



## LOVELAND PLANNING COMMISSION MEETING AGENDA

Monday, April 10, 2017  
500 E. 3<sup>rd</sup> Street – Council Chambers  
Loveland, CO 80537  
6:30 PM

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**LOVELAND PLANNING COMMISSIONERS: Jeremy Jersvig (Chair), Carol Dowding (Vice-Chair), Michele Forrest, Pat McFall, Rob Molloy, and Mike Ray, Jamie Baker Roskie, and Jeff Fleischer.**

### **I. CALL TO ORDER**

### **II. PLEDGE OF ALLEGIANCE**

### **III. REPORTS:**

#### **a. Citizen Reports**

This is time for citizens to address the Commission on matters not on the published agenda.

#### **b. Current Planning Updates**

##### **1. Monday, April 24, 2017 Agenda Preview**

i. Waterfall 4<sup>th</sup> Subdivision – Vacation of Access and Utility Easements

ii. Waterfall 6<sup>th</sup> Subdivision – Master Plan Major Amendment

iii. Temporary Uses Code Amendments – Study Session

##### **2. Recap: March 31<sup>st</sup> Residential Sites Tour**

##### **3. April 11th City Council Study Session on the UDC**

##### **4. April 18<sup>th</sup> Planning Commission Membership Expansion into GMA City Council 1<sup>st</sup> reading**

##### **5. Hot Topics:**

- c. **City Attorney's Office Updates**
- d. **Committee Reports**
- e. **Commission Comments**

#### **IV. APPROVAL OF MINUTES**

##### **Review and approval of the March 27, 2017 Meeting minutes**

#### **V. CONSENT AGENDA**

The consent agenda includes items for which no discussion is anticipated. However, any Commissioner, staff member or citizen may request removal of an item from the consent agenda for discussion. Items requested to be removed from the consent agenda will be heard at the beginning of the regular agenda.

Public hearings remaining on the Consent Agenda are considered to have been opened and closed, with the information furnished in connection with these items considered as the only evidence presented. Adoption of the items remaining on the Consent Agenda is considered as adoption by the Planning Commission and acceptance by the Applicant of the staff recommendation for those items.

- Does anyone in the audience wish to remove an item from the Consent Agenda?
- Does any staff member wish to remove an item from the Consent Agenda?
- Does any Commissioner wish to add any item from the Regular Agenda to the Consent Agenda or remove an item from the Consent Agenda?

#### **VI. REGULAR AGENDA:**

##### **1. Mirasol Preliminary Development Plan (Presentation time: 15 Minutes)**

This is a public hearing to consider a preliminary development plan (PDP) to construct a 60 unit, 3-story senior apartment building and 3 “Green House” skilled nursing homes within the Mirasol Community PUD. The PDP site is located at the southeast corner of South St. Louis Avenue and 4<sup>th</sup> Street SE and was recently annexed into the City and zoned to be part of Mirasol. The zoning allows for the development of an apartment building on the western portion of the site and Green House homes on the eastern portion of the site, adjacent to the existing residential neighborhood.

The Mirasol Community PUD is a successful senior housing development that provides a variety of affordable housing options for seniors. The PDP represents the final development phase within the PUD. The development proposed in the PDP matches the character, architectural theme and streetscape design in Mirasol. Staff is recommending approval of the PDP based on the findings contained in Section VIII of this report.

#### **VII. ADJOURNMENT**

**CITY OF LOVELAND**  
**PLANNING COMMISSION MINUTES**  
**March 27, 2017**

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A meeting of the City of Loveland Planning Commission was held in the City Council Chambers on March 27, 2017 at 6:30 p.m. Members present: Chairman Jersvig; and Commissioners Dowding, Molloy, Forrest, Ray, McFall, Roskie, and Fleischer. Members absent: None. City Staff present: Bob Paulsen, Current Planning Manager; Moses Garcia, Assistant City Attorney; Linda Bersch, Interim Planning Commission Secretary.

*These minutes are a general summary of the meeting. A complete video recording of the meeting is available for two years on the City's web site as follows: <https://loveland.viebit.com/>*

**CITIZEN REPORTS**

There were no citizen reports.

**CURRENT PLANNING UPDATES**

1. **Mr. Robert Paulsen, Current Planning Manager**, reported one scheduled item on the agenda for the April 10, 2017 meeting, a public hearing on the Marisol Preliminary Development Plan.
2. **Mr. Paulsen** indicated that a COLT bus is available for the Residential City Tour scheduled for March 31<sup>st</sup> from 1:15 to 4:30 pm. The tour is scheduled to include a visit to The Lakes Development in East Loveland that allows us to see a variety of home products in a very small area. There is a possibility for a visit to Rigden Farms in south Fort Collins if the Commissioners would like to view this award winning development that includes a commercial node. The consensus was to include Rigden Farms. Mr. Paulsen will send out an itinerary for the tour.
3. Under Hot Topics, **Mr. Paulsen** noted that the adjustment relative to the membership of the Planning Commission to allow for two commission members to reside outside the city limits but within the City's Growth Management Area (GMA) will go before the City Council for first reading on April 18<sup>th</sup>. He noted that it would be useful for a Planning Commission member to be in attendance at that meeting. He also noted that City Council has expressed some interest that membership on the Planning Commission be more equitable among the City Council Wards.

Discussion followed on the current vacancy in the Commission. It was decided to not advertise the opening until after the City Council addresses the issue of membership from within the GMA on April 18<sup>th</sup>. Recruitment will follow the same procedures as used in the past.

## **CITY ATTORNEY'S OFFICE UPDATES**

There was nothing to report from the City Attorney's Office.

## **COMMITTEE REPORTS**

**Commissioner Roskie** reported that a Title 18 Committee met on March 16<sup>th</sup>. There was a briefing on the UDC and the draft ordinance on the Complete Communities Concept.

**Commissioner Forrest** reported there was no action for ZBA.

## **COMMISSIONER COMMENTS**

**Commissioner Molloy** inquired about the Boards and Commissions meeting. Mr. Paulsen reported that Commissioner Jersvig and Dowding did a very nice job presenting for the Planning Commission. It was one of the best presentations of the evening.

## **APPROVAL OF THE MINUTES**

*Commissioner Dowding made a motion to approve the **March 13, 2017** minutes with corrections as noted; upon a second from **Commissioner McFall**, the minutes were unanimously approved. **Commissioner Molloy** abstained.*

**Mr. Paulsen** thanked the Commissioners for their review and analysis of the Foundry project and for the conduct of the March 13th meeting. The project is proceeding with ground breaking scheduled for April 11<sup>th</sup>. Commissioners will be notified of the exact schedule.

## **ADJOURNMENT**

**Commissioner Dowding**, made a motion to adjourn. Upon a second by **Commissioner Forrest**, the motion was unanimously adopted.

**Commissioner Jersvig adjourned the meeting at 6:50 p.m.**

Approved by: \_\_\_\_\_  
Jeremy Jersvig, Planning Commission Chair

\_\_\_\_\_  
Linda Bersch, Interim Planning Commission Secretary.





## **Planning Commission Staff Report**

**April 10, 2017**

**Agenda #:** Regular Agenda - 1  
**Title:** Mirasol Phase 3 Preliminary Development Plan  
**Applicant:** Housing Authority of the City of Loveland. Jeff Feneis  
**Request:** **Preliminary Development Plan**  
**Location:** Southeast corner of the intersection of South St. Louis Avenue and 4<sup>th</sup> Street SE  
**Existing Zoning:** Planned Unit Development  
**Proposed Use:** Independent living apartments and Green House skilled nursing homes  
**Staff Planner:** Kerri Burchett

### ***Staff Recommendation***

Subject to additional evidence presented at the public hearing, City staff recommends the following motions:

#### ***Recommended Motions:***

1. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated April 10, 2017 and, based on those findings, approve Resolution #17-01 thereby approving the Mirasol Phase 3 Preliminary Development Plan subject to the condition listed in said report, as amended on the record.*

### ***Summary of Analysis***

This is a public hearing to consider a preliminary development plan (PDP) to construct a 60 unit, 3-story senior apartment building and 3 “Green House” skilled nursing homes within the Mirasol Community PUD. The Mirasol Community PUD is a successful senior housing development that provides a variety of affordable housing options for seniors. The PDP site is located at the southeast corner of South St. Louis Avenue and 4<sup>th</sup> Street SE and was recently annexed into the City and zoned to be part of Mirasol. The zoning allows for the development of an apartment building on the western portion of the site and Green House homes on the eastern portion of the site, adjacent to the existing residential neighborhood.

The PDP represents the final development phase within the PUD. Site design, building orientation and building heights reflect feedback provided at the neighborhood meetings. The apartment building is designed as a 3-story, 67,800 square foot structure with building heights transitioning to 2 stories on 4<sup>th</sup> Street SE. The Green House homes are an innovative approach to skilled nursing that creates a home environment for residents. Each home contains ten 1-bedroom units, a central kitchen and common living space. The development proposed in the PDP matches the character, architectural theme and streetscape design in Mirasol.

Staff believes that all key issues have been resolved based on City Code and standards contained in the PUD. Neighbors and residents attending the neighborhood meeting were generally supportive of the project. Staff is recommending approval of the PDP based on the findings contained in Section VIII of this report.

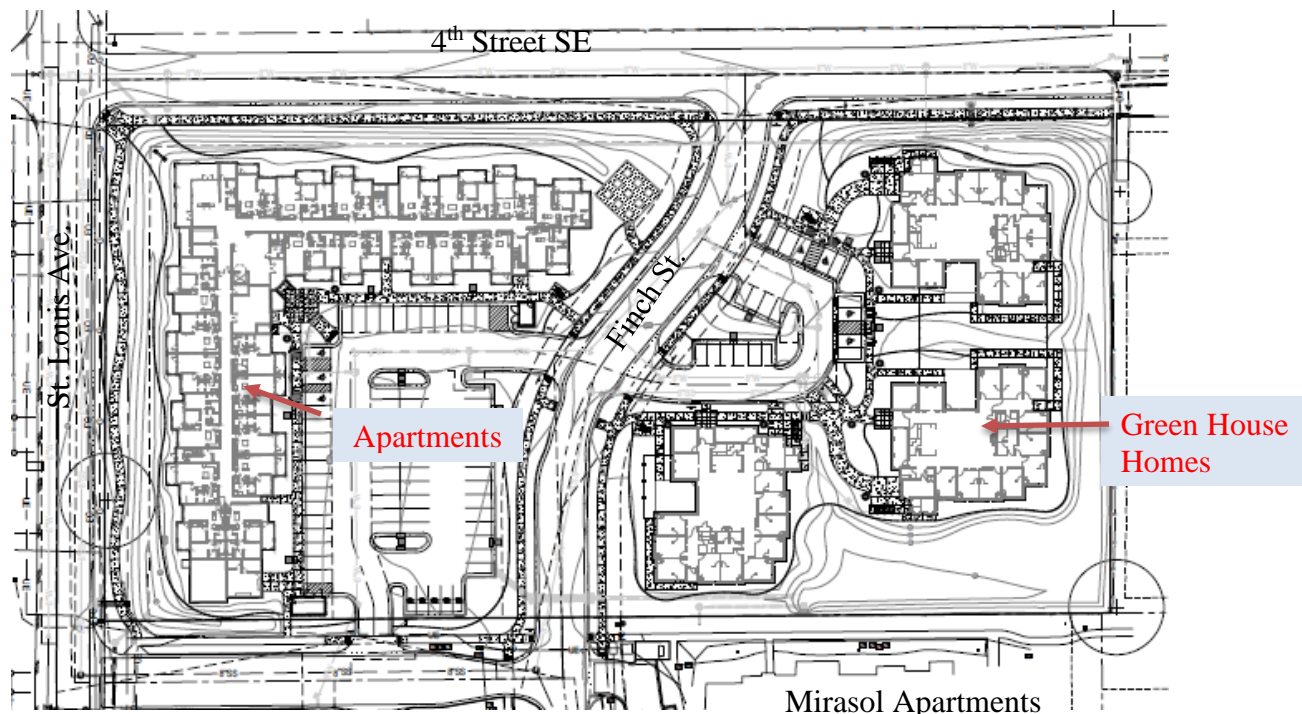
## I. SUMMARY

This application is for a preliminary development plan in the Mirasol Community PUD. The property, which is approximately 4.8 acres, is located at the southeast corner of the intersection of South St. Louis Avenue and 4<sup>th</sup> Street SE. The PUD was developed by the Housing Authority of the City of Loveland and was designed as an affordable senior housing community providing a variety of for-sale and for-rent single family, duplex, independent living apartments, and “Green House” skilled nursing homes. Development within the original boundaries of the PUD has been completed, which included two independent living apartment complexes, 55 single family/duplex units, a centralized community building and 6 Green House skilled nursing homes. In October of last year, the Housing Authority annexed an additional 6 acres of land directly to the north of Mirasol and incorporated the property into the PUD. The property was zoned to allow a 60 unit senior apartment building at the corner of St. Louis Avenue and 4<sup>th</sup> Street SE and 3 Green House skilled nursing homes on the east side of the property. This PDP represents the final phase of development in the Mirasol Community PUD.

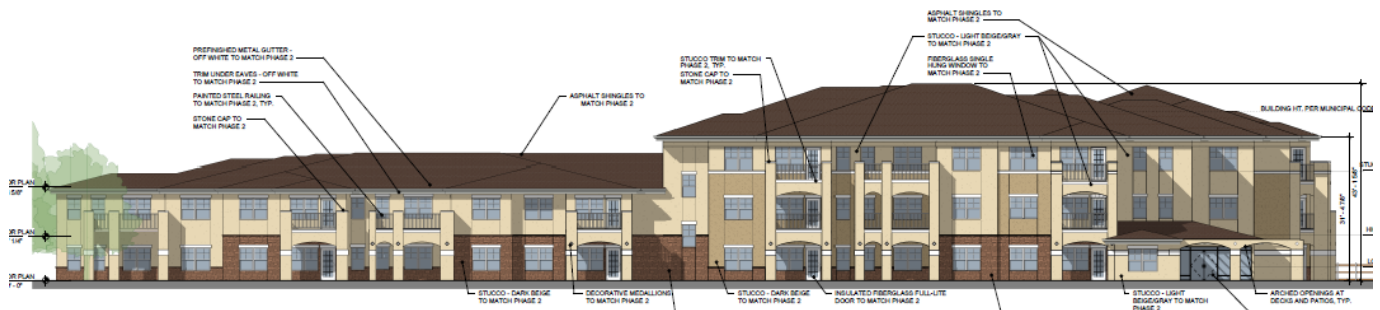
### Independent Living Apartments

The PDP proposes the development of a 60-unit, 67,785 square foot independent living apartment building at the corner of St. Louis Avenue and 4<sup>th</sup> Street SE. The placement of the apartments on the west side of the property was approved in the GDP to lessen the impacts of the use on the existing large lot single family uses to the east. The building is oriented in an “L” shape design with parking located interior to the site. The 60 units will include a variety of 1 and 2 bedrooms and the architecture will match the architectural theme of the existing 2 and 3 story apartments existing in Mirasol. The building height was originally proposed as all 3 stories with a smaller footprint. Based on comments received at the neighborhood meetings, the building height was revised to transition to 2 stories along 4<sup>th</sup> Street SE. The 2-story height will provide greater compatibility with the building heights in the established neighborhood.

**Figure 1: Site Plan**



**Figure 2: North Apartment Building Elevation facing 4<sup>th</sup> Street SE**

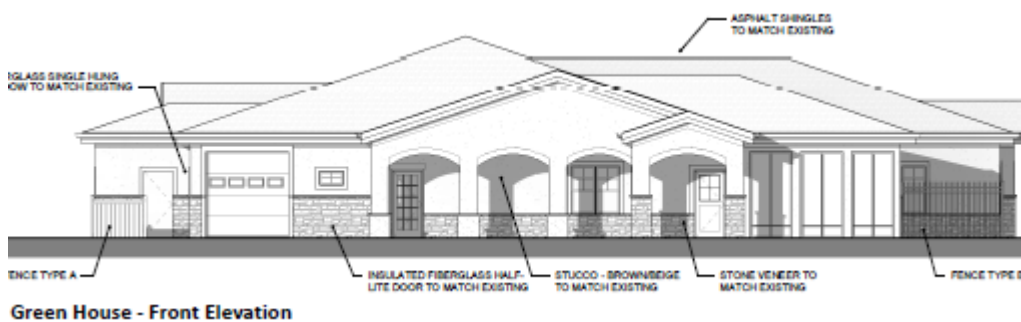


## Green House Homes

Along the east side of the property, 3 “Green House” skilled nursing homes are proposed. A Green House model of skilled nursing is an innovative approach to skilled nursing that creates a home environment for residents. In Mirasol, there are 6 existing Green House homes built west of Finch Street. Each building contains ten 1-bedroom units, a central kitchen and common living space. The demand for these units have increased, generating a waiting list of approximately 9-12 months. Developing an additional 3 homes as proposed in the PDP would help address the community’s need for this type of care.

The Green House homes would match the architecture of the existing units in the Mirasol development. The homes are 1-story and are approximately 7,900 square feet. Based on neighborhood comments the placement of trash receptacles for the homes has been revised with opaque screening provided. Additionally, the sidewalks to the entrance of the homes have been adjusted to provide a more direct route to the front doors.

