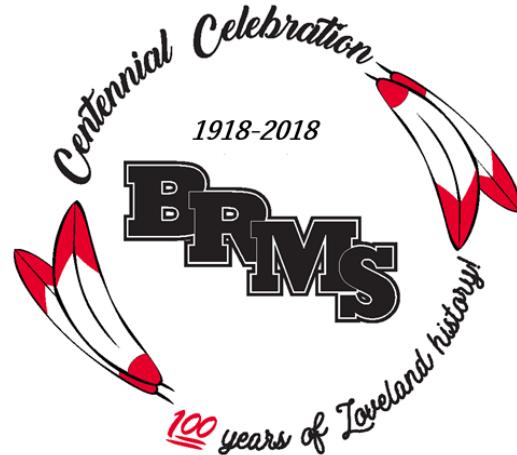
CLG Regional Forum Hosted by Loveland: On Friday July 28 from 9:00am-Noon, in the Development Center, Loveland will host the annual CLG Regional Forum. The forum will be facilitated by History Colorado and all regional historic preservation commissions and staff liaisons will be invited. It is an informal meeting to share ideas and discuss mutual issues and concerns with other preservation commissioners and staff. If you can attend, please reserve this meeting on your calendars.

IOOF/Majestic Opera House Grant: The State Historical Fund has denied the grant application for the window replacement. The SHF encouraged us to resubmit the application in October but the IOOF has decided to do the work without grant assistance.

Pulliam Community Building Work Group. See attached minutes from the June 6, 2017 meeting. Plans are attached for review and approval recommendation for the July 17 HPC Meeting.



JOIN US ON **SATURDAY**
MAY 5TH 2018 10:00AM to 3:00PM



FOR A SPECIAL **CELEBRATION** OF THE **100** YEAR
ANNIVERSARY OF **BILL REED MIDDLE SCHOOL**.
TOURS OF THE SCHOOL, HISTORY, GAMES,
FOOD, ARTISAN BOOTHS, COMMUNITY BOOTHS
AND A SPECIAL DEDICATION OF A LOVELAND
HEART SCULPTURE COMMEMORATING THE
YEARS OF HISTORY OF THIS IMPORTANT
LOVELAND LANDMARK!

FOR MORE INFORMATION ABOUT THIS EVENT GO TO

WWW.CITYOFLOVELAND.ORG/HISTORICPRESERVATION

5 Reasons to be a Historic Preservation Fan

1. Historic buildings are physical links to our past and give us a sense of place. We need our collective memory.
2. Historically significant buildings contribute to our city's cultural and economic well-being.
3. The greenest building is the one that has already been built.
4. Reuse projects have shown that old buildings can function in ways their original builders never dreamed.
5. Historic designations boost property values.

Sponsored by the City of Loveland Historic Preservation Commission



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Need Help?

3.5" Square 45 pt. Natural Drink Coaster

ITEM# COA0197

Quantity	1000	ITEM SUBTOTAL	200.00
Product Color	Natural	SETUP	30.00
Imprint Method	One Color Screen Print on One Side	ZIP CODE	
Imprint Colors	Black PMS Black	SHIPPING & HANDLING	Call for Estimate
Artwork	1 files	SUBTOTAL	230.00
Text	NONE		



First Reading: _____

Second Reading: _____

ORDINANCE NO. _____

**AN ORDINANCE AMENDING TITLE 15 OF THE LOVELAND MUNICIPAL CODE
BY REPEAL AND RE-ENACTMENT OF SECTION 15.56.180 REGARDING THE
REHABILITATION LOAN PROGRAM**

WHEREAS, The Rehabilitation Loan Program (the "Program") was established in 2002 pursuant to Ordinance No. 4724 as part of the Historic Preservation Ordinance to encourage exterior preservation and rehabilitation, and maintenance of basic systems of structures designated to the Loveland Historic Register; and

WHEREAS, through the Program, owners of historic landmarks in the City are eligible for zero-percent interest loans of up to \$5,000 for a residential structure and \$10,000 for a commercial structure, though a match of 100% of the loan value is required; and

WHEREAS, the Program was intended to be a revolving loan program with repayment due upon sale or transfer of the property, but nearly all of the loans were dispersed to organizations that seldom sell property resulting in exhaustion of Program funds by 2007 and no loan repayments; and

WHEREAS, in October 2007, City Council sought remedy the situation by adopting Ordinance No. 5247 amending the Program to require applicants to leverage Program funds using tax credit and state grants, to make the loan due upon sale or transfer of the property or after five years whichever occurred first, and to require interest payments on any amount not paid when due; and

WHEREAS, although the Ordinance was adopted, the amended Program language was never written into Title 15 and the provisions never went into effect, and in 2011 an amendment to the City Code pursuant to Ordinance No. 5610 repealed and re-enacted Chapter 15.56 carrying forward the prior Program language, thereby invalidating the 2007 amendment; and

WHEREAS, the City desires to make the Program more resilient and allow more property owners the opportunity to apply for loan funds by adopting provisions similar to those adopted in 2007; and

WHEREAS, City Council finds that updates to the Program in Section 15.56.180 of Title 15 of the Loveland Municipal Code are necessary and required in the interest of the health, safety and welfare of the people; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LOVELAND, COLORADO:

Section 1. Section 15.56.180 of the Loveland Municipal Code is repealed and re-enacted to read in full as follows:

15.56.180 Rehabilitation loan program.

- A. Purpose. There is hereby established a landmark rehabilitation loan program created for the valid public purpose of increasing the quality, integrity, and permanence of the City's stock of historic landmarks for the enjoyment and benefit of present and future generations of citizens of the City by making available to the owners of locally designated landmarks or contributing structures in local landmark districts a source of funding for exterior rehabilitation of such structures.
- B. Funding. The Commission shall administer the program for awarding zero-interest loans for the rehabilitation of local landmark structures and/or contributing structures in local landmark districts. The Commission may promulgate procedural rules and regulations for the efficient administration of the program. No such loan shall exceed the sum of five thousand dollars (\$5,000.00) for a residential property or ten thousand dollars (\$10,000.00) for a commercial property unless the City Council, by ordinance or resolution, authorizes a larger loan. All loans shall be funded solely from those funds held by the City for financial support of the program in the General Fund, and all loans shall be expressly contingent upon the availability of sufficient funds to support the loan. Loan recipients shall, as a condition of obtaining the loan, agree to repay the loan in full upon sale or transfer of the property, or after five years whichever occurs earlier. All loan repayments shall be returned to the landmark rehabilitation loan program.
- C. Criteria. No landmark rehabilitation loan shall be awarded unless the following criteria and requirements have been met:
 1. The subject structure must have been designated as a local landmark or be a contributing structure in a local landmark district pursuant to this Chapter before the landmark rehabilitation loan can be awarded;
 2. All loan recipients shall provide matching funds in an amount equal to or greater than the amount of the loan;
 3. The matching funds provided by the loan recipient may be utilized only for exterior rehabilitation of the subject property and/or the stabilization of the structure, the rehabilitation of electrical, heating or plumbing systems, and/or the rehabilitation or installation of fire sprinkling systems in commercial structures;
 4. Neither the loan nor the matching funds may be used for the installation of nor rehabilitation of signage or interior rehabilitation or decoration, nor the installation of building additions or the addition of architectural or decorative elements which are not part of the landmark structure;
 5. Loan funds may be expended only for rehabilitation of the exterior of a locally designated landmark structure or contributing structure in a local landmark district;
 6. No interior improvements may be purchased utilizing City loan funds;
 7. The Secretary of the Interior's Standards for the Treatment of Historic Properties as forth in Title 36 of the Code of Federal Regulations, Part 68, as amended, shall serve as the standards by which all rehabilitation work must be performed;
 8. No loan funds shall be disbursed until after the recipient has completed the work, the work has been physically inspected by the City, and has been approved by the Commission and the loan recipient has documented the cost of the work by submitting to the City copies of all bills, invoices, work orders, and/or such other

documentation showing, to the satisfaction of the City, that the funds requested are reasonable and are supported by the actual proof of expense;

9. Loan recipients shall, as a condition of the loan, prominently place a sign upon the property being rehabilitated stating that such rehabilitation has been funded, in part, through the City's landmark rehabilitation loan program;
10. Property owners who have previously received loans shall be eligible for subsequent loans;
11. All rehabilitation work shall be completed within one (1) year from the date upon which the loan was awarded; provided, however, that upon application and a showing of good cause as to why the project cannot be timely completed, the Commission may authorize an extension of up to one (1) additional year for completion of the work;
12. No landmark rehabilitation loan shall be awarded unless the Commission (or in cases of loans exceeding the maximum amounts established herein, the City Council) first determines that:
 - (a) The applicant has demonstrated an effort to return the structure to its original appearance;
 - (b) It is in the best interests of the public welfare that the structure proposed to be rehabilitated be preserved for future generations; and
 - (c) The amount proposed to be spent on exterior rehabilitation is reasonable under the circumstances; and
13. No landmark rehabilitation loan shall be awarded unless the loan recipient has, as a condition of obtaining the loan:
 - (a) Agreed to repay the loan in full upon sale or transfer of the property, or after five years, whichever occurs earlier; and
 - (b) Executed a deed restriction or encumbrance that ensures repayment of the loan in full upon sale or transfer of the property; and
 - (c) Agreed to pay the amount due, together with statutory interest and costs of collection including, without limitation, the direct and indirect costs incurred by the city in the collection and reasonable attorney's fees, if the loan amount or any portion thereof is due and unpaid after expiration of the applicable condition set forth in (a) above.

D. Application. The Commission shall establish the application deadline for each year that the program is administered, which deadline shall be no sooner than sixty days from the date that it was established by the Commission. Applications received after the application deadline will not be considered.

Section 2. That as provided in City Charter Section 4-9(a)(7), this Ordinance shall be published by title only by the City Clerk after adoption on second reading unless the Ordinance has been amended since first reading in which case the Ordinance shall be published in full or the amendments shall be published in full. This Ordinance shall be in full force and effect ten days after its final publication, as provided in City Charter Section 4-8(b).

ADOPTED this _____ day of _____, 2017.

Deleted: , agreed to repay the loan in full upon sale or transfer of the property.

Deleted: (60)

Cecil A. Gutierrez, Mayor

ATTEST:

Acting City Clerk

APPROVED AS TO FORM:


Jesus Garcia
Assistant City Attorney

2018 Saving Places Conference

1. Session Proposal Application

Thank you for your interest in presenting at Colorado Preservation, Inc.'s **2018 Saving Places Conference!** The event is scheduled for **February 2018 at the Colorado Convention Center in Denver** (specific dates are still being finalized with the venue - they will either be Jan. 31 - Feb. 3 or Feb. 14 - Feb. 17).

The Saving Places Conference is a dynamic four-day event featuring high-quality educational content and networking opportunities for individuals interested in historic preservation. The event is designed to provide engaging, varied content that will equip attendees with knowledge and tools they can integrate into their work and communities. Sessions should inspire, energize and advance historic preservation.

The theme of the 2018 Saving Places Conference will be "Preserving the Places that Matter." The event will highlight stories of place and the connection between place and people, with a focus on underrepresented resources and communities. The 2018 Conference will be an opportunity to celebrate Colorado's diverse history. We encourage you to submit sessions with this theme in mind.

Please read the information below on session formats and the selection process, then proceed to the next page to complete your proposal.

The submission deadline is Friday, August 11 – presenters will be selected by September 2017.

SESSION FORMATS

- **Educational Sessions:** These sessions are 75 minutes in length and can include any of the following -
 - Panel discussion
 - Case study – presentation on a specific project or site
 - Continuing education credit – APA and AIA credits are offered at the Conference
 - Presentation by an expert
- **Tours:** Tours offer attendees an up-close opportunity to experience preservation-in- 

action around the Denver metro area. Proposals should provide compelling detail on the tour site, start and finish locations, a proposed tour schedule, minimum/maximum tour size, and preferred date and time slot.

- **Workshops:** Workshops offer in-depth, hands-on exploration of a topic. Session length can range from 180 minutes to a full day. Proposals should clearly outline special project needs, material expenses, equipment, etc.
- **Hot Topic Sessions:** These sessions are 30 minutes in length and work best with no more than 1-2 speakers. Hot topic sessions are intended to be high energy and focused while presenting a brief overview of a topic or project.

**Colorado Preservation reserves the right to request proposal formatting changes to accommodate the overall Conference schedule. For example, a proposal submitted as an educational session (75 minutes in length) may be asked to instead present as a 30 minute Hot Topic Session.*

SESSION SKILL LEVEL

New this year, we are asking that session managers indicate the skill level that an attendee should be to get the most from the session. Skill level choices are:

- **Beginner:** Sessions labeled "Beginner" could be those that present content applicable to anyone. They may also provide information specific to those *new* to preservation.
- **Intermediate:** These sessions are best for people with a general knowledge of preservation. They may dive deeper into a topic than a "Beginner" session would, but they are relevant for most attendees.
- **Advanced:** These sessions are detailed, best for attendees with a specific task or topic they want to learn about. Attendees at these sessions may have a career in the preservation field.

SESSION CATEGORY/THEME:

Also new this year, we are asking session managers to label their sessions with a category or theme to help Conference attendees in selecting the sessions they would like to attend.

Session Categories are -

- Case Study (successful, failed, or ongoing project stories)
- Project Funding (grants, tax credits, other)
- Technical Preservation Methods (hands-on methods and best practices)
- Technology and Social Media (social media, internet, and new digital tools)
- General Education (Preservation 101, general preservation information, in-depth look at resource types, topics of general interest)
- Advocacy and Policy

- Community Development and Tourism
- Marketing Techniques (techniques to promote a project/site/museum)

CRITERIA FOR SELECTION

Proposals are evaluated using the following additional criteria:

- Includes speakers that are experts in their field with experience presenting on the topic
- Content is current and practical
- Demonstrates a clear takeaway that is both relevant and valuable
- Content promotes historic preservation
- Provides applicable and transferable information and tools to attendees
- Completeness, accuracy, and clarity of the proposal
- Relevancy to current theme

SELECTION PROCESS

Proposals are reviewed and selected by the Saving Places Conference Content Advisory Committee. The committee is composed of an interdisciplinary group of preservation professionals.

SUBMIT YOUR PROPOSAL

Before you begin the submission process please have all contact information and bios of presenters ready, as well as the following information:

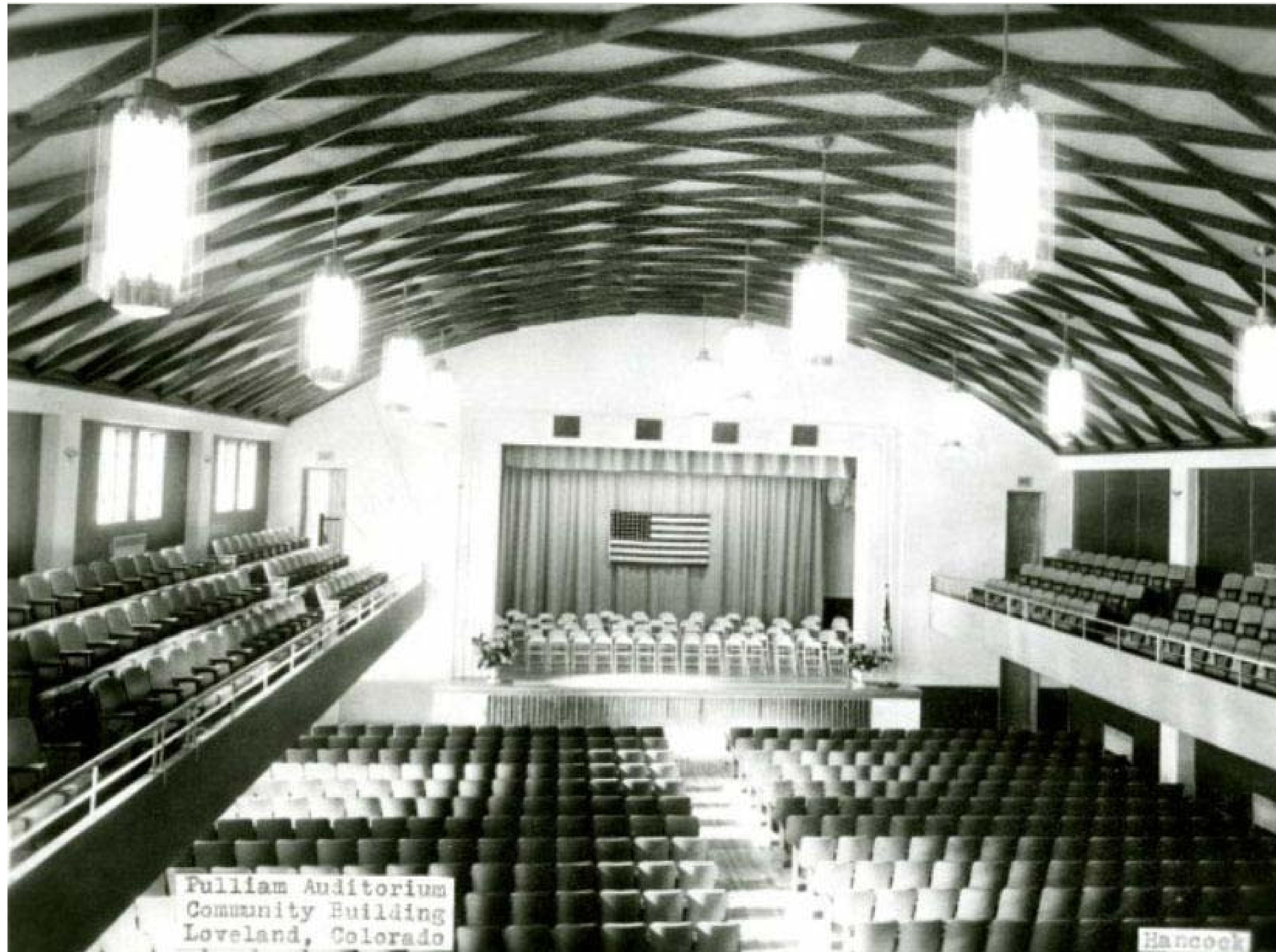
1. Session Manager contact information and bio
2. Proposed session format and intended audience
3. Proposed session level and session category
4. Proposed session title and description (no more than 150 words)
5. 2-3 practical take-aways for attendees
6. Session speaker names and bios

Then, click next and to fill in the form and submit your proposal for review by our Saving Places Content Advisory Committee!

