



City of Loveland

**LOVELAND PLANNING COMMISSION MEETING
AGENDA**

**Monday, September 26, 2016
500 E. 3rd Street – Council Chambers
Loveland, CO 80537
6:30 PM**

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**AGENDA
Monday, September 26, 2016**

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. REPORTS:

Citizen Reports

This is time for citizens to address the Commission on matters not on the published agenda.

Staff Matters

- 1. Recognition of Commissioner Meyers**
- 2. 10/10/16 Agenda Preview:**
 - Downtown Update: The Foundry Project and DDA activities**
 - Zoning Code Update process**
- 3. Zoning Code Update**

4. Council actions:

- Lee Farms GDP Amendment
- Mirasol Annexation / GDP Amendment

Commission Comments

- Title 18 Committee

IV. APPROVAL OF MINUTES

Review and approval of the September 12, 2016 Planning Commission Meeting minutes

V. CONSENT AGENDA

- No items are scheduled for the Consent Agenda

VI. REGULAR AGENDA:

1. Follow-up Report to the Commission on Taft Avenue Properties (Presentation Time: 5 minutes)

At the September 12, 2016 meeting, a number of issues arose concerning access for properties to the south of the Taft Gardens project. Staff will provide the Commission with information regarding the Taft widening project, access afforded to the properties in question and response to other concerns raised by citizens on September 12th. This is an administrative item and the Commission may entertain public comment.

2. Kendall Brook Townhomes Preliminary Development Plan and Preliminary Plat (Presentation Time: 20 minutes)

This is a public hearing item on a quasi-judicial matter relating to a proposed residential townhome development located along the south side of 50th Street within the Kendall Brook PUD. The proposal is for 84 townhouse units within 16 buildings located on a 7.6-acre site that is currently vacant. Access to the development is from 50th Street from two points. The Planning Commission has final authority on the two application components unless an appeal is filed.

City staff has reviewed the two associated applications and has determined that the proposed project meets applicable City standards and is in conformance with the General Development Plan for the Kendall Brook PUD that was approved in 2000. Staff is recommending approval with conditions.

3. Loveland Classical Schools Location, Extent and Site Plan Review (Presentation Time: 15 minutes)

Loveland Classical Schools is proposing a new location and facility to house their middle and high school programs, and eventually their elementary program. The location is on the north side of W. 29th Street and west of N. Wilson Avenue between the King of Glory Church (to the east) and the Hunter's Run Subdivision (to the west). The property is zoned DR – Developing Resource, containing approximately 12 acres. Public schools are permitted by-right under the current zoning based on allowances governed by the State of Colorado. Loveland Classical is public charter school authorized through the Thompson School District.

The proposed school is two stories with the initial phase including 53,000 sf of building area. The site improvements include landscaping, parking, and a stacking/queuing lanes to provide for student drop-off. The school is targeting the opening for August of 2017.

As per State Statute, the review and permitting of the school is primarily a function of the State of Colorado. The Planning Commission review of the proposed location and site plan is also a requirement of the statute. Any action/direction by the Planning Commission as a result of the site plan review will be communicated to the Board of Education for consideration.

VII. ADJOURNMENT

CITY OF LOVELAND
PLANNING COMMISSION MINUTES
September 12, 2016

A meeting of the City of Loveland Planning Commission was held in the City Council Chambers on September 12, 2016 at 6:30 p.m. Members present: Chairman Jersvig; and Commissioners Dowding, Meyers, Molloy, Ray, McFall, Roskie, and Cloutier. Members absent: Commissioner Forrest. City Staff present: Bob Paulsen, Current Planning Manager; Moses Garcia, Assistant City Attorney; Linda Bersch, Interim Planning Commission Secretary.

These minutes are a general summary of the meeting. A complete video recording of the meeting is available for two years on the City's web site as follows: <http://loveland.pegcentral.com>

CITIZEN REPORT

There were no citizen reports.

STAFF MATTERS

1. **Robert Paulsen**, Current Planning Manager, provided a preview of the agenda items slated for the September 26, 2016 Planning Commission meeting:
 - Kendall Brook Townhomes Preliminary Development Plan and Preliminary Plat
 - Loveland Classical Schools – Site Plan
 - Updates on South Catalyst & DDA will be delayed until later in October.
2. **Mr. Paulsen** reported that the Zoning Code Update project continues to move ahead with the zoning code, subdivision code and annexation provisions moving forward into a single unified document. Several committees, which will include members of this commission, are working on this project. Committees include a core staff team from development services; a technical team comprised of city staff from other departments; a stakeholders team comprised mostly of members of development community that have been invited to participate in the process who will review the changes as they are drafted; and finally, the Title 18 Committee who will continue to work with staff throughout the process. There will be a kickoff meeting of these committees along with the consultant on this project, **Todd Messenger** with Fairfield and Woods, this Wednesday, September 17, 2016. A report on this meeting will be provided at the September 26th meeting. **Mr. Paulsen** also reported **Mr. Messenger** will attend the first study session on these updates on November 14th, a regular meeting date for the Commission. The session will begin at 5:00 or 5:30 p.m. with an open house for the public. The Commissioners are reminded that it will take 18 months to complete this project.
3. **Mr. Paulsen** reported that a written resignation has been received from **Commissioner Meyers**. **Commissioner Meyers** reported his last meeting will be September 26, 2016. He stated that it has been a privilege and honor to serve on this commission the last nine years but due to the growth of his business he can no longer continue. **Several Commissioners** and **Mr. Paulsen** expressed gratitude to **Commissioner Meyers** for his service to the commission and the community and wished him well.

COMMITTEE REPORTS

Commissioner Meyers' resignation creates a vacancy on the Title 18 Committee. *After discussion, Commissioner Ray motioned that Commissioner Roskie be appointed to the Title 18 Committee. Commissioner Dowding seconded the motion which was unanimously approved.*

COMMISSIONER COMMENTS

Commissioner McFall asked for a moment of silence to remember **Dr. Dan Maas**, COO of Thompson School District, and his wife who were killed in a traffic accident on August 27th. His partnership with this commission will be greatly missed. **Commissioner Meyers** and **Mr. Paulsen** also noted Dr. Maas' contributions to the school district, this commission, the city council and the community and expressed hope that his legacy will live on.

APPROVAL OF THE MINUTES

Commissioner Dowding made a motion to approve the August 22, 2016 minutes; upon a second from Commissioner McFall the minutes were approved with Commissioner Meyers abstaining.

CONSENT AGENDA

There were no items on the consent agenda.

REGULAR AGENDA

1. Loveland Classical School – Determination of Need for Planning Commission Review

Project Description: Loveland Classical School, a public charter, is preparing plans for a new campus to be located on the north side of 29th Street and west of N. Wilson Ave.

Staff is requesting direction as to whether the Commission wants to review the site plan and associated materials for the new campus. Staff has tentatively scheduled this item for the September 26th Commission meeting.

Troy Bliss, staff planner, explained that this school has now decided to build a middle school/high school building on the 29th Street site and retain the elementary campus at the 14th Street SW location. Prior to any site plan review by the Planning Commission, Loveland Classical School will be meeting with the Hunter's Run neighborhood on September 15, 2016, for further input on their plan as well as conducting a groundbreaking ceremony on September 24, 2016. No construction would begin as a result of this ceremony. These matters are outside of the City's purview in terms of process. Nonetheless, City staff felt it important to share this information with the Planning Commission.

Commissioner Meyers motioned to have the staff arrange a presentation by Loveland Classical School for the planning commission to review the site plans and associated materials for the W. 29th Street campus of Loveland Classical Schools. Upon a second by Commissioner Ray the motion was unanimously approved.

2. N. Taft Avenue First Subdivision Preliminary Plat

Project Description: This is a public hearing to consider a preliminary plat. This is a quasi-judicial matter. The application proposes to subdivide the property into 24 lots and four tracts for the purpose of developing single family detached houses. The property owner is Insignia Homes and the applicant is Fred Cooke. The North Taft Avenue First Subdivision is located on the west side of N. Taft Avenue between W. 8th Street and W. 10th Street. It is zoned R2 Developing Two-Family Residential zoning district. The Planning Commission has final decision making authority on this application.

Noreen Smyth, Staff Planner, presented the proposal to subdivide a 6.53-acre portion of the North Taft Avenue First Addition to create additional lots under the existing zoning of R2 Developing Two Family Residential. The site lies on the west side of North Taft Avenue, north of 8th Street and south of abandoned Colorado and Southern Railroad right-of-way that is now owned by the City of Loveland. The 24 lots proposed to be created by the subdivision would be situated around a loop road, with open space/detention/landscape tracts situated towards the Taft Avenue side. A single family house with a detached garage to the rear is proposed for each lot.

The proposed Preliminary Plat for a single family residential subdivision meets the requirements of the Municipal Code, including those of the R2 zoning district and the Subdivision Code (Title 16). Staff believes that all key issues applicable to Preliminary Plats and associated Preliminary Public Improvement Construction Plans have been resolved. The Commission has final decision-making authority on the Preliminary Plat application unless the Commission's decision is appealed to City Council.

If the Preliminary Plat is approved by the Planning Commission, a subsequent application for a Final Plat and associated Final Public Improvement Construction Plans will be submitted for staff review and approval.

Fred Cooke of Insignia Homes indicated this is an infill site that he has purchased from the city. The project fits into the neighborhood with a buffered set back from Taft Avenue and exceeds the open space requirements.

COMMISSIONER QUESTIONS AND COMMENTS:

- **Commissioner Dowding** asked about the area shown between lots 6 and 7 on the plat and also inquired about the width the lots in the subdivision. **Ms. Smyth** answered that the space between lot 6 and 7 is an out lot to a proposed connection to a future recreation trail that may be placed in the adjacent city owned right of way. The existing zoning allows for the minimum width for 2 lots together to be 65 feet. These lot each have a 48 foot width so the minimum requirements are exceeded.
- **Commissioner Molloy** noted the left turn lanes on Taft Avenue into this development and inquired if the proposed Taft Avenue widening would impact this proposal and also what the timing of the widening project was. **Ms. Smyth** indicated the widening project, scheduled for next summer, will not impact this application and that the traffic impact study for this project showed no impact on the Taft project.

- **Commissioner Meyers** asked in left turns from this development onto Taft would be allowed. **Ms. Smyth** said the traffic impact study showed that this type of restriction is not warranted.
- **Commissioner Ray** noted the bungalow houses, especially their garages, and are close to the back lot line and inquired about buffering on the west border to mitigate any impact to adjacent property owner. **Mr. Cooke** responded that the final plan will show extensive landscaping on the west for that purpose.
- **Commissioner Molloy** asked who would be the builder and what the timeframe is for commencing the project. He also wanted to know if sidewalks are attached or detached as detached sidewalks, in his opinion, are preferable. **Mr. Cooke** indicated he would be the builder of the entire project and wanted to proceed as soon as possible. The detached sidewalk was considered but with rear garages and space limitations, the attached sidewalk presented more usable space in the front of the lot and a better landscape buffer.
- **Commissioner Ray** asked if detached sidewalks could be considered on the interior lots. **Mr. Cooke** noted that the space was available on those three lots so detached sidewalks would be considered there.
- **Commissioner Meyers** asked about the trees buffering Taft Avenue and expressed concern about line of sight problems for traffic entering Taft. Who would be responsible for maintain the trees? **Mr. Cooke** noted that was part of their consideration in placement and species of the trees and should not present a problem. The HOA would be responsible for maintenance.
- **Commissioner Jersvig** inquired whether any of the existing trees would be kept and also suggested detached sidewalks along the open spaces. **Mr. Cooke** responded that existing trees could not be maintained

CITIZEN COMMENTS:

Commissioner Jersvig opened the public hearing at 7:18 p.m.

- **Milan Karspeck**, owns the lot directly south of the development and currently has access to his property from Garth Place through an access easement at the open space detention area and questions if that access will be maintained.
- **Ernie West**, resident, owns the lot adjacent to Mr. Karspeck and is also concerned about acquiring legal access to his property that he was promised for the last 15 years.
- **Kyle Dallabetta**, resident, owns property at 8th and Taft. Has concern that density would exceed what is currently in the neighborhood and lots could be further reduced in size. There is also a ditch in the corner of the proposed development and will that be maintained? What is the sewer proposal? The three existing lots to the south are on septic and he also wonders about the drainage. He has a grandfathered foundry that makes noise and wanted to know if any sound barriers are proposed to protect these residents. Also is the electric underground and what are plans for lighting the area?
- **Tammy Hunter**, resident, is concerned about traffic and would like to see Taft widened and turn lanes installed before this development is started.

Commissioner Jersvig closed the public hearing at 7:37 p.m.

COMMISSIONER COMMENTS:

- **Ms. Smyth** informed the commissioners that, per the zoning and subdivision codes, this project meets overall density as required by the R2 zoning. The zoning was established when the property was annexed to the city. **Mr. Paulsen** noted that, if this preliminary plat is approved, staff is obligated to assure the final plat reflects the Commission's approval. Any significant would require a public hearing before the Commission..
- **Commissioner Jersvig** initiated a discussion amongst the commissioners and **Mr. Cooke** and his civil engineer, **Mr Sam Eliason**, United Civil Design Group, and **Randy Maizland**, Loveland Traffic Engineer regarding the issue of access to the lots to the south of the project site. The discussion responded by claims from the other property owners that adequate legal access to their properties has not been assured by the city. **Mr. Cooke** noted that a permanent easement is designed into his development from Gard Place through the fire access road shown on the south out lot on the plat. **Mr. Eliason** noted that a 60 foot right of way for Taft Avenue widening has been granted to the city that may affect that access. Following a lengthy discussion, **Mr. Maizland agreed to** provide a report to the commission regarding the Taft Avenue widening project and implementation time frame. He also agreed to research the annexation documents and other agreements to determine was the plans are in place to provide direct access to these property owners going forward. The owners of these two properties were encouraged to keep in contact with **Mr. Maizland** or **Mr. Paulsen** to ensure that access is provided from their properties to Taft Avenue.
- **Commissioner Molloy** inquired about the potential of a noise issue from the sculptor foundry. **Mr. Cooke** provided that there is landscaping designed for the lots in that area and also the rear garages will provide buffering. **Commissioner Ray** questioned if landscaping was sufficient. After a lengthy discussion concerning noise abatement, a consensus was reached that the developer has designed the project with rear garages and landscaping to minimize impacts of noise on future residents and no further conditions regarding noise will be placed on the applicant. However, if the applicant chooses to conduct any noise monitoring, the commission would be interested in the result.
- **Commissioner Jersvig** inquired about the underground utilities and lighting. **Mr. Cooke** responded that all utilities will be underground and that lighting will meet the dark sky requirements.
- **Commissioner Meyers** noted that the applicant has brought a good product to the commission and will be voting for it. Commissioner Meyer stressed that the City of Loveland does need to take action to meet their obligation to the owners of the adjacent properties in regard to access.
- **Commissioner Ray** stated that this is good project. He appreciates the applicant moving garages around back to provide buffering. He said that it looks like a nice neighborhood and he will be voting for it.
- **Commissioner Molloy** noted the project is well designed and he is glad to see an internal park and will support it.
- **Commissioner Cloutier** indicated that he likes the layout of the development and the provision for left turn lanes on Taft. He is in favor of the project. He does echo

Commissioner Meyers concern about the City of Loveland meeting its obligation to provide access to the neighboring lots.

- **Commissioner McFall** commented that overall the questions put forth have been answered and he is for this project.
- **Commissioner Roskie** is in favor of the project and hopes the developer will consider some noise abatement. She hopes the neighbors with concerns that need to be addressed with the City of Loveland will pursue those solutions. She will be voting for the project.
- **Commissioner Dowding** thanked the residents for their input. It is appreciated. This project is well thought out and kudos for **Mr. Cooke** for coming up with a design that works with the neighborhood. She also hopes he will provide noise abatement if testing finds noise to be a problem. She is supporting the project.
- **Commissioner Jersvig** also thanked the residents for their participation. He likes the project and is concerned that traffic noise might be more of an issue than noise from the foundry. He likes the buffer along Taft for that reason and for the aesthetics it provides. He asked Mr. Paulsen to keep the commission informed about the access issues for the 877 and 873 addresses as discussed. He supports this project.

*Commissioner Dowding moved to make the findings listed in Section VII of the Planning Commission staff report dated September 12, 2016 and, based on those findings, approve the North Taft Avenue First Subdivision Preliminary Plat, subject to the conditions in Section IX, as amended on the record. **Commissioner Meyers** seconded the motion which passed unanimously after **Mr. Cooke** accepted those conditions.*

Commissioner Jersvig called for a recess at 8:30 p.m.

Commissioner Jersvig called the meeting to order at 8:42 p.m.

3. **Wintergreen Townhomes Preliminary Development Plan and Preliminary Plat Project Description:** This is a public hearing to consider a preliminary development plan and preliminary plat for 3 acres of land to be known as the Wintergreen Townhomes/Wintergreen Fourth Subdivision. This is a quasi-judicial matter. The property is at 353 W. 64th Street and is generally located on the north side of W. 64th Street between N. Garfield Ave and Eden Garden Dr. It is zoned P-69 Wintergreen PUD. The application proposes to subdivide the property into 28 lots for the purpose of developing single family attached houses. The property owner is 3T Investments LLC and the applicant is Alan Strope, Savant Homes. The Planning Commission has final decision making authority on this application.

Noreen Smyth, staff planner, presented a description of the Preliminary Development Plan and Preliminary Plat for a proposed residential development within the Wintergreen 1st Addition Planned Unit Development (PUD). The Preliminary Development Plan is titled "Wintergreen Townhomes" and the associated plat is the "Wintergreen Fourth Subdivision". A General Development Plan for the Wintergreen PUD was approved in 2001 (later amended) and includes single family attached (townhomes) as an allowed use on the subject property.

Ms. Smyth added that the 3-acre subject property is currently vacant. The proposal is for 28

townhomes on separate (fee simple) lots in groupings of three attached units (within one stand-alone unit) situated along a publicly dedicated cul-de-sac street extending off of 64th Street. The subject property is south and west of commercial developments within the Wintergreen PUD, north of the Wintergreen Village single family residential development, and east of an undeveloped property. The Planning Commission's decision on both Preliminary Development Plans and Preliminary Plat is final unless an appeal to the Commission's decision is filed. If the Preliminary Development Plan and Preliminary Plat are approved, the applicant can proceed to submit a Final Development Plan and Final Plat, which are reviewed administratively (by staff), followed by a site work permit and building permits, which are also reviewed administratively.

Alan Strope of Savant Homes, the applicant, and **Cody Geisendorfer**, Civil Engineer, discussed the site plan, open space and buffering areas and storm drainage. A sound study was done and acoustical fencing is included along the north and east to mitigate noise from the Wal-Mart loading docks and the car wash. Heavy landscaping is placed all along the property.