**Figure 3: Front Elevations of Green House Homes**



**Figure 4. Existing Green House Home Elevation**

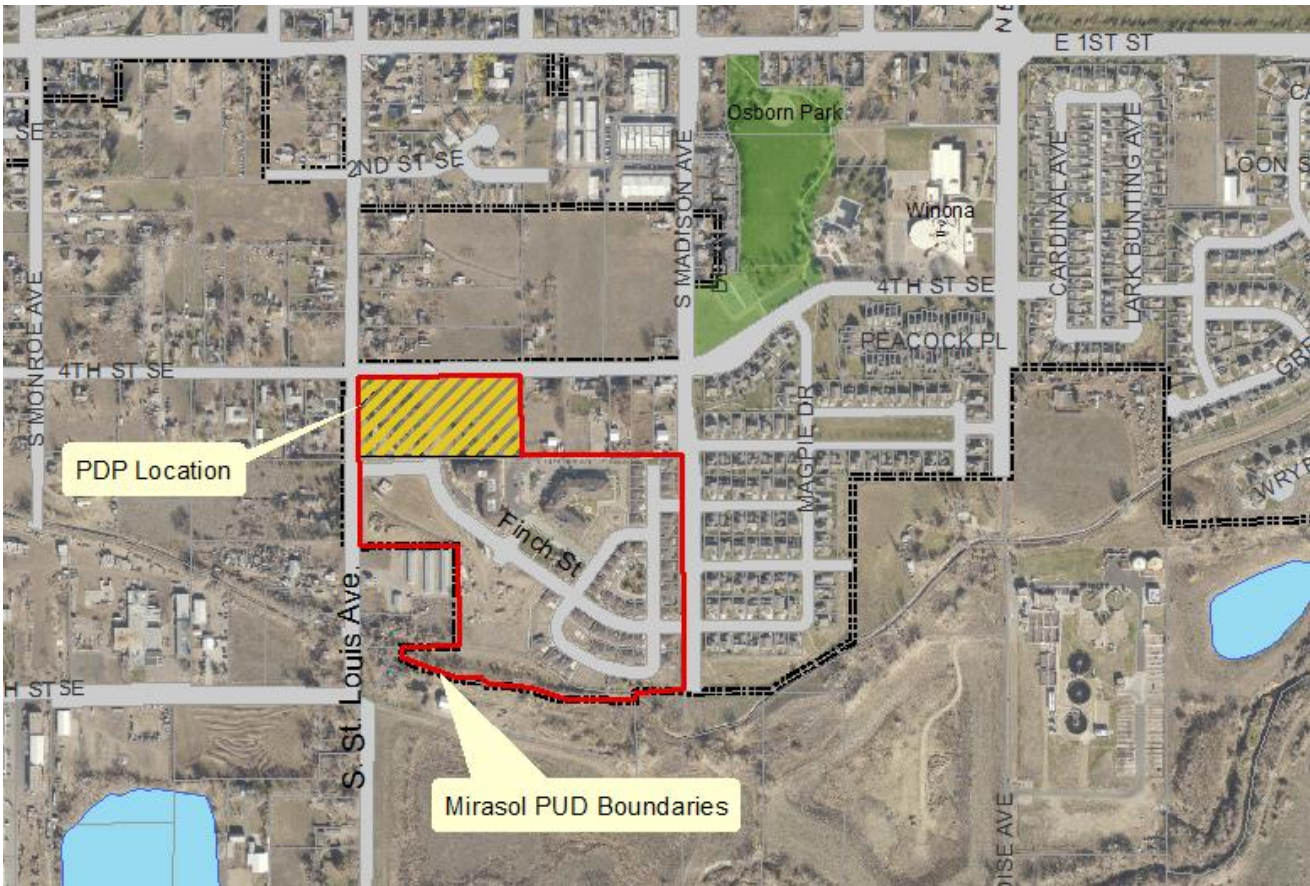




II. ATTACHMENTS

- 1. Planning Commission Resolution
- 2. Applicant's Finding Statement
- 3. Traffic Excerpts
- 4. Preliminary Development Plan

III. VICINITY MAP



IV. SITE DATA

ACREAGE OF PDP-GROSS .....	4.8 AC
MASTER PLAN DESIGNATION.....	MEDIUM DENSITY RESIDENTIAL
EXISTING ZONING.....	MIRASOL COMMUNITY PUD
EXISTING USE.....	SINGLE FAMILY HOME TO BE DEMOLISHED
ACREAGE OF OPEN SPACE.....	2.3 AC (48% OF SITE)
NUMBER OF DWELLING UNITS PROPOSED .....	60 UNIT APT & 3 SKILLED NURSING HOMES
EXIST ADJ ZONING & USE - NORTH.....	COUNTY FA FARMING - 4 <sup>TH</sup> STREET SE & SINGLE FAMILY RESIDENTIAL
EXIST ADJ ZONING & USE - SOUTH .....	PUD – MIRASOL COMMUNITY, MULTIFAMILY
EXIST ADJ ZONING & USE - WEST .....	COUNTY FA –S. ST. LOUIS AVENUE & SF RES
EXIST ADJ ZONING & USE - EAST .....	R-1 RESIDENTIAL & DR DEVELOPING RESOURCE – SINGLE FAMILY RESIDENTIAL
UTILITY SERVICE – WATER, SEWER & ELECTRIC.....	CITY OF LOVELAND

## **V. KEY ISSUES**

City staff believes that all key issues have been addressed in the development proposal. At the neighborhood meeting, residents were generally supportive of the project.

## **VI. BACKGROUND**

The following represents a timeline for the background of the development:

April 5, 2005	City Council approval of the annexation and zoning for the Mirasol Community PUD. The PUD established zoning for a maximum of 200 residential units. The GDP created development standards designed for a senior housing community for individuals 55 years of age or older and offered a variety of qualified affordable for-sale and for-rent single family, duplex and independent living apartments.
August 22, 2005	Planning Commission approval of the Preliminary Development Plan and Plat for Mirasol First Subdivision (Phase 1 of the PUD).
February 17, 2006	City approval of the Final Development Plan and Plat for Mirasol First Subdivision. Phase 1 of the development included forty-nine independent living apartment units, 11 single family homes and 44 duplex units.
August 9, 2010	Planning Commission approval of a Preliminary Development Plan for the construction of a 60 unit independent living apartment building.
September 7, 2010	City Council approval of the first amendment to the GDP to increase the number of units, adjust parking ratios, modify building heights for Phase II of the development.
November 6, 2012	City Council approval of the second GDP amendment to increase the number of units and adjust parking ratios for Phase III of the PUD.
January 28, 2014	Planning Commission approval of a Preliminary Development Plan for 6 skilled nursing "Green House" homes.
October 4, 2016	City Council approval the annexation of 6.8 acres and the incorporation of the property into the Mirasol PUD.
March 21, 2017	City Council approval of the 3 <sup>rd</sup> GDP Amendment to permit Green House homes in GDP Area I.

## **VII. STAFF, APPLICANT, AND NEIGHBORHOOD INTERACTION**

- A. Notification:** An affidavit was received from Jeff Feneis with the Housing Authority certifying that written notice was mailed to all property owners within 900 feet of the property on March 22, 2017 and notices were posted in prominent locations on the perimeter of the site on March 22, 2017. In addition, a notice was published in the Reporter Herald on March 25, 2017.
- B. Neighborhood Response:** A neighborhood meeting was held at 5:30 p.m. on February 23, 2017 in the Mirasol Community Room. The meeting was attended by 8 neighbors and residents of the development, along with the applicant, City staff and consultants. Generally, those attending the meeting were supportive of the request. Questions raised focused primarily on the road and sidewalk improvements necessary for the development: bike lanes, sidewalk connectivity, on-street parking, and widening of St. Louis Avenue. Discussion occurred regarding cut-through traffic through Mirasol, congestion, speeding and the need for more stop signs. Building heights and setbacks for the apartments were also discussed. Additional evergreens were requested along 4<sup>th</sup> Street SE and the east side of the property. Additional evergreens were added to the PDP plans.

## **VIII. FINDINGS AND ANALYSIS**

The chapters and sections cited below are from the Loveland Municipal Code pertaining to PUD Preliminary Development Plans. Applicable findings contained in the Municipal Code are specified in italic print followed by the staff analysis as to whether the findings are met by the submitted application.

### **A. Land Use**

- 1. Section 18.41.050.E.2.a:** *The preliminary development plan conforms to the general development plan on file with the city where the property is being developed in phases.*

**Current Planning:** Staff believes that this finding can be met based on the following facts:

- Both the senior independent living apartments and the Green House skilled nursing homes are permitted uses on the property as established in the GDP.
  - The dimensional standards of setbacks, open space, building heights, density, and number of off-street parking spaces comply with the GDP.
  - The architecture is consistent with the development standards contained in the GDP and will be compatible with the existing structures developed in Mirasol.
- 2. Section 18.41.050.E.2.b** *The preliminary development plan meets the intent and objectives of Chapter 18.41 and the factors set forth in Section 18.41.050(D)(4)(b) and (c).*
- A. Section 18.41.050.D.4(b):** *Whether the proposed development will have a detrimental impact on property that is in sufficient proximity to the proposed development to be affected by it. If such impacts exist, the planning division shall recommend either disapproval or reasonable conditions designed to mitigate the negative impacts.*

**Current Planning:** Staff believes that this finding can be met based on the following facts:

- The location and building heights of the apartment building will create a visual change in the character of the intersection of St. Louis Avenue and 4<sup>th</sup> Street SE. The city's vision for this area as identified in Create Loveland is for redevelopment with greater mixed densities than currently existing. The Plan further identifies the neighborhood as a specific opportunity area to develop new mixed use and mixed density neighborhoods with greater building heights.
- Neighborhood feedback has been incorporated into the building orientation and building heights for the apartments. At the neighborhood meeting for the annexation and zoning of the property, alternative site designs and building heights were presented. The current site plan and building elevations, particularly the transition to a 2-story building height on 4<sup>th</sup> Street SE, are the result of the comments provided by the neighborhood.
- The PDP incorporates design standards, architecture and landscaping consistent and compatible with the existing Mirasol development. The Housing Authority has continued to work with the adjacent residential property owner to the east regarding landscape screening. Landscape bufferyards have been incorporated along perimeter edges of the PDP in compliance with City standards.

**B. Section 18.41.050.D.4(c):** *Whether the proposed development will be complementary to and in harmony with existing development and future development plans for the area in which the proposed development is to take place by:*

- (i) Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use.*
- (ii) Incorporating site planning techniques that will foster the implementation of the city's master plans, and encourage a land use pattern that will support a balanced transportation system, including auto, bike, and pedestrian traffic, public or mass transit, and the cost effective delivery of other municipal services consistent with adopted plans, policies and regulations of the City.*
- (iii) Incorporating physical design features that will provide a transition between the project and adjacent land uses through the provisions of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures.*
- (iv) Incorporating identified environmentally sensitive areas, including but not limited to wetlands and wildlife corridors, into the project design.*
- (v) Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings and street furniture.*

**Current Planning:** Staff believes that these findings can be met based on the following facts:

- *(finding i)* Passive and active open space is provided through-out the development, including walking trails connecting to surrounding streets and the Mirasol community clubhouse and a new community garden next to the apartment building. Detached sidewalk connections along St. Louis Avenue, 4<sup>th</sup> Street SE, and Finch Street will be constructed with the development.
- *(finding ii)* Specific site planning techniques have been incorporated into the PUD to promote safety for pedestrians in the senior community. This includes a neck-down of Finch Street at the entrance to the apartment building. The road design of the Finch Street extension

was also designed to promote traffic calming by including a curve in the road. These techniques promote the philosophies of the City's master plan.

- (*finding iii*) The PDP incorporates design elements that will create attractive edges, including detached sidewalks with a treelawn, bufferyards, and an open rail fence design along 4<sup>th</sup> Street SE adjacent to the Green House homes. All landscaping is in compliance with or exceeds City bufferyard standards.
- (*finding iv*) The site was the location of a former small tree farm. As such, there are existing mature trees around the site. Many of these trees, however, are not in a healthy state as evidenced by an arborist report and site visit. 3 of the existing trees will be preserved, including a large cottonwood along St. Louis Avenue.
- (*finding v*) Improvements to St. Louis Avenue and an extension of Finch Street are proposed with the PDP. The street edges will be designed and landscaped consistently with the Mirasol PUD. 68 off-street parking spaces are proposed for the apartment building, which complies with the standards in the GDP. 19 parking spaces are provided with the Green House homes. The placement of buildings and architecture will create an attractive image of the project as viewed from the adjacent streets.

3. **Section 18.41.050.E.2.c:** *The PDP complies with applicable land use and development regulations in effect as of the date that the GDP was approved and any land use and development regulations adopted by the City after that date if the Planning Division and Planning Commission expressly find that compliance with such regulations is necessary to protect public health, safety, and welfare.*

**Current Planning:** Staff believes that this finding can be met based on the following fact:

- The PDP complies with applicable development regulations for land use and infrastructure provisions in effect when the GDP was established, as well as existing City regulations. Please reference the analysis contained in Section B, below, provided by City reviewers for additional information.

## **B. City Utilities and Services**

1. **Section 18.41.050.D.4.b:** *Development permitted by the PDP will not negatively impact traffic in the area or City utilities. If such impacts exist, Section 18.41.050.D.4(b) of the Loveland Municipal Code requires City staff to recommend either disapproval of the PDP or reasonable conditions designed to mitigate the negative impacts.*
2. **Section 18.41.050.D.4.c:** *Whether development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed development will not negatively impact the levels of service of the City's services and facilities.*



**Transportation Engineering:** Staff believes that these findings can be met based on the following facts:

- The applicant's traffic engineer, Matt Delich, P.E., has submitted a Traffic Impact Study (TIS) that indicates that the traffic associated with the proposed development will meet the City's standards. The proposed Mirasol Phase 3 development is estimated to generate approximately 260 daily trips, 14 weekday AM peak hour trips, and 24 weekday PM peak hour trips. Excerpts from the Traffic Impact Study are included in **Attachment 3**.
- Access to the site will be from Finch Street between Bunting Place and 4th Street SE. The project will be responsible for constructing the ultimate curb, gutter, and detached sidewalk along St. Louis Avenue and 4<sup>th</sup> Street SE, adjacent to the property.
- The development of the subject property pursuant to any of the uses requested in the PDP will not adversely impact any existing City infrastructure when typical roadway improvements are constructed. A positive determination of adequacy for transportation facilities for the proposed PDP has been made.

**Fire Prevention:** Staff believes that these findings can be met based on the following facts:

- The development will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company (Station 1).
- The development will not negatively impact fire protection for the subject development or surrounding properties.

**Water/Wastewater:** Staff believes that these findings can be met based on the following facts:

- This development is situated within the boundaries of and accommodated by the City's water and wastewater master plans. It is also within the City's current service area for both water and wastewater. The existing house has a City of Loveland water service and has a private septic system;
- The PDP request is consistent with the Department's Water and Wastewater master plan and will not negatively impact City water and wastewater facilities;
- The proposed development is in harmony with existing and future development and incorporates public infrastructure designed so that the proposed development will not negatively impact the levels of service of the City utilities adjacent to the development.

**Stormwater:** Staff believes that these findings can be met based on the following facts:

- Proposed stormwater facilities will adequately detain and release stormwater runoff in a manner that will eliminate off-site impacts.
- When designed and constructed, the development will not negatively affect City storm drainage utilities.
- There are no natural drainage courses or open channels that traverse the site.

**Power:** Staff believes that these findings can be met based on the following facts:

- The PDP is consistent with the Power Division's master plan by being consistent with the City's Create Loveland master plan.
- The proposed development will not negatively impact City power facilities.
- The Mirasol development is a current customer of the City of Loveland electric system. Development of the property will require additional electric service. The cost for any upgrades or changes to the existing facilities as a result of additional load required will be

the responsibility of the developer.

## **IX. RECOMMENDED CONDITIONS**

The following condition is recommended by City Staff.

### Current Planning

1. Prior to the issuance of a site work permit, an inspection shall be completed by the planning division to ensure that tree protection fencing is installed around the dripline of all trees to be preserved, as indicated in the final development plan.