QUESTIONS? Contact [Megan Concannon](#) at 303-893-4260 ext.230

PULLIAM COMMUNITY BUILDING

545 NORTH CLEVELAND
LOVELAND, COLORADO



PERMIT DOCUMENTS

JUNE 30, 2017

form + works
design group, LLC

OWNER
City of Loveland
500 East Third Street, Suite 300
Loveland, Colorado 80537

ARCHITECT
Form+Works Design Group, LLC
13786 Ivy Street,
Thornton, Colorado 80602
p. 303.598.6545
e. jessica@formworksdesigngroup.com

STRUCTURAL
JVA, Inc.
213 Linden Street, Suite 200
Fort Collins, CO 80524
p. 970.225.9099
e. jschalk@jvalva.com

MECHANICAL/PLUMBING
BG Buildingworks, Inc.
251 Linden Street, #200
Fort Collins, Colorado 80524
p. 970.221.5691
e. elpasold@bgbuildingworks.com

ELECTRICAL
Corey Electrical Engineering, Inc.
7822 S. Wheeling Court, Suite B
Englewood, CO 80112
p. 303.696.1257
e.



form+works
design group, LLC

13786 IVY STREET,
THORNTON, COLORADO 80602
www.formworkdesigngroup.com
303.598.6545

PULLIAM COMMUNITY BUILDING

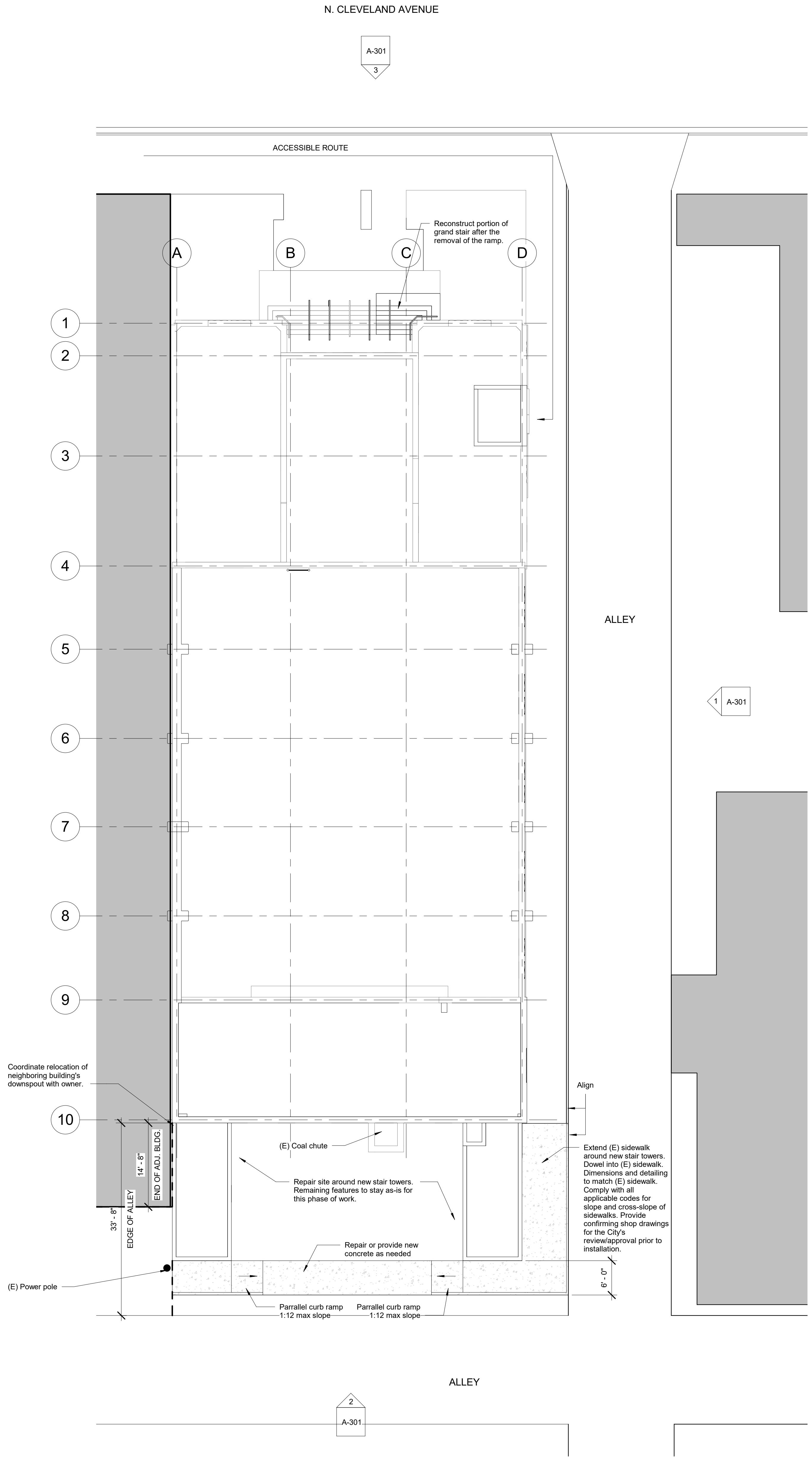
545 NORTH CLEVELAND
LOVELAND, COLORADO

No.	Description	Date

Project Number 17-001
Date JUNE 30, 2017
Drawn By NL
Checked By JR
Scale As indicated

SHEET INDEX, GENERAL NOTES, SITE PLAN

G-001



① SITE PLAN
1" = 10'-0"

GENERAL RENOVATION NOTES

- The term 'Owner' shall denote the client, or Owner, as designated in the Contract. The term 'General Contractor' or 'Contractor' shall denote the Corporation, Company, Partnership, Firm or Individual who has entered into the Contract for the performance of the work, and who has entered into Subcontracts for a part of the work. The term 'Architect' refers to Form+Works Design Group, LLC.
- The use of the words "provides" and "provided" in connection with any item specified shall be intended to mean that the item shall be furnished, installed and connected where so required.
- Dimensions at existing construction are taken to existing surfaces. Dimensions of new work are taken from face of stud, grid centerlines, or face of masonry unless otherwise noted.
- DO NOT scale drawings. Dimensions govern. Large scale details govern over small scale.
- Notify Architect in writing immediately should conditions be found contradictory to these drawings.
- The Drawings and Specifications are supplied to illustrate the design intent and the general type of construction required. They are intended to imply the finest quality of construction, material and workmanship.
- Drawings and general notes are complementary, and what is called for by one will be binding as if called for by all. Work shown or referred to on any drawing shall be completed as though shown on all related drawings.
- The changes and additions of work are described by the drawings, and notes concerning them. Additional drawings and information deemed necessary by the Architect to interpret and/or explain drawings, specifications or notes previously issued shall be provided to the General Contractor. It shall be understood that such additional drawings and information shall be considered part of the Contract Documents.
- If there are any questions regarding the Contract Documents, existing conditions or design intent, the General Contractor shall obtain a clarification in writing from the Owner's Representative or Architect prior to proceeding with the work in question.
- All work performed and material installed shall be, as a minimum standard, in strict conformance with the latest editions of all general codes, regulations and ordinances including the building code. The General Contractor shall give all notices and comply with all laws, ordinances, rules, regulations and lawful orders of any public authority having jurisdiction over the performance of the work.
- The General Contractor is responsible for all work shown, noted, specified, or reasonably inferred from the contract documents.
- The General Contractor, upon acceptance of the drawings and specifications, assumes full responsibility for the construction, materials and workmanship of the work, and shall comply with the spirit as well as the letter of that which is contained therein.
- The scope of work described by the Contract Documents implies a completed project. Minor omissions from and discrepancies in the drawings and specifications shall not void such intention. The General Contractor shall inform the Architect in writing of any conflicts, omissions and discrepancies prior to construction.
- The General Contractor shall obtain all required building permits.
- The General Contractor shall obtain all special inspections required by the authority having jurisdiction over the project.
- The General Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures. He shall coordinate all portions of the work under the Contract.
- The General Contractor and subcontractors shall visit the project, as required by the Specifications, to become familiar with all existing conditions affecting the proposed demolition and new construction prior to submittal of bids.
- The General Contractor shall perform high-quality professional work. Materials shall be joined to uniform, accurate joints so that they meet in neat, straight lines free of irregularities. Exposed materials shall be smooth, straight, true, level, plumb and at accurate right angles to or flush with adjacent materials. The work of each trade shall meet all National Standards published by the trade, except where the requirements of the Contract Document are more stringent.
- The presence of an architectural representative on the jobsite does not imply concurrence of approval of the work. The General Contractor shall call to the attention of the Architect specific items for which he desires to obtain approval.
- The General Contractor shall correct defects in material and workmanship noted by the Architect during periodic site observations and at project close-out.
- The General Contractor shall turn the project over to the Owner free from all construction debris, scraps, materials and equipment; with all interior glass free from manufacturer's labels and tape and clean on both sides; with all doors and millwork wiped down and free of dirt, grease and other foreign material.

SHEET NUMBER	SHEET NAME
G-000	COVER SHEET
G-001	SHEET INDEX, GENERAL NOTES, SITE PLAN
00-GENERAL	
AC-101	CODE NARRATIVE AND DRAWINGS
AC-102	FIRST, SECOND AND PROJECTION CODE PLANS
02-ARCHITECTURAL DEMO	
AD-101	BASEMENT AND INTERMEDIATE DEMO PLANS
AD-102	FIRST AND SECOND DEMO PLANS
AD-103	THIRD AND ROOF DEMO PLANS
AD-201	BASEMENT AND INTERMEDIATE DEMO RCP
AD-202	FIRST, SECOND, MEZZ. DEMO RCP
03-ARCHITECTURAL	
A-101	BASEMENT AND INTERMEDIATE PLANS
A-102	FIRST AND SECOND PLANS
A-103	THIRD AND ROOF PLANS
A-201	BASEMENT AND INTERMEDIATE RCP
A-202	FIRST, SECOND AND MEZZ. RCP
A-301	EXTERIOR ELEVATIONS
A-500	ELEVATOR PLAN & SECTIONS
A-501	ELEVATOR SECTIONS AND DETAILS
A-502	RAMP & STAIR PLANS & SECTIONS
A-503	STAIR SECTIONS
A-600	DETAILS
A-700	WINDOW AND DOOR DETAILS, SCHEDULES
A-800	FINISH SCHEDULE, FINISH DETAILS
A-801	ENLARGED PLANS AND INTERIOR ELEVATIONS
A-802	ENLARGED PLANS AND INTERIOR ELEVATIONS
05-STRUCTURAL	
S-001	GENERAL NOTES
S-101	BASEMENT PLAN
S-102	FIRST AND SECOND PLANS
S-103	THIRD AND ROOF PLANS
S-501	SECTIONS
07-MECHANICAL	
M-000	MECHANICAL COVER SHEET
M-001	MECHANICAL SCHEDULES
M-101	OPTION 1A/1B BASEMENT AND INTERMEDIATE PLANS
M-101A	OPTION 2A/2B BASEMENT AND INTERMEDIATE PLANS
M-102	OPTION 1A/1B FIRST AND SECOND MECHANICAL PLANS
M-102A	OPTION 2A/2B FIRST AND SECOND MECHANICAL PLANS
M-103	OPTION 1A/1B THIRD AND ROOF MECHANICAL PLANS
M-103A	OPTION 2A/2B THIRD AND ROOF MECHANICAL PLANS
11-ELECTRICAL	
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E-1	BASEMENT ELECTRICAL LAYOUT
E-2	FIRST FLOOR ELECTRICAL
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No.	Description	Date

Project Number 17-001
Date JUNE 30, 2017
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SHEET INDEX, GENERAL NOTES, SITE PLAN

G-001



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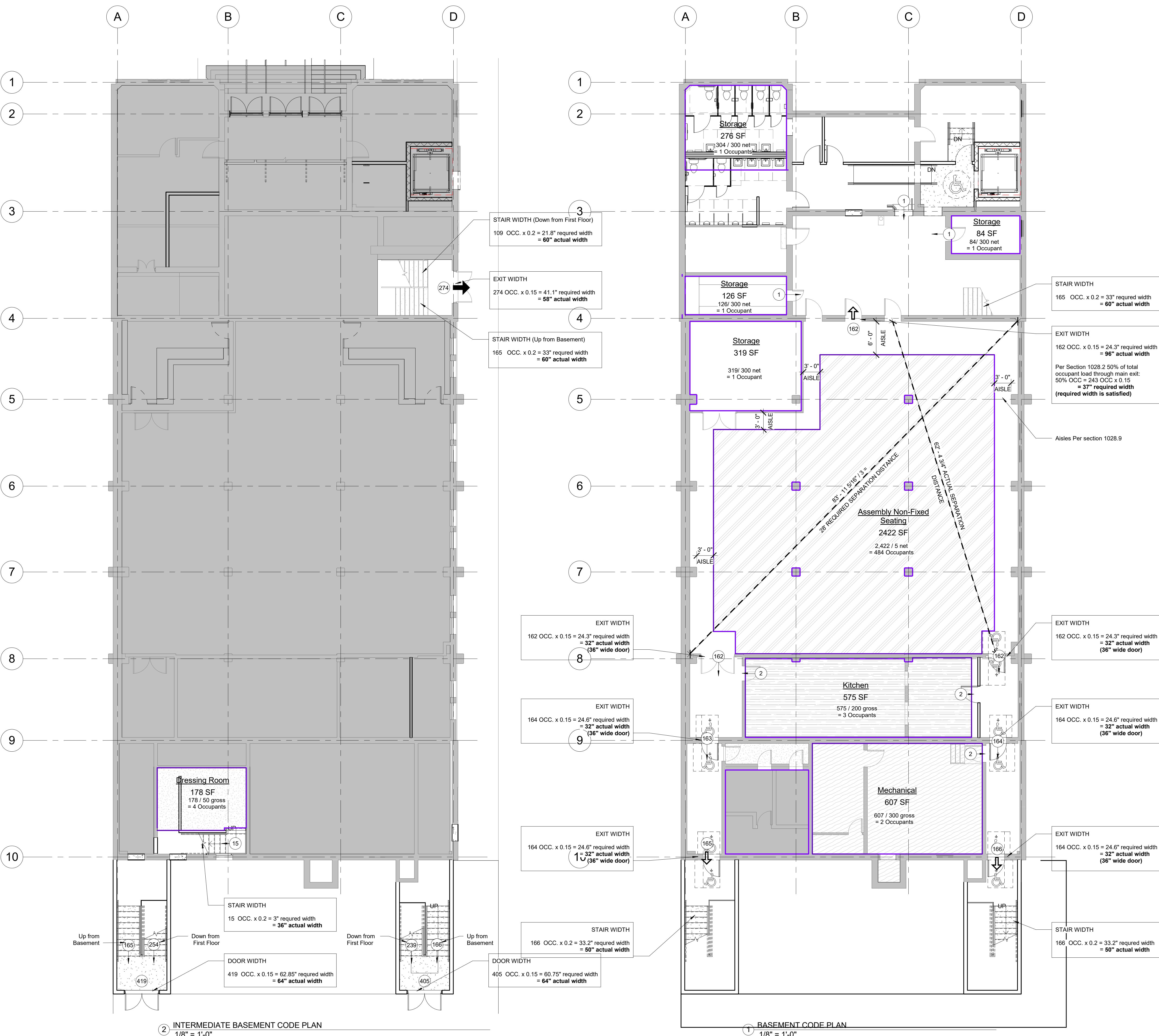
PULLIAM COMMUNITY BUILDING

545 NORTH CLEVELAND
LOVELAND, COLORADO

No.	Description	Date

Project Number 17-001
Date JUNE 30, 2017
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CODE
NARRATIVE
AND
DRAWINGS
AC-101



Code Report

Project:
Pulliam Community Building
545 Cleveland Avenue
Loveland, Colorado 80537

Municipality:
City of Loveland, Colorado

Applicable Codes:
2012 International Building Code
2012 International Existing Building Code
2012 International Mechanical Code
2012 International Plumbing Code
2014 National Electric Code

Scope Description:
The project at the Pulliam Community Building seeks to resolve accessibility and life-safety issues to the building by providing an automatic fire sprinkler system, an elevator and provide accessible restrooms facilities.

Construction Type:

II-B

Narrative: The building construction consists of predominantly non-combustible materials. The building has concrete walls and floors. The windows are mostly the original steel windows, with a handful of replacement windows that are constructed of aluminum. The roof over the main auditorium space is a wood lamella truss roof.

Occupancy:

A-3 Assembly: Community Hall

Floor	Occupant Count
Basement	493
Intermediate Basement	15
First Floor	720
Second Floor	180
Projection/ Mechanical Loft	3
Total Occupants	1,411

Restroom Fixture Count:

Occupancy	Description	Water Closets		Lavatories		Drinking Fountains	Other
		Male	Female	Male	Female		
A-3	Auditoriums without permanent seating, art galleries, exhibition halls, museums, lecture halls, libraries, arcades and gymnasiums	1 per 125	1 per 65	1 per 200	1 per 500	1 service sink	

Current Building	Water Closets Actual	Lavatories Actual	Drinking Fountains	Other
Men's	6	4		
Women's	4	4		2 Service Sinks
Total	10	8	2	2

Total Occupants: 1,391	Water Closets Required	Lavatories Required	Drinking Fountains Required	Other Required	Water Closets Actual	Lavatories Actual	Drinking Fountains Actual	Other Actual
706 Males	6	4			1	11	6	4
706 Females	11	4	3	1 Service Sink	10	6		1 Service Sink
Single Occup. ADA RR					1	1		
Improvement Over Current					+12	+5	+2	-1

Code Legend	
←	Direction of Building Egress
←	Direction of Interior Egress
← 0	Direction Of Area Egress W/ Number Of Occupants Indicated
← -	Accessible Route
← KB	Fire Department Access
KB	Fire Department Knock Box
FE	Fire Extinguisher
FEC	Fire Extinguisher Cabinet
SHC	Standpipe Hose Connection
FACP	Fire Alarm Control Panel
Y	Standpipe Roof Manifold
P	Panic Hardware
---	Path of Egress Travel



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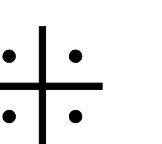
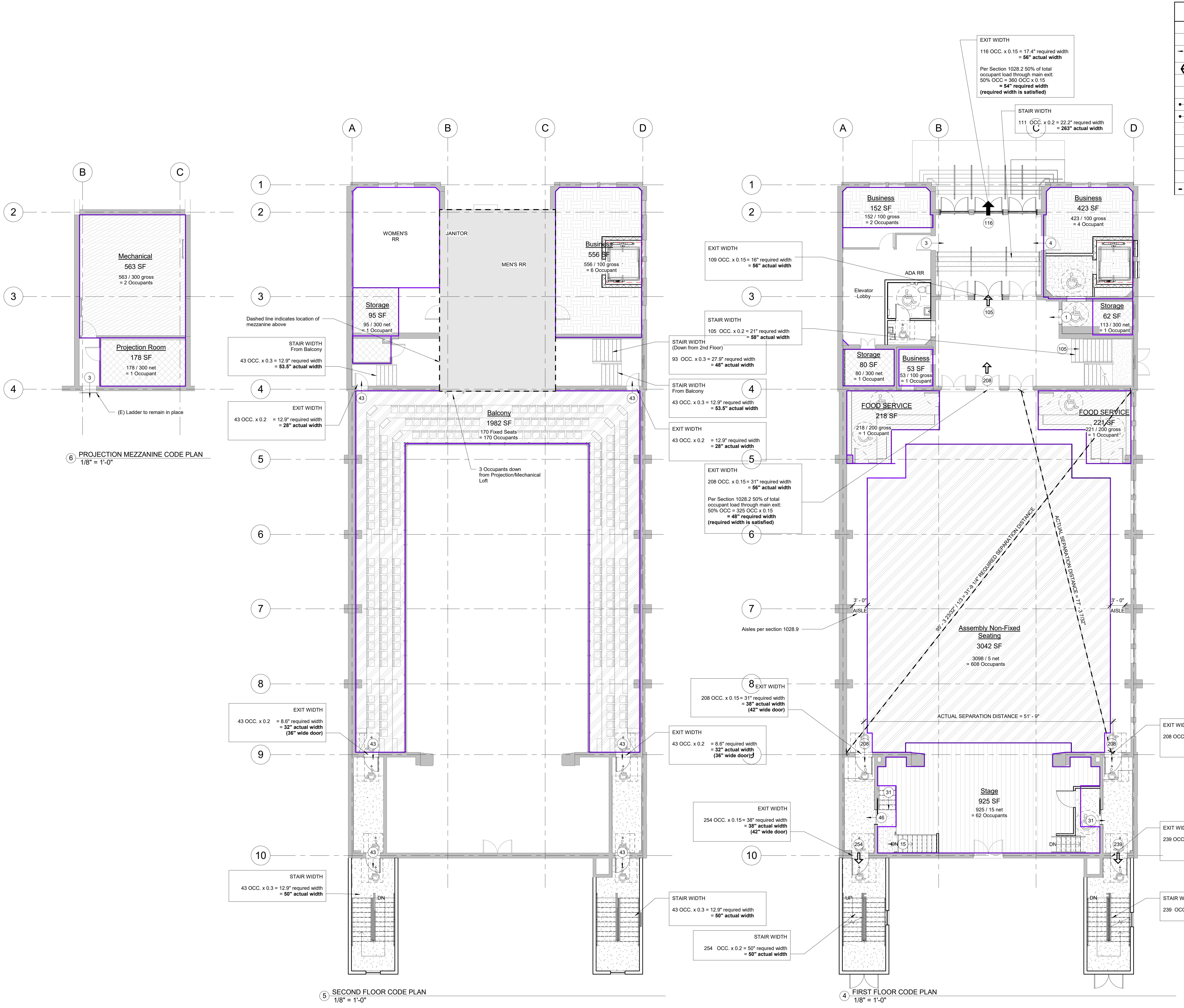
PULLIAM COMMUNITY BUILDING

343 NURIH CLEVELAND
LOVELAND, COLORADO

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FIRST, SECOND AND PROJECTION CODE PLANS