COMMISSIONER QUESTIONS AND COMMENTS:

- **Commissioner Dowding** asked about the setback variance that is requested. **Mr. Strope** explained the due to the curvature of the street, one end unit's patio has a five foot encroachment. That is the only variance needed.
- **Commissioner McFall** had questions about where the noise study was taken. **Mr. Geisendorfer** indicated it taken on this site.
- **Commissioner Cloutier** and **Roskie** asked about the noise standards and the source of the noise. **Ms. Smyth** responded that The GDP for Wintergreen requires each new residential development within Wintergreen to conduct a noise survey and construct noise abatement if warranted for compliance with the municipal code noise standards. Both the Wal Mart loading docks and the car wash are the source of the noise.
- **Commissioner Jersvig** asked about accesses to the recreation trail access from this project and conditions of approval for that as stated in an attachment. **Ms. Smyth** noted that is a condition from the GDP and is not applicable to this plan. That will be corrected in the final plan.

CITIZEN COMMENTS:

Commissioner Jersvig opened the public hearing at 9:00 p.m.

- **Christie Hoffer**, resident, asked about sidewalks along the edge of this development adjacent to 64th Street and will the street lights in this plan be similar to existing ones?
- **Michael Bray**, resident, stated that since 64th traffic is only able to turn right onto Hwy 287, he has a concern for the number of cars that have to turn right out of this development and go around other existing developments to the stop light by Wal Mart to go north. He also wants to know how snow accumulation removed from Osceola Place will be handled.
- **Julie Dressler**, resident, said Tongas Avenue is the only access being used to the walking trail especially from the existing apartments. Will another access be put in to minimize the foot traffic on Tongas Avenue?

- **Paul Jullius**, resident, stated that there are additional walk-ways to the recreation trail. He does have a concern about people turning left from this development on busy mornings. He does like what he sees and this would be good addition to community.

Commissioner Jersvig closed the public hearing at 9:09 p.m.

COMMISSIONER COMMENTS:

- **Commissioner Jersvig** questioned the applicant about the plans for snow removal and sidewalks on 64th and lighting requirements. **Mr. Strope** indicated that there is a section in the green belt areas for snow storage. The sidewalks do continue along 64th and are attached because of the width of the road and for parking that couldn't be done. That is also the reason the internal sidewalk stops where it does. Lighting will be in keeping with the down light types that are already there.
- **Commissioner Jersvig** asked **Mr. Strope** to comment about the traffic study. **Mr. Strope** stated that they are meeting requirements as specified in the traffic study.
- **Commissioner McFall** asked a question to the transportation staff, regarding the traffic study. **Randy Maizland** indicated the traffic study complies with the requirements for the original study for the Wintergreen Master Plan. A question was also asked about the slight curve at the intersection of Osceola Place with 64th instead of a perpendicular intersection. **Mr. Maizland** indicated that this design is within the standards.
- **Commissioner Molloy** asked **Ms. Smyth** about the density standards. **Ms. Smyth** said this project was within the allowable standards.
- **Commissioner Ray** said he was perplexed about the GDP requiring the noise study and the requirements placed on new development. He commended the developer for complying with the GDP and meeting the noise standards. He felt this was a good project plan.
- **Commissioner Meyers** noted this project meets the GDP requirement and supports the application.
- **Commissioner Cloutier** thanked the citizens for their participation. The plan is well laid out and meets the requirements of the GDP. It is a good fill-in.
- **Commissioner Molloy** notes this project complies with the GDP and is a good buffer to the single family homes and fits an odd piece of property. He is in support of it.
- **Commissioner Roskie** noted that there is an historic traffic flow problem in the area. This project fits within the GDP and will vote for it.
- **Commissioner McFall** commended the developer for being a good neighbor and the citizens for coming out tonight. He is in favor.
- **Commissioner Dowding** supports as well.
- **Commissioner Jersvig** stated that he appreciates the citizens for coming out. It is good to hear positive comments about a project. He is in favor.

Commissioner Dowding moved to make the findings listed in Section VIII of the Planning Commission staff report dated September 12, 2016, and based on these findings approve the Wintergreen Preliminary Development Plan, subject to the conditions listed in Section IX, as amended on the record. The motion

*was seconded by **Commissioner McFall**. After **Mr. Strope** accepted those conditions, the motion was approved by a unanimous vote.*

***Commissioner Dowding** moved to make the findings listed in Section VIII of the Planning Commission staff report dated September 12, 2016, and based on these findings approve the Wintergreen Fourth Subdivision Preliminary Plat, subject to the conditions listed in Section IX, as amended on the record. The motion was seconded by **Commissioner McFall**. After **Mr. Strope** accepted those conditions, the motion was approved by a unanimous vote*

4. Create Loveland Amendment to the Future Land Use Map

Project Description: Public Hearing for the purpose of considering a recommendation to City Council on an amendment to the procedures for processing amendments to the Future Land Use Map contained in Create Loveland, the City of Loveland's comprehensive plan. The amendment will remove the requirement for Future Land Use Map amendments to be processed in conjunction with zoning, re-zoning, or other land use applications. Instead, Land Use Map changes will be considered and processed as part of an annual review. To institute this change, small text changes are being made to Chapter 4 of Create Loveland.

Karl Barton, Staff Planner with the Strategic Planning Division, explained that this proposal is a text amendment to change a process. Because it is a policy change it requires review by the Commission. The Planning Commission is being asked to recommend that City Council adopt a text amendment to Chapter 4 of Create Loveland that will allow for a change to the way that Future Land Use Map Amendments are processed. This text change will effectively remove the requirement that a separate application be submitted for Future Land Use Map Amendments when annexation or rezoning applications are not consistent with the Land Use Map.

Mr. Barton explained that in order to support this procedure change, a minor amendment to the text of Create Loveland is required. The change will be made to the final paragraph on Chapter 4 Page 7. It is shown below in redline version. Following is how it looks within the Create Loveland document:

Option B: If a proposed or future development project is deemed to require a Plan amendment by staff, then the proponent **or Staff** has the option of making said amendment request separate from, **~~but prior to~~**, any request being made for an annexation, rezoning, or other action on the proposed or future development project.

COMMISSIONER QUESTIONS AND COMMENTS:

- **Commissioner Meyers** asked for a clarification on why the words "or staff" were added to the text. **Mr. Barton** noted that staff has discretion to bring amendments forward. This clarifies that staff has the option of bringing an comprehensive plan amendment application forward (with a annexation or rezoning application) or staff can make a separate request from an application (at a later date) or chose to not require it. The hearing process does not change. This gives staff the ability to support a request that is

not in compliance with current Land Use Map and gives staff an opportunity to look at bigger picture rather than a map change to a small parcel.

- **Mr. Paulsen** indicated that a separate application is currently required to amend the comprehensive plan whenever an annexation or zoning application is made that is not consistent with the Land Use Plan. But, since the comprehensive plan is policy document and not law, it makes sense to modify this requirement. In such instances, it is not necessary to go through an amendment process. The existing process creates a second hurdle for the applicant and results in piecemeal changes to our land use plan. The proposed approach allows us to look at the bigger picture on an annual basis and to make any needed changes. **Commissioner Meyers** noted that an annual process makes more sense.

CITIZEN COMMENTS:

There were no public comments.

Commissioner Molloy moved to adopt the resolution of the Planning Commission of the City of Loveland recommending an amendment to the City of Loveland 2016 comprehensive master plan known as Create Loveland as amended on the record.. Commissioner Meyers seconded the motion which was unanimously adopted.

ADJOURNMENT

Commissioner Meyers, made a motion to adjourn. Upon a second by **Commissioner McFall**, the motion was unanimously adopted.

Commissioner Jersvig adjourned the meeting at 9:55 p.m.

Approved by: _____
Jeremy Jersvig, Planning Commission Chair

Linda Bersch, Interim Planning Commission Secretary.



Development Services Current Planning

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Planning Commission Staff Report

September 26, 2016

Agenda #: Regular Agenda - 2
Title: Kendall Brook Townhomes Preliminary Development Plan and Preliminary Subdivision Plat
Applicant: Landmark Solutions Inc., Jason Sherrill
Request: Preliminary Development Plan and Preliminary Subdivision Plat
Location: 1750 W. 50th Street
On the south side of W. 50th Street,
west of Georgetown Dr.
Existing Zoning: P-49 Kendall Brook Planned Unit Development (PUD)
Staff Planner: Noreen Smyth

Staff Recommendation

APPROVAL of the Preliminary Development Plan and Preliminary Plat.

Recommended Motions:

1. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated September 26, 2016, and based on these findings approve the Kendall Brook Preliminary Development Plan, subject to the conditions listed in Section IX, as amended on the record.*
(Resolution attached)

And

2. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated September 26, 2016, and based on these findings approve the Kendall Brook Second Subdivision Preliminary Plat, subject to the conditions listed in Section IX, as amended on the record.*

Summary of Analysis

This is a public hearing item that concerns a Preliminary Development Plan and Preliminary Plat for a proposed residential development within the Kendall Brook Planned Unit Development (PUD). The Preliminary Development Plan is titled “Kendall Brook Townhomes” and the associated plat is the “Kendall Brook Second Subdivision”. A General Development Plan for the Kendall Brook PUD was approved in 2000 and allows townhomes, among other residential uses, on the subject property. The Eagle Brook Meadows development is north of the subject property, on the opposite side of 50th Street, and other parcels within the Kendall Brook PUD are on the other three sides.

The 7.6-acre subject property is currently vacant. The proposal under consideration at this hearing concerns 84 townhomes on separate (fee simple) lots in 16 buildings of five or six attached units. The units are accessed off of a private drive that connects to 50th Street at two points. The submitted plans conform to the GDP and staff recommends approval.

The Planning Commission’s decision on both Preliminary Development Plans and Preliminary Plats is final unless an appeal to the Commission’s decision is filed. If the Preliminary Development Plan and Preliminary Plat are approved, the applicant can proceed to submit a Final Development Plan and Final Plat, which are reviewed administratively (by staff), followed by a site work permit and building permits, which are also reviewed administratively.

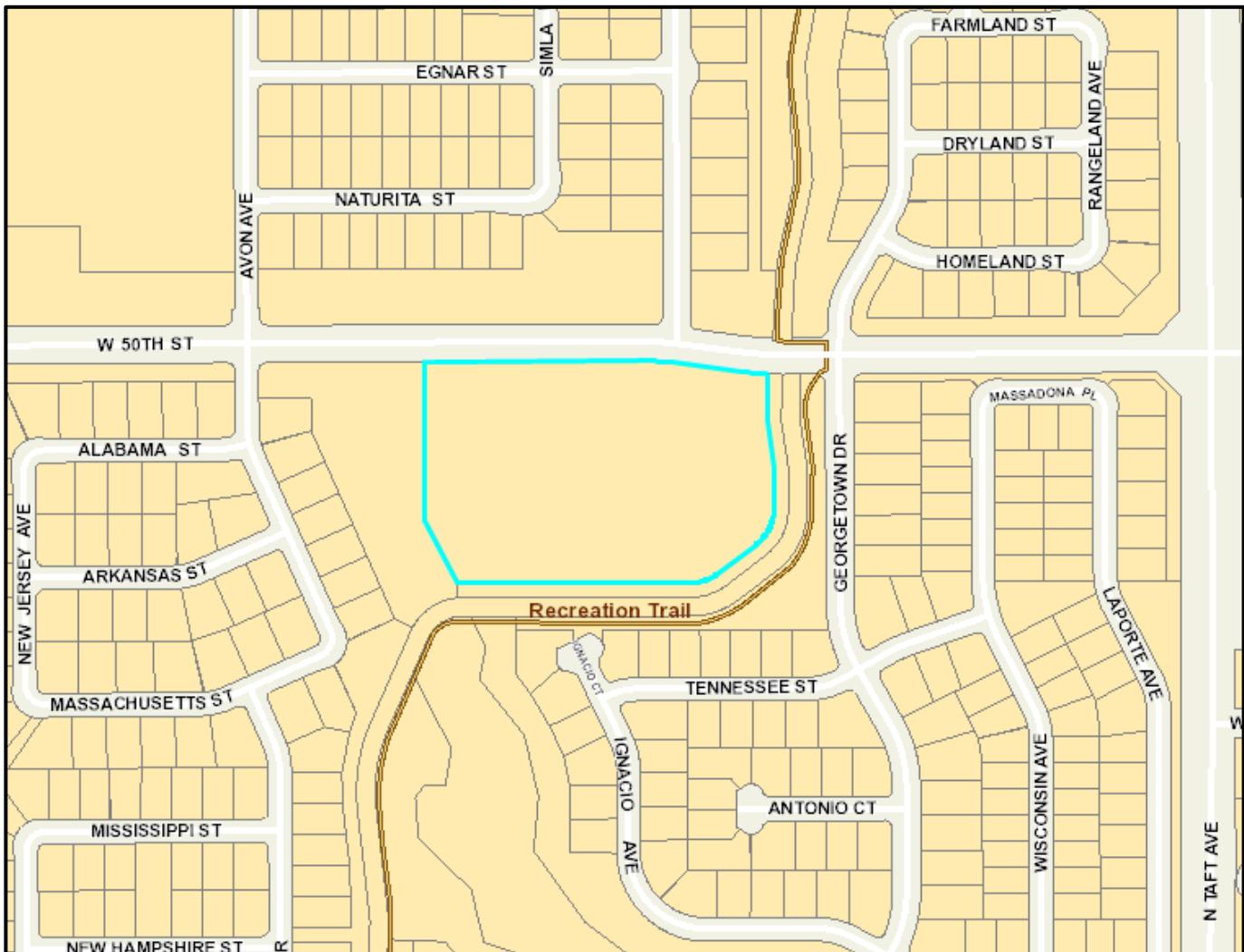
The following abbreviations will be used throughout this report and are being provided clarification:

- PUD: Planned Unit Development is a type of zoning that allows for the creation of zoning and design standards that are tailored to a site with this designation. This zoning is unique to a particular site or area, typically described in some form of development plan. The primary purpose of this zoning is to encourage a mixture of land use opportunities that are well integrated to allow the efficient use of land and provide quality design.
- GDP: General Development Plan establishes the zoning, density and design standards for a PUD-zoned property that is developed in phases. The plan itself is conceptual in nature, meant to provide guidance with respect to locations for different land uses within a PUD. This plan is usually prepared in conjunction with the annexation of a property as its official zoning document and must be approved by City Council.
- PDP: Preliminary Development Plan specifies a development proposal within a subarea of a PUD. Its contents are reviewed against the zoning requirements of the applicable GDP. This plan must be approved by Planning Commission, subject to appeal to City Council. After PDP approval, the more detailed Final Development Plat is submitted for staff approval.
- PP: Preliminary Plat is the first step in the subdivision of a property into more than 4 additional lots. It establishes all necessary conveyances (i.e. dedication of public rights-of-way and easements) for public and private use. This document must be approved by Planning Commission, subject to appeal to City Council. After PP approval, the more detailed Final Plat is submitted for staff approval.
- TIS: Traffic Impact Study is a study prepared by a traffic engineer to evaluate traffic impacts on a specific development proposal.
- ACF: Adequate Community Facilities is a program adopted by the City of Loveland to ensure that community facilities needed to support new development meet or exceed defined levels of service. This includes fire protection, transportation, water, wastewater, stormwater, and power.

I. LOCATION

The 7.6-acre subject property is located on the south side of W. 50th Street, west of Georgetown Drive, and one-sixth of a mile west of N. Taft Avenue. It is Parcel B-1 within the Kendall Brook PUD and is situated in the north center portion of Kendall Brook.

The 159-acre Kendall Brook Planned Unit Development extends from W. 50th Street on the north to W. 43rd Street on the south, and from N. Taft Avenue on the east and the Harvest Gold & Picabo Hills developments on the west. Besides the subject property, the rest of the PUD is designated for single family residential except for a 9-acre portion at the intersection of N. Taft Avenue & W. 43rd Street. That area is allowed both residential uses and limited commercial uses.

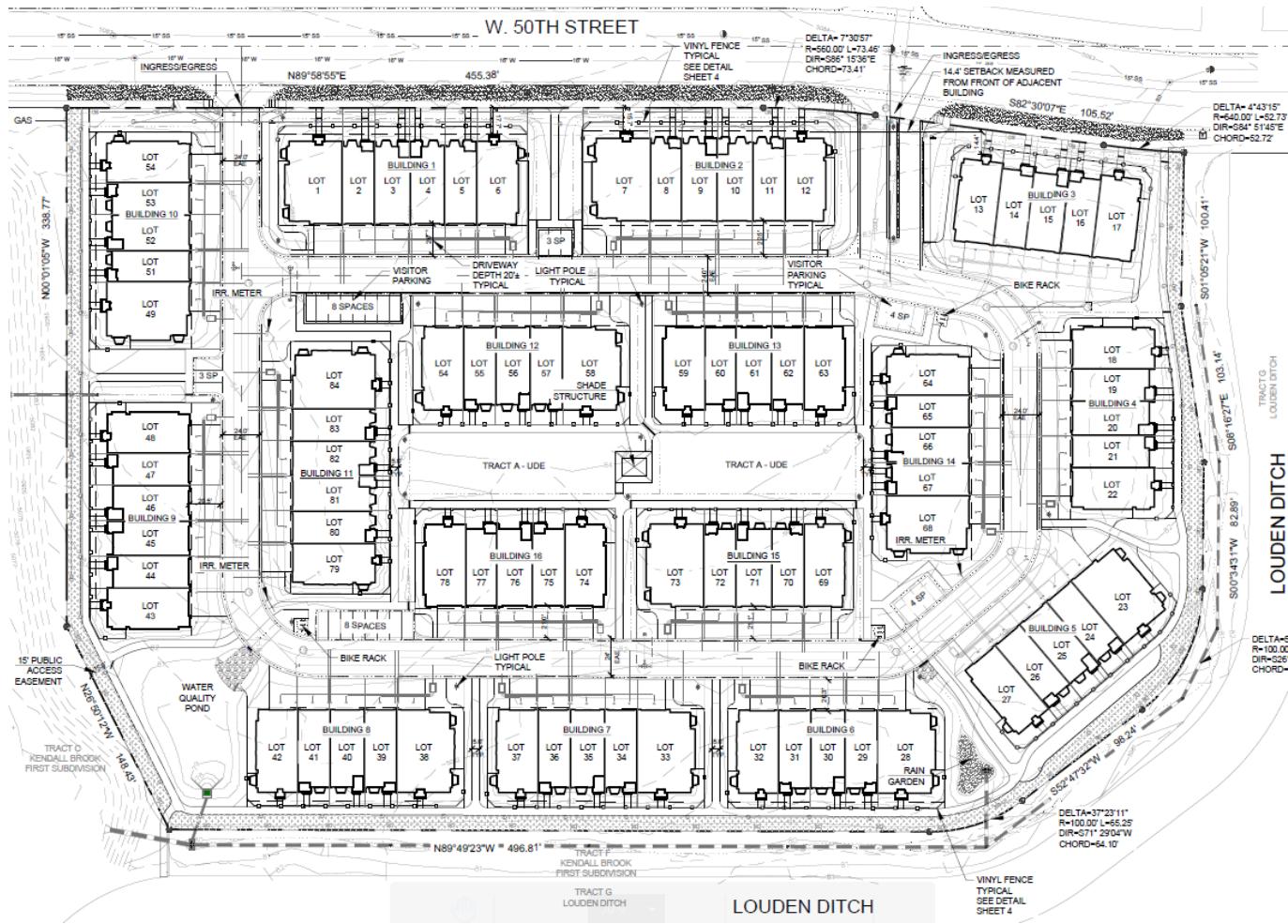


II. KEY ISSUES

City staff believes that all key issues have been addressed in the development proposal. The applicant has worked with existing nearby residents in designing both the buildings and the site layout in a mutually beneficial manner. No significant issues arose at the required neighborhood meeting.