PLANNING COMMISSION

RESOLUTION NO. 17-01

**A RESOLUTION APPROVING THE MIRASOL SECOND ADDITION PRELIMINARY DEVELOPMENT PLAN LOCATED WITHIN THE MIRASOL COMMUNITY PLANNED UNIT DEVELOPMENT (# P-87), CITY OF LOVELAND, LARIMER COUNTY, COLORADO**

**WHEREAS**, the Mirasol First Addition also referred to as the Mirasol First Subdivision and 0.67 acres of land referred to as “Additional Property” were zoned Mirasol Community Planned Unit Development (#P-87) on April 5, 2005, pursuant to Ordinance No. 4975; and

**WHEREAS**, the Mirasol Community Planned Unit Development (#P-87) was re-zoned on October 5, 2010 pursuant to Ordinance No. 5525 to become Mirasol Community PUD First Amendment (#P-87); and

**WHEREAS**, the Mirasol Community PUD First Amendment (#P-87) was re-zoned on November 6, 2012 pursuant to Ordinance No. 5719 to become Mirasol Community PUD Second Amendment (#P-87); and

**WHEREAS**, on October 4, 2016 the Mirasol Second Addition was annexed into the City and zoned and included within the Mirasol Community PUD Third Amendment (#P-87) pursuant to Ordinance Nos. 6052 and 6053, respectively; and

**WHEREAS**, the Mirasol Community PUD Third Amendment (#P-87) is comprised of the Mirasol First Addition, the Additional Property and the Mirasol Second Addition; and

**WHEREAS**, on March 21, 2017 the City re-zoned the Mirasol Community PUD Third Amendment (#P-87) to the Mirasol Community PUD Fourth Amendment (#P-87) pursuant to Ordinance No. 6095; and

**WHEREAS**, a Preliminary Development Plan (“PDP”) for Mirasol Second Addition (“Mirasol Phase 3”), located within the Mirasol Community PUD (#P-87) and legally described in Section 1., below, has been submitted to the Planning Commission for consideration pursuant to Chapter 18.41 of the Loveland Municipal Code; and

**WHEREAS**, pursuant to Code Section 18.41.050(E)(2), the City of Loveland Planning Commission held a public hearing on April 10, 2017, regarding the PDP; and

**WHEREAS**, at said hearing the recommendations of the Current Planning Division were received and duly considered by the Commission, as well as all necessary testimony by the applicant and public; and

**WHEREAS**, the Commission has considered the application for the PDP in light of the intent and objectives of Chapter 18.41 of the Loveland Municipal Code, and more specifically the factors set forth in sections 18.41.050(E)(2)(a-c) and expressly including those set forth in sections 18.41.050(D)(4)(b) and (c), and has determined that pursuant to said factors the PDP may be

approved.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION FOR THE CITY OF LOVELAND, COLORADO:**

**Section 1.** That the PDP for Mirasol Phase 3, being a portion of the Mirasol Community Planned Unit Development General Development Plan, as amended, which PDP Plan is on file in the office of the City of Loveland Planning Division and is incorporated herein by reference, is hereby conditionally approved, consistent with the recommendations of the Planning Staff Report, as amended on the record by the Planning Commission at the public hearing on April 10, 2017 (the “Staff Report”).

The PDP applies to the following described real property:

OUTLOT A, MIRASOL 2<sup>ND</sup> SUBDIVISION AND A PARCEL OF LAND, SITUATE IN THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 05 NORTH, RANGE 69 WEST OF THE 6TH PM, CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO.

**Section 2.** That the Planning Commission hereby makes the findings regarding the PDP set forth in Section VIII of the Staff Report for the reasons set forth therein, and hereby adopts this resolution, including the findings set forth in Section VIII of the Staff Report as its written findings and conclusions in support of its approval pursuant to Section 18.41.050.E of the Loveland Municipal Code.

**Section 3.** This Resolution shall be recorded with the Clerk and Recorder for Larimer County, Colorado, as soon as is reasonably possible after the expiration of the ten (10) day appeal period set forth in Code Section 18.41.050.E.3 and satisfaction of the condition set forth above.

Signed this \_\_\_\_\_ day of April, 2017.

**LOVELAND PLANNING COMMISSION**

\_\_\_\_\_  
Jeremy Jersvig, Planning Commission Chair

ATTEST:

\_\_\_\_\_  
Planning Commission Secretary

APPROVED AS TO FORM:

  
Assistant City Attorney

A RESOLUTION APPROVING THE MIRASOL SECOND ADDITION PRELIMINARY DEVELOPMENT PLAN LOCATED WITHIN THE MIRASOL COMMUNITY PLANNED UNIT DEVELOPMENT (# P-87), CITY OF LOVELAND, LARIMER COUNTY, COLORADO

## **Mirasol PDP Third Amendment Findings Statement**

***A. The PDP conforms to the requirements of Municipal Code Section 18.41.050.D.4 to the City's master plans and to any applicable area plan.***

The proposed Mirasol Third Amendment PDP conforms to the comprehensive master plan outlined by the City. The density and layout of the site will complement adjacent land uses by continuing the look and feel of the existing Mirasol Community to the south. City of Loveland staff has indicated that they envision this area of Loveland becoming more urban in character as the development pattern shifts from small residential acreages in the county to residential and mixed-use development in the City.

***B. The proposed development will not negatively impact traffic in the area, city utilities, or otherwise have a detrimental impact on property that is in sufficient proximity to the proposed development to be affected by it.***

The proposed development will not negatively impact traffic, city utilities or be a detriment to adjacent land uses.

Traffic patterns will be consistent with the adjacent Mirasol community by directing traffic to the north by continuing Finch Street as it meets 4<sup>th</sup> Street SE. In addition, the connection to 4<sup>th</sup> Street SE and South St Louis traffic will be disperse traffic evenly onto the adjacent road network.

The project will not negatively impact city utilities by utilizing utilities that are close in proximity and offered by the City. The owner will also be doing all that is necessary to improve utility connections for this particular project.

***C. The proposed development will be complementary to and in harmony with existing development and future development plans for the area in which the proposed development is to take place by:***

***a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;***

The proposed project will provide ample open space through building setbacks, creating open space opportunities adjacent to the multi-family building and Green House buildings. These will include ample foundation planting, a community garden and buffer planting for the existing residential use to the east.

***b. Incorporating site planning techniques that will foster the implementation of the City's master plans, and encourage a land use pattern that will support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other municipal services consistent with adopted plans, policies and regulations of the city;***

As mentioned above the City of Loveland has indicated an interest in creating a more urban growth pattern in this area. This plan includes a balanced transportation system that connects to and disperses traffic, supports bike and pedestrian traffic by providing detached sidewalks and creates opportunities to connect to public transit.

***c. Incorporating physical design features in the development that will provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;***

The project is providing transition between adjacent land uses by placing the Green House buildings use to the east, adjacent to the existing residential use. The project will create a gateway by placing the larger multi-family building at the corner of 4<sup>th</sup> Street SE and South St Louis. The building architecture at this corner is programmed to contain the reception lobby, elevator, a large living room/lounge with fireplace and smaller lounge areas on the second and third floors. The apartment roofline steps down from 3 stories to 2 stories as the wings extend south and east. An ample building setback along all edges adjacent to public and private land uses is accomplished by providing detached sidewalks with a tree lawn and buffer yard planting.

***d. Incorporating identified environmentally sensitive areas, including, but not limited to, wetlands and wildlife corridors, into the project design;***

There are no environmentally sensitive areas located on site.

***e. Incorporating elements of community-wide significance as identified in the town image map;***

***f. Incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed***

development will not negatively impact the levels of service of the City's services and facilities; and

The project is planning to provide all necessary public improvements so that the project does not negatively impact City services.

***g. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings and street furniture.***

An overall plan has been included to show the look and feel of the project. This includes detached sidewalks with street trees, auto and bike parking and placement of buildings that complement and are compatible with adjacent land uses.

***A description and discussion of all aspects of the PDP that do not comply with the regulations for the comparable zone district in the Municipal Code***

There are no aspects of the project that do not comply with the zone district outlined in the Municipal Code





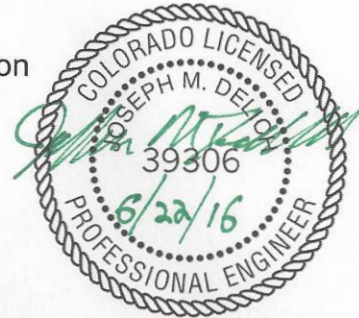
**MEMORANDUM**

**TO:** Dave Lingle, ALM2S  
John Beggs, Russell-Mills Studio  
Justin Stone, City of Loveland Engineering Division

**FROM:** Joseph Delich

**DATE:** June 22, 2016

**SUBJECT:** Mirasol Phase 3 Traffic Impact Study  
(File: 1648ME01)



The Loveland Engineering Division has requested a traffic memorandum, as described in the Larimer County Urban Area Street Standards (LCUASS), for Mirasol Phase 3, located in the southeast quadrant of the St. Louis/4<sup>th</sup> St. SE intersection. The site location is shown in Figure 1. A scoping discussion/email exchange was held with Justin Stone, Loveland Engineering Division. Appendix A contains a copy of the Base Assumptions Form and documents related to scoping for this traffic impact study.

St. Louis Avenue is classified as a major collector street on the Loveland 2035 Street Plan. Currently, St. Louis Avenue has a two-lane cross section and a posted speed of 35 mph. At the St. Louis/4<sup>th</sup> St. SE intersection, St. Louis Avenue has movements combined into northbound and southbound single lanes. The St. Louis/4<sup>th</sup> Street intersection is offset east-west by approximately 15 feet. At the St. Louis/Bunting intersection, St. Louis Avenue has movements combined into northbound and southbound single lanes. The St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersection has stop sign control on 4<sup>th</sup> Street SE and Bunting Place, respectively.

Fourth Street SE is classified as a local street on the Loveland 2035 Street Plan. Currently, 4<sup>th</sup> Street SE has a two-lane cross section and a posted speed of 30 mph. At the St. Louis/4<sup>th</sup> St. SE intersection, 4<sup>th</sup> St. SE has movements combined into eastbound and westbound single lanes.

Bunting Place is classified as a major collector street on the Loveland 2035 Street Plan. Bunting Place only has an east leg at the St. Louis/Bunting intersection. Just east of St. Louis Avenue, Bunting Place connects to Finch Street, approximately 300 feet east of St. Louis Avenue in the developed portion of Mirasol. Currently, Bunting Place has a two-lane cross section and no posted speed limit. At the St. Louis/Bunting intersection, Bunting Place has all westbound movements combined into a single lane.

Recent peak hour traffic counts at the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections are shown in Figure 2. Raw traffic counts are provided in Appendix B. Traffic counts at the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections were obtained in June 2016. Using the volumes shown in Figure 2, the current peak hour operation at the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections are shown in Table 1. Calculation forms for these analyses are provided in Appendix C. The intersection was analyzed using the unsignalized intersection techniques from the 2010 Highway Capacity Manual (2010 HCM). Acceptable operation is defined by the City of Loveland as level of service (LOS) C or better overall. At major intersections, any leg can operate at level of service D and any movement can operate at level of service E. At minor intersections, any leg can operate at level of service E and any movement can operate at level of service F. The St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections are minor intersections. A description of level of service at unsignalized intersections is provided in Appendix C. The Loveland Motor Vehicle LOS Standards are also provided in Appendix C. As can be seen in Table 1, the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections are currently operating acceptably with existing control and geometry.

The site plan for the Mirasol Phase 3 development is shown in Figure 3. Finch Street will be extended from Bunting Place to 4<sup>th</sup> Street SE. Mirasol Phase 3 is 60 Senior attached dwelling units and 10 senior detached dwelling units. Senior Attached (Code 252) and Senior Detached (Code 251), with dwelling units as the trip generation variable, from Trip Generation, 9<sup>th</sup> Edition, ITE was selected to estimate the daily and peak hour trip generation for Mirasol Phase 3. Table 2 shows the calculated trip generation for the proposed Mirasol Phase 3. The trip generation of the Mirasol Phase 3 resulted in 260 daily trip ends, 14 morning peak hour trip ends, and 24 afternoon peak hour trip ends.

The trip distribution for Mirasol Phase 3 is shown in Figure 4. The trip distribution for Mirasol Phase 3 was estimated using knowledge of the existing and planned street system, development trends, and engineering judgment. The trip distribution was agreed to in the scoping discussion. The site generated peak hour traffic assignment is shown in Figure 5.

Pending approvals, it is expected that the proposed Mirasol Phase 3 would be built in the next 1-2 years. Therefore, the short range future analysis year is considered to be 2019. Background traffic projections for the short range (2019) future horizon were obtained by utilizing the Loveland 2030 Transportation Plan and recent traffic impact studies in the area. Based upon these sources, it was determined that the traffic volumes would increase at a rate of approximately 2% per year. Figure 6 shows the short range (2019) background peak hour traffic at the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections.

The traffic volumes generated by the proposed Mirasol Phase 3 were added to the background traffic volumes to produce the total traffic volume forecasts for the short range (2019) future. Figure 7 shows the short range (2019) total peak hour traffic at the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections. The short total (2019) traffic

forecast assumes that Finch Street is connected to 4<sup>th</sup> St. SE. The total traffic on Finch Street includes a reassignment of a portion of the traffic related to the Mirasol Senior Community Phase 1, Mirasol Greenhouses and existing residential neighborhood to the east of Madison Avenue. This is traffic that will likely find using 4<sup>th</sup> St. SE/Finch intersection more convenient for certain trips.

Table 3 shows the existing and short range (2017) link volumes for key street segments. Table 3 also shows the ACF volume thresholds for key street segments and that segment meets the Adequate Community Facilities Ordinance. The threshold volumes shown were calculated for this study. Calculations for the ACF threshold volumes are provided in Appendix D. Table 3 indicates that all links meet the requirements of the Adequate Community Facilities Ordinance.

Table 4 shows the short range (2019) background morning and afternoon peak hour operation at the St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections. The St. Louis/4<sup>th</sup> St. SE and St. Louis/Bunting intersections will operate at acceptable levels of service. Calculation forms for these analyses are provided in Appendix E.

Table 5 shows the short range (2019) total morning and afternoon peak hour operation at the St. Louis/4<sup>th</sup> St. SE, St. Louis/Bunting, and 4<sup>th</sup> St. SE/Finch intersections. The St. Louis/4<sup>th</sup> St. SE, St. Louis/Bunting, and 4<sup>th</sup> St. SE/Finch intersections will operate at acceptable levels of service. Calculation forms for these analyses are provided in Appendix F.

Figure 8 shows the short range (2019) approach geometry at the St. Louis/4<sup>th</sup> St. SE, St. Louis/Bunting, and 4<sup>th</sup> St. SE/Finch intersections. This is the existing geometry. Based on the short range (2019) total peak hour traffic, no auxiliary lanes are required.

Bicycle lanes do not exist currently along St. Louis Avenue, Bunting Place, and 4<sup>th</sup> Street SE. When St. Louis Avenue is improved, it will have bike lanes per the Loveland Street Standards. While Bunting/Finch Street is classified as a collector street, the agreed upon cross section is 36 feet wide. It will have one lane in each direction with parking. It will not have striped bike lanes. Bunting Place will have local street traffic volumes.

The sidewalk system in this area is sporadic. As shown in Appendix G, three potential pedestrian destinations within 1320 feet were identified: 1) residential neighborhood to the east of the site; 2) the residential neighborhood to the north and west of the site; and 3) the commercial/industrial uses along 8<sup>th</sup> Street SE. Appendix G contains a graphic depicting the pedestrian influence area and these pedestrian destinations. The affinity between the Mirasol Phase 3 and these potential pedestrian destinations will be very low. A pedestrian level of service worksheet is also provided in Appendix G. This worksheet shows the level of service for each quality indicator. Since the City of Loveland has no minimum level of service criteria, this could not be indicated. The Mirasol Phase 3 will add sidewalk to all adjacent streets.

It is concluded that the St. Louis/4<sup>th</sup> St. SE, St. Louis/Bunting, and 4<sup>th</sup> St. SE/Finch intersections will operate acceptably. No additional auxiliary lanes are recommended at the St. Louis/4<sup>th</sup> St. SE, St. Louis/Bunting, and 4<sup>th</sup> St. SE/Finch intersections. A

.II intersections and street links will meet the Loveland Adequate Community Facilities Ordinance criteria.



# MIRASOL COMMUNITY - PHASE 3

## PRELIMINARY DEVELOPMENT PLAN

### LEGAL DESCRIPTION:

MIRASOL THIRD SUBDIVISION, BEING A SUBDIVISION OF OUTLOT A, MIRASOL 2ND SUBDIVISION AND A PARCEL OF LAND, SITUATE IN THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 5 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

#### Mirasol Phase 3 PDP Narrative

##### Purpose of the Project

The following goals, concepts and development standards apply to the 5 +- acres, which comprise of the extension of the Mirasol Community. The purpose of this portion of the development is to provide two types of affordable housing. The development will provide variety in the type, design and layout of the buildings, circulation systems and open spaces within this phase of the development.

##### Land Use

The overall concept of the development plan provides two housing types comprised of independent living apartments and Green House/Skilled Nursing Home buildings. The concept for this phase of the development is to continue the mix of housing types within a cohesive community, connected by local streets with detached walks and accessible open space.

The site plan is planned as two lots separated by the extension of Finch Street. The west side (GDP area H) of the project will consist of the higher density independent living apartments while the east side (GDP area I) of the project will have the (3) Green House buildings.

Each parcel within this phase contains a different housing type. The maximum allowed dwelling units will be allowed as designated on this PDP drawing, and will be designed in accordance with the development standards outlined in previous GDP documents for this development.

##### Circulation

Primary access for this phase will be from 4th Street SE to the north and South St. Louis to the west. The extension of Finch Street will be the only public road through the project. The extension of Finch Street will continue the detached walks. There will also be concrete walk connections to existing walks to Mirasol Phase 2 where possible.

##### Public and Private Utilities

All public facilities and services are available to this site. All utilities will be installed underground and per the City of Loveland's current standards and guidelines.

**Water service:** Water will be connected between Bunting Place and 4th Street SE with services provided both east and west from that connection line

##### Wastewater

Sanitary service for the residences to the east will be provided by a proposed main within Finch Street. The building to the west of Finch Street will be served off of the existing main within Bunting Street.

##### Storm Drainage

A drainage plan has been prepared and submitted with this PDP by Galloway Engineering. Detailed grading and locations of detention are included in this plan.

##### Electric

Service will be provided by the City of Loveland Light and Power Department.

##### Public Facilities Providers

##### Gas, Cable TV and Telephone

Services are available for these utilities and plans for installation and routing will be provided by the providers

##### Parks and Open Space

This phase of the development will incorporate open areas and bufferyards and landscape buffer areas.