AC-102





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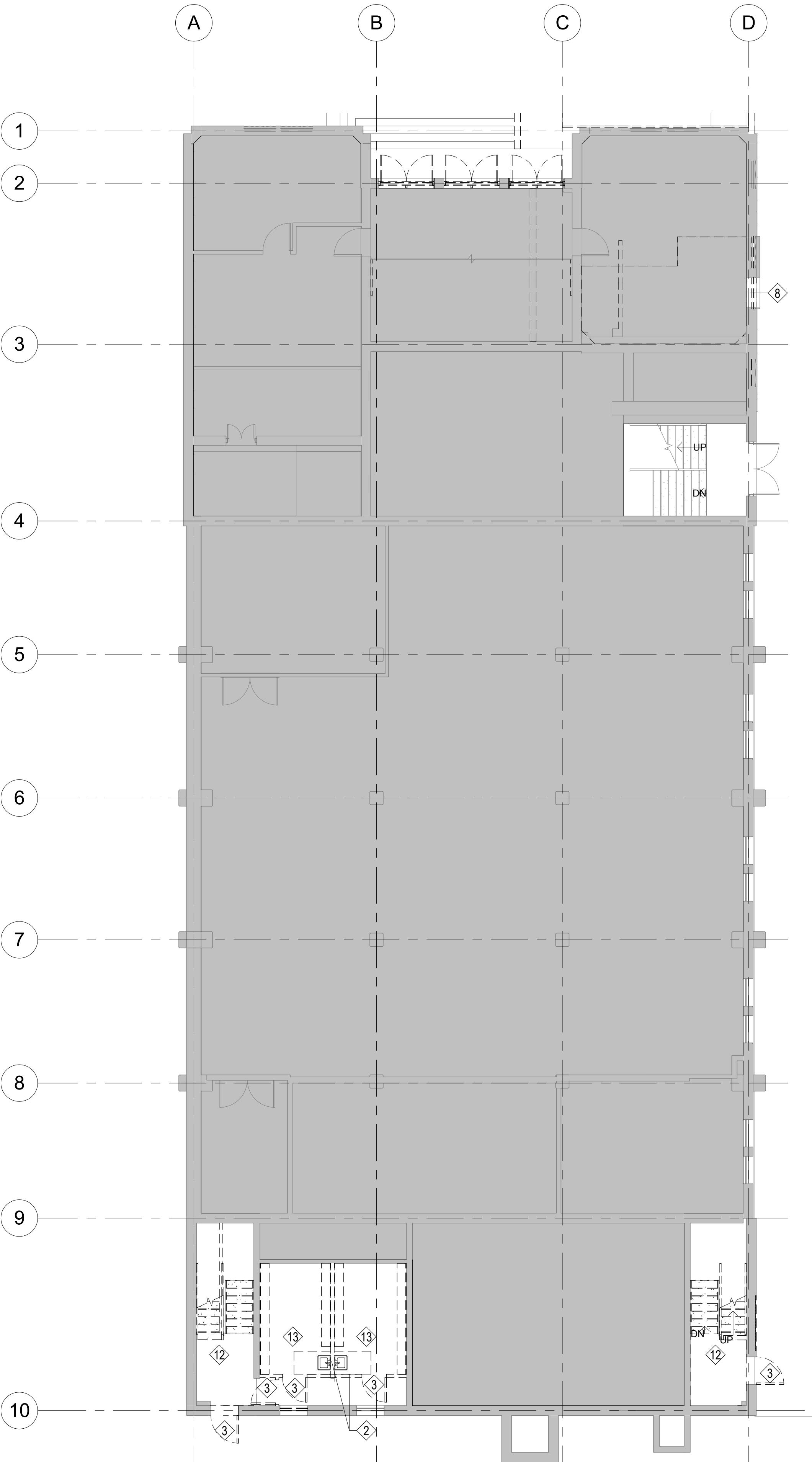
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LOVELAND, COLORADO

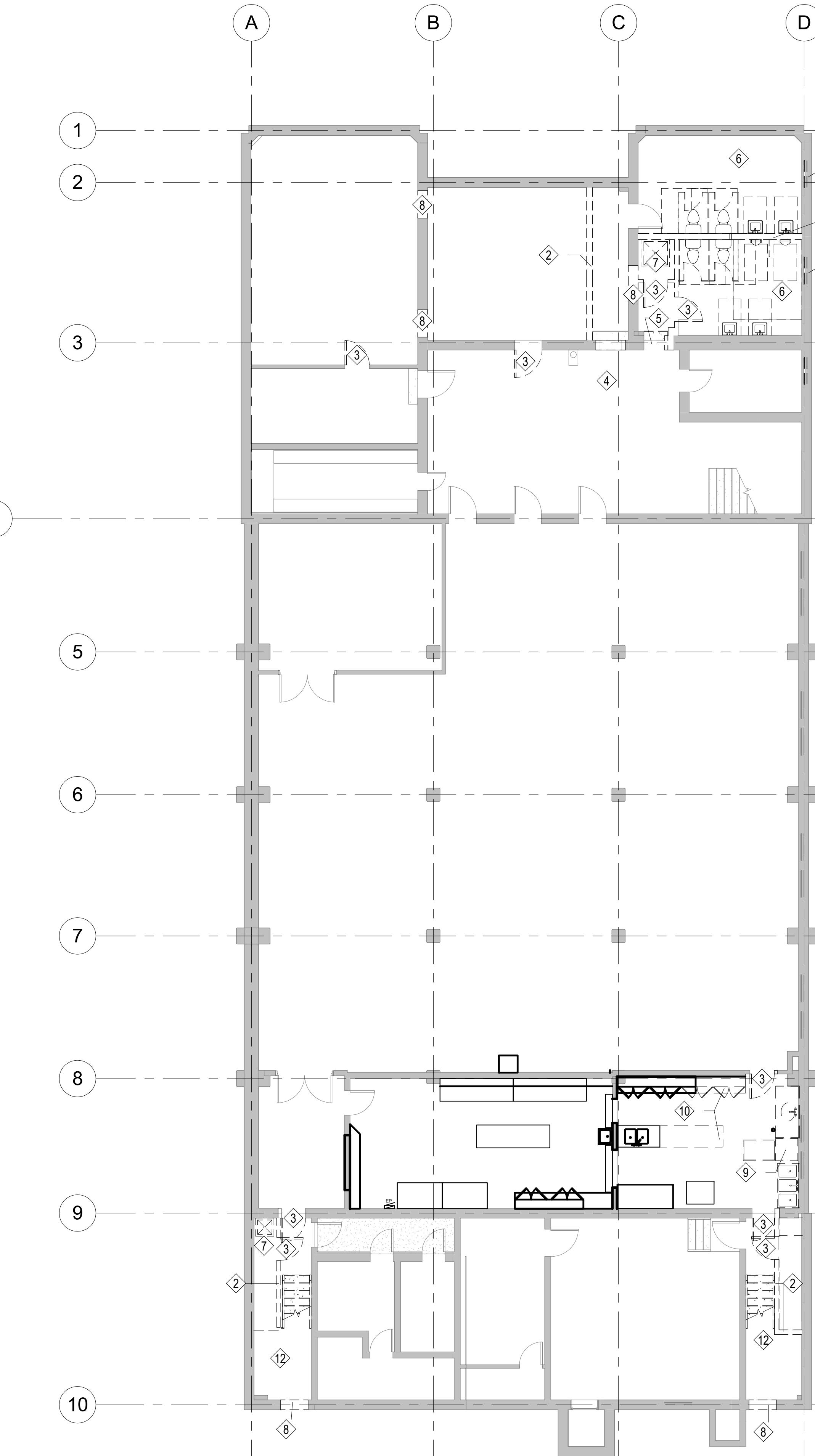
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BASEMENT AND INTERMEDIATE DEMO PLANS

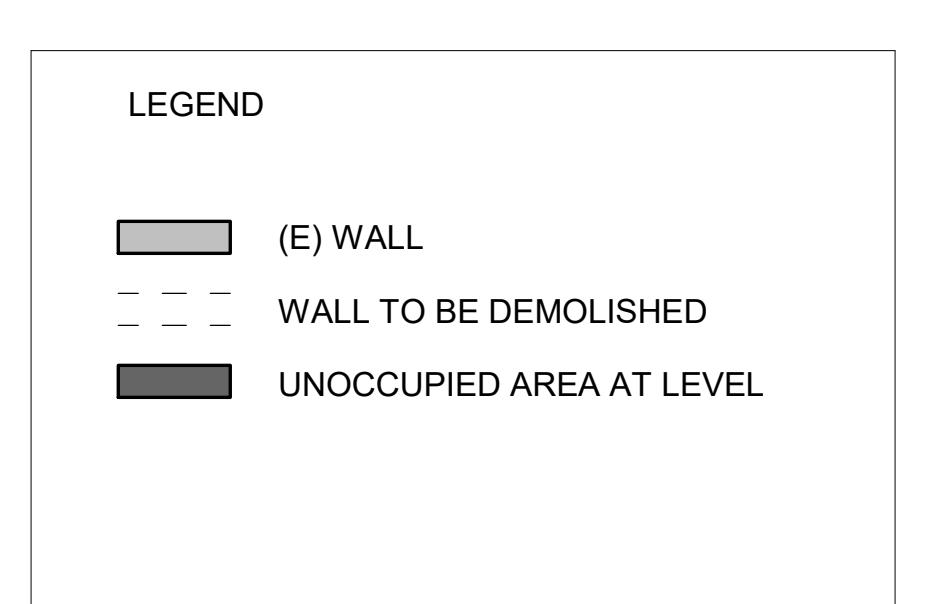
AD-101



2 INTERMEDIATE BASEMENT DEMO



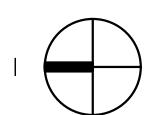
1 BASEMENT DEMOLITION PLAN
1/8" = 1'-0"



KEYNOTES

X SYMBOL

1. SALVAGE DOOR, FRAME AND TRIM FOR REINSTALLATION.
2. DEMO WALL
3. DEMO DOOR
4. DEMO PORTION OF FLOORING
5. DEMO STEPS
6. DEMO RESTROOM FIXTURES, PARTITIONS, ETC.
7. DEMO JANITOR'S ROOM: REMOVE SINK, EQUIPMENT, ETC.
8. NEW OPENING IN (E) WALL.
9. DEMO KITCHEN DISHWASHING AREA. REMOVE VENTING, PIPING, ETC.
10. DEMO PORTION OF KITCHEN CASEWORK.
11. REMOVE DOUBLE DOORS TO BE RESWUNG.
12. DEMO CONCRETE STAIRS, HANDRAILS, LANDINGS, ETC.
13. DEMO DRESSING ROOM CASEWORK, LIGHTING, MIRRORS, SINK, FINISHES, ETC.
14. DEMO PLYWOOD AND ANY REMAINING ELEMENTS OF ORIGINAL STEEL WINDOWS.





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545 NORTH CLEVELAND
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This architectural floor plan illustrates a building section with various rooms, stairs, and seating areas. The plan is labeled with numbers 1 through 12 and letters A through D.

- Rooms:** The plan includes a large auditorium-like room (5) with rows of seating, a seating area (10) with rows of seating, and a room with a curved wall (3).
- Stairs:** A prominent staircase (4) is located on the left side, leading down. Another staircase (1) is located on the right side.
- Walls:** The plan features several thick, dark grey walls, particularly on the left and right sides, which define the building's footprint.
- Labels:** The plan is labeled with numbers 1 through 12 and letters A through D. Labels include: A (top left), B (top center), C (top right), D (far right), 1 (top left), 2 (top center), 3 (top right), 4 (middle left), 5 (center), 6 (middle right), 7 (bottom right), 8 (bottom center), 9 (bottom left), 10 (bottom right), 11 (bottom left), 12 (bottom right), and 13 (bottom center).
- Dimensions:** A dimension line indicates a width of 5'-0" between two points on the left wall.

2 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"

This technical diagram illustrates a cross-section of a bridge structure, likely a stone arch bridge, with various components labeled and sections A through D.

Section Labels:

- A:** Located at the top left, showing a vertical column and a horizontal railing.
- B:** Located in the middle left, showing a vertical column and a horizontal railing.
- C:** Located in the middle right, showing a vertical column and a horizontal railing.
- D:** Located at the top right, showing a vertical column and a horizontal railing.

Section E: A note indicates: (E) Historic Railing: new railings to match.

Numbered Components:

- 1: Vertical columns on the left side.
- 2: Horizontal railings on the left side.
- 3: Vertical columns on the right side.
- 4: Horizontal railings on the right side.
- 5: Vertical columns supporting the bridge deck.
- 6: Horizontal railings supporting the bridge deck.
- 7: A small structure or opening in the bridge deck.
- 8: A diamond-shaped opening in the bridge deck.
- 9: A diamond-shaped opening in the bridge deck.
- 10: A diamond-shaped opening in the bridge deck.
- 11: A diamond-shaped opening in the bridge deck.
- 12: A diamond-shaped opening in the bridge deck.
- 13: A vertical column on the left side.

1 FIRST FLOOR DEMOLITION PLAN

FIRST AND SECOND DEMO PLANS

AD-102

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Date	JUNE 30, 2017
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LEGEND



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545 NORTH CLEVELAND
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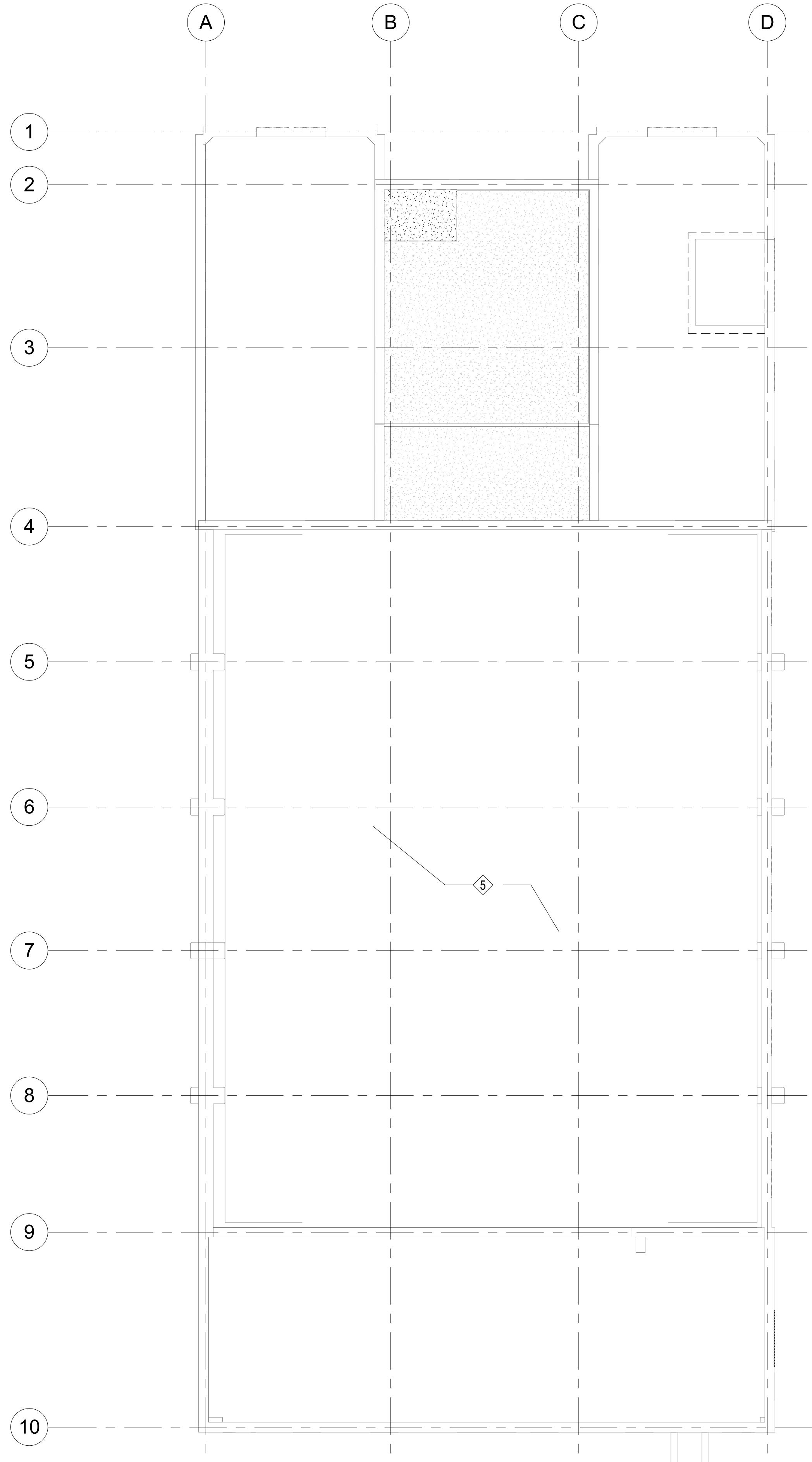
THIRD AND ROOF DEMO PLANS

AD-103

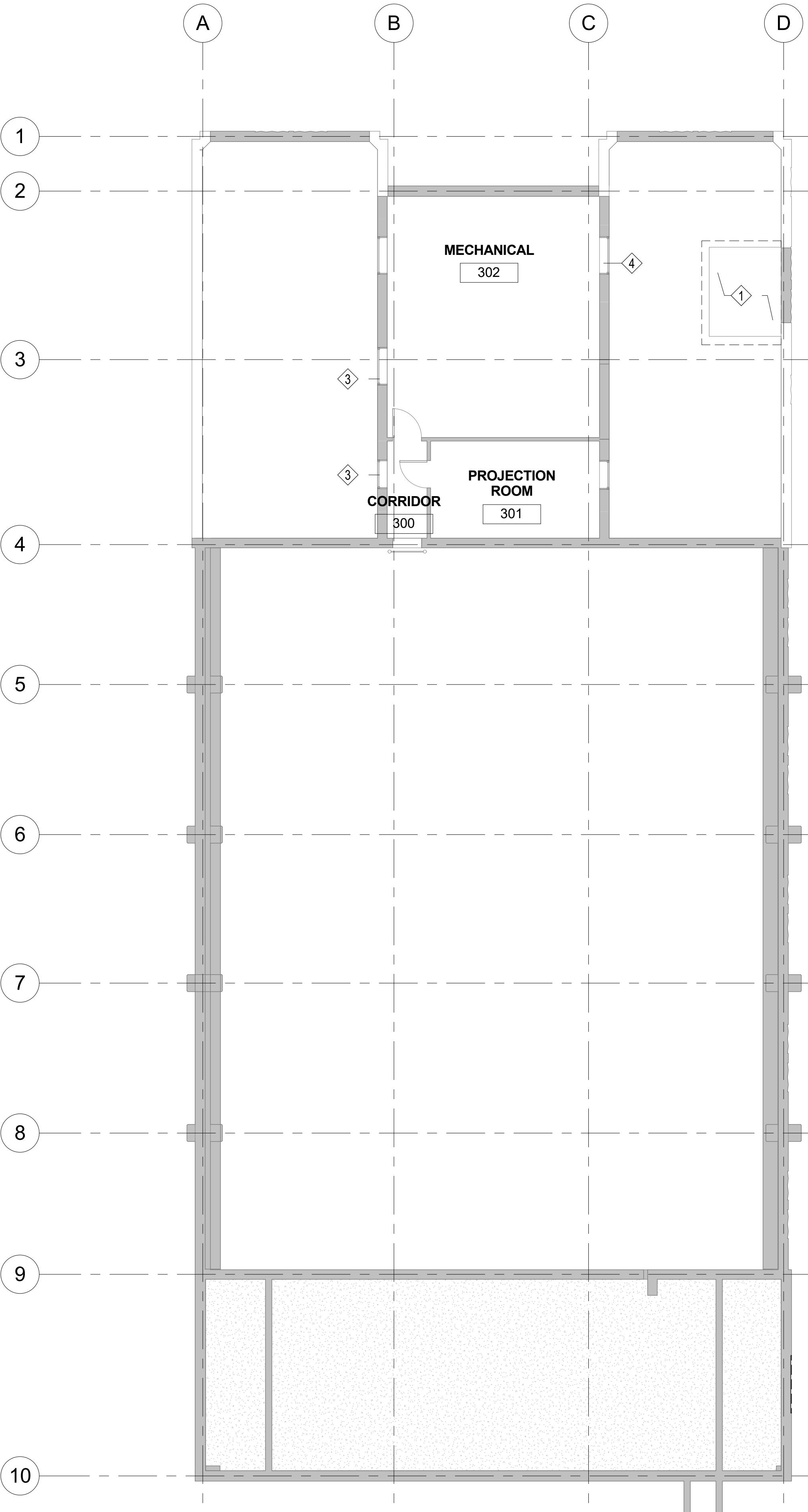
KEYNOTES

SYMBOL

1. DEMO PORTION OF (E) BUILT-UP ROOF AND BALLAST FOR NEW ELEVATOR SHAFT.
2. DEMO DAMAGED PLASTER.
3. DEMO TEMPORARY PROTECTION OVER WINDOW OPENING.
4. DEMO WINDOW.
5. DEMO TPO ROOF OVER LAMELLA TRUSS. PROVIDE TEMPORARY BRACING/SHORING AS REQ'D TO SUPPORT TRUSS DURING ROOF WORK.