III. SUMMARY

The development of the subject property is governed by the Kendall Brook General Development Plan, which designates it for multifamily, townhome, or duplex residential, or a combination thereof. Components of the proposed development and consistency with the Kendall Brook GDP are summarized as follows:



Density

The maximum gross density for this parcel is set by the GDP at 18 dwelling units per acre. The maximum number of units set at 130. With a density of 11.05 units per acre, the proposed townhome development is well below the maximum density set for this parcel. With 84 units, the proposal is also below the maximum number of units set by the GDP.

Site Layout:

The 84 townhomes are situated in 16 buildings of five and six units. Each townhome is on a separate fee-simple lot (see **Attachment 2**). The site layout includes an outer circle of buildings along the perimeter of the development and an inner circle of buildings around a center park. The buildings situated along the perimeter have front elevations facing the perimeter, while the buildings situated along the center park have front elevations facing the park. A perimeter bufferyard is situated between the outer lots and the perimeter. Both the perimeter bufferyard and the center park are within a homeowners association-owned tract.

There is no perimeter fencing for the overall development. Each lot includes a small front yard, and a 4 ft tall white vinyl picket fencing will enclose the front yards. The vertical slats and the space between them will each be 3 inches wide, so the front yards will remain visible from outside of each lot.

Detention for the larger Kendall Brook development has already been designed, and the stormwater runoff for this development will be directed to an existing adjacent detention facility and a small stormwater area in the southwest portion of the site.

Street:

Vehicular access into the subject property is proposed off of W. 50th Street, which abuts it to the north and is the only adjacent public street. The 24 ft private drive to be constructed with this development extends off of 50th Street at two full movement access points and continues in a loop configuration. The private drive is situated in between the outer and inner circle of buildings, with the rear elevation and garage of all units facing the drive, with driveways to the garages accessed off of it. An emergency access easement extends over the drive.

The submitted Traffic Impact Study (see **Attachment 5**) indicates that the proposed development will meet city standards for intersection levels of service and street traffic volumes, and that W. 50th Street will operate acceptably without need for roadway improvements beyond minor striping changes at the site driveway entrances. The TIS concludes that the traffic generated by the townhomes can be accommodated by the existing street system.

There is space available in landscaped areas adjacent to the drive for snow storage.

Sidewalk:

Detached sidewalk will be extend along the front of each unit, with walkways then extending from the sidewalk to each front door. For the buildings fronting W. 50th Street, the walkways will extend to existing detached sidewalk within the 50th Street right-of-way. For the buildings along the east, west, and south perimeter of the development, the sidewalk is situated within the homeowners association (bufferyard) tract which then connects to the public sidewalk along 50th Street. For the interior buildings facing the center park, the sidewalk circles the park, and connections are provided between this sidewalk and the perimeter sidewalk. A connection is also provided at the southwest portion of the development between this internal sidewalk and an existing city trail the runs to the east and south of the property, along the Louden Ditch.

Parking:

Each unit has a two-car garage with two additional off-street spaces in the associated garage driveway. There are 34 guest parking spaces located throughout the development off of the internal drive. Bike racks will be situated near the guest parking areas nearest the center park.

Landscape Plan:

A Type B bufferyard is included along W. 50th Street, a collector street, and along all other property boundaries. Because the plantings in the front yards adjacent to the bufferyard tract will be visible from areas outside the development, the plantings in the front yards that are on the approved landscape plan are credited towards the required bufferyard plantings. Some of the required street trees along 50th Street are already in place, and missing street trees will be added. The submitted landscape plan does not include all required evergreen trees in the bufferyards, but they will be added to the plan before the Final Development Plan approval. Details of plant species will also be left to the Final Development Plan stage.

Architecture:

Each building will consist of 5 or 6 units and include pitched roofs with varying roof lines, varying materials, dormers, and a large number of paned windows on both floors. Eleven of the buildings will include a one-story end unit, with all other units two stories in height. Porches are to the front and garage doors to the back of all units. Floor plans will include two and three bedrooms options and all have full basements.



Front elevation of a six-unit building with a one-story end unit



Rear elevation of a six-unit building with a one-story end unit



Side elevation

Building materials will consist of lap siding, shingle siding, stone veneer, shingle roofs, and accent elements including brackets. Colors will be neutral or earth tones-buff, gray, white, and charcoal. A materials board and color scheme for the buildings will be submitted and reviewed with the Final Development Plan.

IV. ATTACHMENTS

1. Kendall Brook Townhomes Preliminary Development Plan
2. Kendall Brook Second Subdivision Preliminary Plat
3. Kendall Brook General Development Plan
4. Project Description & Findings (from Applicant)
5. TIS Conclusions
6. Kendall Brook Preliminary Development Plan Resolution

V. SITE DATA

ACREAGE	7.6 AC
DENSITY	11.05 UNITS/AC
NUMBER OF UNITS	84
COMPREHENSIVE PLAN DESIGNATION	LDR LOW DENSITY RESIDENTIAL
EXISTING ZONING	P-49 KENDALL BROOK PUD
EXISTING USE	VACANT/UNDEVELOPED
EXIST ADJ ZONING & USE - NORTH	P-72 EAGLE BROOK MEADOWS PUD; DETENTION FOLLOWED BY SINGLE FAMILY RESIDENTIAL
EXIST ADJ ZONING & USE - SOUTH	P-49 KENDALL BROOK PUD-IRRIGATION DITCH WITH TRAIL FOLLOWED BY SINGLE FAMILY RESIDENTIAL
EXIST ADJ ZONING & USE - WEST	P-49 KENDALL BROOK PUD-DETENTION FOLLOWED BY SINGLE FAMILY RESIDENTIAL
EXIST ADJ ZONING & USE - EAST	P-49 KENDALL BROOK PUD-IRRIGATION DITCH WITH TRAIL, LANDSCAPE, AND PUBLIC STREET
WATER SERVICE	CITY OF LOVELAND
WASTEWATER SERVICE	CITY OF LOVELAND
POWER SERVICE	CITY OF LOVELAND

VI. BACKGROUND

The following represents a timeline for the background of the development:

- 2000 The 159-acre Kendall Brook Addition is annexed into the city. The Kendall Brook General Development Plan is approved in conjunction with the annexation, providing Planned Unit Development zoning for the entire addition. The subject parcel is designated by the GDP for multifamily, townhomes, duplexes, or a combination thereof.
- 2001 Kendall Brook First Subdivision is approved, establishing the outlot that constitutes the current townhome proposal. A Final Development Plan is also approved for the single family residential areas of Kendall Brook, including the land to the east, west, and south of the subject property.
- 2014 A PDP proposal for a multifamily development consisting of 120 units in 8-plex buildings is submitted by Journey Homes. The application is reviewed by staff and heard at a public hearing before the Planning Commission. It does not obtain Commission approval and the applicant does not further pursue developing the property.
- 2016 The current PDP application (#16-31) and Preliminary Plat application (#16-32) for a townhome development are submitted.

VII. STAFF, APPLICANT, AND NEIGHBORHOOD INTERACTION

- A. Notification:** An affidavit was received from James Doyle of TB Group certifying that written notice was mailed to all property owners within 900 feet of the property on September 9, 2016 and notices were posted in prominent locations on the perimeter of the site at least 15 days prior to the date of the

Planning Commission hearing. In addition, a notice was published in the Reporter Herald at least 15 days in advance.

- B. Neighborhood Response:** A neighborhood meeting was held at 5:30 p.m. on July 27, 2016, in the Public Works Administration Building. The meeting was attended by approximately 70 neighbors, along with city staff and the applicant. The applicant described the proposed buildings, site plan, and landscape plan. Representatives of the Kendall Brook HOA came to the meeting and were complimentary of the development. There were a number of favorable comments voiced from other attendees, and while there were a number of questions on increased traffic, no other negative comments were voiced.

Prior to this formal neighborhood meeting arranged by city staff, the applicant had arranged an informal meeting with neighbors. Many of the attendees at the city meeting had also attended the informal meeting and commented favorably that the changes they had requested at the earlier meeting were reflected in the plans that were presented at the city neighborhood meeting.

VIII. FINDINGS AND ANALYSIS

The chapters and sections cited below are from the Loveland Municipal Code pertaining to Preliminary Plats and Preliminary Development Plans. Applicable findings contained in the Municipal Code are specified in italic print followed by the staff analysis as to whether the findings are met by the submitted application. Adequate Community Facilities (ACF) analyses are included below. The Planning Commission decision to approve or deny the applications is to be based on a majority vote on whether or not the findings can be met.

A. City Utilities and Services

1. Section 16.20.030:

- a. The proposed public facilities and services are adequate, consistent with the City's utility planning, and capable of being provided in a timely and efficient manner*
- b. The subdivision complies with the water rights requirements in Title 19.*
- c. The subdivision has been reviewed in accordance with the Loveland Comprehensive Master Plan, including the Parks and Recreation Functional Master Plan, and other pertinent plans approved and adopted by the City, to insure that the subdivision is designed in accordance with good engineering practices and provides for safe and convenient movement.*

2. Section 16.24.012: *Electric and water distribution system improvements, sewer collection improvements, storm drainage control facilities, and other improvements as required to be constructed with the subdivision have been designed in accordance with the City of Loveland "Storm Drainage Criteria Manual," 1986 Edition, as amended and the latest edition of the "Development Standards and Specifications Governing the Construction of Public Improvements."*

3. Section 16.24.090:

- a. All new and replacement sanitary sewer and water supply systems have been designed to minimize or eliminate infiltration of floodwaters in the system.*
- b. The subdivision proposal has adequate drainage provided to reduce exposure to flood damage.*

- c. The subdivision proposal has public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
 - d. The development proposal conforms to all federal, state, and local floodplain regulations
 - e. When deemed necessary by the Director of Development Services or the Planning Commission for the health, safety, or welfare of the present or future population of the area or necessary to the conservation of water, drainage, and sanitary facilities, the subdivision of land within the flood fringe and floodway, or any stream, river, or drainage course has been prohibited.
4. **Section 16.24.140:** All proposed utility facilities, including, but not limited to, gas, electric power, telephone, and CATV cables, are located underground. Where practical, existing utility facilities located above ground, except when located in a public right-of-way, are to be removed and placed underground.
5. **Chapter 16.41:** A positive determination of adequacy, or a positive determination of adequacy with conditions, has been made in accordance with Section 16.41.100 for fire protection and emergency rescue services, Section 16.41.120 for water facilities and services, Section 16.41.130 for wastewater facilities and services, Section 16.41.140 for storm drainage facilities, and Section 16.41.150 for power.
6. **Section 18.41.050:**
- a. Development permitted by the PDP will not have negative impacts on City utilities. If such impacts exist, Section 18.41.050.D.4(b) of the Loveland Municipal Code requires City staff to recommend either disapproval of the PDP or reasonable conditions designed to mitigate the negative impacts.
 - b. Whether development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed development will not negatively impact the levels of service of the City's services and facilities.

Fire: Staff believes that this finding can be met, due to the following:

- The development site will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.
- The proposed development of townhome clusters will not negatively impact fire protection for the subject development or surrounding properties.

Water/Wastewater: This development is situated within the City's current service area for both water and wastewater. The Department finds that the Development will be compliant to ACF for the following reasons:

- The proposed development will not negatively impact City water and wastewater facilities.
- The proposed development is in harmony with existing and future development and incorporates public infrastructure designed so that the proposed development will not negatively impact the levels of service of the City utilities adjacent to the development.
- The proposed facilities shown on the Preliminary PICPs have been designed pursuant to the City's Development Standards.
- The proposed facilities have been design to minimize flood damage and infiltration.

PW-Stormwater: Staff believes that this finding can be met, due to the following:

- When final designed and built, the development will not negatively impact City storm drainage utilities and will comply with the Adequate Community Services ordinance outlined in the Loveland Municipal Code, Section 16.41.140.
- No irrigation ditches traverse the site.
- No natural drainage courses/open channels traverse the site.

Power: This development is situated within the City's current service area for power. Staff believes that this finding can be met, due to the following:

- The proposed development will have no negative impact on our system.
- This project will comply with the requirements in the ACF Ordinance.

Building: Staff believes that this finding can be met, due to the following:

- The proposed development of townhomes will not negatively impact surrounding properties, as the development will be required to meet building codes adopted at the time of permit review.

B. Transportation

1. **Section 16.20.030:** *The subdivision has been reviewed in accordance with the Loveland Transportation Master Plan to insure that the subdivision is designed in accordance with good engineering practices and provides for safe and convenient movement.*
2. **Section 16.24.015:** *Streets, street signs, highways, curb and gutter, traffic control devices, and other improvements as required to be constructed with the subdivision have been designed in accordance with the Larimer County Urban Area Street Standards, as amended.*
3. **Section 16.24.040:** *Streets have been designed to have a logical relationship to topography and to the location of existing or platted streets in adjacent properties. Certain proposed streets, as determined by the City engineer, have been extended to the boundary of the subdivision to provide for traffic circulation within the vicinity*
4. **Section 16.41.110:** *A positive determination of adequacy, or a positive determination of adequacy with conditions, has been made for transportation facilities in accordance with Chapter 16.41 of the Loveland Municipal Code.*
5. **Section 18.41.050:**
 - a. *Development permitted by the PDP will not have negative impacts on traffic in the area. If such impacts exist, Section 18.41.050.D.4(b) of the Loveland Municipal Code requires City staff to recommend either disapproval of the PDP or reasonable conditions designed to mitigate the negative impacts.*
 - b. *Whether development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed development will not negatively impact the levels of service of the City's services and facilities.*

PW-Transportation: Staff believes that this finding can be met, due to the following:

- A Traffic Impact Study (TIS) has been submitted with Kendall Brook Townhomes Preliminary Development Plan and Preliminary Plat applications which demonstrates that the transportation system, incorporating the required roadway improvements, can adequately serve the land uses proposed.

- Access to the site will be from two proposed full movement access points on West 50th Street.
- The applicant's traffic engineer, Eugene Coppola, P.E., has submitted a Traffic Impact Study (TIS) that indicates that the traffic associated with the proposed development will meet the City's standards. The proposed Kendall Brook Townhomes Subdivision is estimated to generate approximately 505 daily trips, 38 weekday AM peak hour trips, and 45 weekday PM peak hour trips.

In conclusion, the development of the subject property pursuant to any of the uses permitted by right under the zoning district will not adversely impact any existing City infrastructure when typical roadway improvements are constructed. A positive determination of adequacy for transportation facilities for the proposed PDP has been made under the provisions referenced above.

C. Land Use

1. Section 18.41.050.E.2:

- a. The preliminary development plan conforms to the general development plan on file with the city where the property is being developed in phases.*
- b. The PDP conforms to the intent and objectives of Title 18 with regard to Planned Unit Developments and any applicable area plan.*
- c. The PDP complies with applicable land use and development regulations in effect as of the date that the GDP was approved and any land use and development regulations adopted by the City after that date if the Planning Division and Planning Commission expressly find that compliance with such regulations is necessary to protect public health, safety, and welfare.*
- d. Development permitted by the PDP will not have detrimental impacts on property that is in sufficient proximity to the PDP to be affected by it.*

Current Planning: Staff believes that these findings can be met, due to the following:

- The proposed townhome development meets the use requirements of the Kendall Brook GDP, which designates the subject property for multifamily (rental or condominium), townhomes, duplexes, or a mix thereof.
- With a density of 11.05 units per acre, the proposed townhome development is well below the GDP maximum gross density requirement of 18 dwelling units per acre for Parcel B-1. With 84 units, the proposal is also below the 130 maximum number of units set by the GDP.
- The development consists of an outer circle of buildings, with the front of these units facing outwards towards the perimeter of the subject property, and an inner circle of buildings, with the front of these units facing the interior center park area. For the buildings facing the perimeter, the front yard building setback, while normally measured from individual lot lines, has instead been measured from the perimeter boundary line. This is due to the requirement from staff that the perimeter bufferyard be placed in a tract rather than in the front yard area of individual lots. For the buildings facing the center park, a conventional setback has not been applied, as the purposes of a front yard setback would not be served on lots facing a park. A picket fence is situated at the front lot line of the lots adjacent to the central park, with building setbacks from this lot line varying between 5 ft and 9 ft. The fence and the buildings at this location function to create a defined space for the center park, which is in keeping with the new urbanist design philosophy that has influenced the site layout.

- There is no minimum side yard setback for townhomes. There is minimum 10 ft separation distance required between structures, which is met. The rear yard setback of 15 ft between lot lines and structures is met.
- Most of the units will be two stories in height. Where townhome buildings are adjacent to each other, the GDP requires one of the end units to be one story in height. This provides variation in the roofline between buildings. This standard is met, and the one story end units are identifiable on the site plan as the units with a wider footprint (Units 1, 7, 23, 28, 33, 38, 49, 58, 68, 73, and 84).
- As required by the GDP, the front yard setbacks of adjacent buildings situated along 50th Street are staggered to prevent a wall-like appearance along the public street. The front yard setback of the three buildings fronting 50th Street are offset from one another by 2 ft.
- With 33% common open space, the development exceeds the 20% open space requirement of the GDP.
- The Future Land Use Map in the Comprehensive Plan designates the region of the subject property as Low Density Residential. While this individual development is not low density, the overall Kendall Brook GDP was deemed to meet the intention of the Comprehensive Plan at the time of its approval.
- The proposal is infill development, as land in all directions is already developed. While the townhome development is higher density than the surrounding single family residential subdivisions, this use as proposed is generally compatible with these nearby developments. There are no unique matters of concern regarding negative impacts to surrounding property.

D. Subdivision and Design Standards

1. **Section 16.20.030:**
 - The subdivision does not create, or mitigates to the extent possible, negative impacts on the surrounding property.*
 - The lots and tracts are laid out to allow efficient use of the property to be platted.*
 - The subdivision provides desirable settings for buildings, protects views, and affords privacy, protect from noise and traffic, and uses resources such as energy and water in keeping with responsible resource stewardship.*
 - The subdivision has been reviewed in accordance with the pertinent portions of the adopted Comprehensive Master Plan.*
2. **Section 16.24.050:** *All lots comply with the standards set forth in the GDP and, to the extent practical, lot lines are at right angles to the street line or at right angles to the tangent of the curve of the street line.*
3. **Section 16.24.120:**
 - Landscaping complies with the requirements set forth in the GDP and bufferyards required pursuant to the GDP are within separate tracts of land, separate from individual residential lots.*
 - Street trees are located in compliance with the City's Site Development Performance Standards and guidelines, unless waived by the Director.*
4. **Section 18.41.050.E.2:** *Development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by:*
 - Incorporating natural physical features into the PDP design and providing sufficient open spaces considering the type and intensity of proposed land uses.*

- b.** *The PDP incorporates environmentally sensitive areas, including but not limited to wetlands and wildlife corridors, into the project design.*
- c.** *Incorporating site planning techniques that will foster the implementation of the Loveland Comprehensive Master Plan.*
- d.** *Incorporating physical design features that will provide a transition between the project and adjacent land uses through the provisions of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures.*
- e.** *Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings and street furniture.*

Current Planning: Staff believes that these findings can be met, due to the following:

- A photometric plan demonstrating compliance with the city's lighting standards has been submitted. No noise study is required for a proposal of this nature. The townhome development will not cause any unusual levels of light or noise or a significant diminishment of existing views or privacy.
- The lot layout is efficiently designed to allow convenient access to each unit by both motorists and pedestrians. Lots are roughly rectangular in shape. Significant landscaping will be situated at the perimeter to provide buffering and a picket fence will be situated along front lot lines to provide some privacy without creating a solid separation of the development from the adjacent land. While the city generally encourages street connections, no opportunity exists to connect the drive within this development to other streets except for W. 50th Street.
- There are no double frontage lots in this subdivision, as a tract with a bufferyard is situated along the perimeter of the development. All lots will have access to an internal drive that connects to 50th Street, a public right-of-way.
- Detached sidewalk extends along the front of each unit, with walkways then extending from the sidewalk to each front door. For the buildings along 50th Street, the sidewalk is situated within the 50th Street right-of-way. For the buildings along the east, west, and south perimeter of the development, the sidewalk is situated within the homeowners association bufferyard tract, and for the interior buildings facing the center park, the sidewalk is also situated within the homeowners association tract.
- The sidewalk adjacent to the interior buildings connects to the perimeter sidewalk through connections provided between buildings.
- No environmental impacts have been identified for the site. Significant landscaped buffer areas are planned between the lots created with this plat and the adjacent properties.
- The preliminary landscape plans demonstrate the inclusion of dense landscape with a variety of species.