##### Fire and Police

This phase of the development will be serviced by the City of Loveland Police and Fire Department.

##### Landscapeing and Fencing

The landscape design will continue the existing planting concept for the Mirasol community. The perimeter landscape will continue the existing concept for the Mirasol community. All streets will be designed with detached sidewalks, street trees and tree lawns between the curb and sidewalk.

##### Architectural Project Narrative

##### Senior Independent Living Apartments

The architectural design of the senior independent living building for Mirasol – Phase 3 is intended to complement similar apartment buildings constructed in Phases 1 and 2. Massing, scale, materials and architectural articulation will match the character established by the earlier phases of development. The senior independent living building contains 60 apartments in a mix of 1-bedroom/1-bath and 2-bedroom/2-bath units, ranging in size from 680 sq. ft. to 880 sq. ft. The 60 units will all be affordable rentals and restricted to people of age 55 and up.

The building is three stories in height, which matches the scale and height of the 60-unit Mirasol – Phase 2 building immediately to the southeast. Each apartment has a private, enclosed patio or deck, which helps articulate the building facades and provides contrasts in the building massing and deep shadows. A small maintenance room with office and restroom is located on the end of one wing, with driveway access from the parking lot. Exterior utilities and mechanical equipment, including the electrical and gas meter banks and a large ground-mounted chiller unit, are screened from view by 6' high masonry screen enclosures. A/C units for each individual apartment will be located on a section of flat roof screened by the pitched rooflines.

The L-shaped senior independent living building has been sited to the northwest corner of Lot H, to frame the edge of the development from the intersection of S. St. Louis Avenue and 4th Street SE and provide a built edge to the development along both streetscapes. City of Loveland Planning staff has indicated that they envision this area of Loveland becoming more urban in character as the development pattern shifts from small residential acreages in the county to residential and mixed-use development in the city. The siting of the building at the corner will set the stage and help to create the urban character that is desired.

The architecture emphasizes the corner of the building that faces the street intersection. This part of the building is programmed to contain the reception lobby, elevator, a large living room/lounge with a fireplace on the ground floor, and smaller lounge areas on the second and third floors. It is articulated on the exterior with additional glass and a covered portico at the ground level.

##### Architectural Project Narrative (cont'd)

The primary building entry is located on the opposite (southeast) side from these common amenities, and features a covered porte-cochere style entry element that leads from the parking lot into the reception lobby. Materials are proposed to match the character of the existing Mirasol neighborhood, and specifically the Mirasol – Phase 2 building to the southeast. Exterior materials include stucco and synthetic stone wall elements, textured architectural asphaltic fiberglass shingles, insulated dual-pane vinyl windows, and painted metal balcony guardrails.

The project planning includes the potential provision of roof- or wall-mounted photovoltaic panels to assist in reducing the electrical demand on the building. These panels will be mounted flush with the roof slope, or flat on expanses of south-facing walls.

##### Green Houses - Skilled Nursing Homes

The architectural design of the three Green House buildings will match the design of the same building types built in earlier phases of the Mirasol development, including building massing, rooflines, materials and detailing. The single-story structure is approximately 7,300 sq. ft. plus an enclosed garage space for maintenance equipment and storage.

Each Green House structure can accommodate 10 elderly residents with their own private bedrooms and bathrooms. These private rooms are clustered around a spacious shared living room, kitchen and dining space. A screened-in porch and a fenced-in exterior patio provide outdoor living space for the residents and staff. This living arrangement provides for privacy and autonomy while ensuring enhanced social engagement with other residents and quality professional care. The structures are arranged around a private looped drive on the eastern lot with pedestrian connections to the public sidewalks on Finch Street.

Materials are proposed to match the character of the existing Mirasol neighborhood, and specifically the single family patio homes, duplexes and Green Houses that were built in the original development phase. Exterior materials include stucco and synthetic stone wall elements, textured architectural asphaltic fiberglass shingles, insulated vinyl windows, and painted metal garage doors.

##### Accessory Structures

There are no anticipated accessory site structures other than the freestanding trash/recycling enclosures. The trash/recycling enclosures at the apartment building will be 6' high and clad in the same synthetic stone material as the buildings, designed to screen large commercial dumpsters.

4'-6" high L-shaped fencing elements will provide partial screening for residential-style trash and recycling polycarts at the Green Houses. The fence will be constructed of high quality premium cedar lumber.

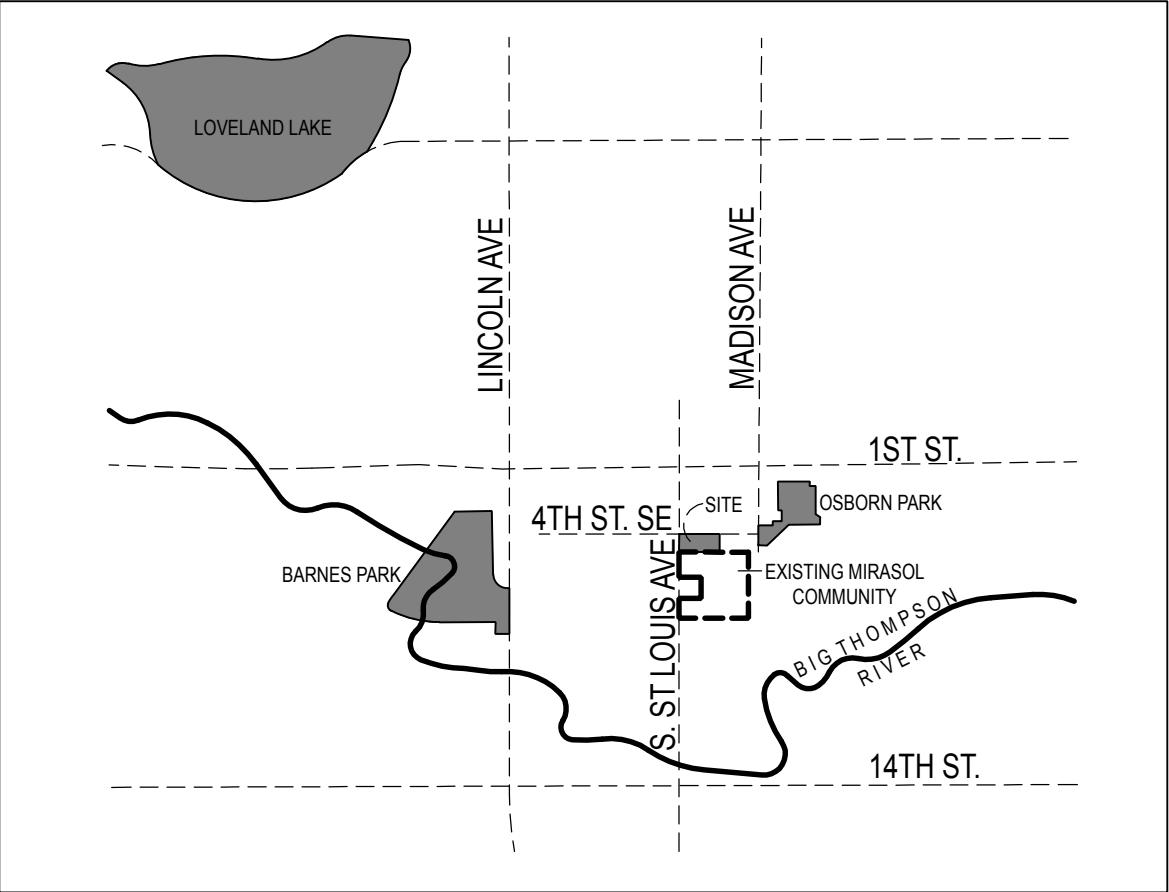
The monument sign will complement other signage within the Mirasol neighborhood, the sign will be located at the NW corner of the lot H (apartment building lot). Smaller identification signage will also complement existing signage within the Mirasol neighborhood, these signs will be located the drive entrances to the apartment building parking lot.

##### Annexation Conditions Planning

1. Healthy mature trees shall be incorporated into the preliminary development plan (PDP) to the extent possible. Tree mitigation shall be included in the PDP for any healthy trees proposed to be removed. An evaluation of the trees from a professional arborist shall be submitted with the preliminary development plan.
2. Grading, tree removal and construction activities shall comply with the federal Migratory Bird Treaty Act. No such activities shall occur near an occupied bird nest during the songbird nesting season (March through July). If grading, tree removal or construction activities are proposed to occur March 1st through July 31st, a letter from a wildlife specialist shall be submitted to the Planning Division documenting that there are no active nests on the site.

##### Transportation Development Review

1. All public improvements shall comply with the Larimer County Urban Area Street Standards (LCUASS).
2. The developer agrees to acquire and dedicate, at no cost to the City, any rights-of-way necessary for the required street improvements associated with this development.
3. Prior to the issuance of any building permits for development in Mirasol Second Addition, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct the following public improvements unless already designed and constructed by others:
  - a. The ultimate adjacent street improvements on St. Louis Avenue including pavement widening, curb & gutter, landscaped parkway and sidewalk.
  - b. The ultimate adjacent street improvements on 4th Street SE including pavement widening, curb & gutter and sidewalk.
  - c. The extension of Finch Street between Bunting Place and 4th Street SE including pavement curb to curb and sidewalks on both sides.
  - d. Bunting Place from St. Louis Avenue to Finch Street including roadway pavement curb to curb and sidewalk improvements on the north side.
  6. Any other off-site improvements required will be determined by the findings of the TIS at the time a development application is submitted for review.



### VICINITY MAP

PLAN DATA	
COMPREHENSIVE PLAN USE DESIGNATION	MDR - MEDIUM DENSITY RESIDENTIAL
ZONING	MIRASOL COMMUNITY PUD
SITE ACREAGE	4.84 GROSS, 4.36 NET
LAND USE	MULTI-FAMILY/INDEPENDENT LIVING APARTMENTS, GREENHOUSE BUILDINGS
PARKING DATA	
APARTMENT BUILDING	60 (89%) STANDARD STALLS - 5 (7%) COMPACT STALLS - 3 (4%) ACCESSIBLE STALLS TOTAL PARKING=68 SPACES
GREENHOUSE BUILDINGS	15 (79%) STANDARD STALLS - 4 (21%) ACCESSIBLE STALLS TOTAL PARKING=19 SPACES
LANDSCAPE/OPEN SPACE	
LANDSCAPING	
Planting Areas: 29,859 SF - 29%	
Seeded Areas: 39,463 SF - 38%	
Turf Areas: 32,981 SF - 33%	
OPEN SPACE	
Total Open Space - 102,303 SF	
FEMA FLOODPLAIN	N/A
BUILDING DATA	
SQUARE FOOTAGE	
Independent Living Apartments	67,785 SF
Green House/Skilled Nursing Buildings	7,271 SF
TYPE OF CONSTRUCTION	
Independent Living Apartments	R2 Occupancy, Type 5 construction with NFPA Type 13 sprinklers
Green House/Skilled Nursing Buildings	R4 Occupancy, Type 5B construction with NFPA Type 13 sprinklers

### SIGNATURE BLOCK

OWNERS CERTIFICATION  
KNOW ALL PERSONS BY THESE PRESENTS THAT:

Being all the lawful recorded owners of the property shown on this MIRASOL PHASE 3 Preliminary Development Plan, except any existing public streets, roads, or highways, do hereby certify that I/we accept the conditions and restrictions set forth on said plan and in the conditions of approval by the City of Loveland, dated \_\_\_\_\_, and that I/we consent to the recordation of any information pertaining thereto.

OWNER'S SIGNATURE(S)

LIENHOLDER'S SIGNATURE(S)

STATE OF COLORADO )

COUNTY OF LARIMER )ss

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_.

Witness my hand and official seal.

My commission expires: \_\_\_\_\_

NOTARY PUBLIC

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, COLORADO

CURRENT PLANNING MANAGER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CITY ENGINEER OF THE CITY OF LOVELAND, COLORADO

CITY ENGINEER

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CITY ATTORNEY OF THE CITY OF LOVELAND, COLORADO

CITY ATTORNEY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CITY PLANNING COMMISSION OF THE CITY OF LOVELAND, COLORADO

CHAIRPERSON

#### SHEET INDEX

##### Site/Landscape

LS001 Cover Sheet  
LS101 Preliminary Site Plan  
LS501 Site Details  
LP101 Landscape Legend & Notes  
LP102 Overall Planting Plan  
LL101 Lighting Plan

##### Civil

Cover Sheet  
General and Construction Notes  
Existing Conditions  
Horizontal Control Plan  
Site Details  
Site Details  
Grading Plan  
Grading Plan  
Utility Plan  
Water Details  
Sanitary Line 1-Plan and Profile  
Sanitary Line 1-1 Plan and Profile  
Sanitary Details  
Storm Drain A,B,C Plan and Profile  
Storm Details  
Storm Details  
4th St SE Plan and Profile  
South St Louis Plan and Profile  
Finch Street Plan and Profile  
Drainage Plan  
Erosion Control Plan  
Site Details  
Site Details

##### Architecture

Senior Housing Building Elevations  
Senior Housing Building Elevations  
Green House Building Elevations  
Building Material Example Photos

# MIRASOL COMMUNITY

## PHASE 3

### Preliminary Development Plan

#### Owner:

Loveland Housing Authority  
375 W 37th Street  
Loveland, CO  
Ph: (970) 667-3232

#### Architect:

**ALM2S**  
712 Whalers Way  
Building B, Suite 100  
Fort Collins, CO 80525  
(970) 223 – 1820

#### Civil Engineer:

**Galloway**  
3760 E. 15th Street, Suite 202  
Loveland, CO 80538  
(970) 800-3300

#### Landscape Architect:

**Russell + Mills Studios**  
141 S. College Ave, Suite 104  
Fort Collins, CO 80525  
(970) 484-8855

REV.	COMMENT	DATE

SEAL:

DATE: MARCH 2, 2017  
JOB NO.:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE:

COVER SHEET

SHEET NO.:

# LS001



MIRASOL  
COMMUNITY  
PHASE 3

Preliminary Development Plan

Owner:

Loveland Housing Authority  
375 W 37th Street  
Loveland, CO  
Ph: (970) 667-3232

Architect:

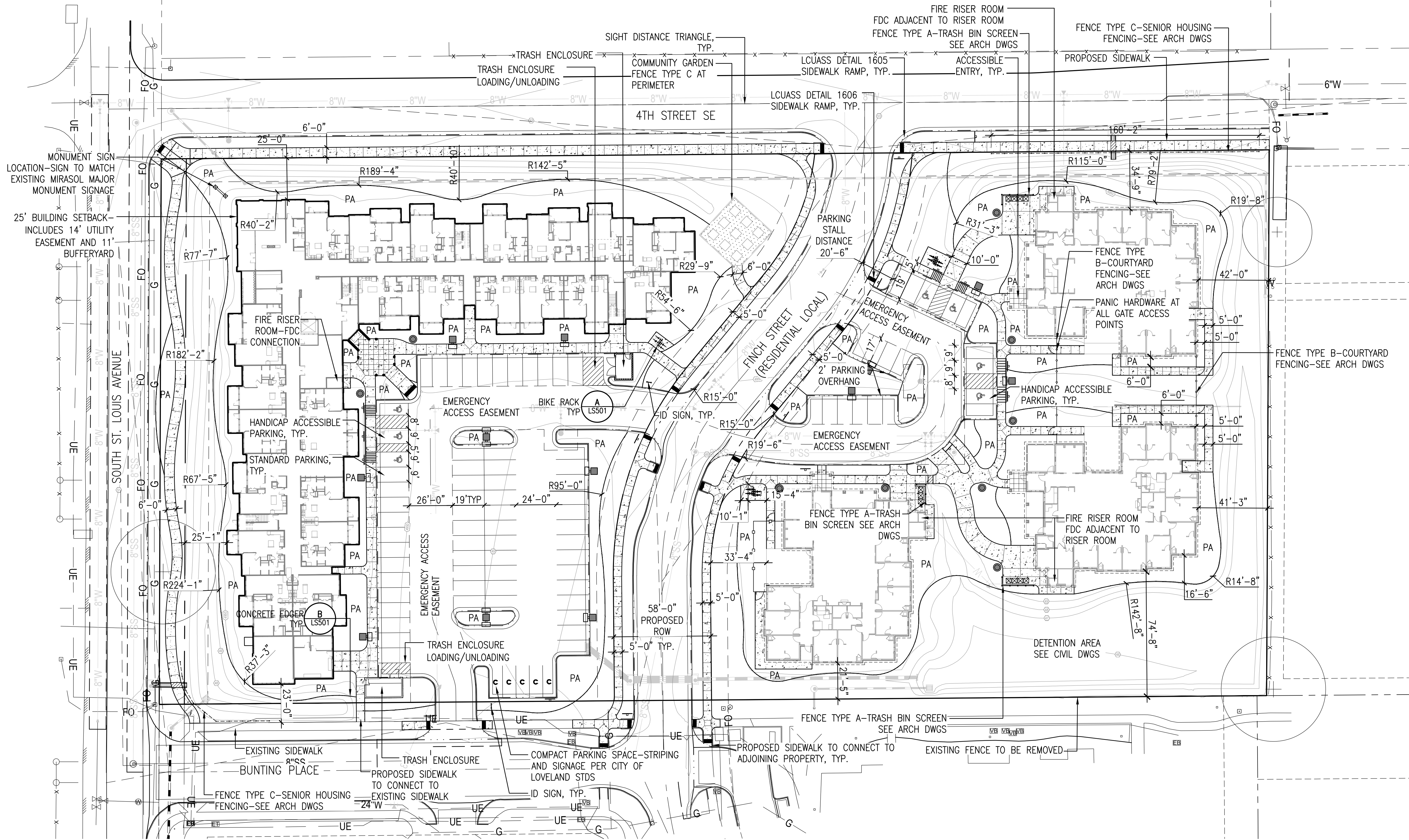
ALM2S  
712 Whalers Way  
Building B, Suite 100  
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(970) 223 - 1820