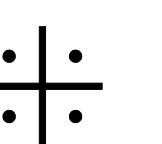
② ROOF DEMO PLAN
1/8" = 1'-0"



① PROJECTION ROOM DEMO PLAN
1/8" = 1'-0"

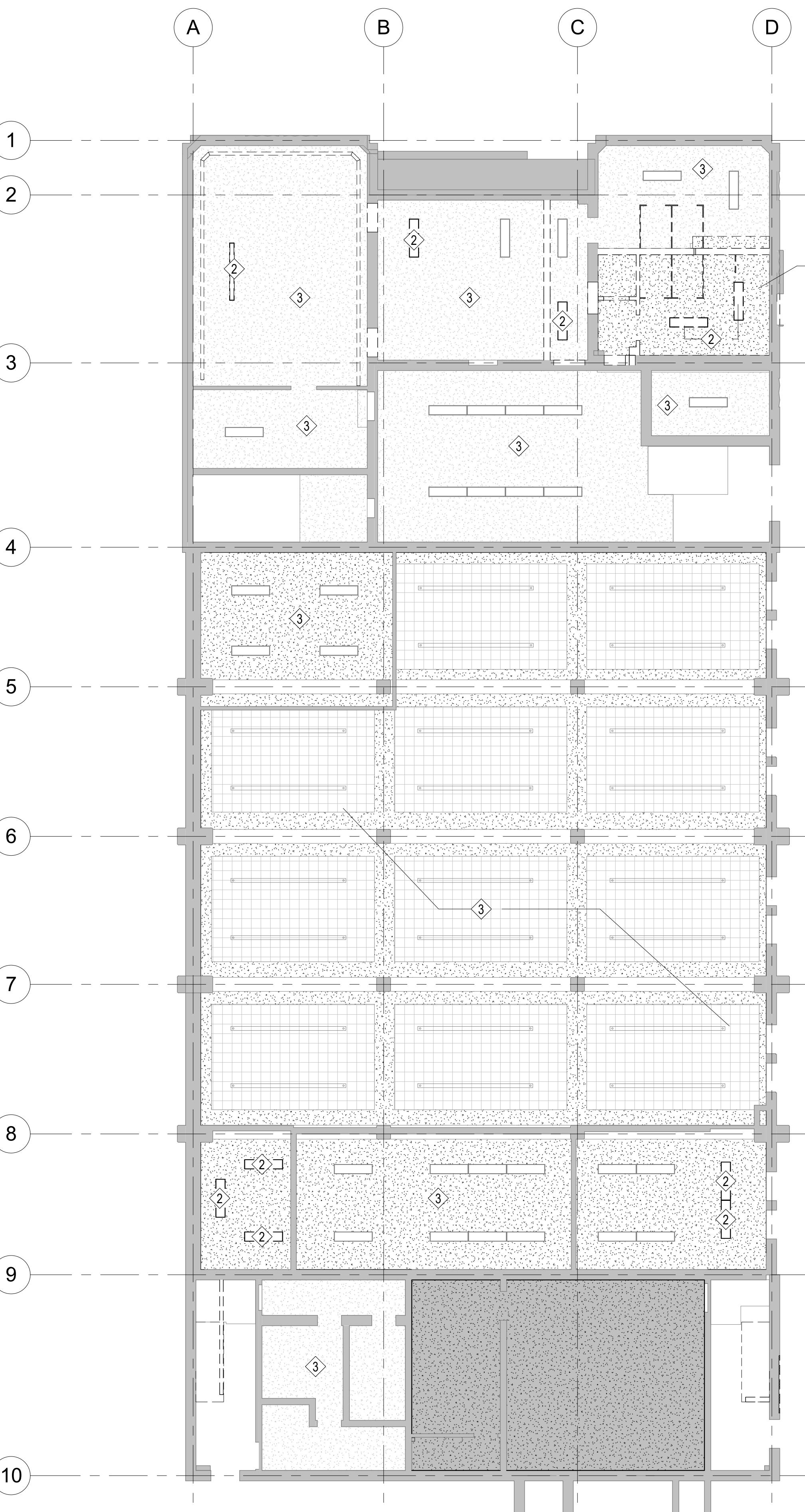
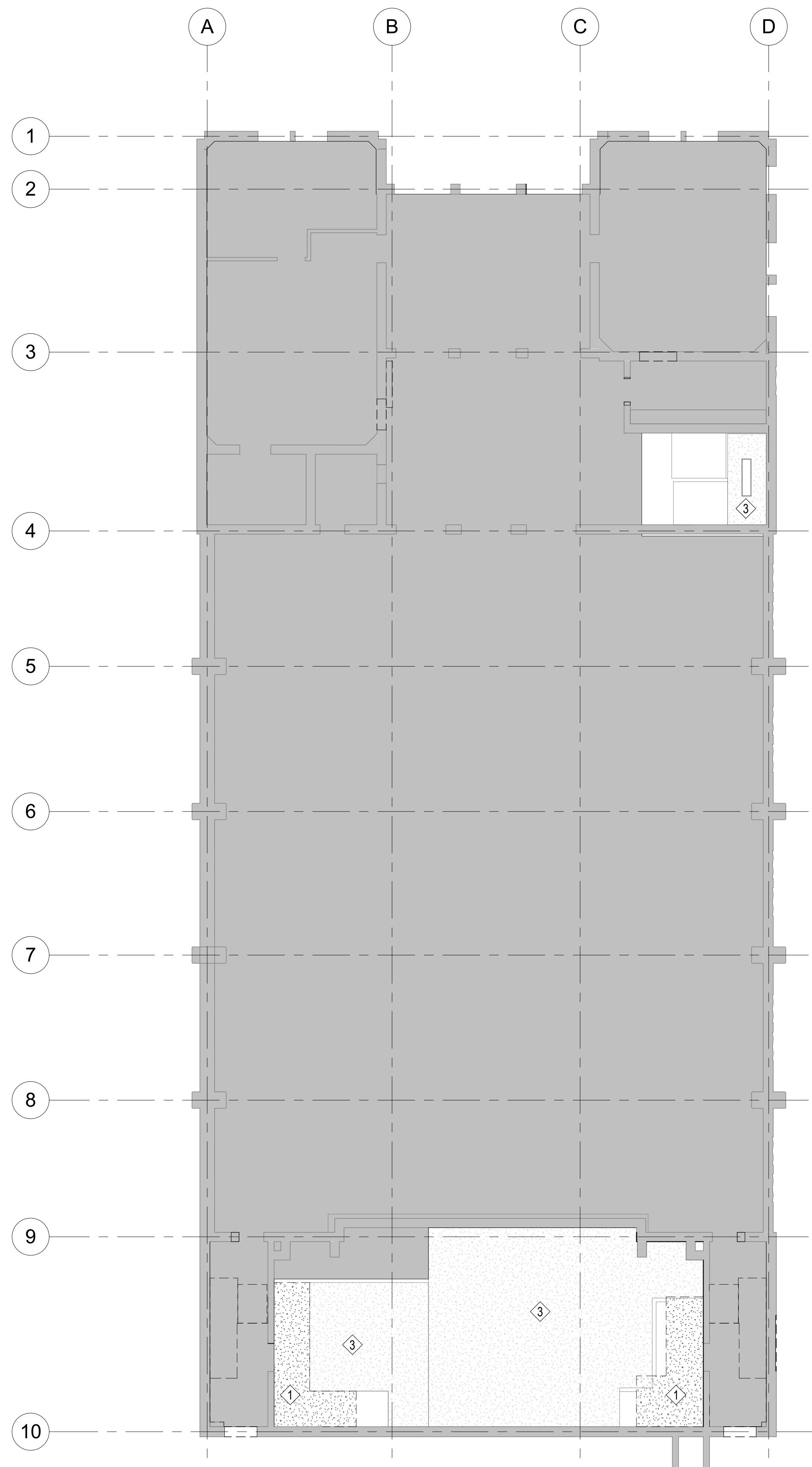
LEGEND

- (E) WALL
- WALL TO BE DEMOLISHED
- UNOCCUPIED AREA AT LEVEL





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303.598.6545PULLIAM COMMUNITY
BUILDING545 NORTH CLEVELAND
LOVELAND, COLORADO

KEYNOTES

SYMBOL

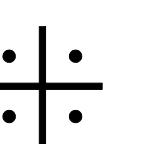
1. DEMO PORTION OF CEILING
2. DEMO LIGHT
3. (E) CEILING TO REMAIN

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LEGEND		
	(E) WALL	
	WALL TO BE DEMOLISHED	
	UNOCCUPIED AREA AT LEVEL	

BASEMENT
AND
INTERMEDIATE
DEMO RCP
AD-201





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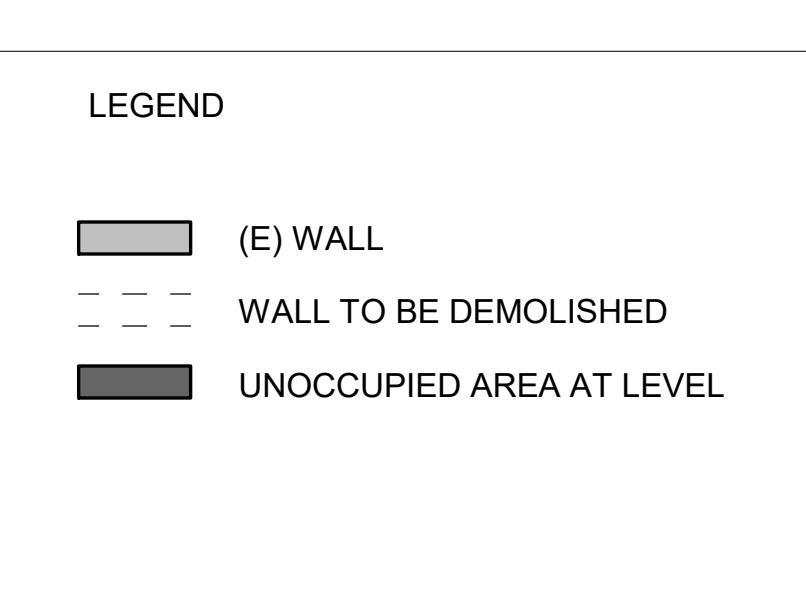
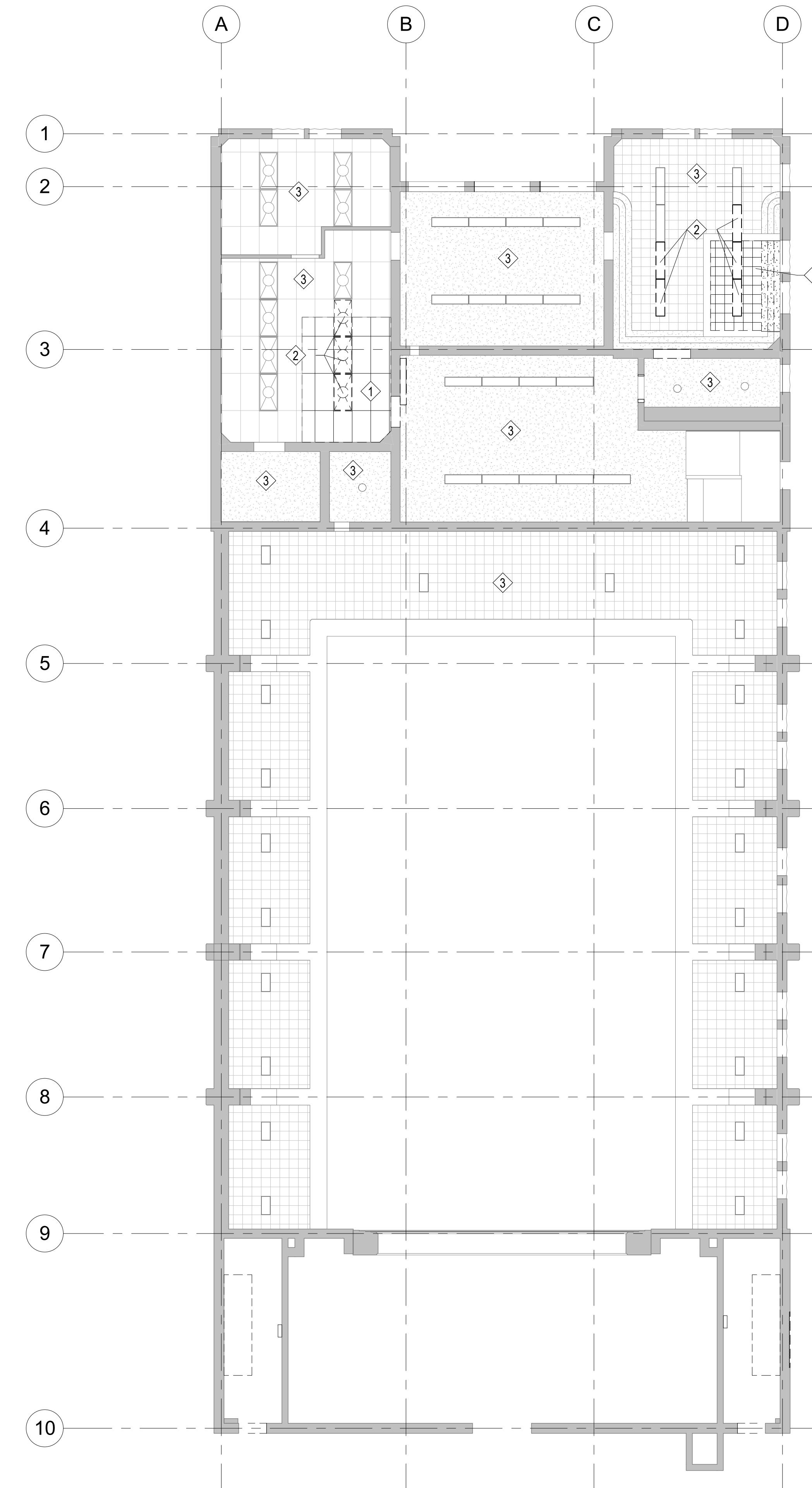
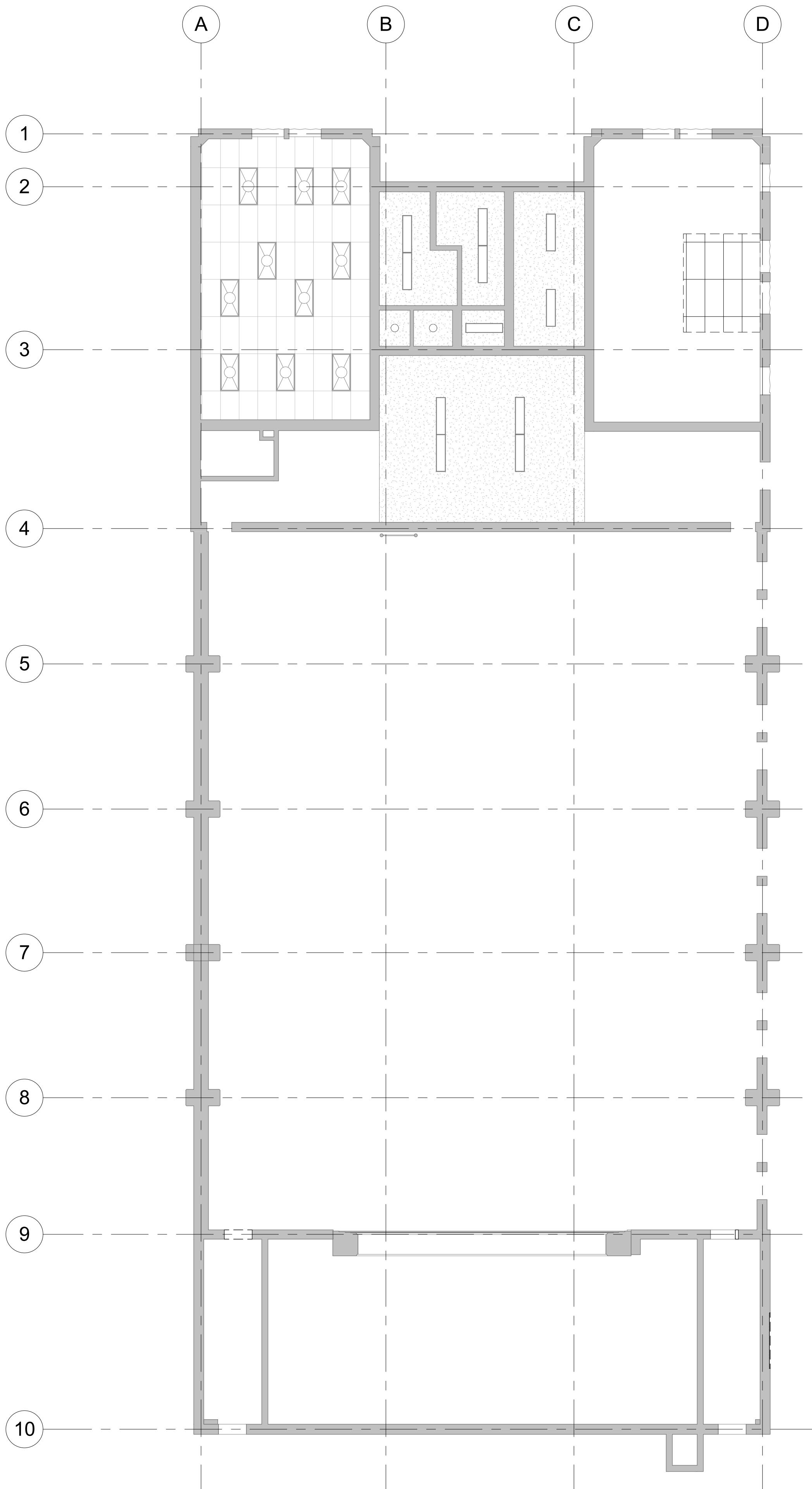
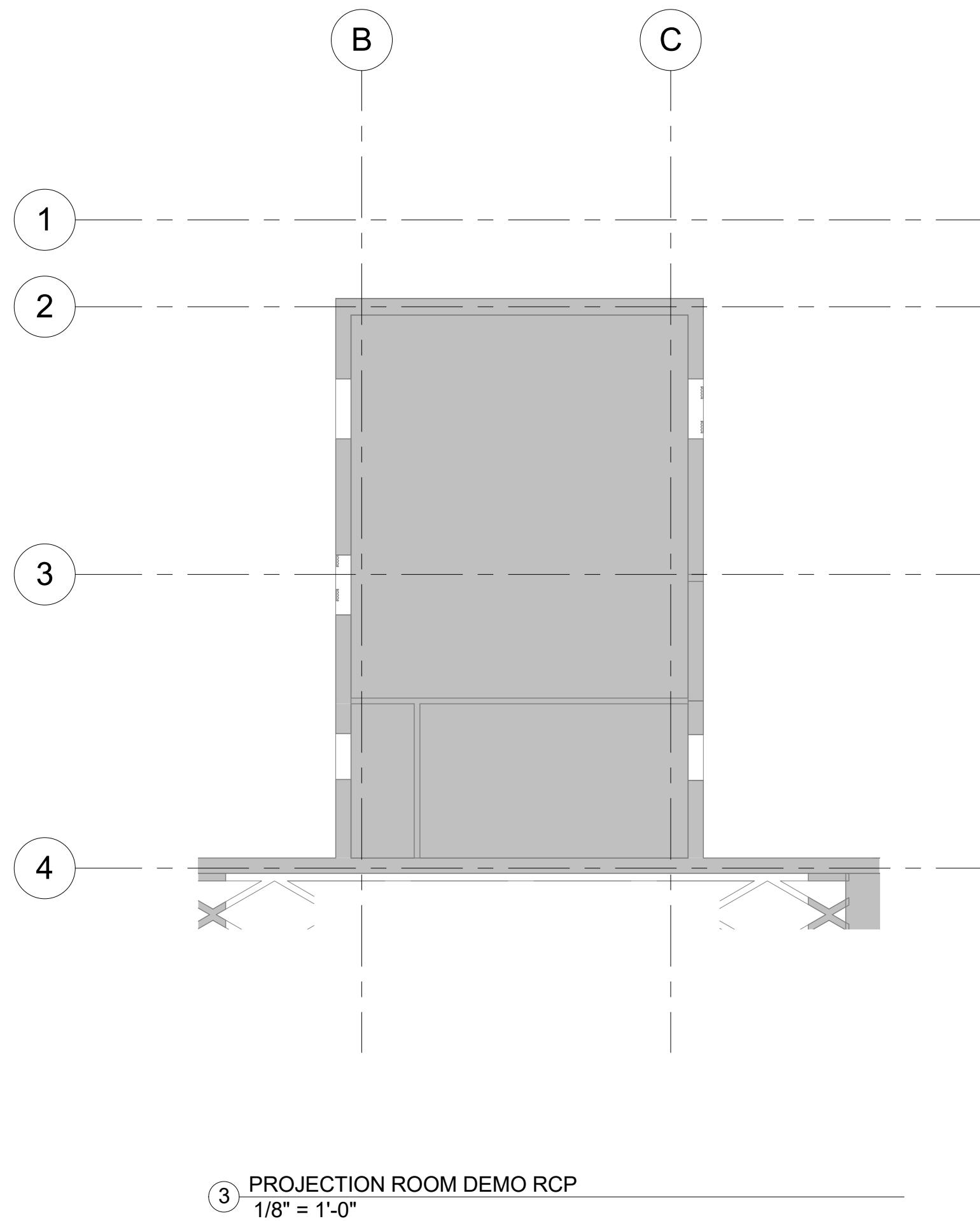
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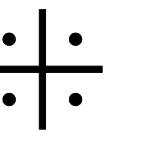
FIRST, SECOND,
MEZZ. DEMO
RCP

AD-202



KEYNOTES
SYMBOL
1. DEMO CEILING
2. DEMO LIGHT
3. (E) CEILING TO REMAIN
4.