IX. RECOMMENDED CONDITIONS

Current Planning:

1. The Developer shall install all street trees, common open space landscape, and other common open space improvements as shown on the landscape plan in the subsequent Final Development Plan and Public

Improvement Construction Plans. These improvements shall be installed prior to issuance of the first building permit unless the Developer has filed adequate financial security with the city.

2. All external mechanical equipment including HVAC units, electrical meters, and breaker/junction boxes, shall be screened from public view by architectural building features or landscaping.

3. The Final Development Plan shall include a materials board and color schemes for all buildings proposed on this site. Specific materials and colors shall be approved by the Current Planning Manager.

Transportation:

1. All public improvements presented in the Preliminary Development Plan (PDP) or any accompanying Public Improvement Construction Plan (PICP) documents (text or graphical depictions), shall conform to the Larimer County Urban Area Street Standards (LCUASS).

2. City signed Preliminary Development Plans (including any associated PICP's) do not allow any construction within the public street or alley rights-of-way or pedestrian easements. A separate City Street right-of-way (ROW) work permit must be obtained by the developer and/or his contractor at the City Project Engineering Office (and approved by Project Engineering) prior to any repair or construction of sidewalk, curb & gutter, driveway accesses or any other construction in the City street ROW or pedestrian easements (this includes all items such as utility street cuts, sidewalk ramps, construction staging in the street, landscaping, traffic control etc...). Call 970.962.2510 to discuss details to obtain a ROW work permit.

3. Prior to the issuance of any building permits for Kendall Brook Townhomes, Replat of Outlot A, Kendall Brook First Subdivision, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct all on-site improvements and street improvements as shown in the City approved Public Improvement Construction Plans unless already designed and constructed by others.

4. All trees, shrubs, and other plant materials located within the clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of LCUASS. Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet above any public street or sidewalk. Shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity.

PRELIMINARY DEVELOPMENT PLAN

KENDALL BROOK SECOND SUBDIVISION SITUATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

(KENDALL BROOK TOWNHOMES)

APPROVAL SIGNATURE

a) APPROVED THIS DAY OF A.D. 20 BY THE CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, COLORADO.

CURRENT PLANNING MANAGER

b) APPROVED THIS DAY OF A.D. 20 BY THE CITY ENGINEER OF THE CITY OF LOVELAND, COLORADO.

CITY ENGINEER

c) APPROVED THIS DAY OF A.D. 20 BY THE CITY ATTORNEY OF THE CITY OF LOVELAND, COLORADO.

CITY ATTORNEY

d) APPROVED THIS DAY OF A.D. 20 BY THE CITY PLANNING COMMISSION OF THE CITY OF LOVELAND, COLORADO.

CHAIRPERSON

e) APPROVED THIS DAY OF A.D. 20 BY THE CITY COUNCIL OF THE CITY OF LOVELAND, COLORADO.

MAYOR ATTEST

OWNER'S SIGNATURE BLOCK

KNOW ALL MEN BY THESE PRESENT THAT:
THE FLATS AT CENTERRA, LLC, GREAT WESTERN BANK, & CENTERRA OFFICE PARTNERS, LLC, BEING THE LAWFUL RECORDED OWNERS OF THE PROPERTY SHOWN ON THIS PRELIMINARY DEVELOPMENT PLAN, EXCEPT ANY EXISTING PUBLIC STREETS, ROADS, OR HIGHWAYS, DO HEREBY CERTIFY THAT WE ACCEPT THE CONDITIONS SET FORTH ON SAID SITE PLAN AND IN THE CONDITIONS OF APPROVAL BY THE CITY OF LOVELAND, DATED , AND THAT WE CONSENT TO THE RECORDATION OF ANY INFORMATION THERETO.

(OWNER'S SIGNATURE)

(LIENHOLDER'S SIGNATURE)

(LIENHOLDER'S SIGNATURE)

NOTARIAL CERTIFICATE

STATE OF COLORADO

SS

COUNTY OF)

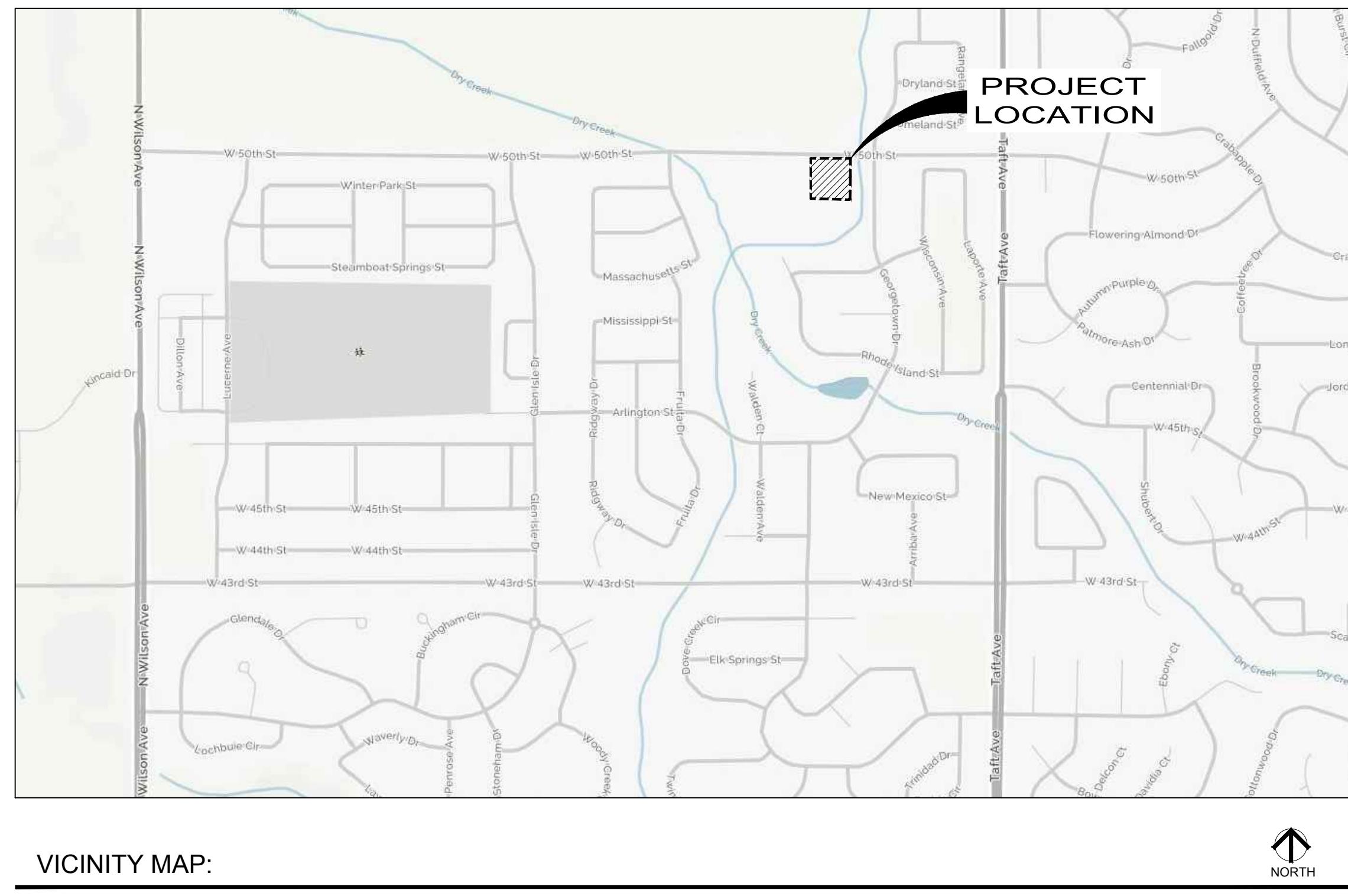
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF , 20 , BY .

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES:

NOTARY PUBLIC

(SEAL)



VICINITY MAP:



PROJECT PURPOSE:

A residential condominium project.

DEVELOPER/APPLICANT

Owner: Kendall Brook Townhomes

Jason Sherrill, CEO
Landmark Homes
1170 West Ash Street Suite 100
Windsor, Colorado 80550
(970) 460-0567

PLANNER/ LANDSCAPE ARCHITECT

Jim Doyle
TB Group
444 Mountain Avenue
Berthoud, Colorado 80513
(970) 532-5891

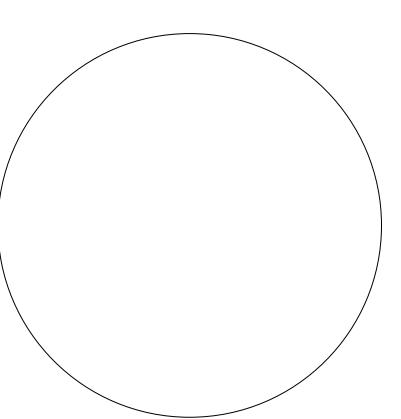
SITE ENGINEER/SURVEYOR

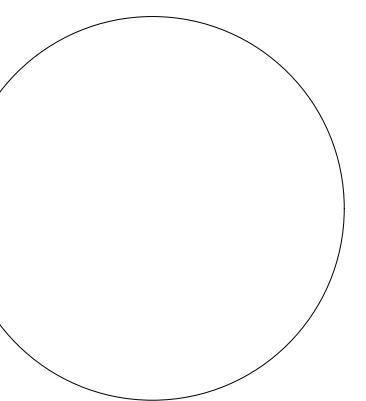
NORTHERN ENGINEERING SERVICES, INC.
301 NORTH HOWES STREET, SUITE 010
FORT COLLINS, COLORADO 80521
970.221.4158

CONTACT: RYAN BANNING
RYAN@NORTHERNENGINEERING.COM

SHEET INDEX:

COVER SHEET	1
SITE PLAN	2
OVERALL LANDSCAPE PLAN	3
LANDSCAPE NOTES & DETAILS	4
EXTERIOR ELEVATIONS	5-8
SITE PHOTOMETRIC PLAN	E1, E2



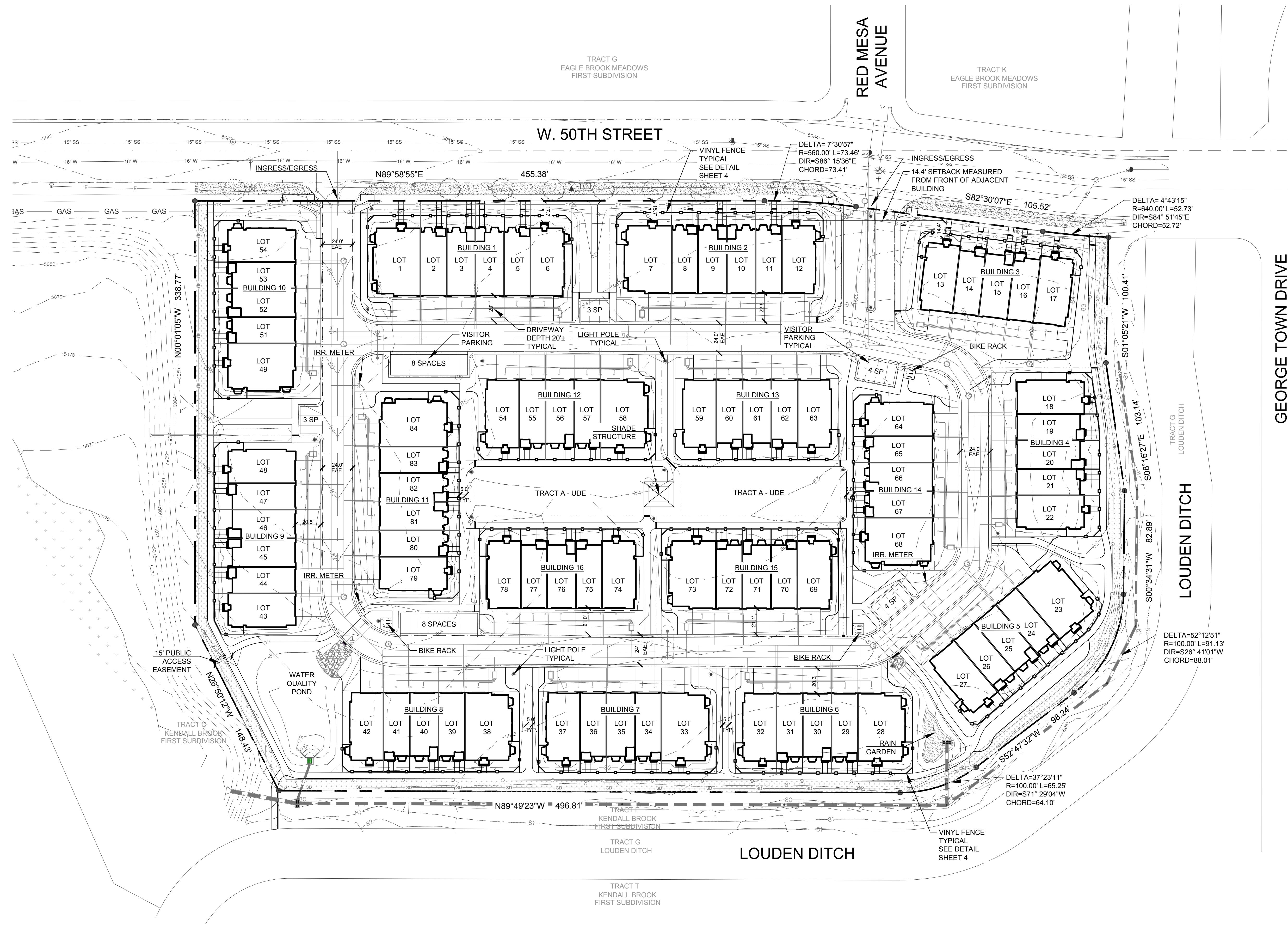


**KENDALL
BROOK
TOWNHOMES**

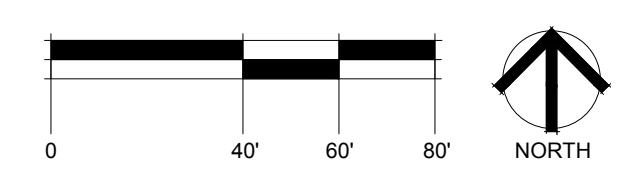
LOVELAND, CO
PREPARED FOR

Landmark Homes

1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill



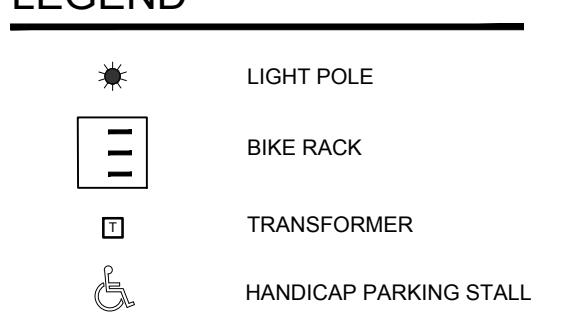
SITE PLAN
CENTERRA CONDOMINIUMS



SITE DATA TABLE

TOTAL UNITS:	84
BUILDING COVERAGE	109,043 S.F. 2.51 AC. (33%)
PARKING AND DRIVES	84,070 S.F. 1.93 AC. (25%)
WALKWAYS	28,749 S.F. 0.66 AC. (9%)
LANDSCAPE / OPEN SPACE	109,640 S.F. 2.51 AC. (33%)
GROSS SITE AREA:	331,491 S.F. 7.61 AC. (100%)
PARKING DATA	
STANDARD GARAGE	REQUIRED PROVIDED
DRIVEWAY PARKING	0 168
VISITOR PARKING	30 30
HANDICAP PARKING	6 6
TOTAL PARKING	204 372
BICYCLE PARKING (2 SPOTS PER 25 PARKING SPACES)	
BICYCLE PARKING	15 15
REVISIONS DATE	
Revised Per City	6-29-16
Comments	
Revised Per City	8-12-16
Comments	
DATE	
09-22-2015	

LEGEND

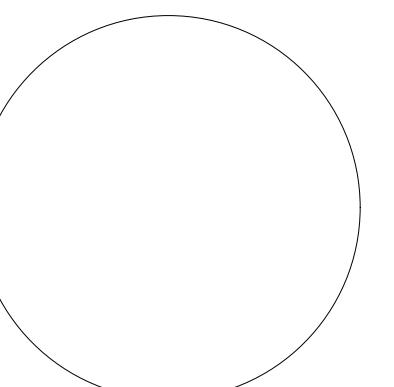


SHEET TITLE
Site Plan

SHEET INFORMATION

Sheet Number: 2

Of: 10



**KENDALL
BROOK
TOWNHOMES**

LOVELAND, CO

PREPARED FOR

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1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill

REVISIONS

DATE

Revised Per City 6-29-16

Comments

Revised Per City 8-12-16

Comments

DATE

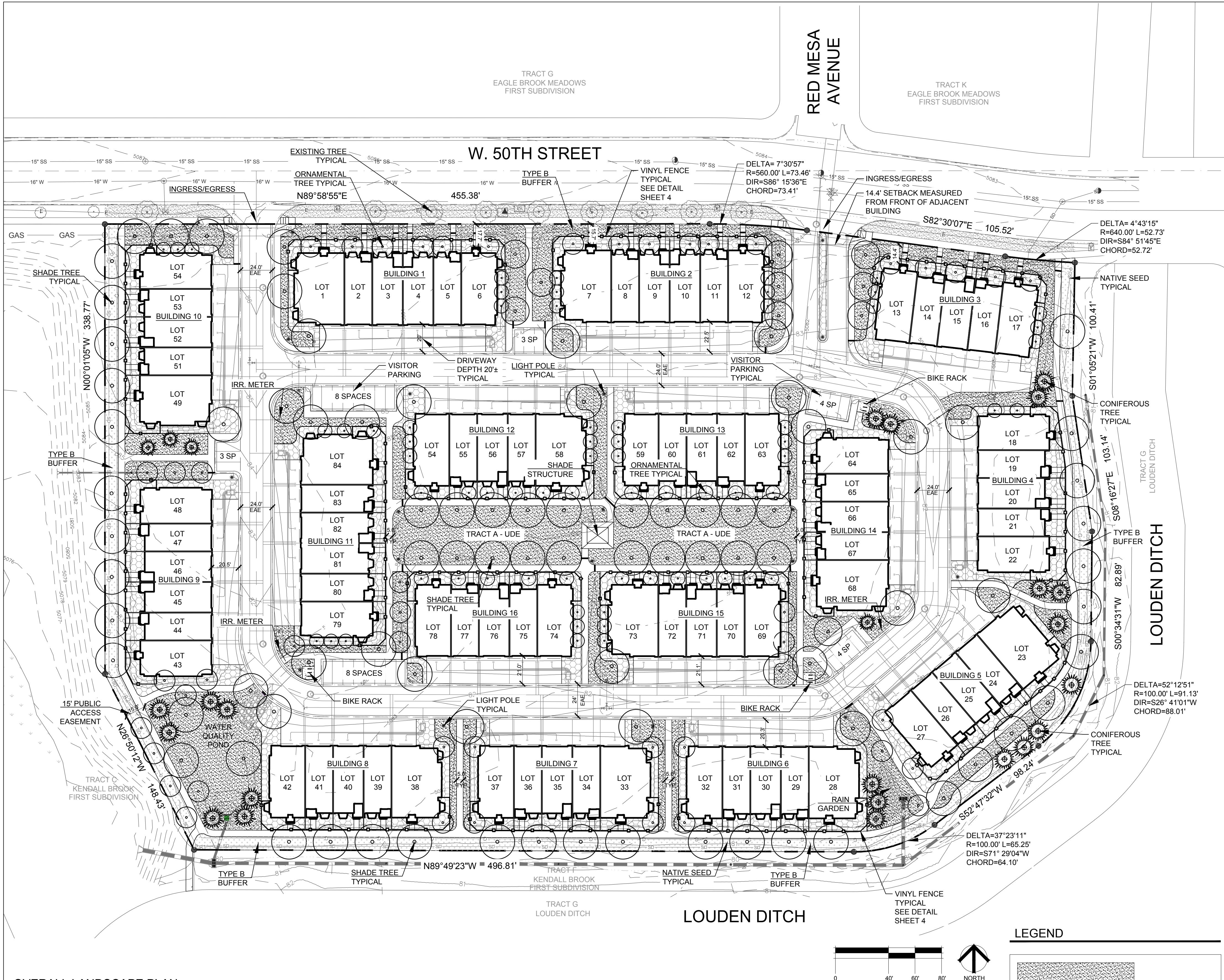
09-22-2015

SHEET TITLE
**Overall
Landscape Plan**

SHEET INFORMATION

Sheet Number: 3

Of: 10



OVERALL LANDSCAPE PLAN

BUFFERYARD REQUIREMENT TABLES

1. LANDSCAPE BUFFER ALONG WEST 50TH STREET

BUFFER TYPE: B PER THE CITY STANDARDS.
EXISTING STREET TREES ARE CURRENTLY PLANTED ALONG WEST 50TH.
ADDITIONALLY SIGNIFICANT FRONT YARD LANDSCAPING WILL BE INSTALLED
TO BE COMPATABLE WITH THE EXISTING NEIGHBORHOOD.
LENGTH OF BUFFER - 560.9'
WIDTH OF BUFFER - VARIES 15' TO 18.7'
PLANT MULTIPLIER - 1

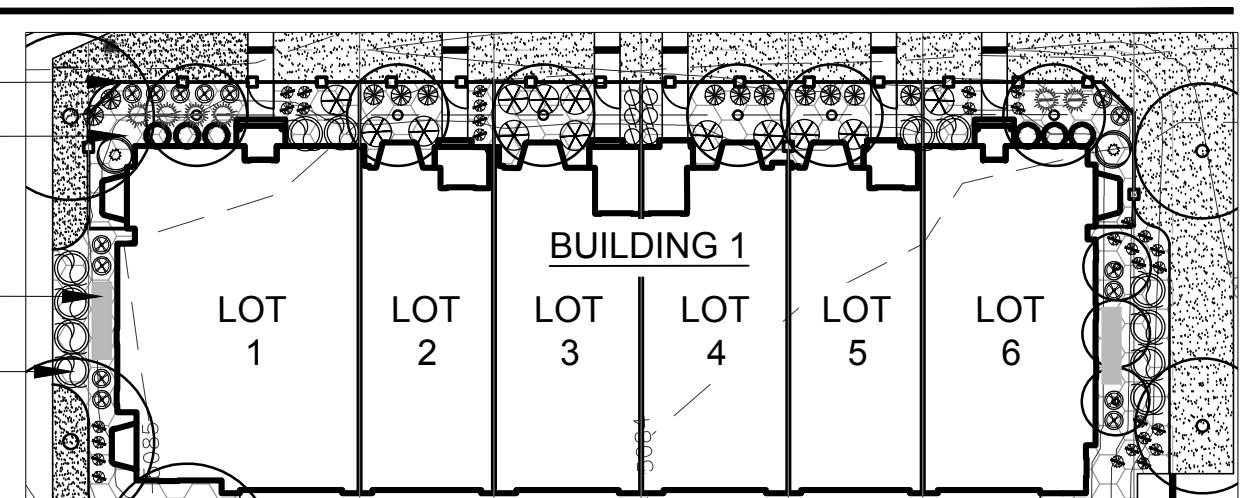
2. LANDSCAPE BUFFER WEST PROPERTY BOUNDARY

BUFFER TYPE: B
LENGTH OF BUFFER - 487.2'
WIDTH OF BUFFER - VARIES 26' WIDE
PLANT MULTIPLIER - .9

3. LANDSCAPE BUFFER EAST PROPERTY BOUNDARY

BUFFER TYPE: B
LENGTH OF BUFFER - WEST SIDE: 377.57'
WEST SIDE: 377.57'
WIDTH OF BUFFER - VARIES 19'25" WIDE
PLANT MULTIPLIER - .8

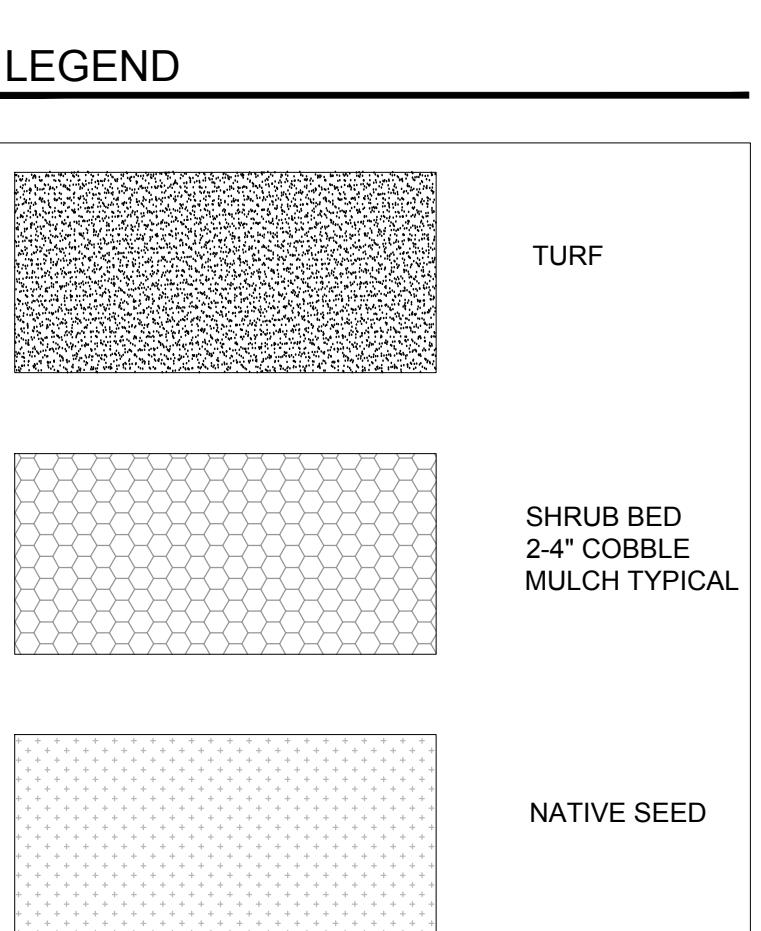
TYPICAL SHRUB BED PLANTING



SCALE 1" = 40'-0"

0 40' 60' 80'

NORTH



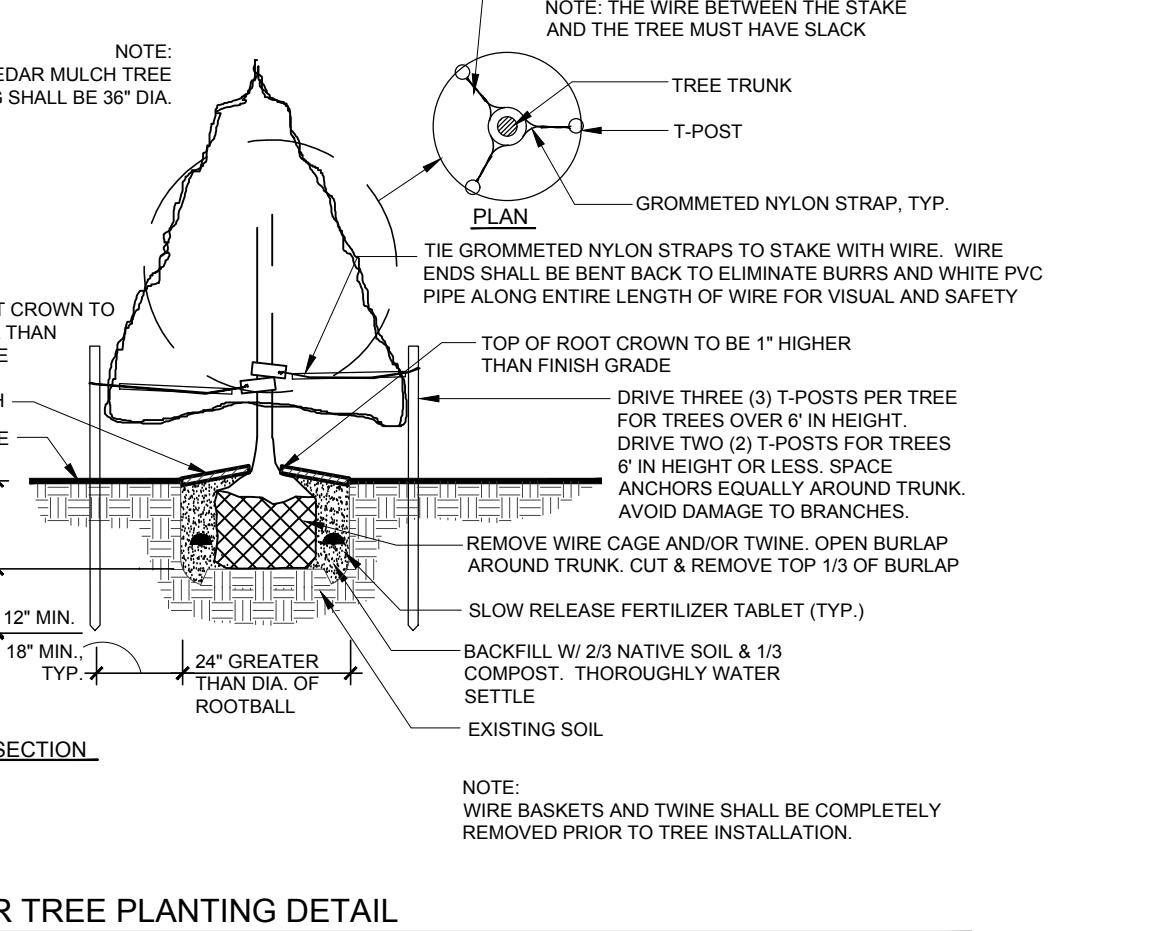
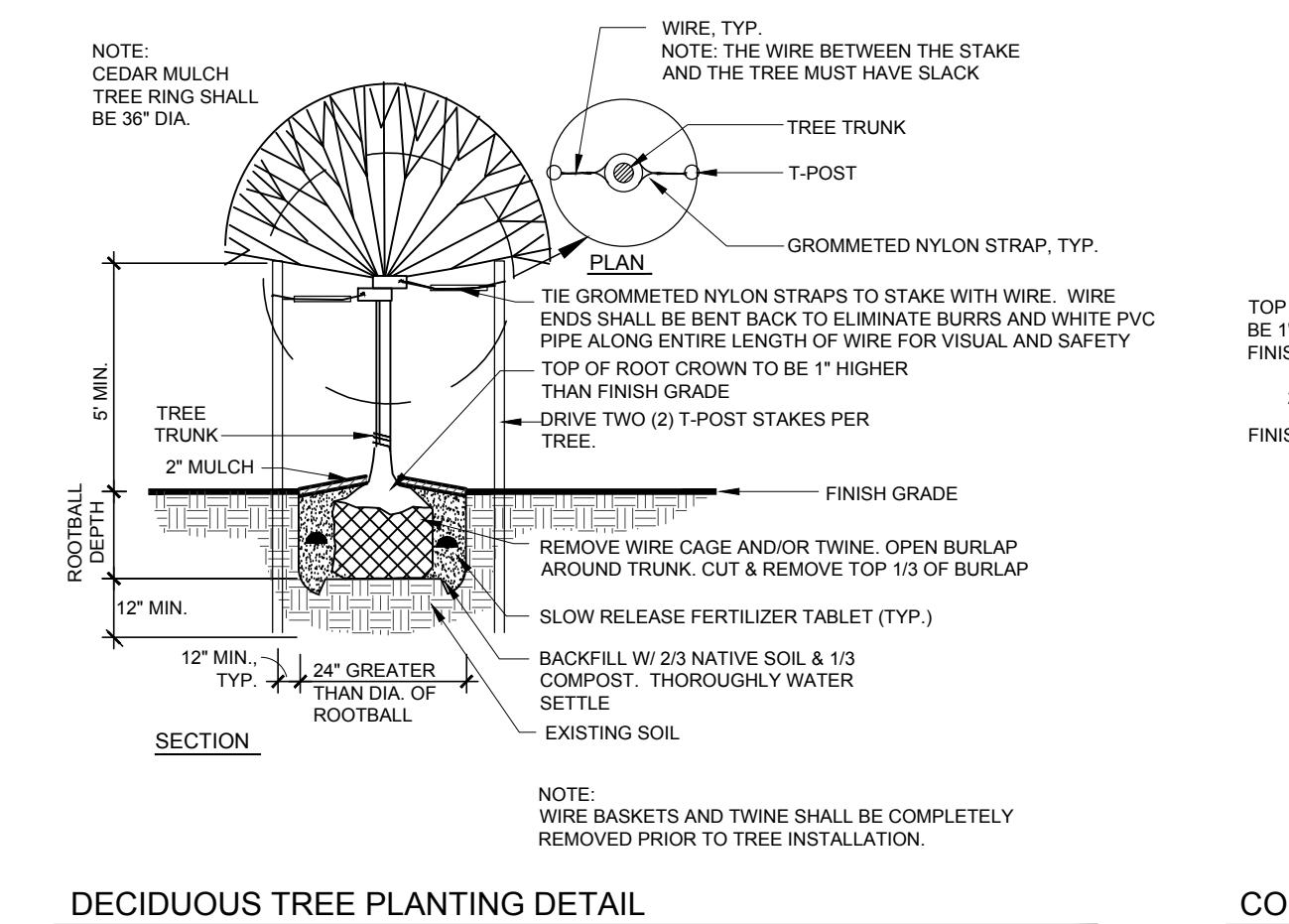
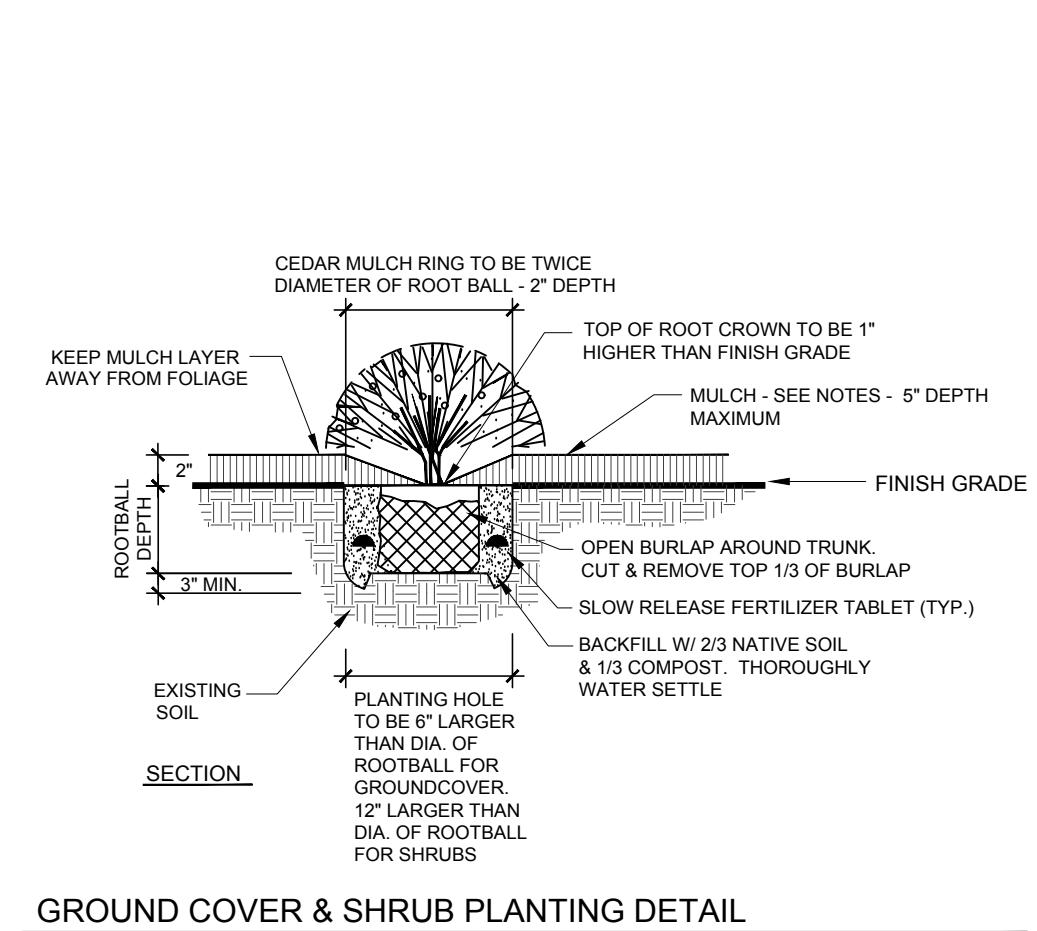
LEGEND