Civil Engineer:

Galloway  
3760 E. 15th Street, Suite 202  
Loveland, CO 80538  
(970) 800-3300

Landscape Architect:

Russell + Mills Studios  
141 S. College Ave, Suite 104  
Fort Collins, CO 80525  
(970) 484-8855



PRELIMINARY SITE PLAN

SITE LEGEND:

- SITE BOUNDARY
- R.O.W.
- LOT LINE
- EASEMENT
- BUILDING ENVELOPE
- CONCRETE EDGER
- FENCE TYPE A
- FENCE TYPE B (TO MATCH EXISTING FENCING AT GREEN HOUSE BUILDINGS)
- FENCE TYPE C SENIOR HOUSING FENCE (TO MATCH EXISTING FENCE ALONG S ST LOUIS)
- STANDARD GRAY CONCRETE
- CRUSHER FINES PAVEMENT

- PA PLANTING AREA
- PROPOSED PED LIGHT
- PROPOSED PARKING LOT LIGHT
- MONUMENT SIGN (TO MATCH EXISTING MIRASOL SIGNAGE)
- ID SIGN (TO MATCH EXISTING MIRASOL SIGNAGE)

PARKING TOTAL(S):	
STANDARD SPACES (86%)	75
COMPACT SPACES (6%)	5
HANDICAP SPACES (8%)	7 - INCLUDES VAN ACCESSIBLE SPACES
TOTAL PARKING PROVIDED	87
BICYCLE PARKING	12 PROVIDED 8 REQUIRED

SITE PLAN NOTES:

- REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS OF STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES.
- REFER TO THE FINAL CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION REGARDING PROPOSED TOPOGRAPHY, UTILITY AND STREET IMPROVEMENTS.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- ALL LIGHTING FIXTURE ILLUMINATION LEVELS PROVIDED WITH THE DEVELOPMENT SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS PER CITY OF LOVELAND. ALL LIGHTING FIXTURES PROVIDED WITH THE DEVELOPMENT SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE AND SHALL FEATURE SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THESE FINAL PLANS AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
- FIRE HYDRANTS MUST MEET OR EXCEED CITY FIRE RESCUE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED TO CONCRETE AND SHALL NOT INTERFERE WITH LANDSCAPING OR WALKWAYS.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- REFER TO CIVIL SHEETS FOR ALL EASEMENTS VACATIONS AND DEDICATIONS.

REV.	COMMENT	DATE

SEAL:

DATE: MARCH 2, 2017  
JOB NO.:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE:  
**PRELIMINARY SITE PLAN**

SHEET NO.:  
**LS101**



MIRASOL  
COMMUNITY  
PHASE 3

Preliminary Development Plan

**Owner:**  
Loveland Housing Authority  
375 W 37th Street  
Loveland, CO  
Ph: (970) 667-3232

**Architect:**  
ALM2S  
712 Whalers Way  
Building B, Suite 100  
Fort Collins, CO 80525  
(970) 223 – 1820

**Civil Engineer:**  
Galloway  
3760 E. 15th Street, Suite 202  
Loveland, CO 80538  
(970) 800-3300

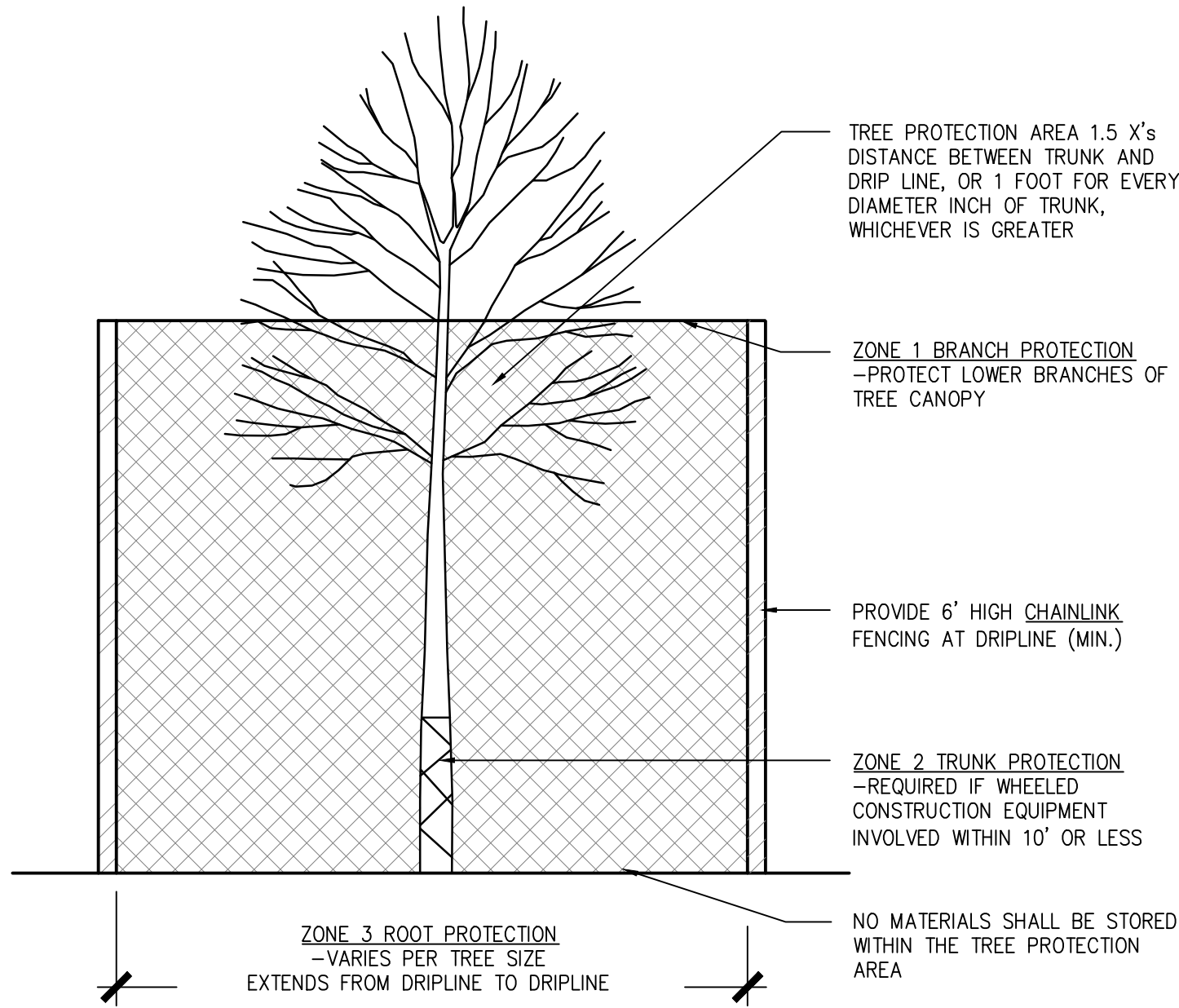
**Landscape Architect:**  
Russell + Mills Studios  
141 S. College Ave, Suite 104  
Fort Collins, CO 80525  
(970) 484-8855



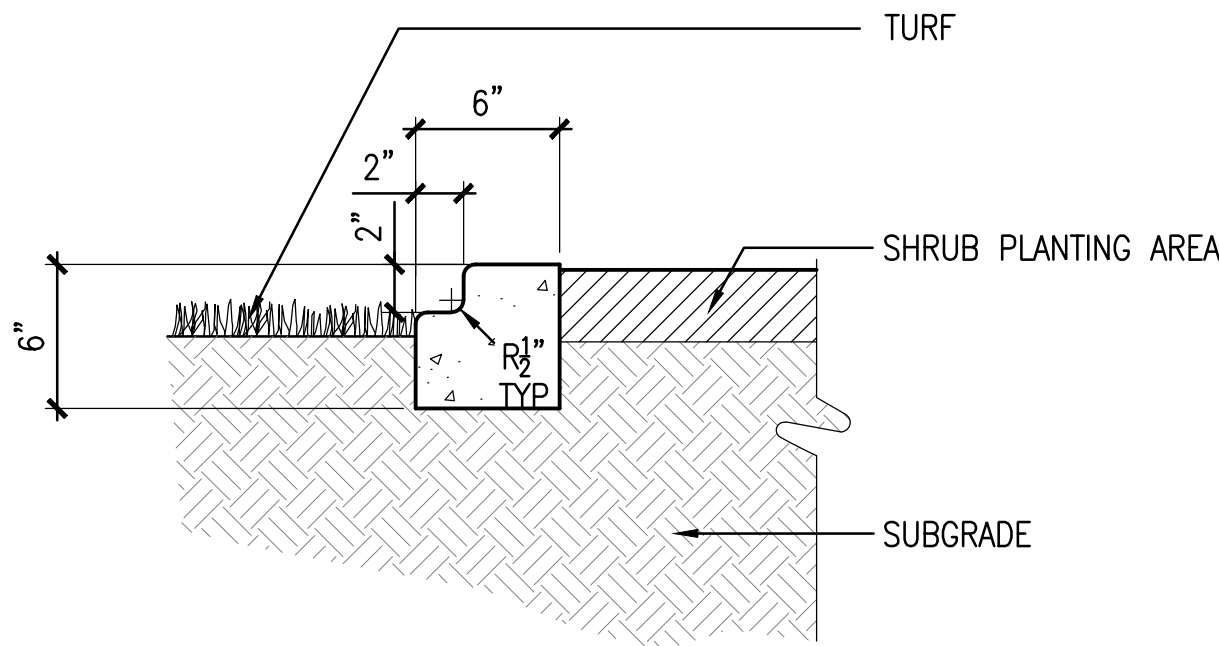
MANUFACTURER: MADRAX  
MODEL: CHALLENGER PLUS CHP-3-IG-P  
COLOR: BLACK  
QUANTITY: 3

SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS

**A** BIKE RACK  
SCALE: NTS DT-7 LOOP BIKE RACK

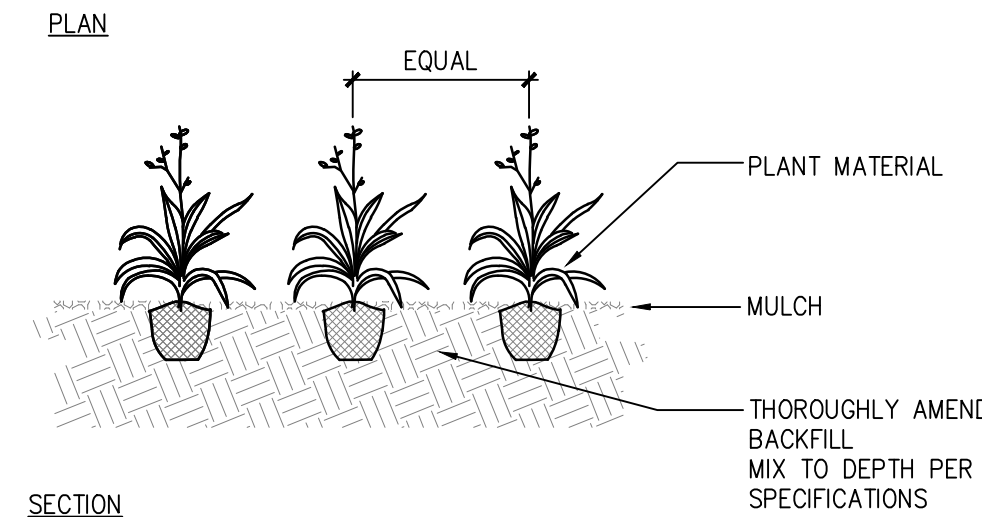
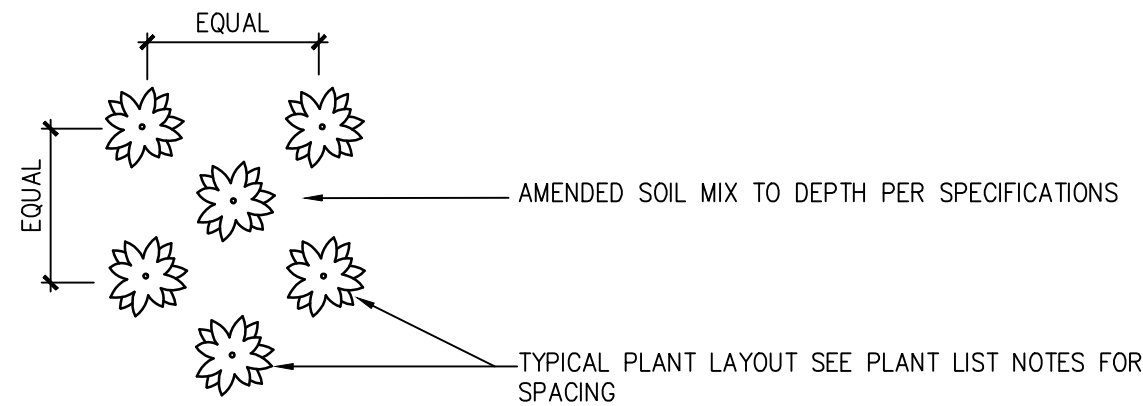


**C** TREE PROTECTION  
SCALE: NTS



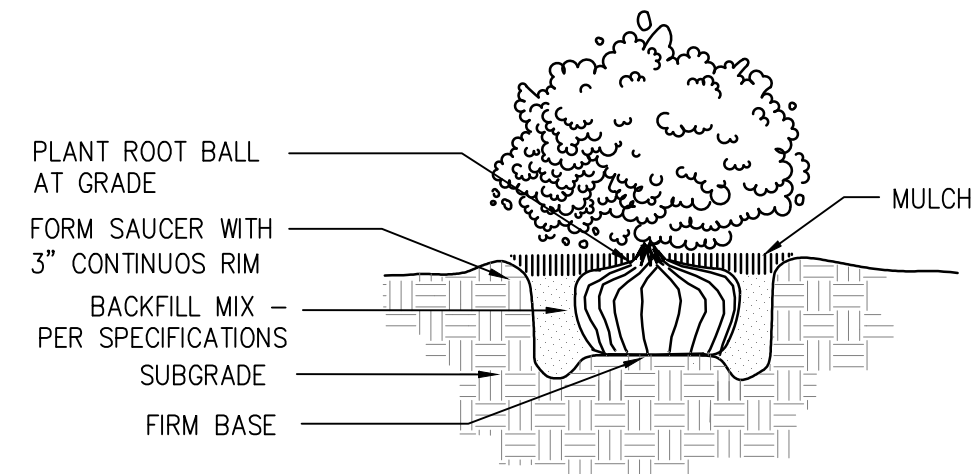
NOTE:  
THIS DETAIL IS FOR GENERAL DIMENSIONS ONLY  
- CONCRETE HEADER TO BE INSTALLED BY  
CURBING MACHINE

**B** CONCRETE EDGER  
SCALE: 1 1/2" = 1'-0" DT-EDGR-CONC



NOTE:  
1. WHEN BACKFILLING AROUND PLANTS, DO NOT ALLOW  
AIR POCKETS TO FORM  
2. AFTER PLANTING, WATER THOROUGHLY  
3. ALL GRASSES TO BE PLANTED AT A MINIMUM OF  
ONE FOOT FROM EDGE OF PAVEMENT

**D** ORNAMENTAL GRASSES/ PERENNIALS  
SCALE: NTS



NOTE:  
1. WHEN BACKFILLING AROUND PLANTS, DO NOT ALLOW AIR POCKETS TO  
FORM  
2. AFTER PLANTING, WATER THOROUGHLY  
3. ALL GRASSES TO BE PLANTED AT A MINIMUM OF ONE FOOT FROM EDGE  
OF PAVEMENT

**E** SHRUB PLANTING  
SCALE: NTS

REV.	COMMENT	DATE

SEAL:

DATE: MARCH 2, 2017  
JOB NO.:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE:

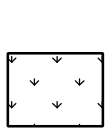
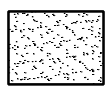
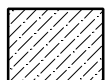
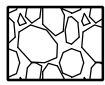
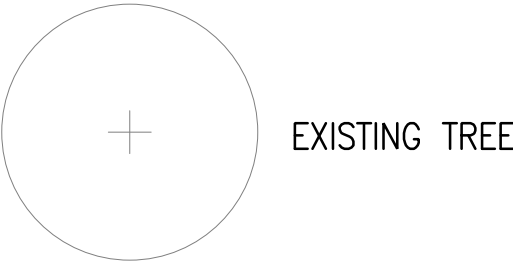
**SITE DETAILS**

SHEET NO.:

**LS501**

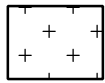


LANDSCAPE LEGEND:



1% – REDTOP	1 PLS	.1
18% – SWITCHGRASS (PATHFINDER)	12 PLS	2.2
62% – WESTERN WHEATGRASS (ARRIBA)	13 PLS	7.9
8% – INLAND SALTGRASS	13 PLS	1.0
1% – WOOLY SEDGE	1 PLS	.1
1% – BALTIC RUSH	1 PLS	.1
8% – PRAIRIE CORDGRASS	13 PLS	1.0
1% – NEBRASKA SEDGE	1 PLS	.1