LEGEND
(E) WALL
WALL TO BE DEMOLISHED
UNOCCUPIED AREA AT LEVEL





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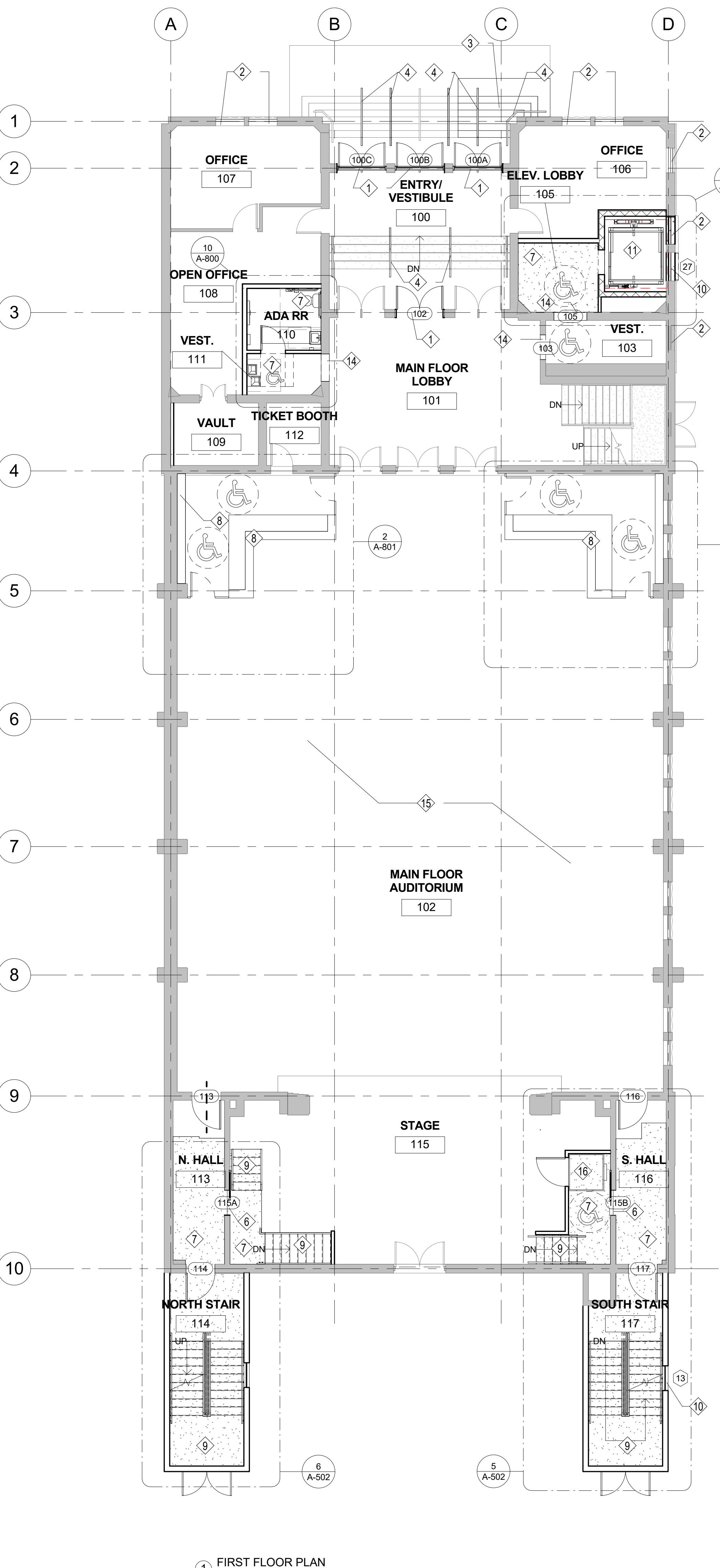
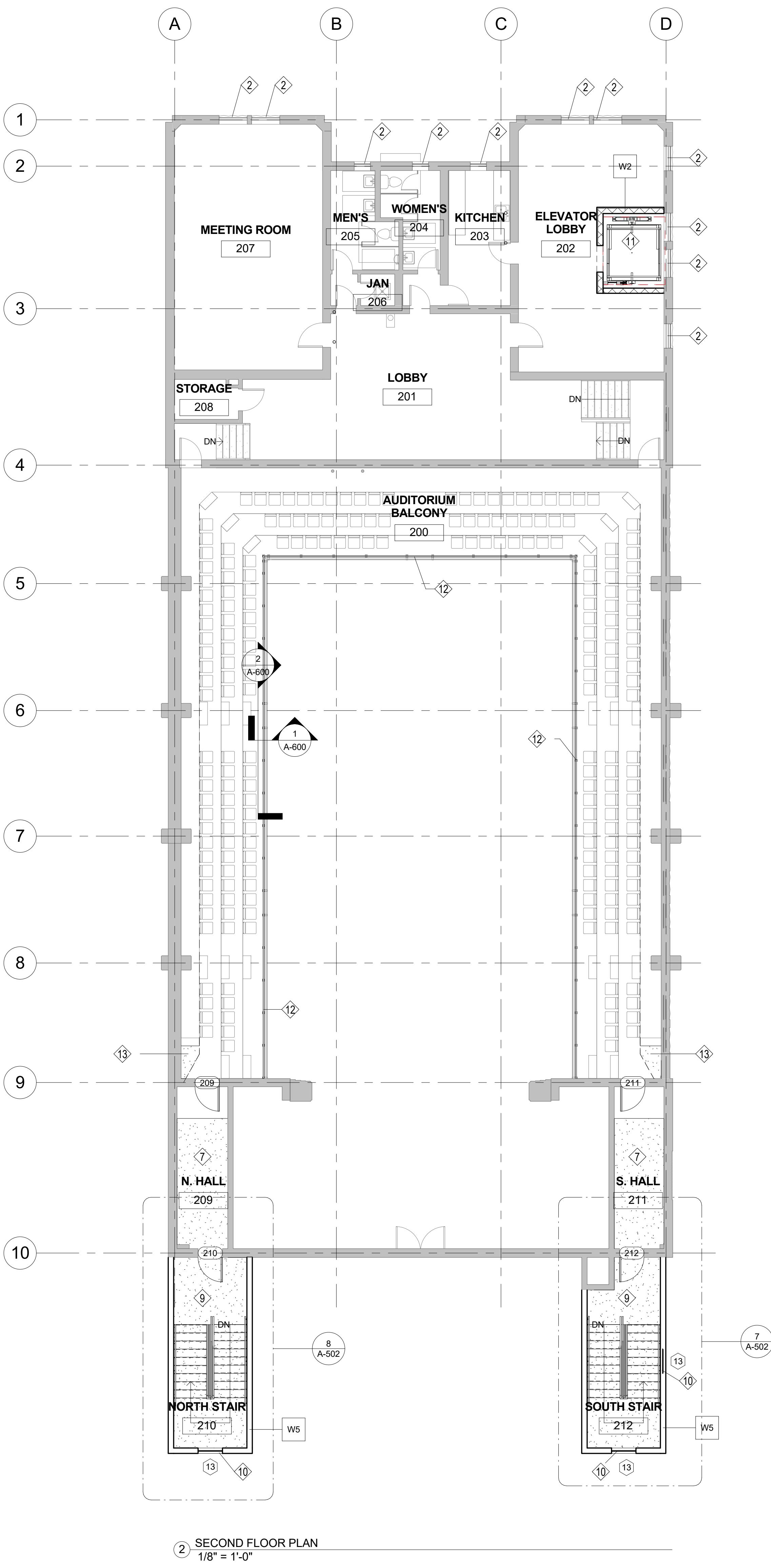
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KEYNOTE



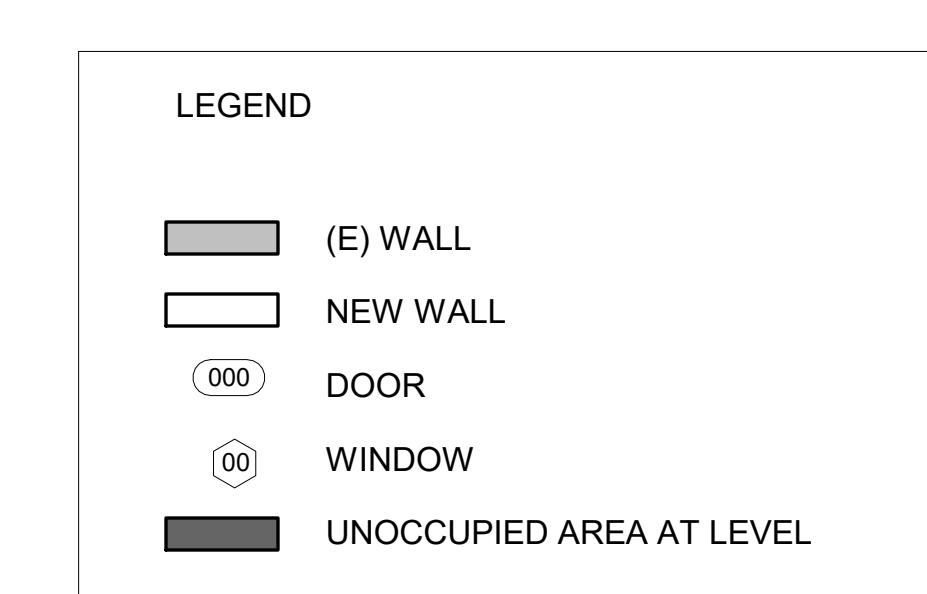
1. NEW DOUBLE DOORS.
2. ALTERNATE #1: RESTORE STEEL WINDOWS.
3. RECONSTRUCT SECTION OF CONCRETE GRAND STAIR.
4. NEW HAND RAILS TO MATCH HISTORIC IN ALL MANNERS (NORTH HANDRAIL).
5. PATCH/REPAIR LANDSCAPING.
6. REINSTALL SALVAGED DOOR, FRAME, AND TRIM.
7. INFILL FLOOR TO MATCH MAIN FLOOR HEIGHT.
8. NEW CUSTOM MILLWORK.
9. NEW STAIR AND HANDRAILS/GUARDRAILS.
10. NEW WINDOW.
11. NEW HOLELESS HYDRAULIC ELEVATOR PER DENVER ELEVATOR.
CONTACT PAUL KEEFE 303-944-2368 pkeefe@denverelevator.com
12. NEW GUARDRAIL.
13. PATCH/REPAIR CONCRETE AT LANDING. NEW CONCRETE STEPS FROM BALCONY RISERS.
14. NEW FRAMED OPENING.
15. REFINISH (E) WOOD FLOORS (PROTECT DURING OTHER WORK).
16. REINSTALL SALVAGED ADA LIFT.



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FIRST AND SECOND PLANS

A-102





City of Loveland

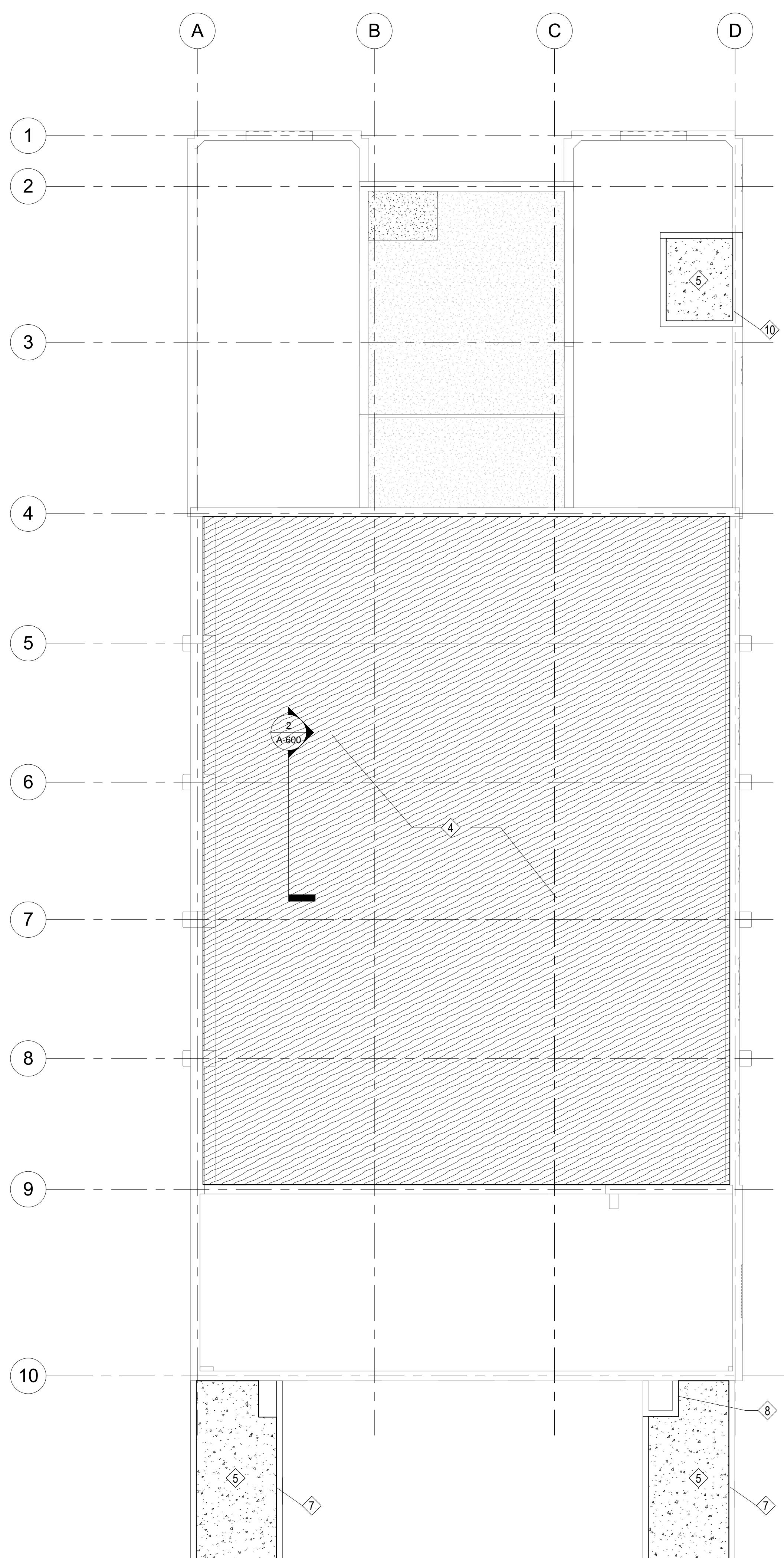
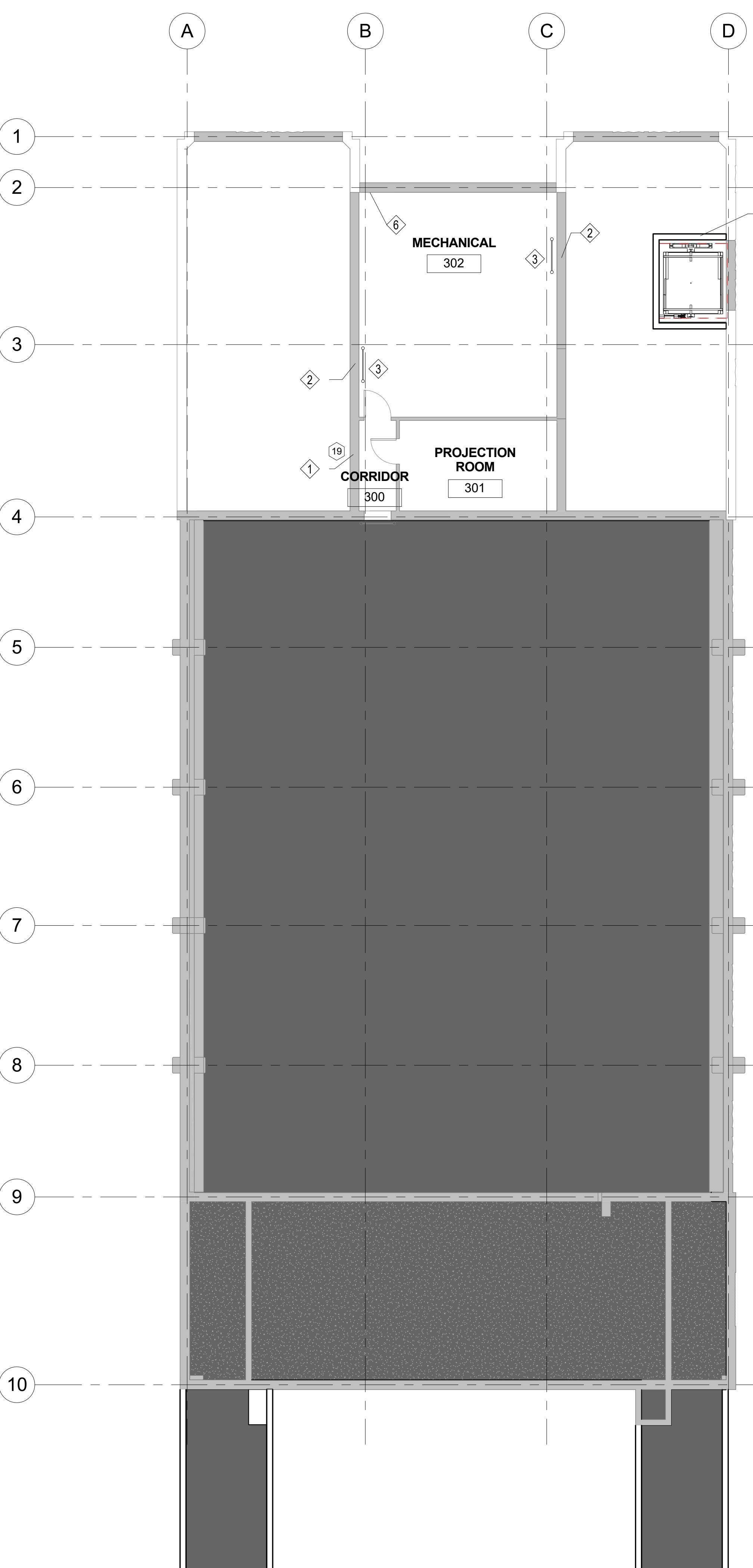
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BUILDING545 NORTH CLEVELAND
LOVELAND, COLORADO

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THIRD AND
ROOF PLANS

A-103

(2) ROOF PLAN
1/8" = 1'-0"(1) PROJECTION ROOM
1/8" = 1'-0"

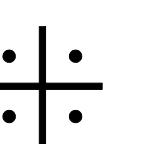
KEYNOTES

◆ SYMBOL

1. NEW WINDOW.
2. NEW ACCESS DOOR IN (E) WINDOW OPENING.
3. NEW PAINTED TUBE STEEL LADDER TO ACCESS ROOF.
4. NEW ROOF OVER (E) LAMELLA TRUSS. PROVIDE SHEATHING PER STRUCTURAL BRACE TRUSS AS REQ'D TO COMPLETE WORK.
5. NEW BUILT-UP ROOF WITH GRAVEL BALLAST TO MATCH OTHER FLAT ROOF AREAS.
6. REPAIR PLASTER WALLS WHERE DAMAGED PLASTER WAS REMOVED.
7. NEW PREFINISHED METAL PARAPET CAP.
8. NEW FLASHING AROUND (E) CHIMNEY.