SHADE / CANOPY TREES - 0	
	HONEYLOCUST, IMPERIAL Gleditsia triacanthos inermis 'Imperial' 45' 35'
	LINDEN, STERLING Tilia tomentosa 'Sterling' 45' 30'
	MAPLE, AMUR MAPLE Acer ginnala 30' 20'
	MAPLE, AUTUMN BLAZE Acer x freemanii 'Jeffersred' 50' 40'
	OAK, BUR Quercus macrocarpa 50' 40'
	OAK, CRIMSON SPIRE Quercus robur 'Crimschmidt' 40' 15'
	OAK, ENGLISH FASTIGIATE Quercus robur 'Fastigiat' 40' 15'
EVERGREEN TREES - 0	
	PINE, BOSNIAN Pinus heldreichii 40' 10'
	PINE, VANDERWOLF'S Pinus flexilis 'Vanderwolfs' 30' 15'
	SPRUCE, NORWAY FASTIGIATE Picea abies 'Cupressina' 18' 5'
	SPRUCE, BAKERI Picea pungens 'Baker' 35' 20'
	SPRUCE, BLUE Picea Pungens 'Glaucia' 35' 20'
ORNAMENTAL TREES - 0	
	CRABAPPLE, CENTURION Malus spp. 'Centurion' 25' 20'
	CRABAPPLE, CORAL BURST Malus spp. 'Coral Burst' 10' 12'
	CRABAPPLE, PRAIRIE FIRE Malus spp. 'Prairie Fire' 20' 15'
	CRABAPPLE, SPRING SNOW Malus spp. 'Spring Snow' 20' 20'
	PEAR, AUTUMN BLAZE Pyrus calleryana 'Autumn Blaze' 25' 25'
	PEAR, CHANTICLEER Pyrus calleryana 'Chanticleer' 40' 15'
EVERGREEN SHRUBS - 0	
	- JUNIPER, BLUE CHIP Juniperus horizontalis 'Blue Chip' 1' 6'
	- JUNIPER, CALGARY CARPET Juniperus sabina 'Calgary Carpet' 2.5' 5'
	- JUNIPER, SCANDIA Juniperus sabina 'Scandia' 1' 8'
	- JUNIPER, SKYROCKET Juniperus scopulorum 'Skyrocket' 15' 3'
	- SPRUCE, DWARF NORWAY Picea abies 'Pumila' 3' 5'
DECIDUOUS SHRUBS - 0	
	- BOXWOOD, JULIA JANE Buxus microphylla 'Julia Jane' 4' 4'
	- BUCKTHORN, ALDER Rhamnus frangula 20' 20'
	- BUTTERFLY BUSH Buddleja davidii 6' 8'
	- CHOKEBERRY, BRILLIANT RED Aronia arbutifolia 'Brilliantissima' 6' 6'
	- DOGWOOD, ISANTI Cornus stolonifera 'Isanti' 4' 4'
	- EUONYMUS, DWARF BURNING BUSH Euonymus alatus 'Compactus' 4' 6'
	- LILAC, DWARF KOREAN Syringa meyeri 'Palibin' 4' 4'
	- NINEBARK, LITTLE DEVIL Physocarpus opulifolius 'Donna May' 4' 4'
	- ROSE OF SHARON Hibiscus syriacus 8' 6'
	- ROSE, RED KNOCK-DOUBLE RED Rosa knock-out 'RadTKO' 4' 4'
	- SAGE, RUSSIAN Perovskia atriplicifolia 5' 4'
	- SPIREA, LITTLE PRINCESS Spiraea japonica 'Little Princess' 3' 6'
	- VIBURNUM, JUDD Viburnum x juddii 6' 8'
PERENNIALS / GRASSES - 0	
	- AGASTACHE, SUNSET Agastache rupestris 'Apache sunset' 2' 1'
	- BLACK EYED SUSAN Rudbeckia hirta 2' 1'
	- CORAL BELLS Heuchera micrantha 'Palace Purple' 1' 1'
	- DAPHNE, CAROL MACKIE Daphne x burkwoodii 'Carol Mackie' 3' 4'
	- GRASS, AVENA Helictotrichon sempervirens 3' 2'
	- GRASS, BLUE FESCUE Festuca glauca 1' 1'
	- GRASS, FEATHER REED Calamagrostis acutiflora 'Karl Foerster' 4' 2'
	- GRASS, FOUNTAIN Pennisetum setaceum 3' 3'
	- GRASS, GRACILLIMUS Miscanthus sinensis 'Gracillimus' 6' 3'
	- GRASS, PURPLE FLAME Miscanthus Purpurascens 4' 4'
	- GRASS, MISCANTHUS Miscanthus sinensis 'Morning Light' 6' 3'
	- GRASS, MOOR Molinia caerulea 'Variegata' 1' 2'
	- GRASS, PINK MUHLY Muellergia capillaris 'Lena' 4' 4'
	- GRASS, HEAVY METAL BLUE SWITCH Panicum virgatum 'Heavy Metal' 3' 18'
	- IRIS, SIBERIAN Iris sibirica 3' 1'

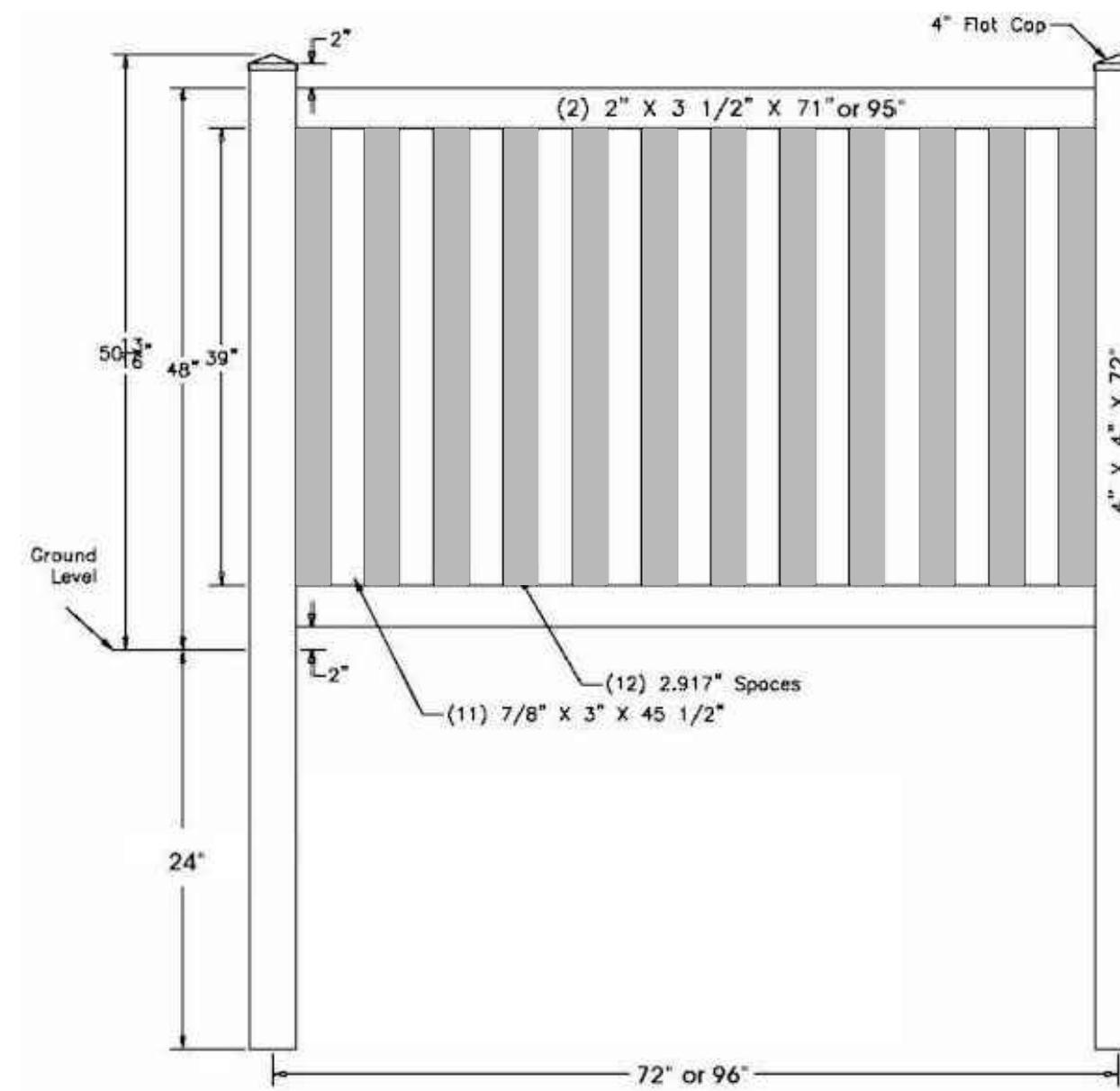
NOTES:

THE PLANT LIST ABOVE ILLUSTRATES TYPICAL LANDSCAPE PLANTINGS THAT MAY BE INCLUDED WITH KENDALL BROOK TOWNHOMES LANDSCAPE PLAN. THE FINAL LANDSCAPE PLANT LIST WILL VARY.

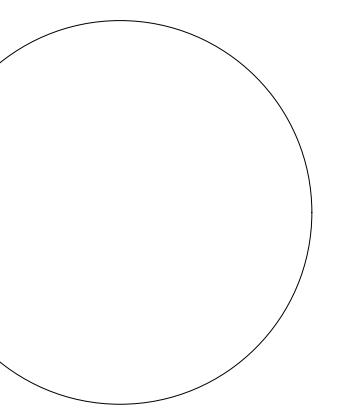
PLANTING DETAILS



TYPICAL WHITE VINYL FENCE DETAIL



NOT TO SCALE



KENDALL BROOK TOWNHOMES

LOVELAND, CO

PREPARED FOR

Landmark Homes

1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR MUST CONTACT CITY OF LOVELAND AND RECREATION DEPARTMENT PRIOR TO PLANTING IN ORDER FOR CITY TO VERIFY PROPER PLANTING.
- CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.
- PROTECT EXISTING SURFACES AND SOILS, BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE CITY OF LOVELAND IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC. DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1967.
- STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER LINES, FOUR (4) FEET FROM GAS, TELEPHONE AND ELECTRIC UTILITIES, AND TEN (10) FEET FROM ANY DRIVEWAY.
- MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- NO SUBSTANTIAL IMPEDIMENT TO VISIBILITY BETWEEN THE HEIGHTS OF THREE (3) FEET AND EIGHT(8) FEET SHALL BE CREATED OR MAINTAINED AT STREET INTERSECTIONS WITHIN A SITE TRIANGLE DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EDGES OF THE DRIVING SURFACE, THEN TO FORTY (40) FEET ALONG BOTH INTERSECTING EDGES AND THEN ALONG A TRANSVERSE LINE CONNECTING THESE POINTS.
- IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE BY OWNER.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES
- PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSENED AND TILLED TO A 6" DEPTH. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. AFTER THAT TIME ORGANIC AMENDMENTS SHALL THEN BE THOROUGHLY TILLED AND INCORPORATED TO A MINIMUM 6" DEPTH IN THESE AREAS AT THE MINIMUM RATE OF 3 CU. YDS. / 1,000 SQ. FT.
- 10 - UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
- SOD TO BE 100% COLORADO GROWN TALL FESCUE GRASS SOD BLEND SPECIFICALLY GROWN FOR LOW WATER LAWN APPLICATIONS. WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- SEEDED AREAS - IF APPLICABLE, ADEQUATE IRRIGATION WILL BE PROVIDED FOR THE ESTABLISHMENT AND MAINTENANCE FOR THESE SEEDED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.
- SECOND DOMESTIC WATER METER TO BE SHOWN ON LANDSCAPE PLAN FOR IRRIGATION CONNECTION OR NON-POTABLE WATER SOURCE CONNECTION.
- ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS, INCLUDING 18" RADIUS WOOD MULCH RING IF PLANTED WITHIN GRASS AREAS PER DETAILS. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT FOR NUMBER ONE GRADE.
- IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS MUST BE REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE TOWN FORESTER.
- CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE TOWN FORESTER PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED AND SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BiodeGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH - NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. PLANTS LOCATED IN ROCK MULCH SHALL HAVE WOOD MULCH AROUND BASE. A CONTINUOUS LAYER OF TYPR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4' O.C. IN ALL DIRECTIONS.
- EDGING BETWEEN GRASS TYPES AND SHRUB BEDS SHALL BE HEAVY DUTY STEEL EDGER MIN. 14 GA. x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH AND COBBLE TRANSITIONS

IRRIGATION NOTES

- IRRIGATION SYSTEM TO BE INSTALLED PER IRRIGATION PLANS. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM. IF NECESSARY CONTACT THE WATER DEPARTMENT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES.
- THE IRRIGATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE TOWN'S WATER DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE IRRIGATION SYSTEM MUST BE INSTALLED OR SECURED WITH A FINANCIAL INSTRUMENT DEPOSITED WITH THE TOWN PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.
- ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS THAT ARE NOT IN SOD ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF IRRIGATED SOD AREAS, ARE TO BE IRRIGATED WITH A PERMANENT Drip IRRIGATION SYSTEM.
- IRRIGATION SYSTEM WITH RAIN SENSOR AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

NATIVE GRASS SEED MIX

NON IRRIGATED NATIVE GRASS -

FOOTHILLS NATIVE GRASS MIX: SEED SHALL BE A MIXTURE THAT MATCHES THE FOLLOWING:

COMMON NAME	%
ANNUAL RYEGRASS	20%
SLENDER WHEATGRASS	15%
MOUNTAIN BROME	10%
PUGNANT WHEATGRASS	10%
HARD FESCUE	10%
KENTUCKY BLUEGRASS	10%
INDIANGRASS	8%
BIG BLUESTEM	7%
BLUE GRAMA	5%
SWITCHGRASS	5%

- SEED SHALL BE AS MANUFACTURED BY ARKANSAS VALLEY SEED SOLUTIONS, 4625 COLORADO BOULEVARD, DENVER, CO 80216, (877) 957-3337.
- DRILLED IN TWO PERPENDICULAR DIRECTIONS WITH AN APPLICATION RATE: 25.0 LBS (PLS) PER ACRE (0.57 LBS / 1000 SF).
- ADEGUATE TEMPORARY IRRIGATION OR BY WATER TRUCK, OR BY OTHER ACCEPTABLE MEANS, WILL BE PROVIDED BY CONTRACTOR FOR THE WATERING, ESTABLISHMENT AND MAINTENANCE OF THESE SEEDED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS, TRASH AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.

MULCH IN ALL NATIVE SEED AREAS:

- IMMEDIATELY FOLLOWING THE RAKING / SEEDING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- APPLY STRAW MULCH AT A MINIMUM OF 1.5 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER / CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10 MPH.
- WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL, PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER, WITH A FLAT SERRATED DISC AT LEAS 1/4 INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE.

REVISIONS DATE

Revised Per City 6-29-16

Comments

Revised Per City 8-12-16

Comments

DATE

09-22-2015

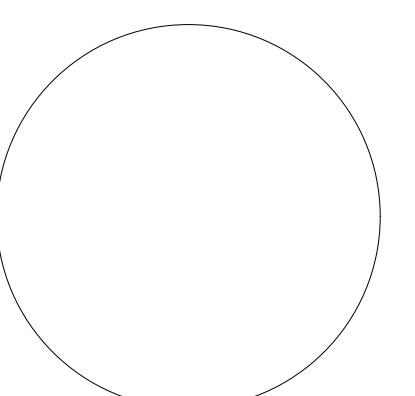
SHEET TITLE

Landscape Notes

SHEET INFORMATION

Sheet Number: 4

Of: 10



PROJECT TITLE
**KENDALL
BROOK
TOWNHOMES**

LOVELAND, CO

PREPARED FOR

Landmark Homes

1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill



Rear Elevation

1/8" = 1'-0"



Left Elevation

1/8" = 1'-0"



Right Elevation

1/8" = 1'-0"



Front Elevation

1/8" = 1'-0"