DRILL RATE = 12.50      BROADCAST RATE = 25.00



8% – SHEEP FESCUE (DURAR)	16 PLS	1.3
8% – SWITCHGRASS (PATHFINDER)	16 PLS	1.3
47% – WESTERN WHEATGRASS (ARRIBA)	17 PLS	7.9
3% – ALKALI SACATON	16 PLS	.5
32% – SLENDER WHEATGRASS	17 PLS	5.5
2% – CANADIAN BLUEGRASS (RUEBENS)	15 PLS	.3

DRILL RATE = 16.80      BROADCAST RATE = 33.60

LANDSCAPE SCHEDULE

QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
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DECIDUOUS TREES

18		GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL.	40–50'	35–45'
13		GYMNOCLADUS DIOICA ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL.	50–60'	40–50'
6		QUERCUS BUCKLEYI	TEXAS RED OAK	2" CAL.	60–75'	50–60'
2		TILIA AMERICANA	AMERICAN LINDEN	2" CAL.	50–60'	30–40'

ORNAMENTAL TREES

20		ACER GRANDIDENTATUM	BIG TOOTH MAPLE	1.5" CAL	20–25'	12–15'
9		ACER TATARICUM 'HOT WINGS'	'HOT WINGS' MAPLE	1.5" CAL.	15–20'	12–15'
24		AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	SERVICEBERRY (MULTI-STEM)	1.5" CAL.	15–20'	10–15'
18		MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL.	20–25'	20'

EVERGREEN TREES

24		PICEA PUNGENS F. GLAUCA	DWARF BLUE SPRUCE	4' HT	10–12'	6–7'
16		PICEA PUNGENS	ISELI FASTIGATE SPRUCE	6' HT	35–40'	10'
8		PINUS FLEXIS 'VANERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	6' HT	20–25'	10–15'

DECIDUOUS SHRUBS

4		AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	5 GAL	4–6'	4–6'
52		ARCTOSTAPHYLUS X COLORADENSIS	MOCK BEARBERRY MANZANITA	5 GAL.	1–2'	3–4'
5		ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED BRILLIANT CHOKEBERRY	5 GAL.	6–10'	4–6'
89		CHRYSOTHAMNUS NAUSEOSUS 'NAUSEOSUS'	BABY BLUE RABBITBRUSH	5 GAL.	1–4'	2–6'
125		CARYOPTERIS X INCANA	BLUE MIST SPIREA	5 GAL.	3–4'	2–3'
15		CYTISUS PURGANS	SPANISH GOLD BROOM	5 GAL.	3–4'	5–6'
58		PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES WESTERN SAND CHERRY	5 GAL.	1–2'	5–6'
34		RHUS TRILOBATA	AUTUMN AMBER SUMAC	5 GAL.	10–14"	6–8'
17		ROSA WOODSII	WOODS ROSE	5 GAL.	3–5'	4–6'
43		RUBUS DELICIOSUS	BOULDER RASPBERRY	5 GAL.	3–5'	4–6'

EVERGREEN SHRUBS

150		PINUS MUGO 'MOPS'	MOPS MUGO PINE	5 GAL.	2.5–3'	2.5
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ORNAMENTAL GRASSES

205		BOUTELOUA GRACILIS 'BLOND AMBITION'	BLOND AMBITION BLUE GRAMA	1 GAL.	20–24"	20–24"
152		PANICUM VIRGATUM	SWITCH GRASS	1 GAL.	36–48"	24–36"
102		SCHIZACHYRIUM SCOPARIUM	STANDING OVATION' LITTLE BLUESTEM	1 GAL.	2–3'	15–18"
24		MUHLENBERGIA CAPILLARIS 'LENCA'	REGAL MIST PINK MUHLY GRASS	1 GAL.	5–6'	4–6'

PERENNIALS

68 AMO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL.	18"–24"	12"
33 ACS	AGASTACHE CANA	SONORAN SUNSET HYSSOP	1 GAL.	16–20"	16–20"
15 ARS	AGASTACHE RUPESTRIS	SUNSET HYSSOP	1 GAL.	20–24"	16–20'
22 BAU	BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	1 GAL.	36–48"	24–36"
40 NRA	NEPETA RACEMOSA	WALKER'S LOW CATMINT	1 GAL.	24–30"	24–36"
14 PME	PENSTEMON X MEXICALI	RED ROCKS PENSTEMON	1 GAL.	14–15"	10–12"
6 PPP	PIKES PEAK PURPLE	PENSTEMON X MEXICALI	1 GAL.	14–18"	12–14"
91 RHI	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL.	24–36"	12–24"
41 SAJ	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GAL.	18–24"	18–24"

GENERAL LANDSCAPE NOTES

1. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE A-GRADE OR NO. 1 GRADE –FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. ALL TREES SHALL BE BALL AND BURLAP OR EQUIVALENT.
2. IRRIGATION: ALL LANDSCAPE AREAS WITHIN THE SITE INCLUDING TURF, SHRUB BEDS AND TREE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION PLAN MUST BE REVIEWED AND APPROVED BY THE CITY WATER UTILITIES DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES, INCLUDING IN NATIVE SEED AREAS, SHALL BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR WITH AN ACCEPTABLE ALTERNATIVE APPROVED BY THE CITY WITH THE IRRIGATION PLANS. THE IRRIGATION SYSTEM SHALL BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
3. TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
4. SOIL AMENDMENTS: SOIL AMENDMENTS SHALL BE PROVIDED AND DOCUMENTED IN ACCORDANCE WITH CITY CODE SECTION 12–132. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF NOT LESS THAN EIGHT(8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX(6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A WRITTEN CERTIFICATION MUST BE SUBMITTED TO THE CITY THAT ALL PLANTED AREAS, OR AREAS TO BE PLANTED, HAVE BEEN THOROUGHLY LOOSENEED AND THE SOIL AMENDED.
5. INSTALLATION AND GUARANTEE: ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING FOR EACH PHASE MUST BE EITHER INSTALLED OR THE INSTALLATION MUST BE SECURED WITH AN IRREVOCABLE LETTER OF CREDIT, PERFORMANCE BOND, OR ESCROW ACCOUNT FOR 125% OF THE VALUATION OF THE MATERIALS AND LABOR PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING IN SUCH PHASE.
6. MAINTENANCE: TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS WITH THESE FINAL PLANS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
7. REPLACEMENT: ANY LANDSCAPE ELEMENT THAT DIES, OR IS OTHERWISE REMOVED, SHALL BE PROMPTLY REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS.
8. THE FOLLOWING SEPARATIONS SHALL BE PROVIDED BETWEEN TREES/SHRUBS AND UTILITIES:
  - 40 FEET BETWEEN CANOPY TREES AND STREET LIGHTS
  - 15 FEET BETWEEN ORNAMENTAL TREES AND STREETLIGHTS
  - 10 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER MAIN LINES
  - 6 FEET BETWEEN TREES AND PUBLIC WATER, SANITARY AND STORM SEWER SERVICE LINES.
  - 4 FEET BETWEEN SHRUBS AND PUBLIC WATER AND SANITARY AND STORM SEWER LINES
  - 4 FEET BETWEEN TREES AND GAS LINES
9. ALL STREET TREES SHALL BE PLACED A MINIMUM EIGHT (8) FEET AWAY FROM THE EDGES OF DRIVEWAYS AND ALLEYS
10. PLACEMENT OF ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE SIGHT DISTANCE CRITERIA AS SPECIFIED BY THE CITY. NO STRUCTURES OR LANDSCAPE ELEMENTS GREATER THAN 24" SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENTS WITH THE EXCEPTION OF DECIDUOUS TREES PROVIDED THAT THE LOWEST BRANCH IS AT LEAST 6' FROM GRADE. ANY FENCES WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MUST BE NOT MORE THAN 42" IN HEIGHT AND OF AN OPEN DESIGN.
11. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION. THE PROPERTY OWNERS ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND ON ALL DRIVEWAYS, PRIVATE DRIVES AND PARKING AREAS WITHIN THE DEVELOPMENT.
12. THE DEVELOPER SHALL ENSURE THAT THE FINAL LANDSCAPE PLAN IS COORDINATED WITH ALL OTHER FINAL PLAN ELEMENTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, AND OTHER DEVELOPMENT IMPROVEMENTS DO NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
13. MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION -- AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY, QUALITY, AND DESIGN CONCEPT MUST BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES ILLUSTRATED SHALL BE PROVIDED. ALL CHANGES OF PLANT SPECIES AND LOCATION MUST HAVE WRITTEN APPROVAL BY THE CITY PRIOR TO INSTALLATION.
14. ALL PLANTING BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF THREE INCHES.
15. IRRIGATED TURF SHALL BE TEXAS BLUEGRASS/KENTUCKY BLUEGRASS HYBRID REVEILLE OR APPROVED EQUAL.

STREET TREES NOTES

1. A PERMIT MUST BE OBTAINED BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED IN THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT IS A VIOLATION OF THE CITY OF FORT COLLINS CODE SUBJECT TO CITATION (SECTION 27–31) AND MAY ALSO RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
2. CONTACT THE CITY TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL MUST BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE.
3. STREET LANDSCAPING, INCLUDING STREET TREES, SHALL BE SELECTED IN ACCORDANCE WITH ALL CITY CODES AND POLICIES. ALL TREE PRUNING AND REMOVAL WORKS SHALL BE PERFORMED BY A CITY OF LOVELAND LICENSED ARBORS WHERE REQUIRED BY CODE. STREET TREES SHALL BE SUPPLIED AND PLANTED BY THE DEVELOPER USING A QUALIFIED LANDSCAPE CONTRACTOR.
4. THE DEVELOPER SHALL REPLACE DEAD OR DYING STREET TREES AFTER PLANTING UNTIL FINAL MAINTENANCE INSPECTION AND ACCEPTANCE BY THE CITY. ALL STREET TREES IN THE PROJECT MUST BE ESTABLISHED, WITH AN APPROVED SPECIES AND OF ACCEPTABLE CONDITION PRIOR TO ACCEPTANCE.
5. SUBJECT TO APPROVAL BY THE CITY -- STREET TREE LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE DRIVEWAY LOCATIONS, UTILITY SEPARATIONS BETWEEN TREES, STREET SIGNS AND STREET LIGHTS. STREET TREES TO BE CENTERED IN THE MIDDLE OF THE LOT TO THE EXTENT FEASIBLE. QUANTITIES SHOWN ON PLAN MUST BE INSTALLED UNLESS A REDUCTION IS APPROVED BY THE CITY TO MEET SEPARATION STANDARDS.

# MIRASOL COMMUNITY PHASE 3

## Preliminary Development Plan

Owner:

Loveland Housing Authority  
375 W 37th Street  
Loveland, CO  
Ph: (970) 667-3232

Architect:

ALM2S  
712 Whalers Way  
Building B, Suite 100  
Fort Collins, CO 80525  
(970) 223 – 1820

Civil Engineer:

Galloway  
3760 E. 15th Street, Suite 202  
Loveland, CO 80538  
(970) 800-3300

Landscape Architect:

Russell + Mills Studios  
141 S. College Ave, Suite 104  
Fort Collins, CO 80525  
(970) 484-8855

REV.	COMMENT	DATE

SEAL:

DATE: MARCH 2, 2017  
JOB NO.:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE:

LANDSCAPE LEGEND AND NOTES

SHEET NO.:

LP101



**Owner:**  
 Loveland Housing Authority  
 375 W 37th Street  
 Loveland, CO  
 Ph: (970) 667-3232

**Civil Engineer:**  
**Galloway**  
3760 E. 15th Street, Suite 202  
Loveland, CO 80538  
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**Landscape Architect:**  
Russell + Mills Studios  
141 S. College Ave, Suite 104  
Fort Collins, CO 80525  
(970) 484-8855



EXISTING TREE

 COBBLE - 1,036 S.F.

 MULCHED GARDEN BEDS - 29,859 S.F. (29%)

 TURFGRASS SOD  
80/20 TALL FESCUE/BUEGRASS BLEND  
33,505 S.F. (32%)

LOWLAND SEED MIX - SEED RATE LBS/ACRE  
14,660 S.F. (14%)

1% - REDTOP	1 PLS	.1
18% - SWITCHGRASS (PATHFINDER)	12 PLS	2.2
62% - WESTERN WHEATGRASS (ARRIBA)	13 PLS	7.9
8% - INLAND SALTGRASS	13 PLS	1.0
1% - WOOLY SEDGE	1 PLS	.1
1% - BALTIC RUSH	1 PLS	.1
8% - PRAIRIE CORDGRASS	13 PLS	1.0
1% - NEBRASKA SEDGE	1 PLS	.1

DRILL RATE = 12.50      BROADCAST RATE = 25.00

TRANSITIONAL SEED MIX - SEED RATE LBS/ACRE  
24,803 S.F. (24%)





8% - SHEEP FESCUE (DURAR)	16 PLS	1.3
8% - SWITCHGRASS (PATHFINDER)	16 PLS	1.3
47% - WESTERN WHEATGRASS (ARRIBA)	17 PLS	7.9
3% - ALKALI SACATON	16 PLS	.5
32% - SLENDER WHEATGRASS	17 PLS	5.5
2% - CANADIAN BLUEGRASS (RUEBENS)	15 PLS	.3

DRILL RATE = 16.80      BROADCAST RATE = 33.60





## LANDSCAPE SCHEDULE

QTY.	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
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## DECIDUOUS TREES

18		GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL.	40-50'	35-45'
13		GYMNOCLADUS DIOICA ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL.	50-60'	40-50'
6		QUERCUS BUCKLEYI	TEXAS RED OAK	2" CAL.	60-75'	50-60'
2		TILIA AMERICANA	AMERICAN LINDEN	2" CAL.	50-60'	30-40'

## ORNAMENTAL TREES



20		ACER GRANDIDENTATUM	BIG TOOTH MAPLE	1.5" CAL	20–25'	12–15'
9		ACER TATARICUM 'HOT WINGS'	'HOT WINGS' MAPLE	1.5" CAL.	15–20'	12–15'
24		AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	SERVICEBERRY (MULTI-STEM)	1.5" CAL.	15–20'	10–15'
18		MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL.	20–25'	20'

EVERGREEN TREES

24		PICEA PUNGENS F. GLAUCA	DWARF BLUE SPRUCE	4' HT	10-12'	6-7'
16		PICEA PUNGENS	ISELII FASTIGATE SPRUCE	6' HT	35-40'	10'
8		PINUS FLEXIS 'VANERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	6' HT	20-25'	10-15'

## DECIDUOUS SHRUBS

4	☉	AMELANCHIER ALNIFOLIA 'RECENT'	REGENT SERVICEBERRY	5 GAL.	4-6'
52	☼	ARCTOSTAPHYLUS X COLORADENSIS	MOCK BEARBERRY MANZANITA	5 GAL.	1-2'
5	☾	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED BRILLIANT CHOKEBERRY	5 GAL.	6-10'
89	☽	CHRYSOETHAMNUS NAUSEOSUS 'NAUSEOSUS'	BABY BLUE RABBITBRUSH	5 GAL.	1-4'
125	☾	CARYOPTERIS X INCANA	BLUE MIST SPIREA	5 GAL.	3-4'
15	☼	CYTISUS PURGANS	SPANISH GOLD BROOM	5 GAL.	3-4'
58	☼	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES WESTERN SAND CHERRY	5 GAL.	1-2'

34		RHUS TRILOBATA	AUTUMN AMBER SUMAC	5 GAL.	10-14"	6-8'
17		ROSA WOODSII	WOODS ROSE	5 GAL.	3-5'	4-6'
43		RUBUS DELICIOSUS	BOULDER RASPBERRY	5 GAL.	3-5'	4-6'

### EVERGREEN SHRUBS

150	♂	PINUS MUGO MOPS	MOPS MUGO PINE	5 GAL.	2.5-3	2.5
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205      *POULICOLA*

152	⊗	'BLOND AMBITION'	SWITCH GRASS	1 GAL.	36-48"	24-36"
102	○	PANICUM VIRGATUM	STANDING OVATION'	1 GAL.	2-3'	15-18"
		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM			
24	⊕	MUHLENBERGIA CAPILLARIS	REGAL MIST PINK	1 GAL.	5-6'	4-6'
		'LENCA'	MUHLI GRASS			

PERENNIALS

08	AWO	ACHILLEA 'A MOONSHINE	MOONSHINE 'TARROW	1 GAL.	16 - 24"	12
33	ACS	AGASTACHE 'CANA	SUNORAN SUNSET HYSSOP	1 GAL.	16 - 20"	16-20"
15	ARS	AGASTACHE RUPESTRIS	SUNSET HYSSOP	1 GAL.	20 - 24"	16-20"
22	BAU	BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	1 GAL.	36 - 48"	24-36"
40	NRA	NEPETA RACEMOSA	WALKER'S LOW CATMINT	1 GAL.	24 - 30"	24-36"
14	PME	PENSTEMON X MEXICALI	RED ROCKS PENSTEMON	1 GAL.	14 - 15"	10-12"
6	PPP	PIKES PEAK PURPLE	PENSTEMON X MEXICALI	1 GAL.	14 - 18"	12-14"
91	RHI	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL.	24 - 36"	12-24"
41	SAJ	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GAL.	18 - 24"	18-24"