LEGEND

(E) WALL
NEW WALL
(000) DOOR
(00) WINDOW
UNOCCUPIED AREA AT LEVEL





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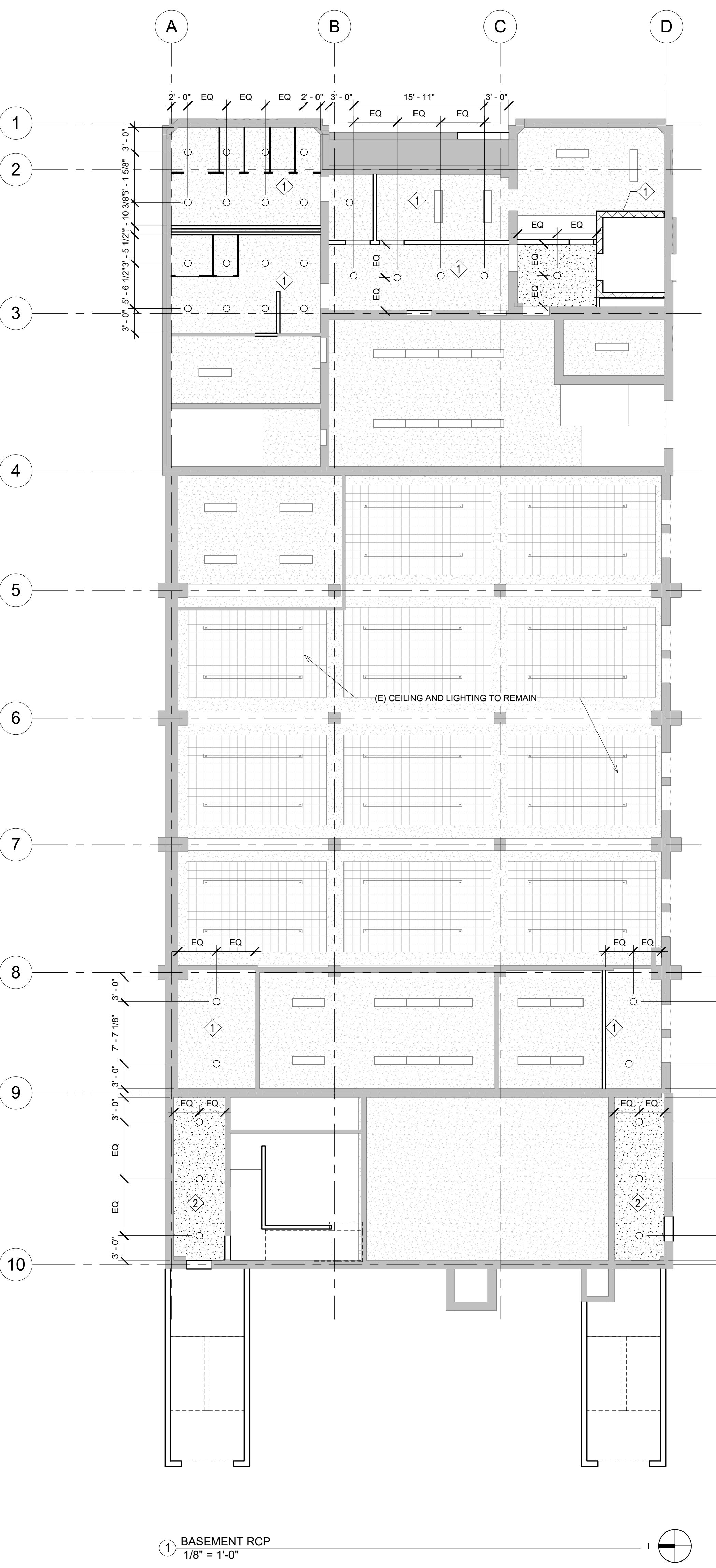
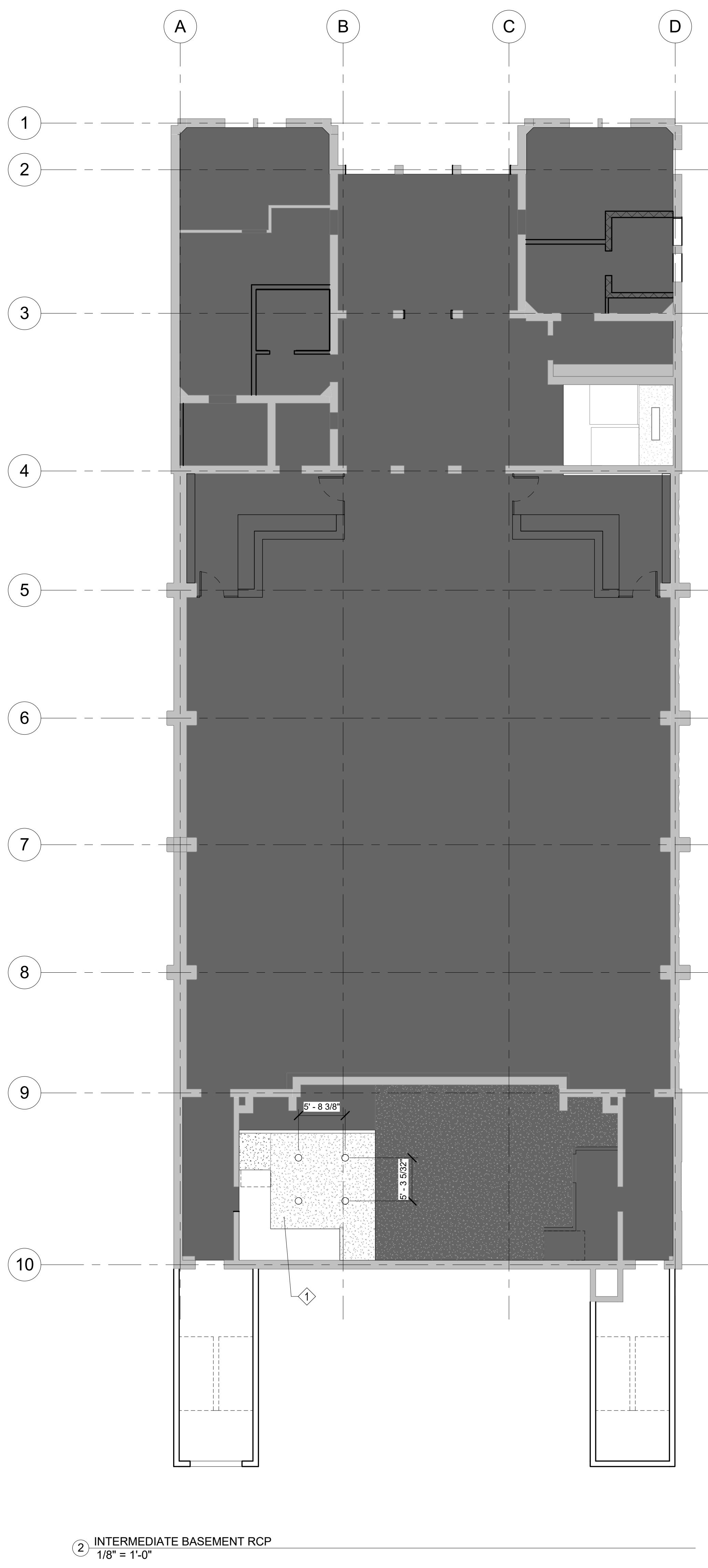
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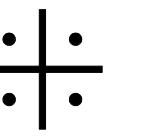
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BASEMENT AND INTERMEDIATE RCP

A-201



LEGEND	
(E) WALL	
NEW WALL	
DOOR	
WINDOW	
UNOCCUPIED AREA AT LEVEL	





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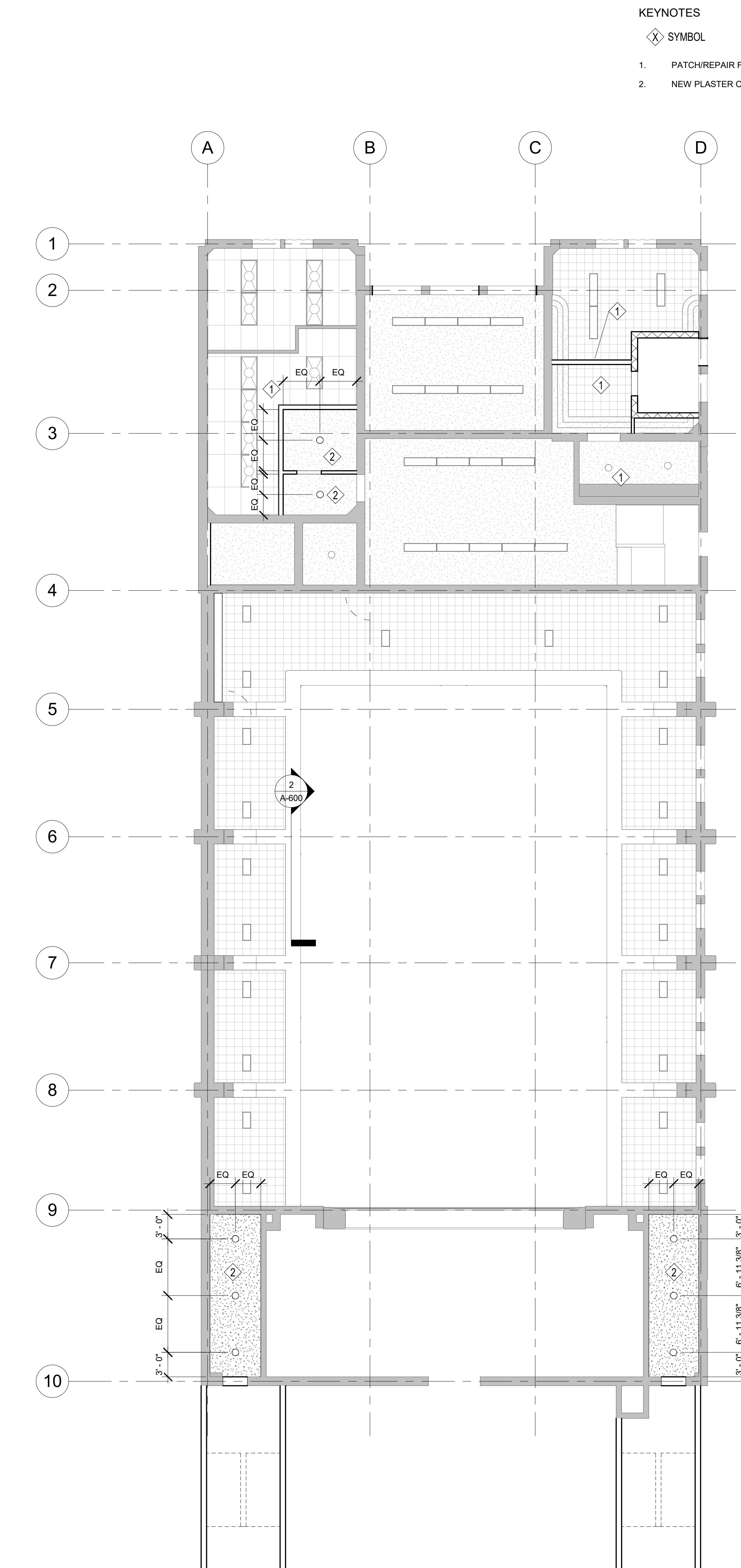
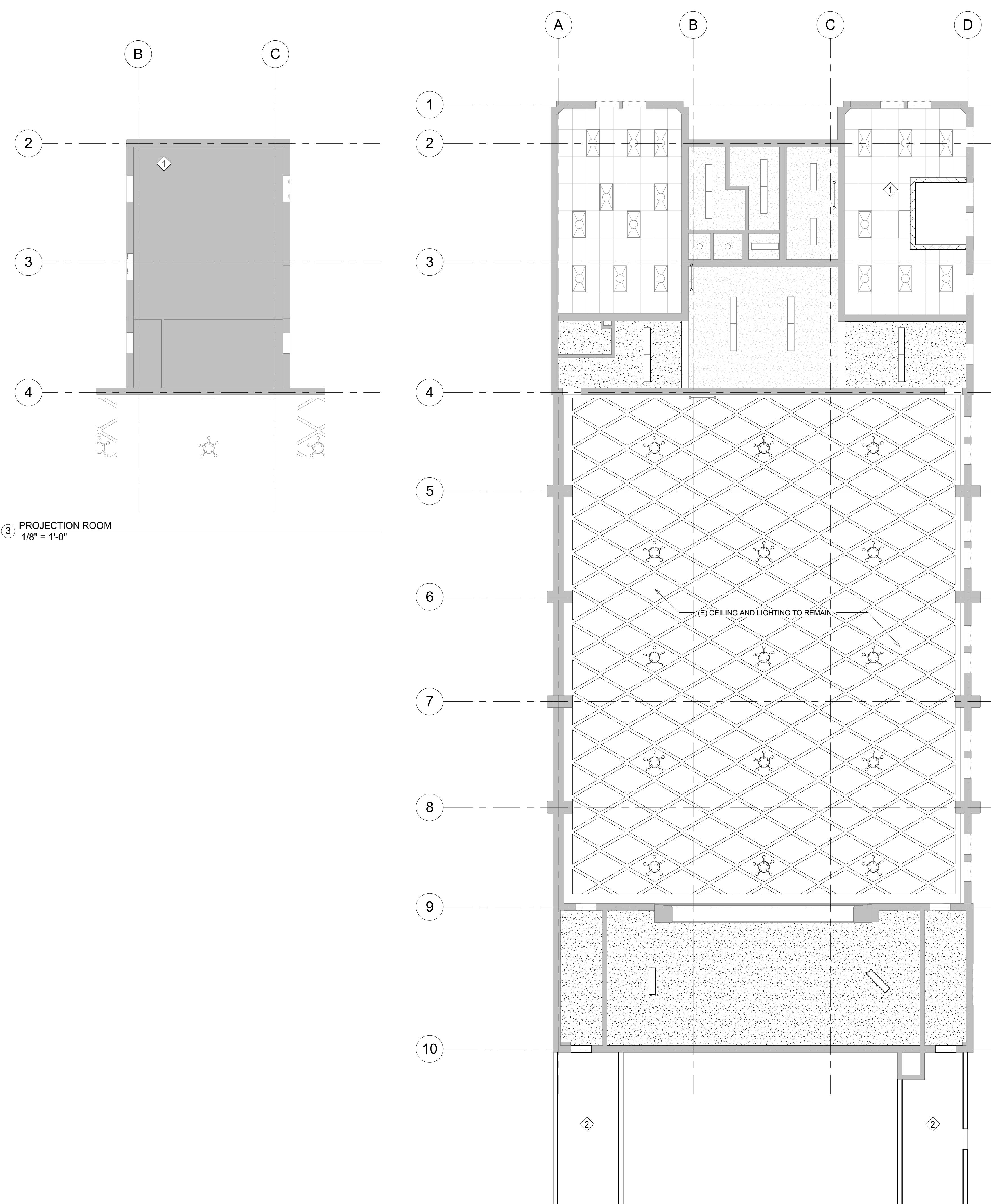
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FIRST,
SECOND AND
MEZZ. RCP

A-202



LEGEND	
(E) WALL	
NEW WALL	
DOOR	(000)
WINDOW	(W)
UNOCCUPIED AREA AT LEVEL	

① FIRST FLOOR RCP
1/8" = 1'-0"

② SECOND FLOOR RCP
1/8" = 1'-0"

③ PROJECTION ROOM
1/8" = 1'-0"

KEYNOTES

SYMBOL

- PATCH/REPAIR FINISHES TO (E) CEILING IMPACTED BY NEW WORK.
- NEW PLASTER CEILING FINISH TO MATCH (E).



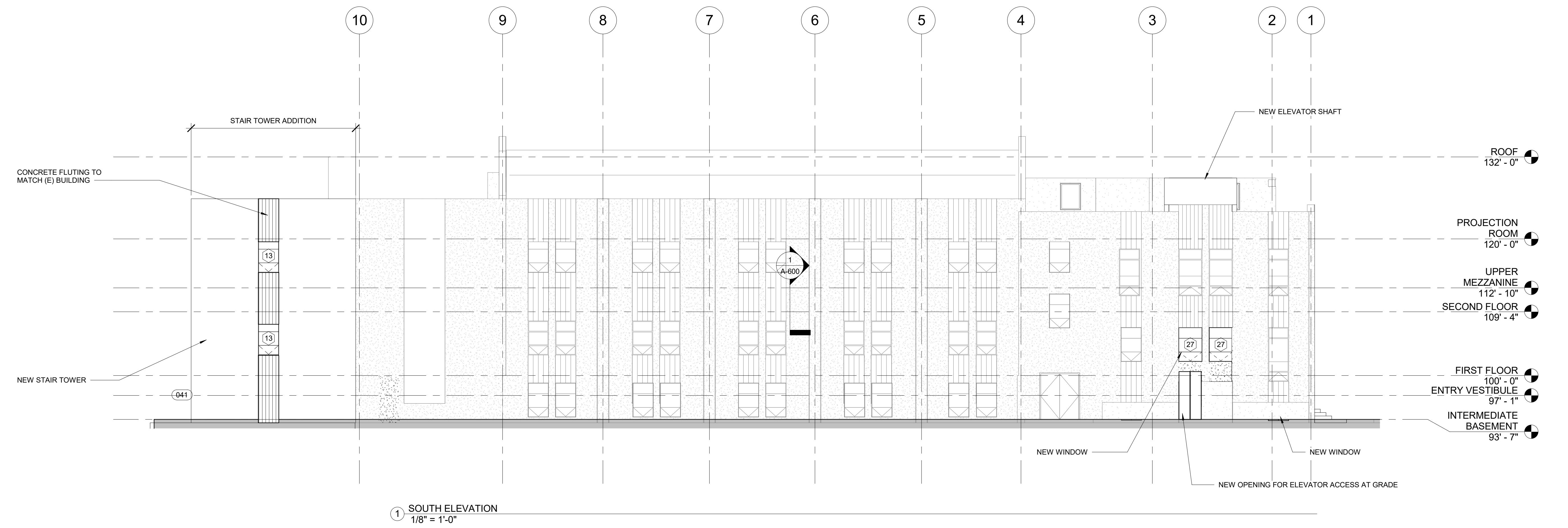
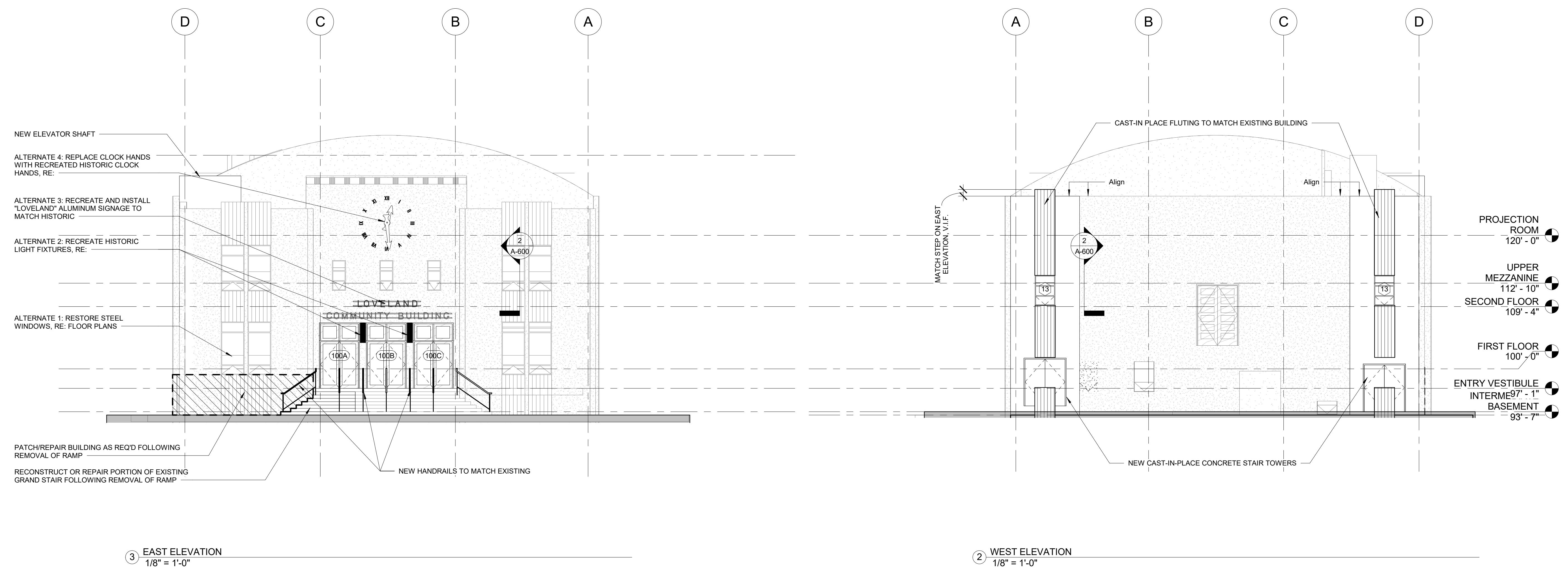
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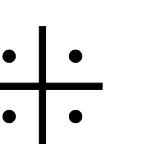


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Scale 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A-301