REVISIONS	DATE
Revised Per City	6-29-16
Comments	

Revised Per City	8-12-16
Comments	

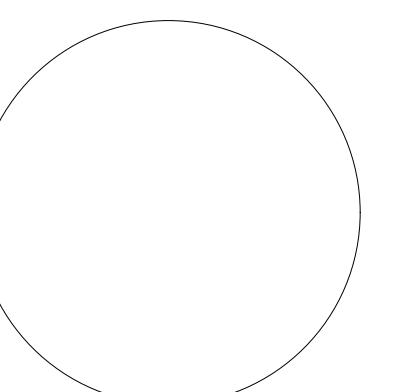
DATE	
09-22-2015	

SHEET TITLE
ARCHITECTURAL ELEVATIONS

SHEET INFORMATION

Sheet Number: **5**

of: **10**

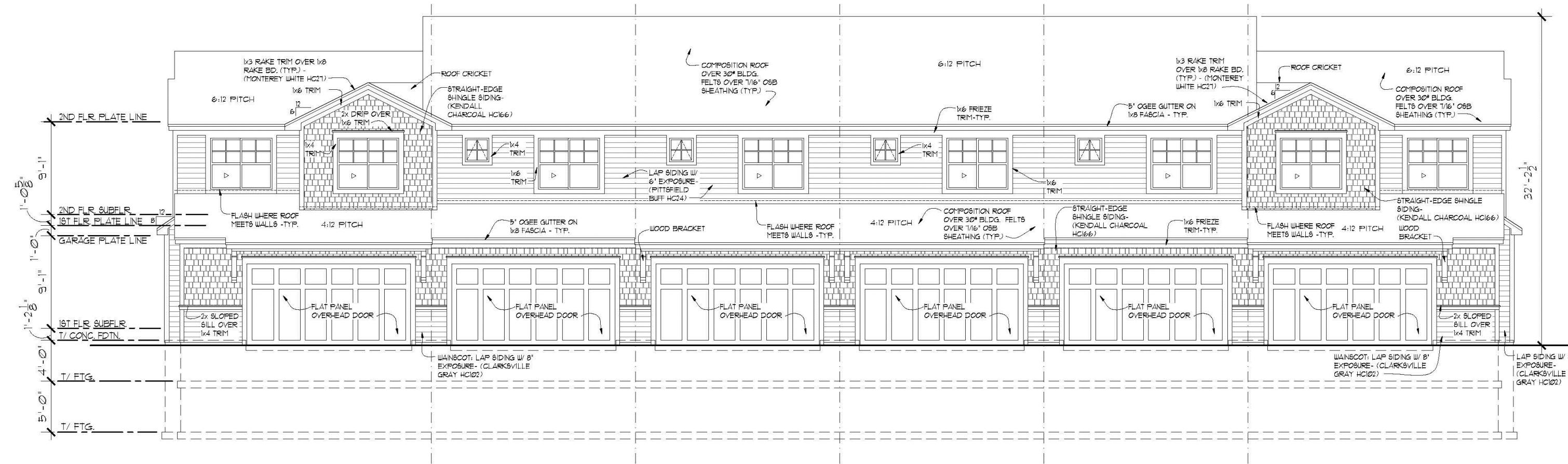


KENDALL BROOK TOWNHOMES

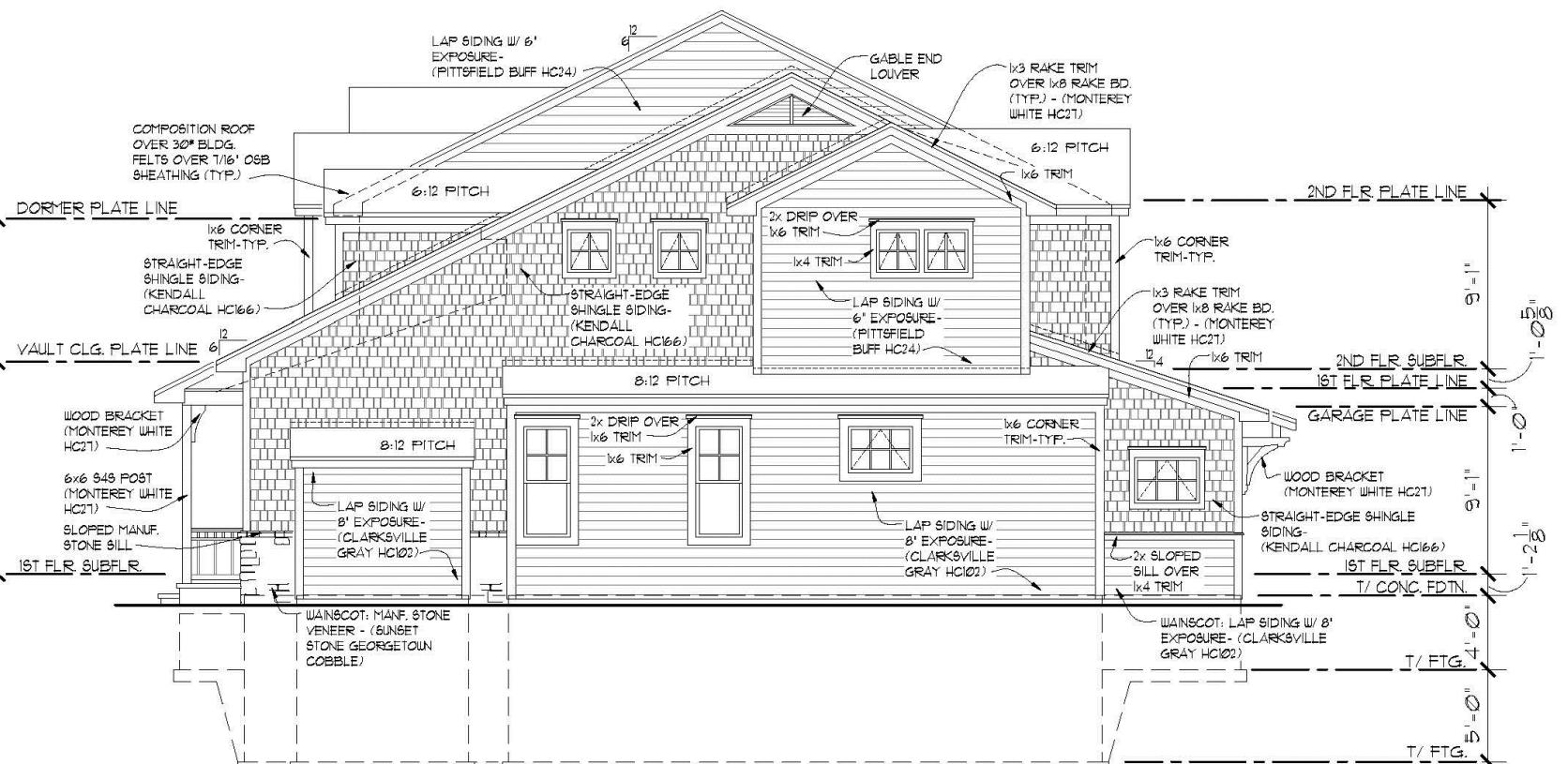
LOVELAND, CO

Landmark Homes

1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill

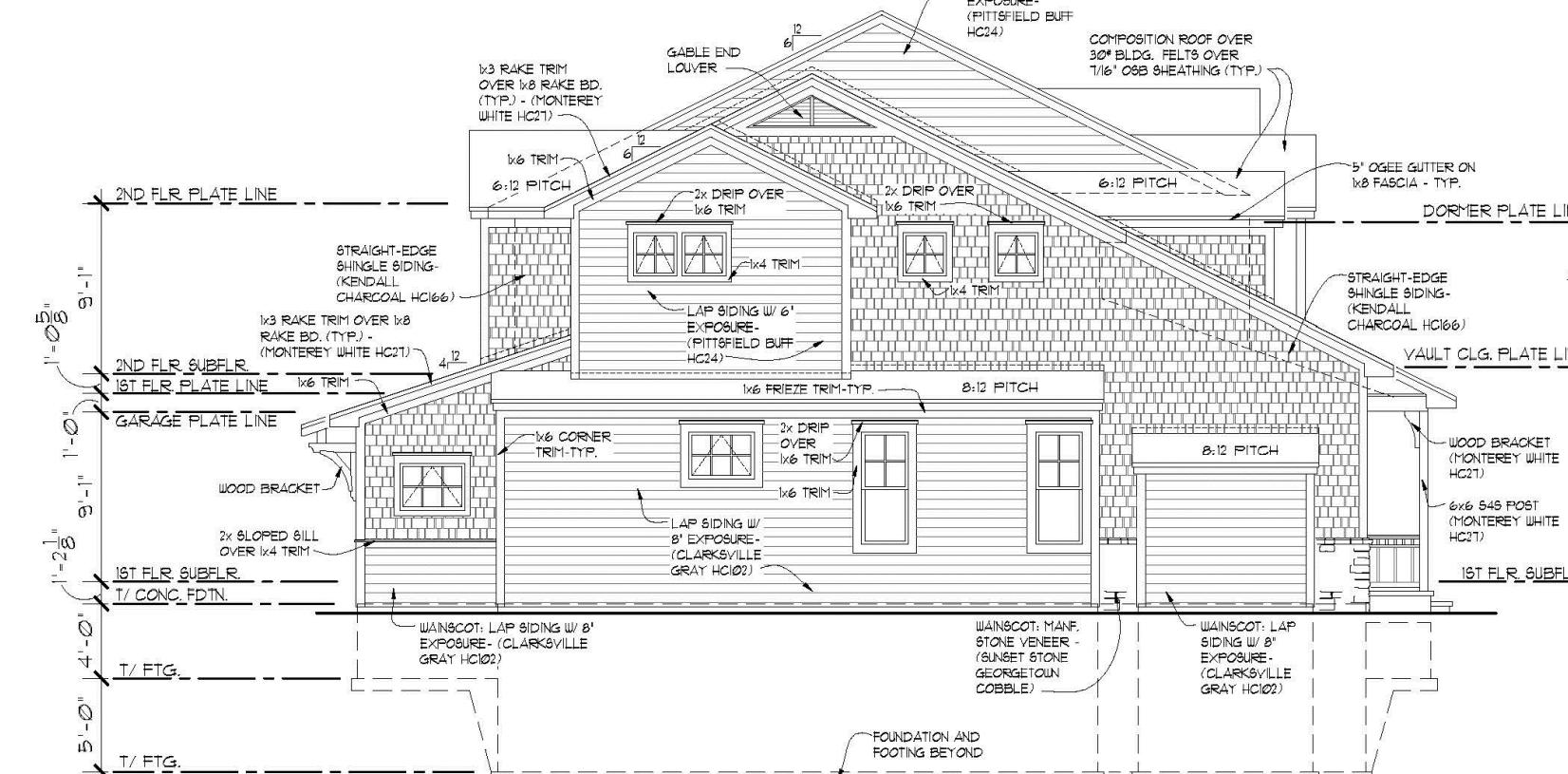


Rear Elevation (6 Unit)



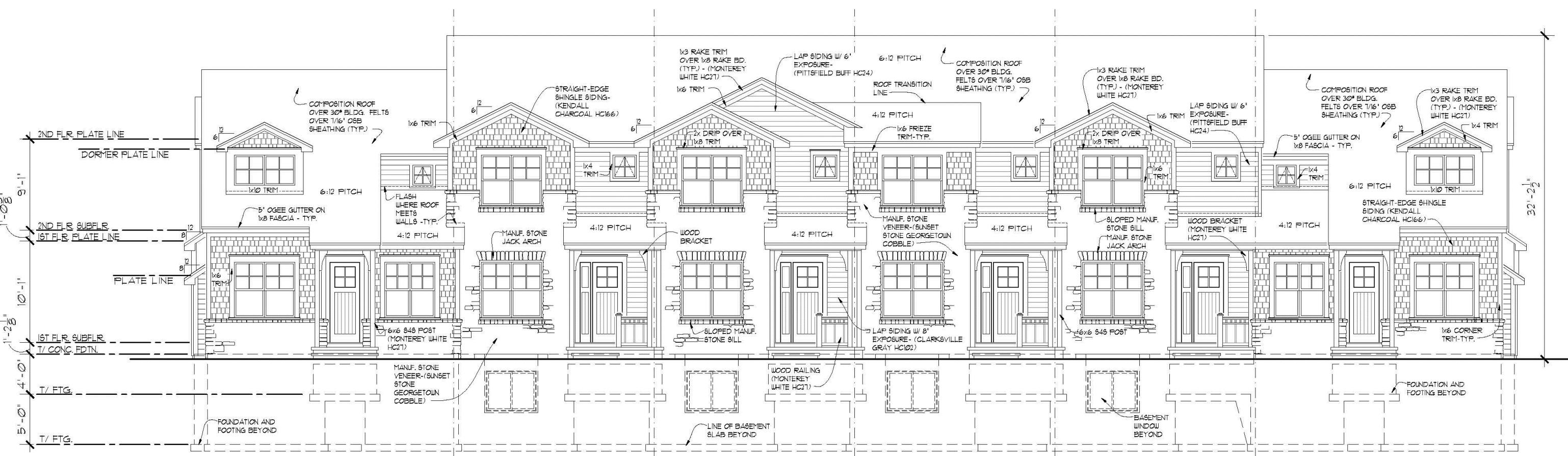
Right Elevation (6 Unit)

$$\langle \theta \rangle \equiv 1 - \theta$$



Left Elevation (6 Unit)

1/811



Front Elevation (6 Unit)

1/8 || = 1

REVISIONS	DATE
<u>Revised Per City</u>	<u>6-29-16</u>
<u>Comments</u>	
<u>Revised Per City</u>	<u>8-12-16</u>
<u>Comments</u>	

DATE

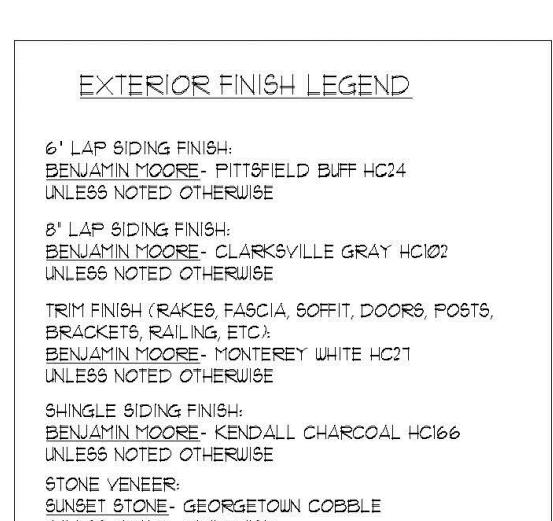
ARCHITECTURAL ELEVATIONS

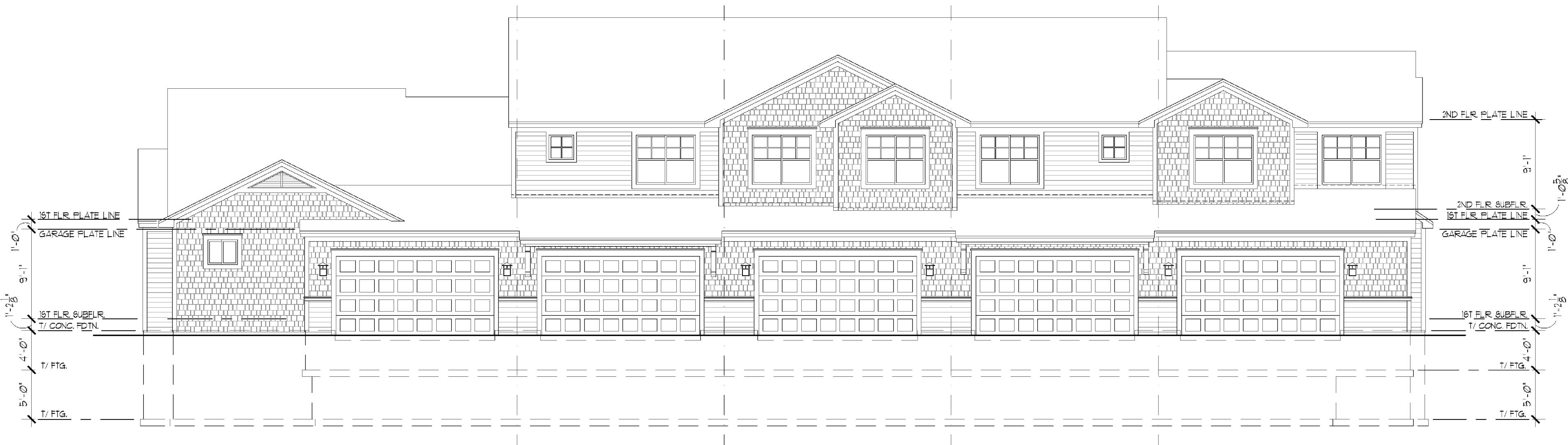
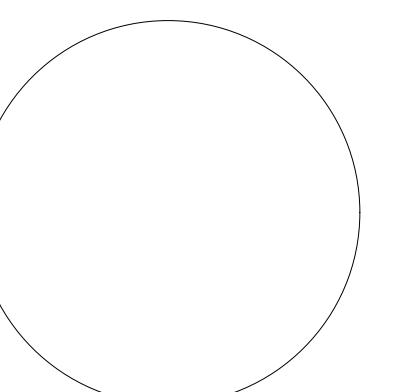
SHEET INFORMATION

Sheet Number: 6

Of: 10

ARCHITECTURAL ELEVATIONS - 6 UNIT 2 STORY





Rear Elevation

1/8" = 1'-0"



Left Elevation

1/8" = 1'-0"



Right Elevation

1/8" = 1'-0"



Front Elevation

1/8" = 1'-0"

REVISIONS	DATE
Revised Per City	6-29-16
Comments	

Revised Per City

Comments

Revised Per City

Comments

DATE

09-22-2015

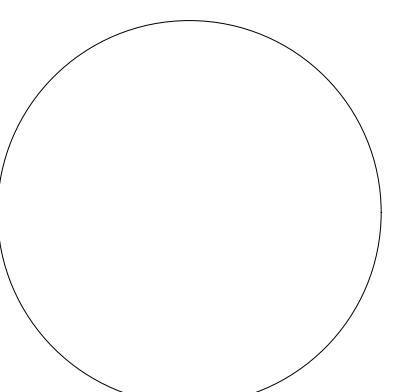
SHEET TITLE

**ARCHITECTURAL
ELEVATIONS**

SHEET INFORMATION

Sheet Number: **7**

of: **10**



PROJECT TITLE

KENDALL
BROOK
TOWNHOMES

LOVELAND, CO

PREPARED FOR

Landmark Homes

1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill



Rear Elevation

1/8" = 1'-0"



Left Elevation

1/8" = 1'-0"



Right Elevation

1/8" = 1'-0"



Front Elevation

1/8" = 1'-0"

REVISIONS DATE
Revised Per City 6-29-16
Comments
Revised Per City 8-12-16
Comments

DATE
09-22-2015

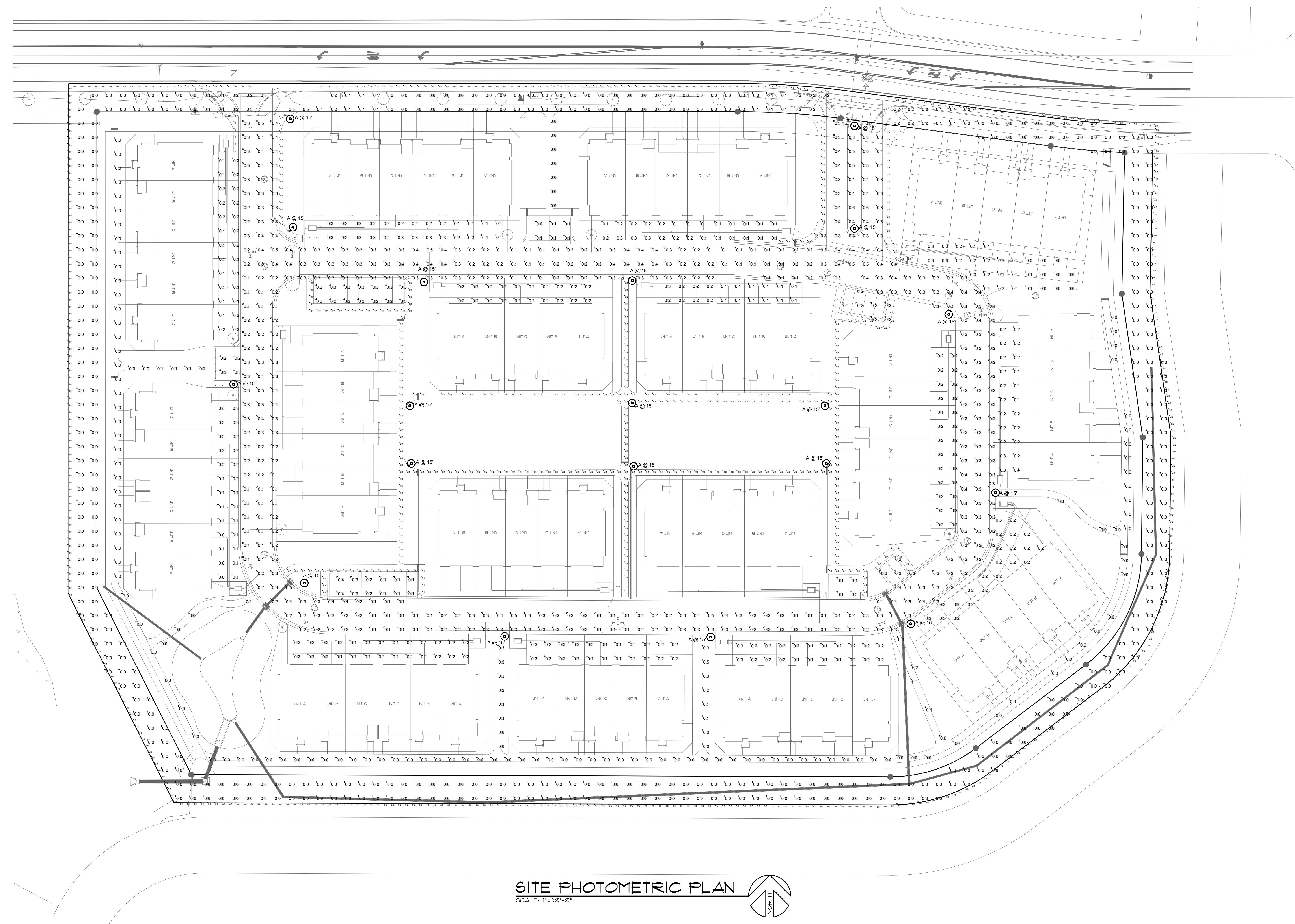
SHEET TITLE

ARCHITECTURAL
ELEVATIONS

SHEET INFORMATION

Sheet Number: 8

of: 10

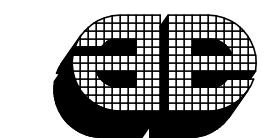


KENDALL
BROOK
TOWNHOMES

LOVELAND, CO

Landmark Homes

1170 W Ash St # 100
Windsor, CO 80550-4783
(970) 460-0567
CONTACT: Jason Sherrill



AE Associates, Inc.