[illegible]

SEAL:

DATE: MARCH 2, 2017  
JOB NO.:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE:

## PRELIMINARY LANDSCAPE PLAN

SHEET NO.:

# LP102



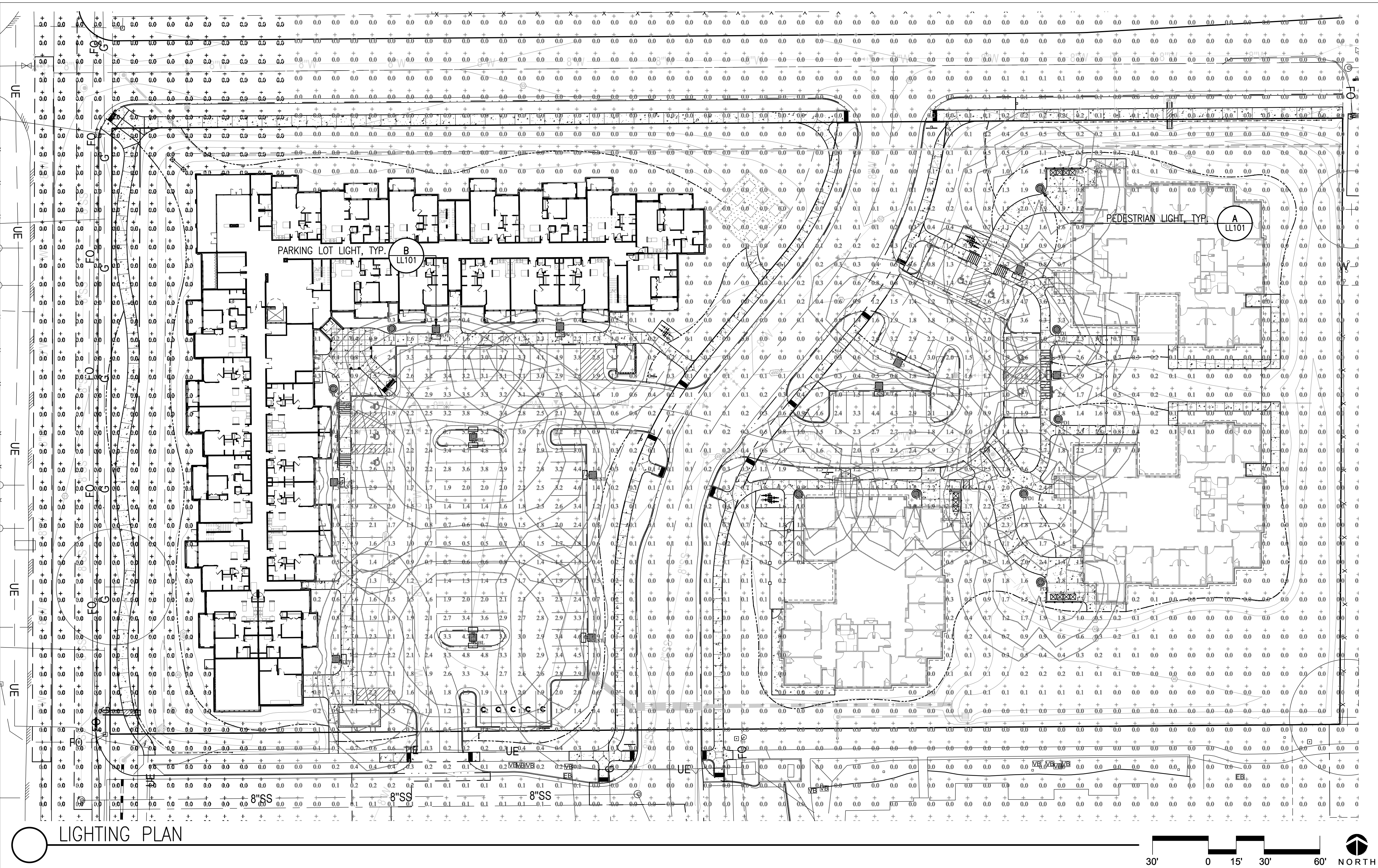
MIRASOL  
COMMUNITY  
PHASE 3  
Preliminary Development Plan

Owner:  
Loveland Housing Authority  
375 W 37th Street  
Loveland, CO  
Ph: (970) 667-3232

Architect:  
ALM2S  
712 Whalers Way  
Building B, Suite 100  
Fort Collins, CO 80525  
(970) 223 – 1820

Civil Engineer:  
Galloway  
3760 E. 15th Street, Suite 202  
Loveland, CO 80538  
(970) 800-3300

Landscape Architect:  
Russell + Mills Studios  
141 S. College Ave, Suite 104  
Fort Collins, CO 80525  
(970) 484-8855



REV.	COMMENT	DATE

SEAL:

LIGHT LEVELS AT INITIAL INSTALLATION			
MIN. HORZ. LUMINACE	MAX UNIFORMITY RATIO (MAX TO MIN)	MAX AVG LUMINACE	LIGHT LOSS FACTOR
.1 FC*	5.68:1	.5 FC	1
*0.00 FC DENOTES AREA WITH NO WALKABLE SURFACE I.E. TURF OR PLANTING AREAS.			



MANUFACTURER: RAB LIGHTING  
MODEL: ALED5T78Y-DIRECT BURY POLE  
COLOR: BLACK  
POLE HEIGHT: 15'  
SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS

A PEDESTRIAN LIGHT  
SCALE: NTS DT-PEDESTRIAN LIGHTING



MANUFACTURER: RAB LIGHTING  
MODEL: ALED3T105Y-DIRECT BURY POLE  
COLOR: BLACK  
POLE HEIGHT: 20'  
SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS

B PARKING LOT LIGHT  
SCALE: NTS DT-PARKING LIGHTING

DATE: MARCH 2, 2017  
JOB NO.:  
DRAWN BY:  
CHECKED BY:

DRAWING TITLE:

LIGHTING PLAN

SHEET NO.:

LL101



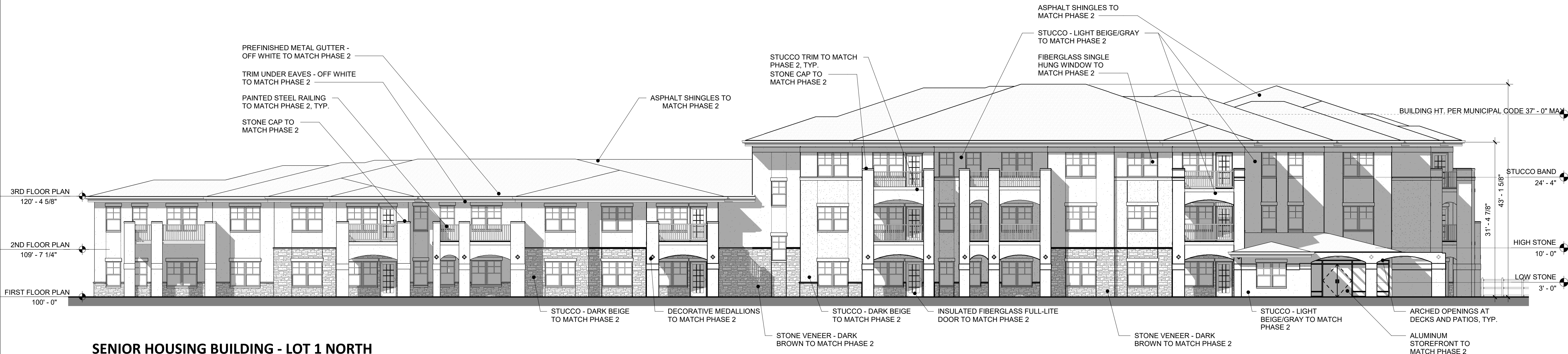
MIRASOL  
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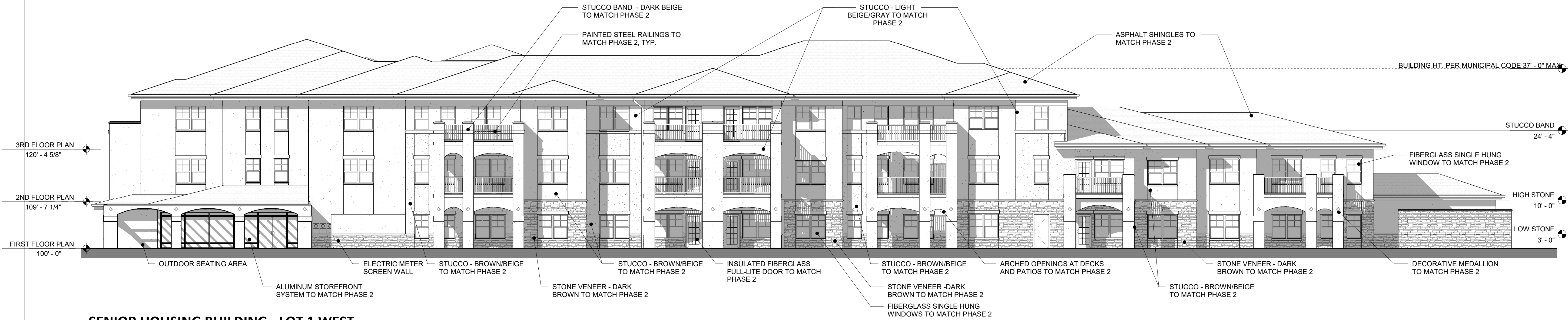
**Civil Engineer:**  
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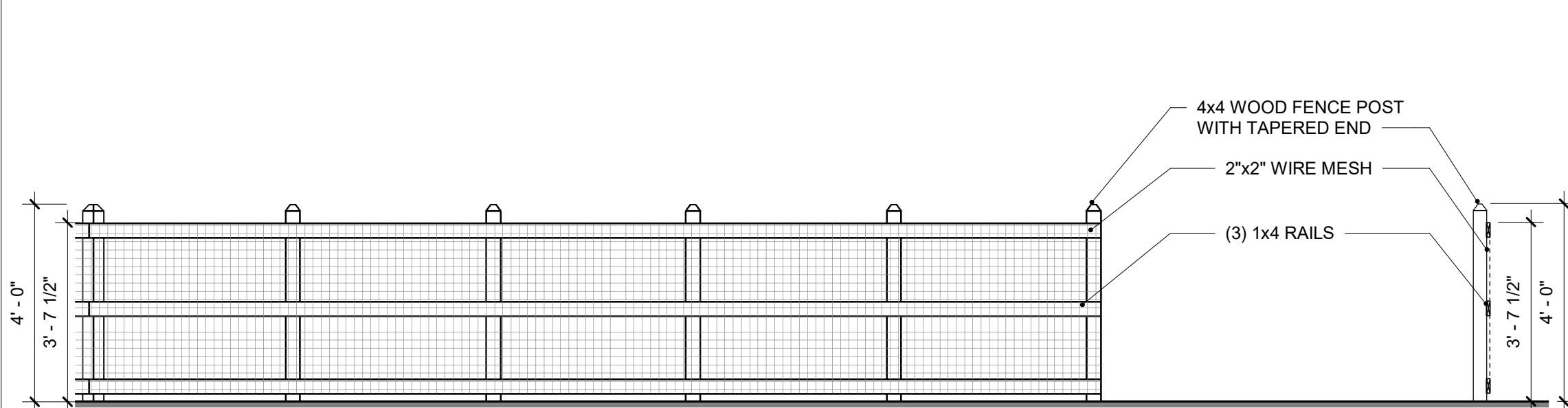
SENIOR HOUSING BUILDING - LOT 1 NORTH  
ELEVATION

SCALE: 3/32" = 1'-0"



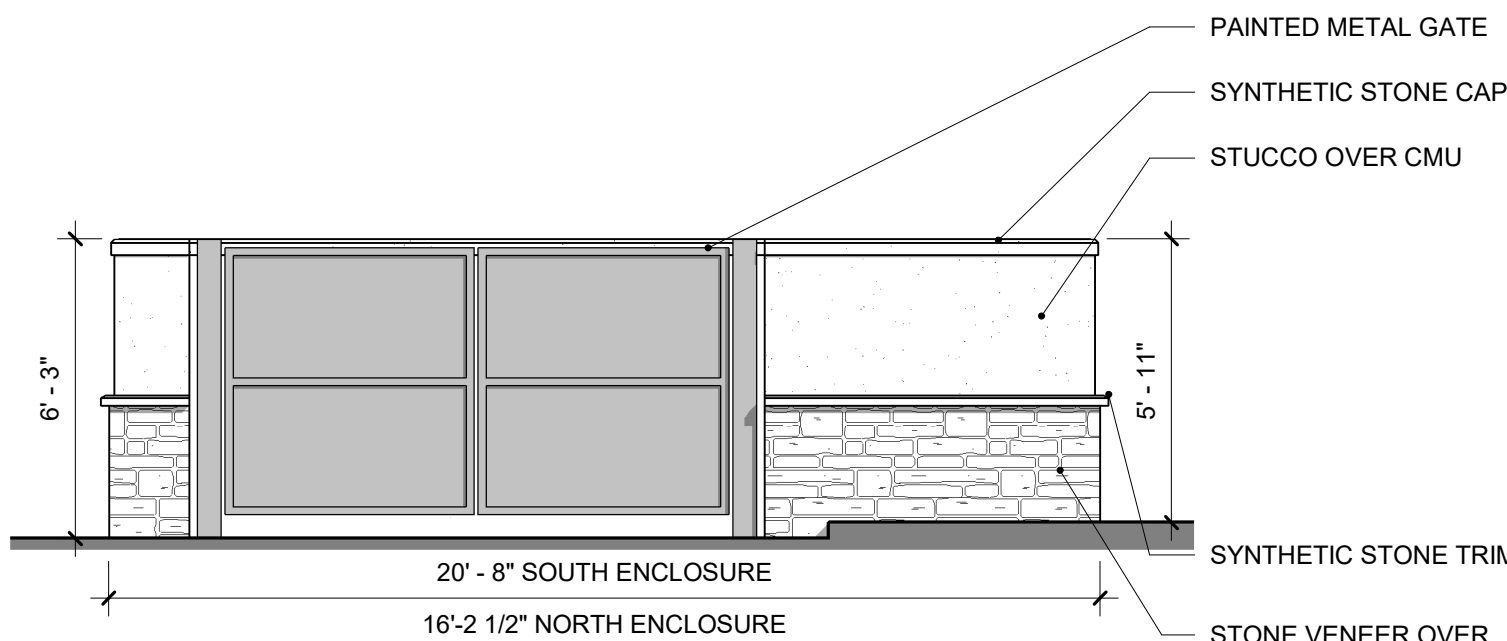
SENIOR HOUSING BUILDING - LOT 1 WEST  
ELEVATION

SCALE: 3/32" = 1'-0"



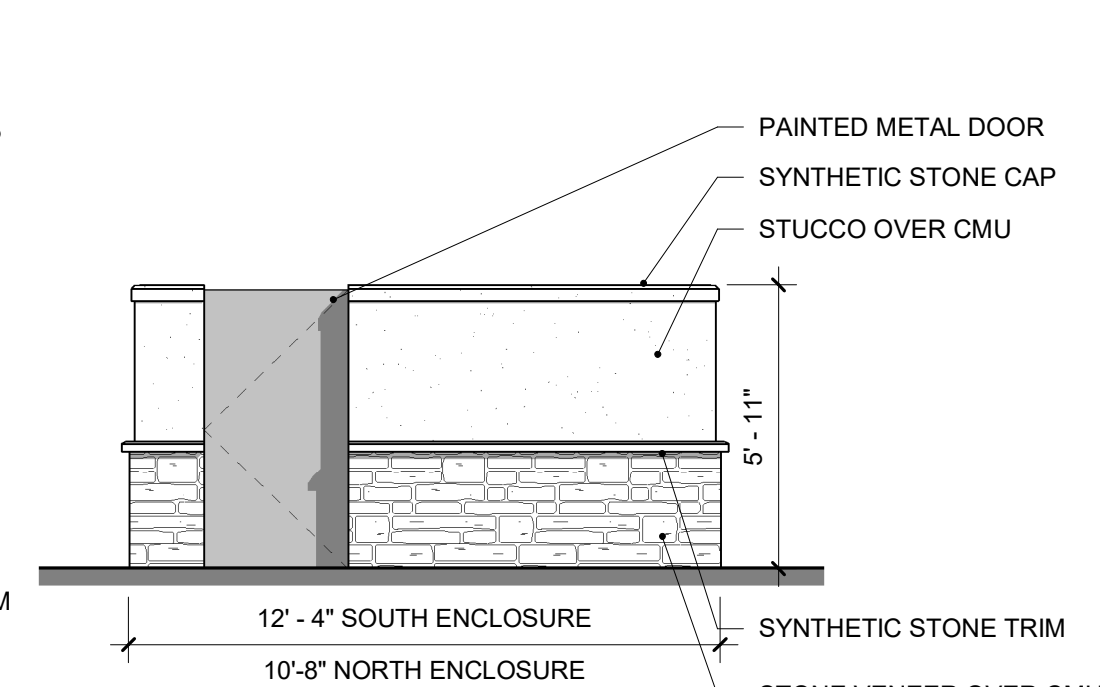
Fence Type C - Senior Housing Fencing

SCALE: 3/8" = 1'-0"