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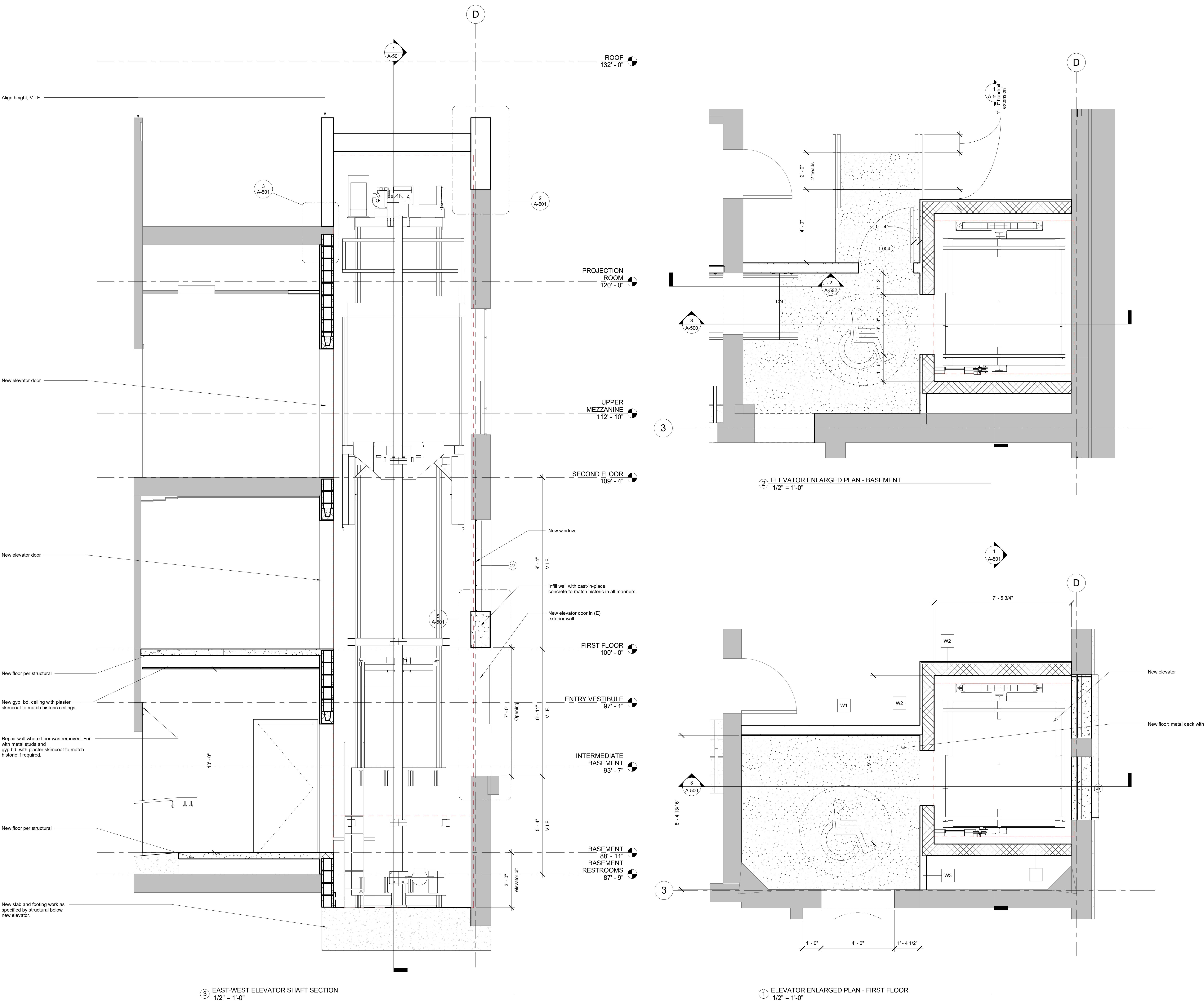
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	1/2" = 1' 0"

ELEVATOR PLAN & SECTIONS

A-500





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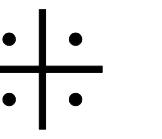
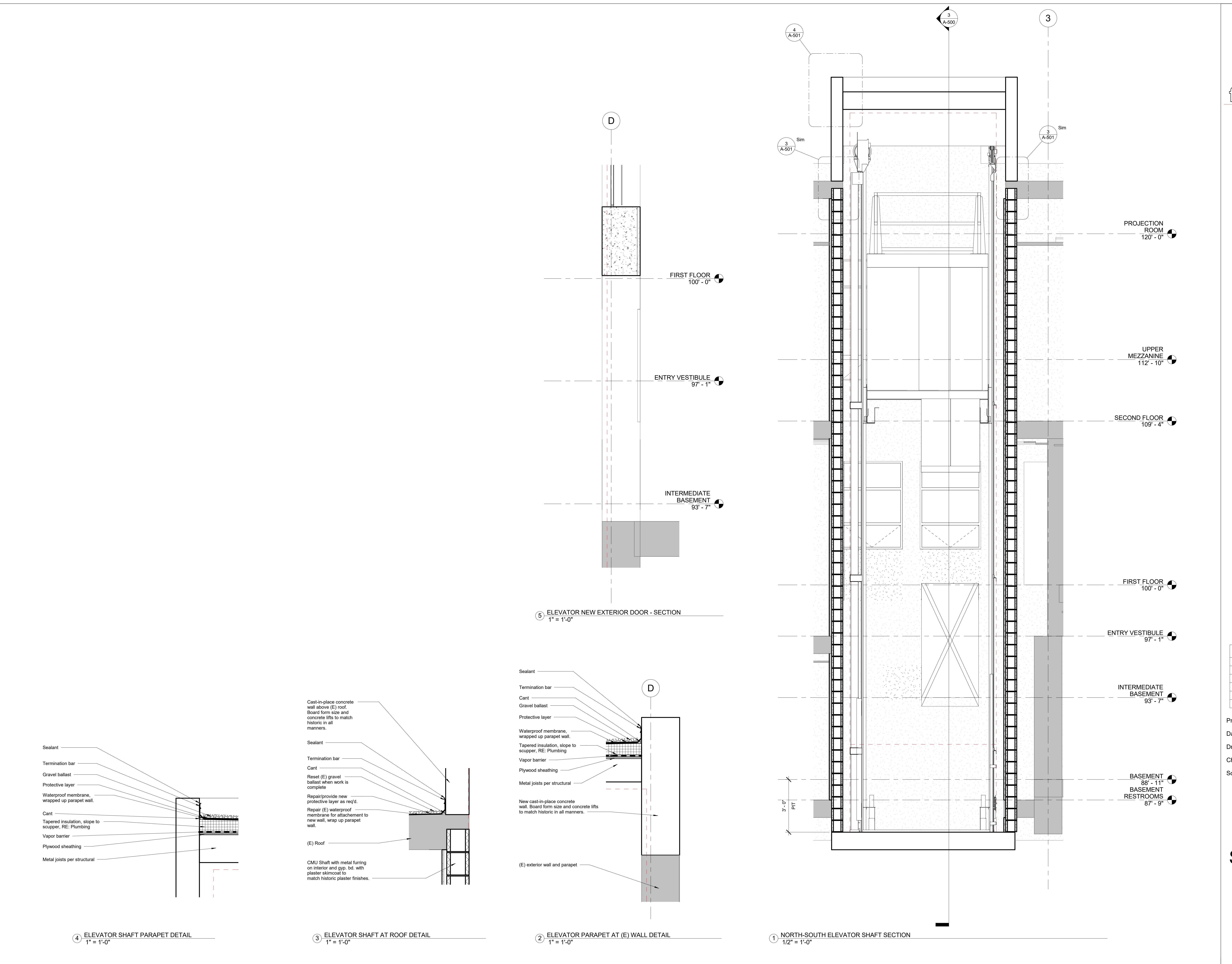
545 NORTH CLEVELAND
LOVELAND, COLORADO

No.	Description	Date

Project Number 17-001
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Drawn By
Checked By
Author
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ELEVATOR SECTIONS AND DETAILS

A-501





City of Loveland

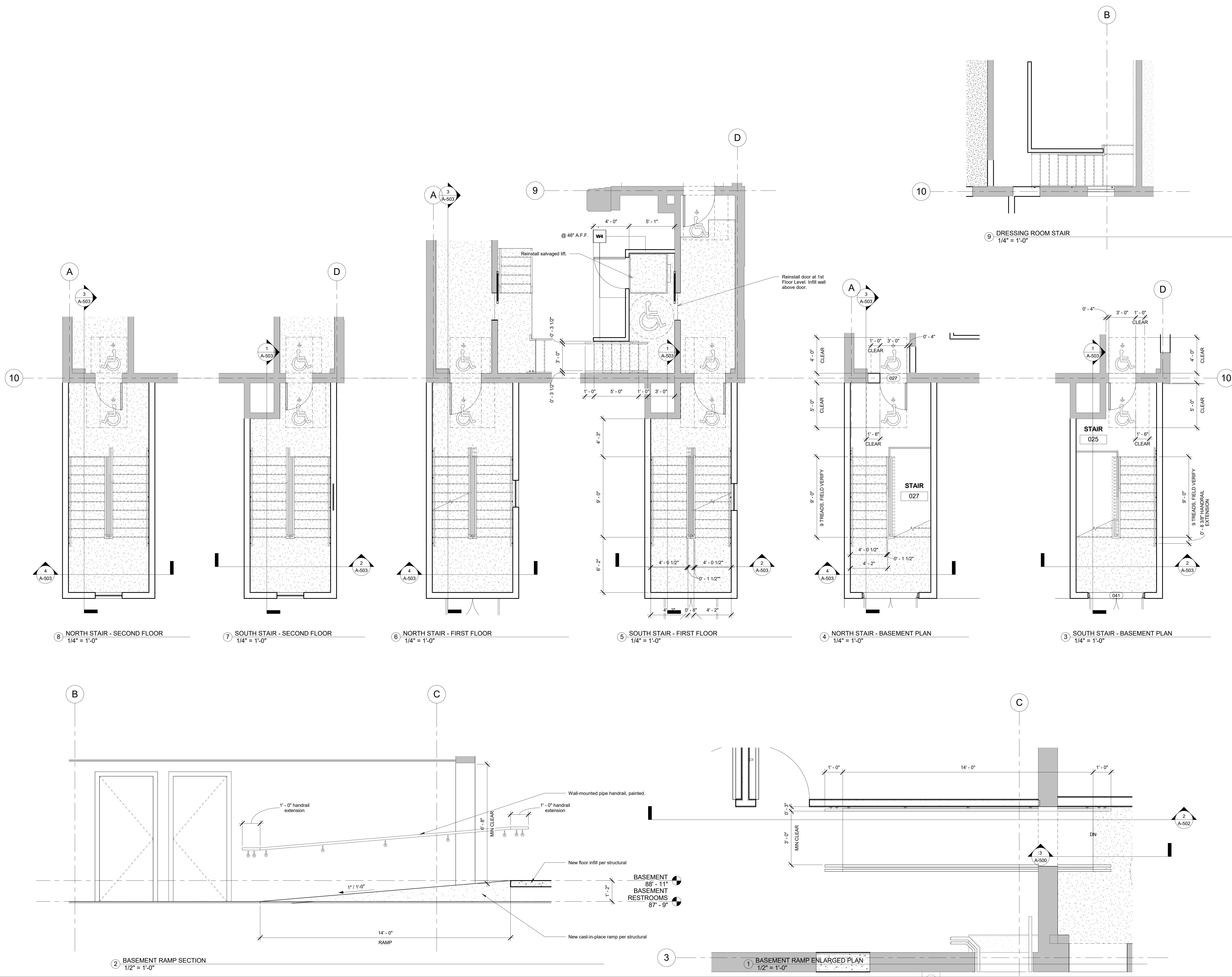
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design group, LLC

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HORNTON, COLORADO 80602
www.formworksdesigngroup.com
303.598.6545

PULLIAM COMMUNITY BUILDING

545 NORTH CLEVELAND
LOVELAND, COLORADO



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RAMP & STAIR PLANS & SECTIONS

A-502



City of Loveland

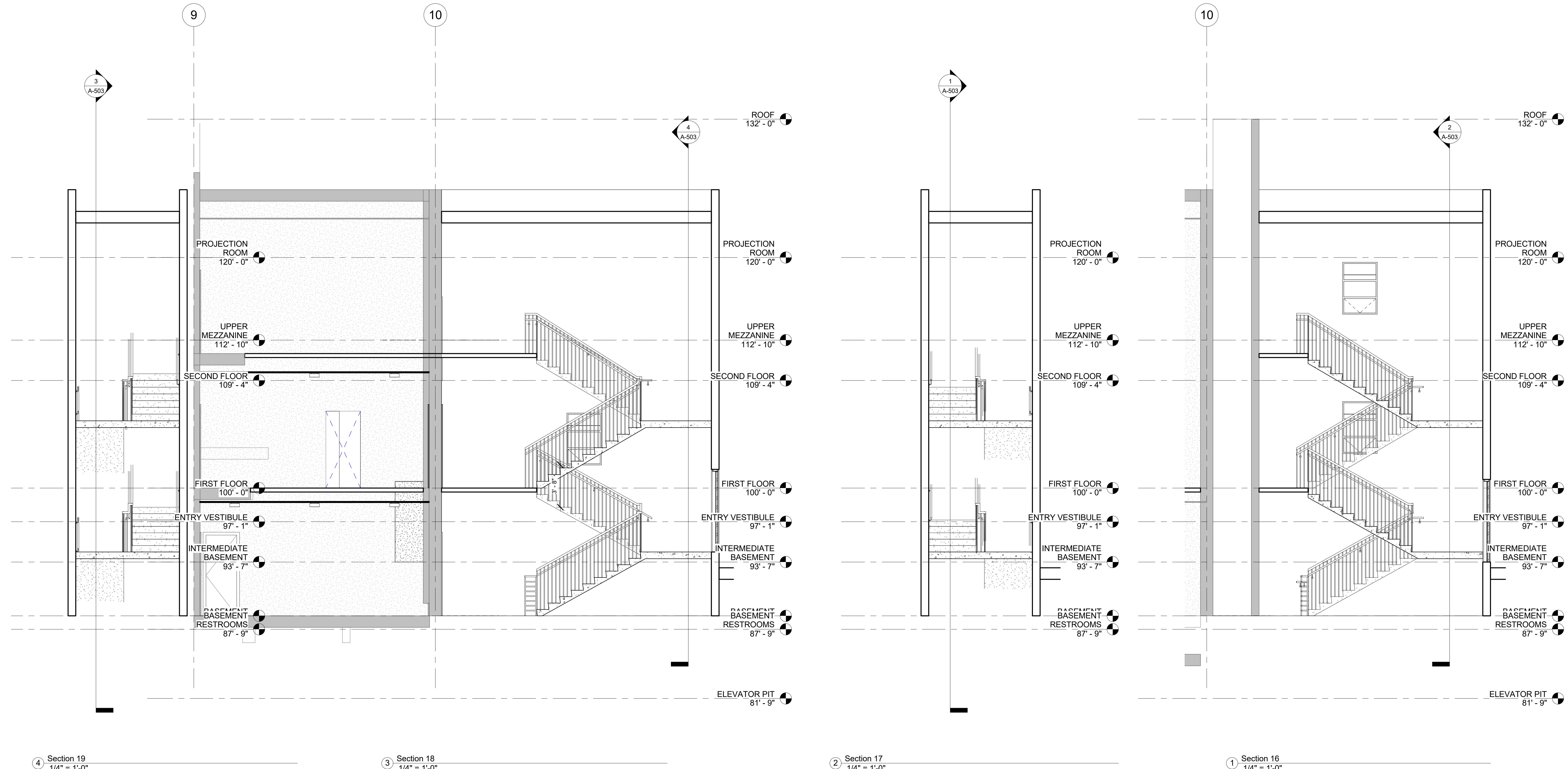
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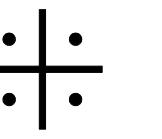
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STAIR SECTIONS

A-503





City of Loveland

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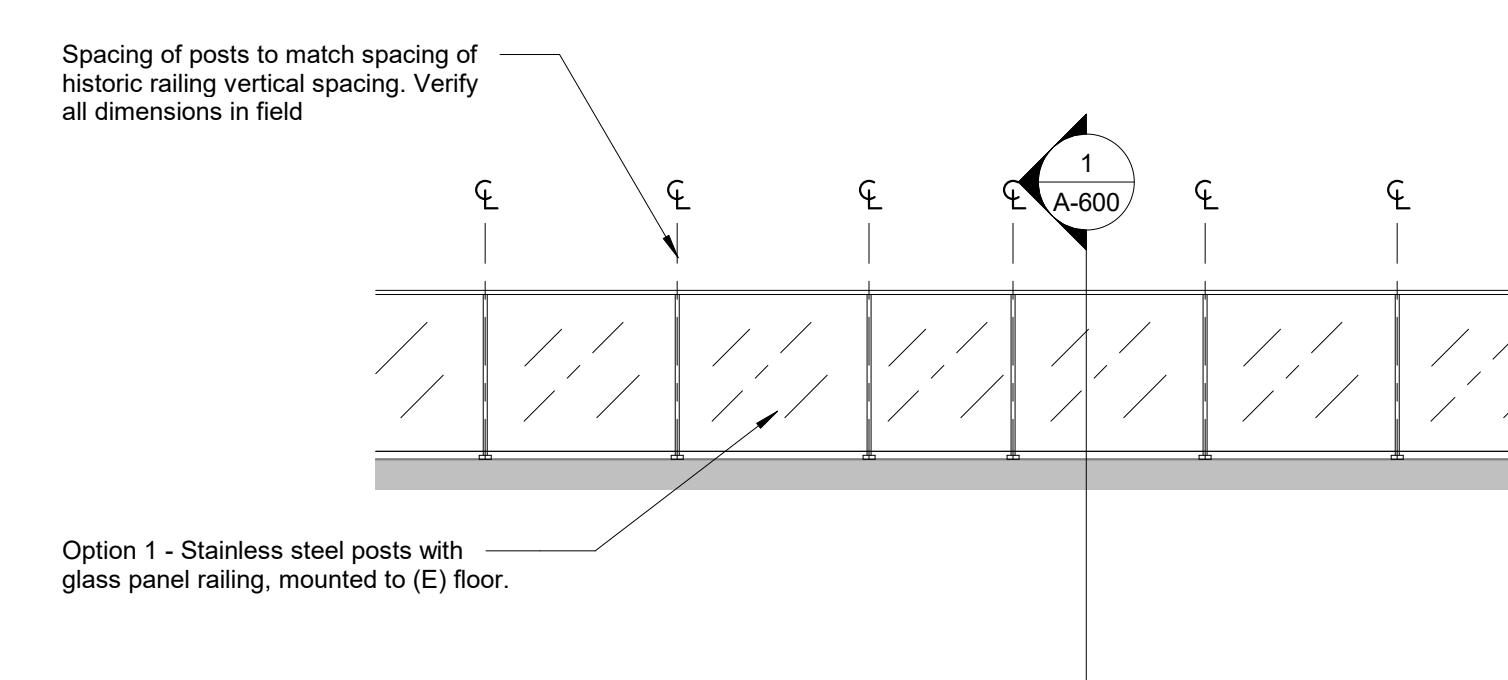
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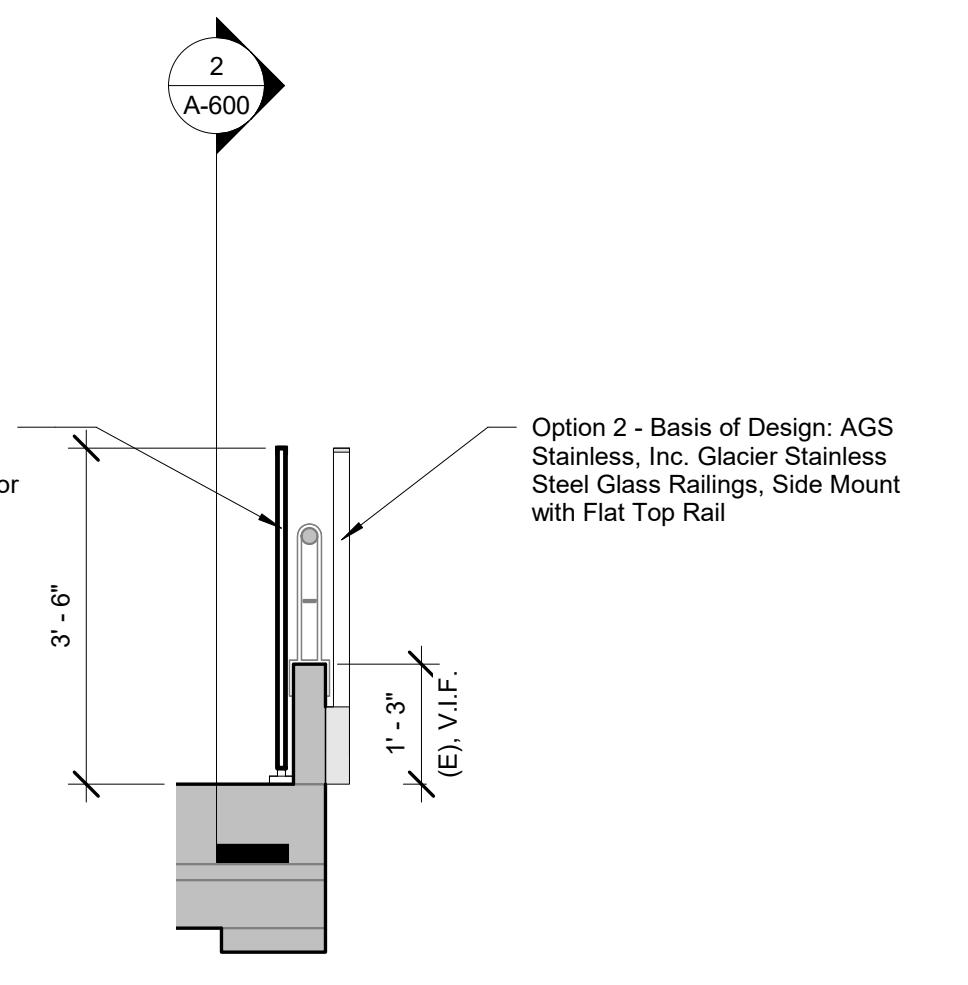
545 NORTH CLEVELAND
LOVELAND, COLORADO

No.	Description	Date

Project Number 17-001
Date JUNE 30, 2017
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Checked By
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Scale As indicated



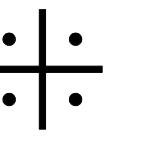
② NEW BALCONY GUARDRAIL - PARTIAL ELEVATION
1/4" = 1'-0"



① NEW BALCONY GUARDRAIL
1/2" = 1'-0"

DETAILS

A-600





City of Loveland

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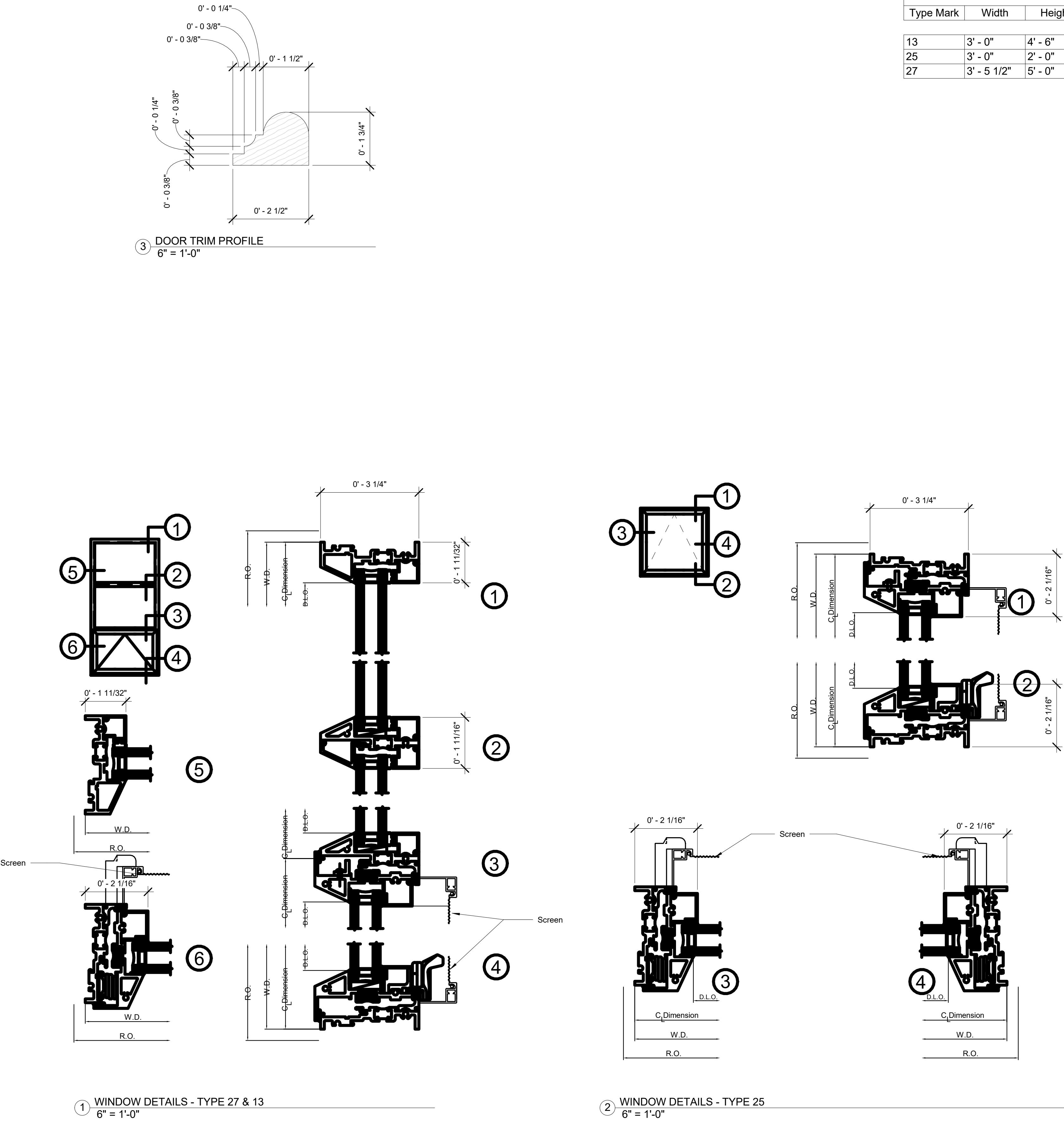
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545 NORTH CLEVELAND LOVELAND, COLORADO

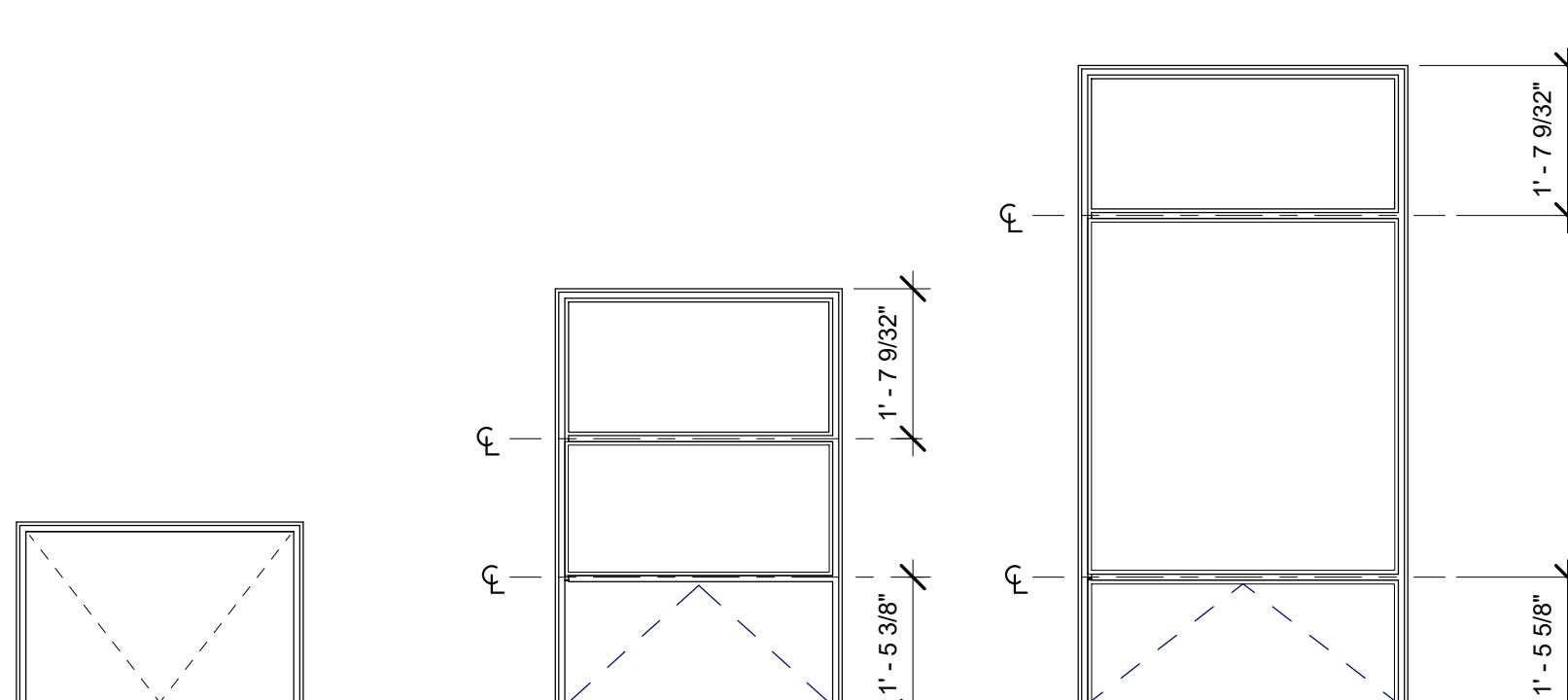
Window Schedule				
Type	Mark	Width	Height	Comments
13	3' - 0"	4' - 6"	Basis of Design: Winco Steel Replica 3250	
25	3' - 0"	2' - 0"	Basis of Design: Winco Steel Replica 3250	
27	3' - 5 1/2"	5' - 0"	Basis of Design: Winco Steel Replica 3250	

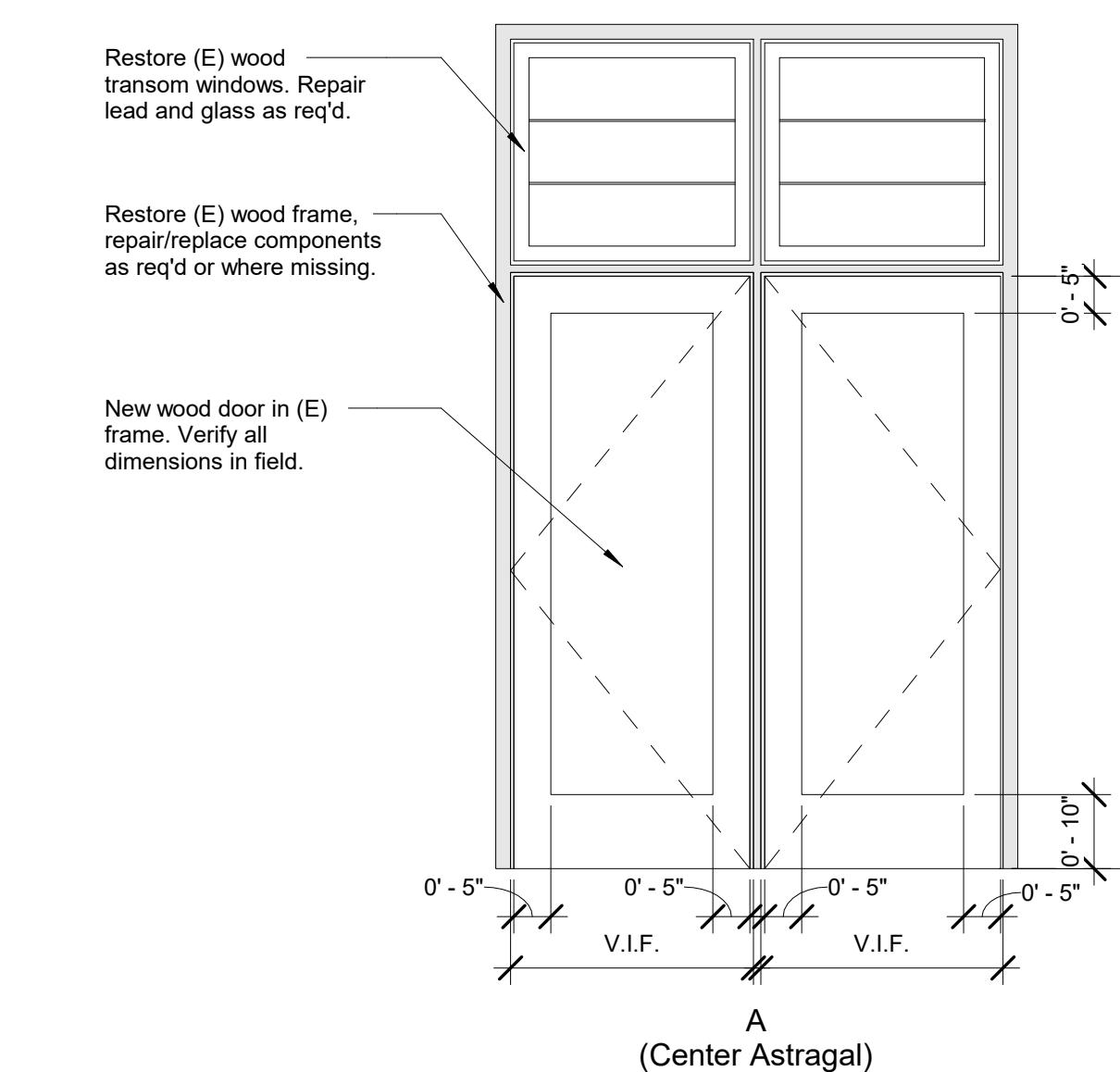
Door Schedule							
Mark	Width	Height	Type Comments	Frame Type	Door Leaf Material	Comments	Level
006	3' - 0"	7' - 0"	B				BASEMENT RESTROOMS
007	3' - 0"	7' - 0"	B				BASEMENT RESTROOMS
008	3' - 0"	7' - 0"	B				BASEMENT RESTROOMS
004	3' - 0"	7' - 0"	B				BASEMENT
014A	3' - 0"	7' - 0"	B				BASEMENT
014B	3' - 0"	7' - 0"	B				BASEMENT
015A	3' - 0"	7' - 0"	B				BASEMENT
016B	3' - 0"	7' - 0"	B				BASEMENT
025	3' - 0"	7' - 0"	B				BASEMENT
027	3' - 0"	7' - 0"	B				BASEMENT
013	0' - 0"	0' - 0"					INTERMEDIATE BASEMENT
040	6' - 0"	7' - 0"			(8) HM-1		INTERMEDIATE BASEMENT
041	6' - 0"	7' - 0"			(8) HM-1		INTERMEDIATE BASEMENT
312	0' - 0"	0' - 0"					INTERMEDIATE BASEMENT
100A	5' - 8"	7' - 0"	A	(E) WD	(8) SCWD-1		ENTRY VESTIBULE
100B	5' - 8"	7' - 0"	A-2	(E) WD	(8) SCWD-1		ENTRY VESTIBULE
100C	5' - 8"	7' - 0"	A	(E) WD	(8) SCWD-1		ENTRY VESTIBULE
102	5' - 8"	7' - 0"					FIRST FLOOR
103	0' - 0"	0' - 0"					FIRST FLOOR
105	0' - 0"	0' - 0"					FIRST FLOOR
110	3' - 0"	7' - 0"	B				FIRST FLOOR
111	0' - 0"	0' - 0"					FIRST FLOOR
113	3' - 6"	7' - 0"					FIRST FLOOR
114	3' - 6"	7' - 0"					FIRST FLOOR
115A	3' - 0"	6' - 8"					FIRST FLOOR
115B	3' - 0"	6' - 8"					FIRST FLOOR
116	3' - 6"	7' - 0"					FIRST FLOOR
117	3' - 6"	7' - 0"					FIRST FLOOR
307	3' - 6"	7' - 0"					FIRST FLOOR
340	0' - 0"	0' - 0"					FIRST FLOOR
043	0' - 0"	0' - 0"					SECOND FLOOR
209	3' - 0"	7' - 0"	B				SECOND FLOOR
210	3' - 0"	7' - 0"	B				SECOND FLOOR
211	3' - 0"	7' - 0"	B				SECOND FLOOR
212	3' - 0"	7' - 0"	B				SECOND FLOOR



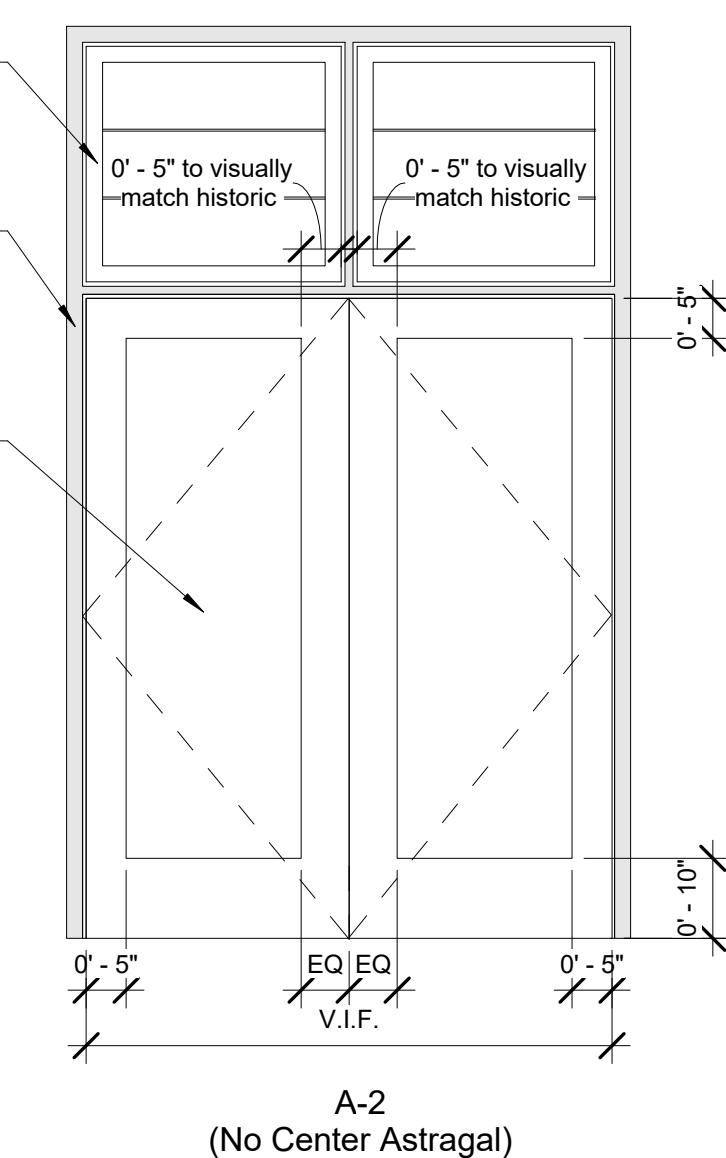
1 WINDOW DETAILS - TYPE 27 & 13
6" = 1'-0"

2 WINDOW DETAILS - TYPE 25
6" = 1'-0"

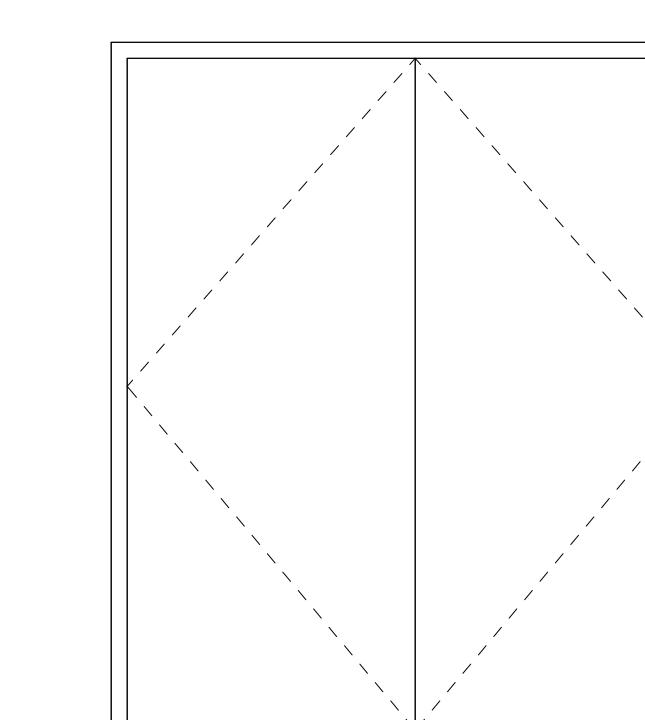
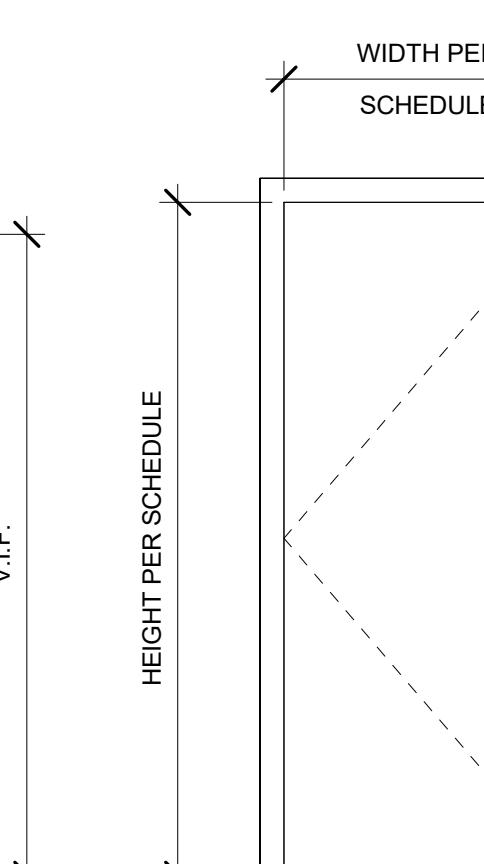




(Center Astra)



A-Z
(No Center A)



Project Number	17-001
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WINDOW AND DOOR DETAILS, SCHEDULES

A-700