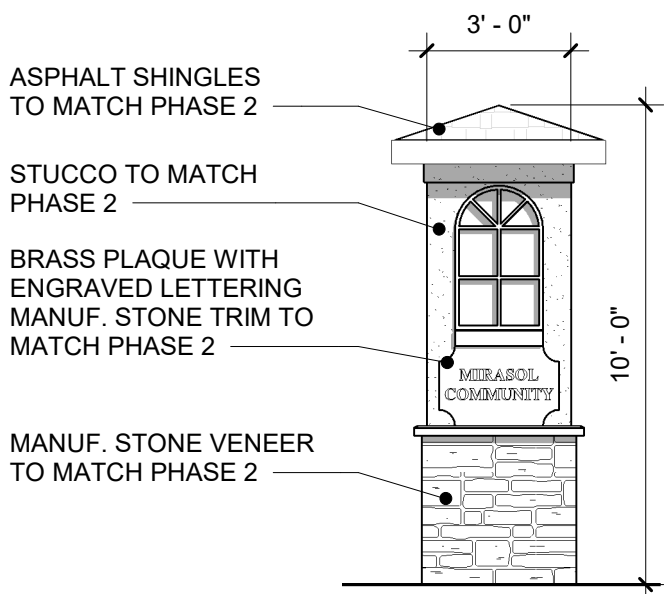
TRASH ENCLOSURE - FRONT

SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE - SIDE

SCALE: 1/4" = 1'-0"



MONUMENT SIGN

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REV.	COMMENT	DATE

SEAL:

Project Date 3.01.17  
Project No. Project No. 1549  
Drawn By kjb  
Checked By dl  
Sheet Name

SENIOR HOUSING BUILDING  
ELEVATIONS

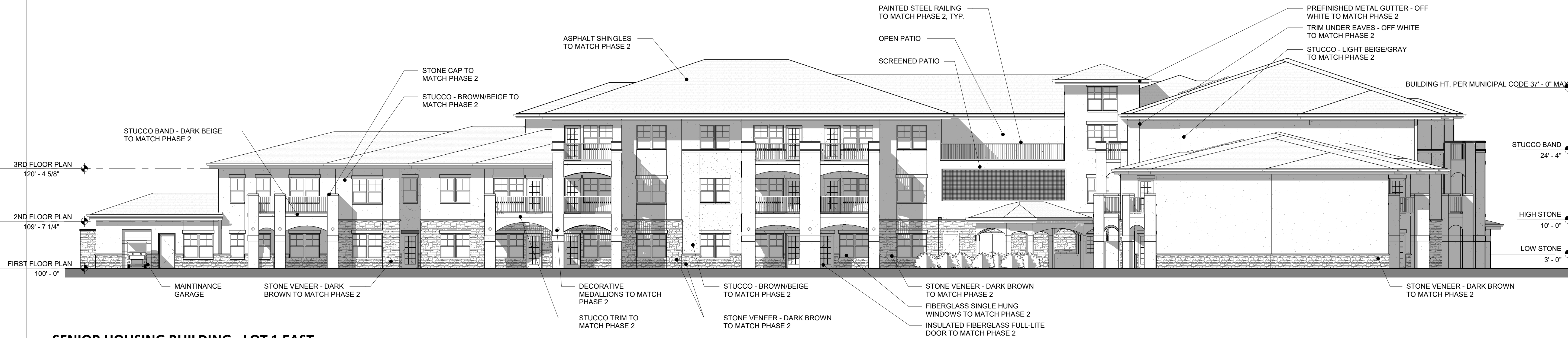
MIRASOL  
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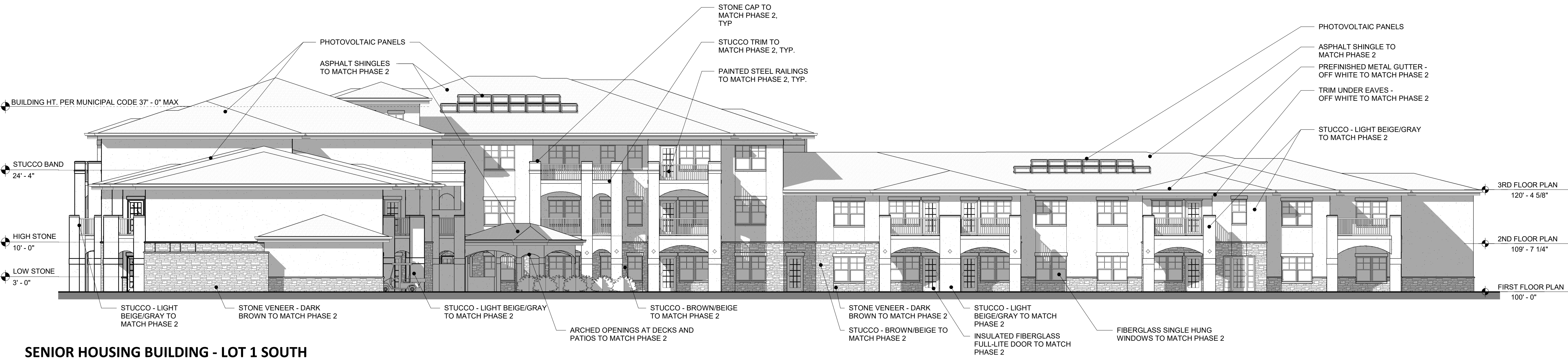
SENIOR HOUSING BUILDING - LOT 1 EAST  
ELEVATION

SCALE: 3/32" = 1'-0"

NOT FOR CONSTRUCTION

REV.	COMMENT	DATE

SEAL:



SENIOR HOUSING BUILDING - LOT 1 SOUTH  
ELEVATION

SCALE: 3/32" = 1'-0"

Project Date 3.01.17  
Project No. Project No. 1549  
Drawn By kjb  
Checked By dl  
Sheet Name

SENIOR HOUSING BUILDING  
ELEVATIONS

Sheet No. PDP-4.2  
ATTACHMENT 4

MIRASOL  
COMMUNITY  
PHASE 3  
Preliminary Development Plan

Owner:  
Loveland Housing Authority  
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NOT FOR CONSTRUCTION

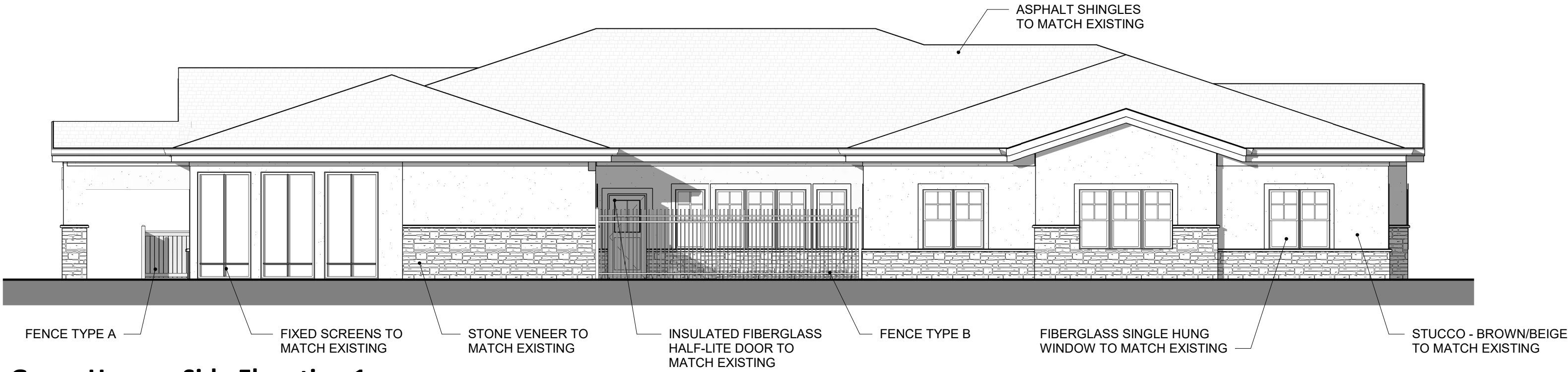
REV.	COMMENT	DATE

SEAL:

Project Date 3.01.17  
Project No. XXXX  
Drawn By kjb  
Checked By Checker  
Sheet Name

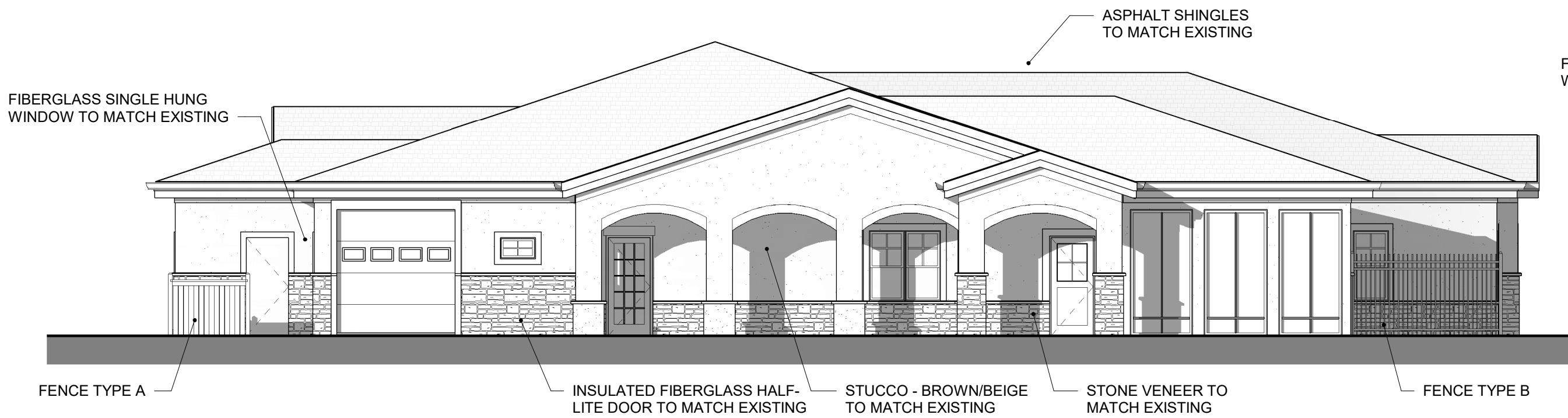
GREEN HOUSE BUILDING  
ELEVATIONS

Sheet No. PDP-4.3  
ATTACHMENT 4



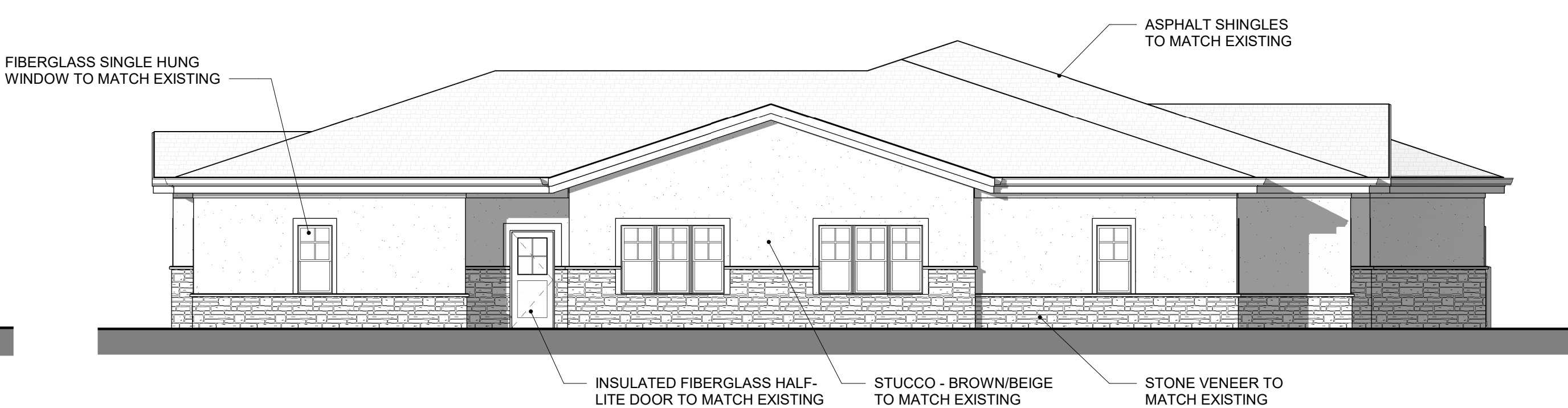
Green House - Side Elevation 1

SCALE: 1/8" = 1'-0"



Green House - Front Elevation

SCALE: 1/8" = 1'-0"



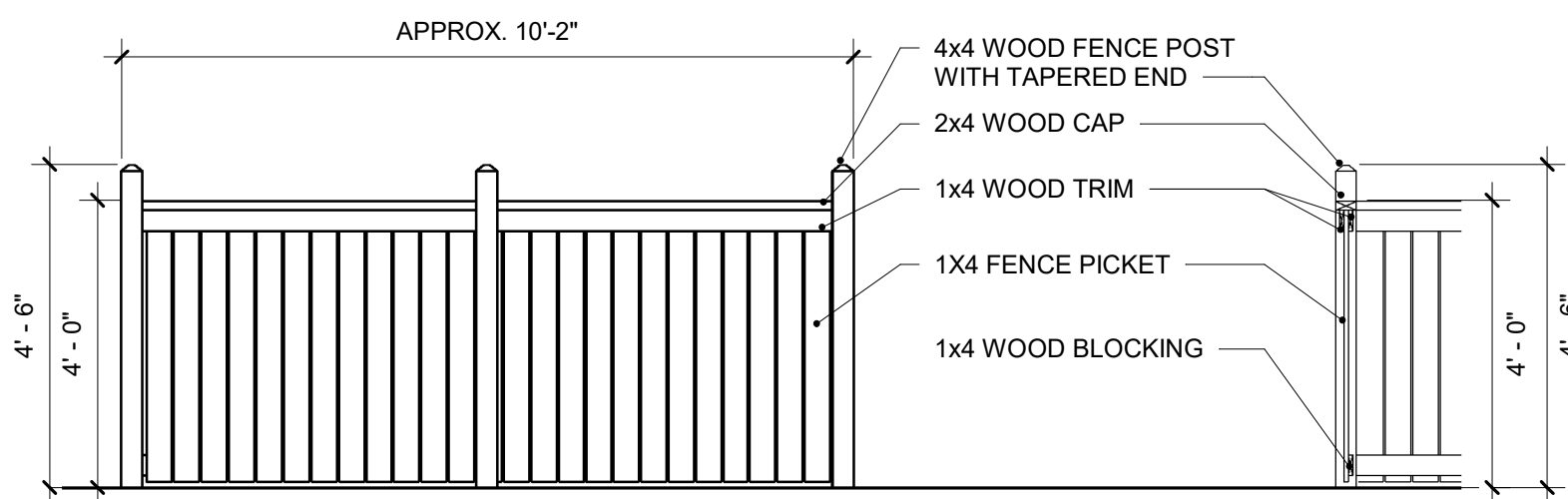
Green House - Back Elevation

SCALE: 1/8" = 1'-0"



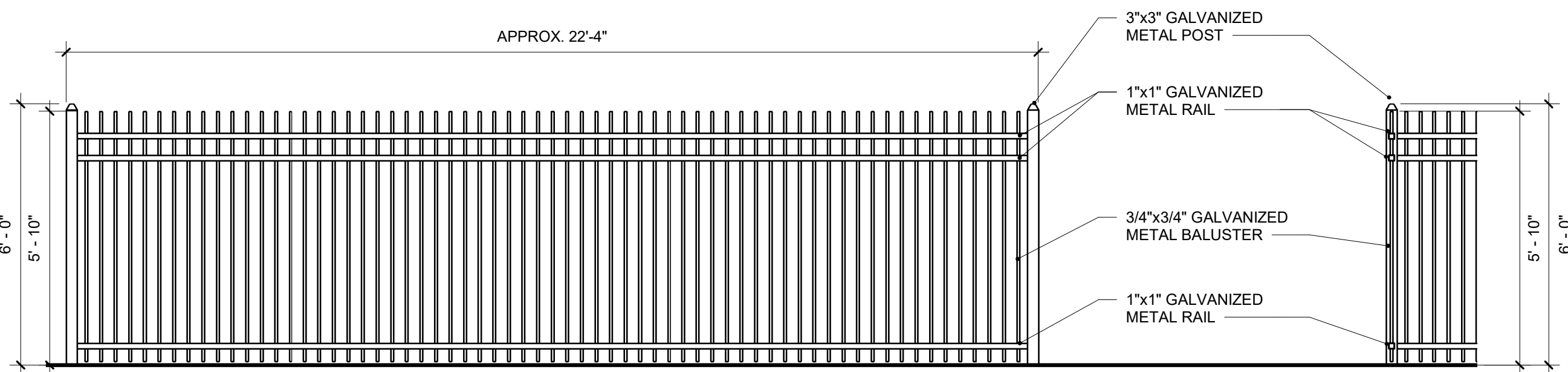
Green House - Side Elevation 2

SCALE: 1/8" = 1'-0"



Fence Type A - Trash Bin Screen

SCALE: 3/8" = 1'-0"



Fence Type B - Courtyard Fencing

SCALE: 3/8" = 1'-0"



SENIOR HOUSING BUILDING MATERIALS



GREEN HOUSE BUILDING MATERIALS



MIRASOL  
COMMUNITY  
PHASE 3  
*Preliminary Development Plan*

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Drawn By    **kjb**  
Checked By    **Checker**  
Sheet Name

BUILDING MATERIAL EXAMPLE  
PHOTOS