Engineering Successful
Building Environments
5587 West 19th Street
Greeley, Colorado
Phone: (970) 330-5587
Fax: (970) 330-3040

**GRANVILLE® SERIES LUMINAIRE
SIMPLE STYLE CASTING**

MAXIMUM WEIGHT - 45 lbs.
MAXIMUM EFFECTIVE PROJECTED AREA - 1.26 sq. ft.

FINIALS
CLEAR
STANDARD
EAGLE
FLOWER
PAWN
BALL
ROMAN CROSS
CROSS

PRISMATIC GLASS REFLECTOR / REFRACTOR
OPTIONAL FINIALS
SHOWN TO SIDE

SET SCREWS, BOTH
TOP AND BOTTOM

BALLAST HOUSING
The ballast housing contains the ballast and other electrical components. The housing is cast of aluminum alloy. The slipfitter will accept a 3" high, 2-7/8" to 3-1/8" O.D. tenon and is secured by four hex head 1/4-20 set screws. The ballast is secured to the housing using clips enclosed in a clear polyvinyl chloride sleeve and adjusted by hex head 1/4-20 bolts securely cradle the optical assembly.

BALLAST
(Refer to Ballast Data Sheet for specific operating characteristics)
35 - 100 watt 120 volt High Pressure Sodium (HPS) ballasts are High Power Factor Resistor type. All other HPS ballasts are High Power Factor Autotransformer type. 175 watt Metal Halide (MH) ballasts are Peak Lead Autotransformer type. 70 and 100 watt MH units are available only with 120V, 208V, 240V, 277V multitap High Power Factor High Resistance type ballast.

REFLECTOR / SOCKET ASSEMBLY
The reflector/socket assembly is designed to position the specified light source at the light center of the refractor.

INSTALLATION
Refer to the instruction manual provided with each luminaire as to the specific method of wiring and mounting the luminaires.

FINISH
The housing is finished with polyester powder paint to insure maximum durability.

UL LISTING
The luminaire is UL listed as suitable for wet locations at a maximum 40 degree C ambient temperature.

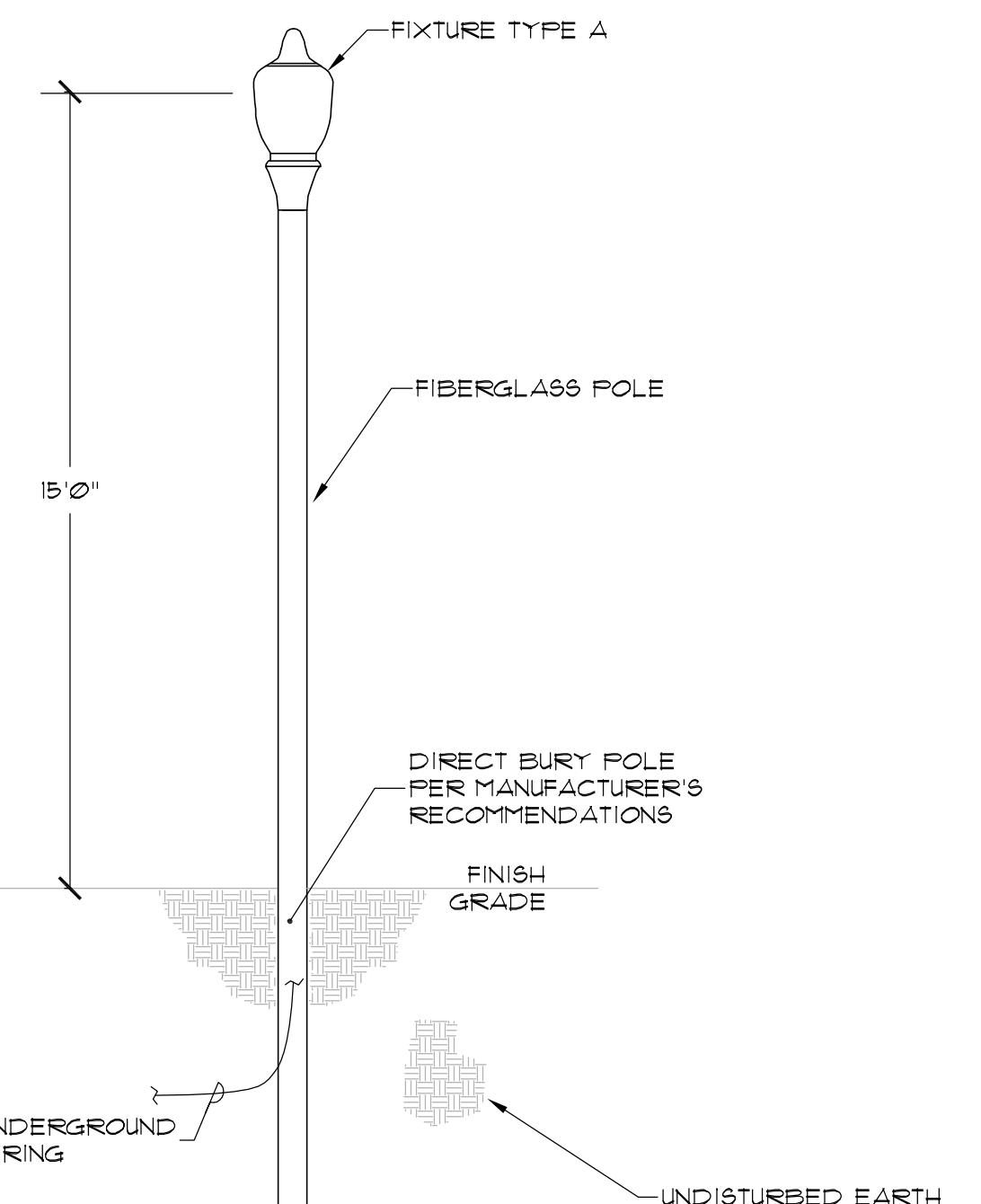
OPTIONS
P = PRELIMINARY STARTER FOR HPS UNITS ONLY
FCOVA = FULL DECORATIVE ALUMINUM TOP COVER (FOR X INSERT B, Z, N, G, OR A COLOR)
MCQVA = MAYFIELD ALUMINUM TOP COVER (COVERS 2) (FOR X INSERT S, Z, N, G, OR A COLOR)
ACCESSORIES
P1 = SINGLE FUSING FOR 120, 240, 277 VOLT, FIELD INSTALLED (NOT UL LISTED)
P2 = DOUBLE FUSING FOR 120, 240, 277 VOLT, FIELD INSTALLED
GVA A/Z/X-3" TO 7" POST CAPITAL CONVERSIONS OF POST TOP TENON TO 7" POST CAPITAL. USE ONLY WITH A, F, OR G HOUSING STYLES (FOR X INSERTS B, Z, N, OR A COLOR)
GWANBOK = BAND ACCESSORY FIELD INSTALLED

ARCHITECTURAL OUTDOOR ORDER #: TYPE: DRAWING NO: US-2511

HOLOPHANE®
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company
© 2009 Acuity Brands Lighting, Inc. All Rights Reserved

THIS DRAWING, WHEN APPROVED, SHALL BECOME THE COMPLETE SPECIFICATION FOR THE MATERIAL TO BE FURNISHED BY HOLOPHANE ON THE ORDER NOTED ABOVE. A LIST OF MATERIALS, QUANTITIES, AND SPECIFICATIONS IS NOT PROVIDED. THE CUSTOMER IS RESPONSIBLE FOR PROVIDING AN ANCHOR BOLT TEMPLATE POINT WILL BE SUPPLIED BY HOLOPHANE.

THIS PRINT IS THE PROPERTY OF HOLOPHANE AND IS LOANED SUBJECT TO RETURN UPON DEMAND AND UPON EXPRESS CONDITION THAT IT WILL NOT BE USED DIRECTLY OR INDIRECTLY IN THE DESIGN OF THE PROJECT.



**LIGHT STANDARD
POLE - BASE**

SCALE: N/A
DRAWN: RAF
APPD: DATE: 11-5-09
SCALE: NTS

Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
19	Holophane	GV7ODMHO0XX4NXX	GRANVILLE	70W CLEAR MH	1	GV7ODMHO0XX4NXX.ies	5000	1	95

Statistics						
Description	Avg	Max	Min	Max/Min	Avg/Min	
20 Feet from Property Line	0.0 fc	0.2 fc	0.0 fc	N/A	N/A	
Area Between Property Line and 20 Feet Out From Property Line	0.0 fc	0.5 fc	0.0 fc	N/A	N/A	
Adjacent Walkways (10' Private Drives)	0.3 fc	0.6 fc	N/A	N/A	N/A	
Exterior Walkways	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	
Interior Walkways	0.3 fc	0.8 fc	0.1 fc	8.0:1	3.0:1	
Walkways Between Buildings	0.1 fc	0.5 fc	0.0 fc	N/A	N/A	
Private Drive Lanes	0.3 fc	0.6 fc	0.1 fc	6.0:1	3.0:1	
Private Driveways (in front of Garages)	0.2 fc	0.5 fc	0.0 fc	N/A	N/A	
Private Parking Areas	0.2 fc	0.4 fc	0.0 fc	N/A	N/A	

Revised Per City 6-24-16
Comments

06-24-2016
LIGHT FIXTURE
INFORMATION

Sheet Number: E2

Of: 10

KENDALL BROOK SECOND SUBDIVISION

BEING A SUBDIVISION OF OUTLOT A, KENDALL BROOK FIRST SUBDIVISION, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

LEGAL DESCRIPTION:

A tract of land located in that portion of the Southeast Quarter of Section 34, Township 6 North, Range 69 West of the 6th Principal Meridian, City of Loveland, County of Larimer, State of Colorado being more particularly described as follows:

OUTLOT A, KENDALL BROOK FIRST SUBDIVISION (according to the Plat recorded with Larimer County Clerk and Recorder on March 2, 2002 at Reception No. 2002001552), to the City of Loveland, County of Larimer, State of Colorado.

Considering the North line of the Southeast Quarter of Section 34 as bearing South 89° 58' 55" East and with all bearings contained herein relative thereto:

BEGINNING at the Northwest corner of Outlot A, Kendall Brook First Subdivision; thence, North 89° 58' 55" East, 455.38 feet; thence along a curve concave to the south having a central angle of 07° 30' 57" with a radius of 560.00 feet, an arc length of 73.46 feet and the chord of which bears South 86° 15' 36" East, 73.41 feet; thence South 82° 30' 07" East, 150.52 feet; thence along a curve concave to the north having a central angle of 04° 43' 15" with a radius of 640.00 feet, an arc length of 52.73 feet and the chord of which bears South 84° 51' 45" East, 52.72 feet; thence, South 01° 05' 21" West, 100.41 feet; thence, South 08° 16' 27" East, 103.14 feet; thence, South 00° 34' 31" West, 82.89 feet; thence along a curve concave to the northwest having a central angle of 52° 12' 51" with a radius of 100.00 feet, an arc length of 91.13 feet and the chord of which bears South 26° 41' 01" West, 88.01 feet; thence, South 52° 47' 32" West, 98.24 feet; thence along a curve concave to the north having a central angle of 37° 23' 11" with a radius of 100.00 feet, an arc length of 65.25 feet and the chord of which bears South 71° 29' 04" West, 64.10 feet; thence, North 89° 49' 23" West, 496.81 feet; thence, North 26° 50' 12" West, 148.43 feet; thence, North 00° 01' 05" West, 338.77 feet to the POINT OF BEGINNING.

Containing 331,688 square feet or 7.614 acres more or less.

OWNER'S CERTIFICATE:

KNOW ALL PERSONS BY THESE PRESENTS THAT: _____ Being all the lawful recorded owners of the property shown on this KENDALL BROOK SECOND SUBDIVISION General Development Plan, except any existing public streets, roads, or highways, do hereby certify that I/we accept the conditions and restrictions set forth on said plan and in the conditions of approval by the City of Loveland, dated _____, and that I/we consent to the recordation of any information pertaining thereto.

OWNER:

By: _____

STATE OF COLORADO)
ss.
COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this _____ day of _____, 20_____, by _____, as _____ of _____.

Witness my hand and official seal.

My Commission Expires: _____

Notary Public _____

LIENHOLDER:

By: _____

STATE OF _____)
ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20_____, by _____, as _____ of _____.

Witness my hand and official seal.

My commission expires _____.

Notary Public _____

PLANNING COMMISSION:

This preliminary plat of Kendall Brook Second Subdivision is hereby approved by the Planning Commission of the City of Loveland, Larimer County, Colorado, this _____ day of _____, 20_____, for the public dedications shown hereon, which are accepted, subject to the provision that approval in no way constitutes a final plat.

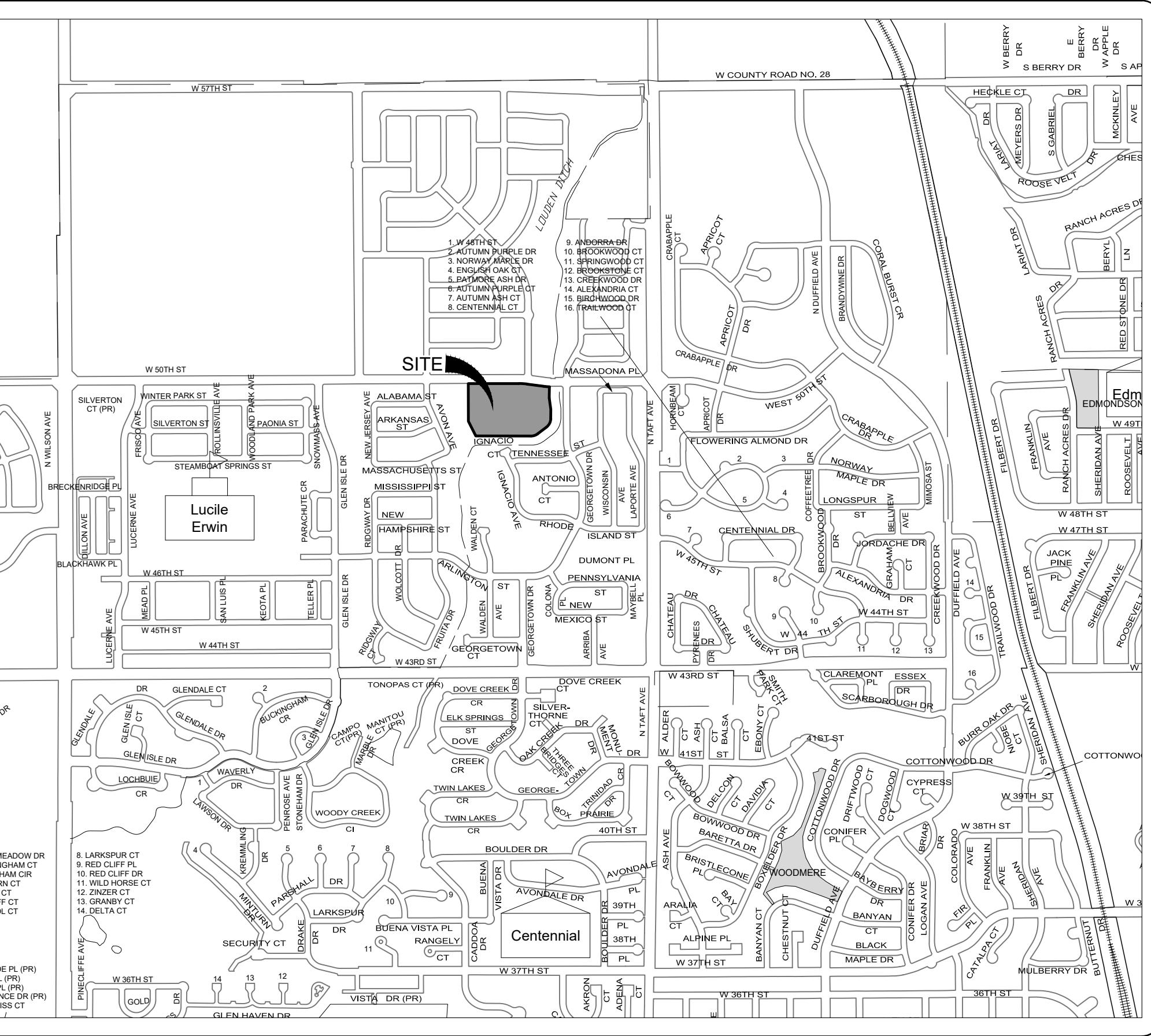
Planning Commission Chair _____

SURVEYOR'S CERTIFICATE:

I, Robert C. Tessely, being a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey of "KENDALL BROOK SECOND SUBDIVISION" was made by me or under my supervision and that the survey is accurately represented on this plat and that the statements contained hereon were read by me and the same are true to the best of my knowledge.

Dated this _____ day of _____, 20_____.
DRAFT
08-25-16

Robert C. Tessely
Colorado Registered Professional Land Surveyor No. 38470
For and on Behalf of Northern Engineering Services, Inc.



VICINITY MAP

1"=1000'

NOTES:

1. Basis of Bearings is the North line of the Southeast Quarter of Section 34-6-69 as bearing North 89° 58' 55" East (assumed bearing) and monumented as shown on drawing.

2. The lineal unit of measurement for this drawing is U.S. Survey Feet.

3. Easement note: Total area in square feet of easements dedicated to the public or the city by this plat. Total area in square feet:

Emergency Access Easement - 41,014 s.f.
Utility and Drainage Easement - 132,4221 s.f.
Public Access Easement - 7,312 s.f.
Utility Easements - 54,203 s.f.

Total area in square feet of easements dedicated to the public or the city that is being vacated by this plat. Total area in square feet - 0 s.f.

4. All information regarding easements, rights-of-way or title of record, Northern Engineering relied upon Order No. FCC25137856, dated February 4, 2016, prepared by Land Title Guarantee Company.

5. Unless otherwise approved by the city, all unsatisfied conditions of approval for the original subdivision shall continue to apply to this property.

6. All easements and lots lines from Outlot A, Kendall Brook First Subdivision, Reception No. 2002001552, are vacated by the filing of this Plat, unless otherwise shown on this Plat.

7. The subject property is currently zoned "P-49 Kendall Brook PUD," per City of Loveland Zoning District Map, revision date January 2016.

8. Subject property is not in FEMA designated floodplain and is in an area of minimal flood hazard per FIRM Panel 08069C1200F effective 12-19-2006.

9. Maintenance and upkeep of Stormwater detention ponds, storm sewer systems, swales, and permanent Stormwater quality improvements are required by the City of Loveland and are a continuing obligation of the homeowner association (HOA) or private property owner. The owner(s) or responsible parties (HOA) shall provide ongoing maintenance to the private Stormwater improvements as needed to maintain compliance with the approved construction plans and reports.

KENDALL BROOK SECOND SUBDIVISION
CITY OF LOVELAND
STATE OF COLORADO

Sheet 1
Of 2 Sheets

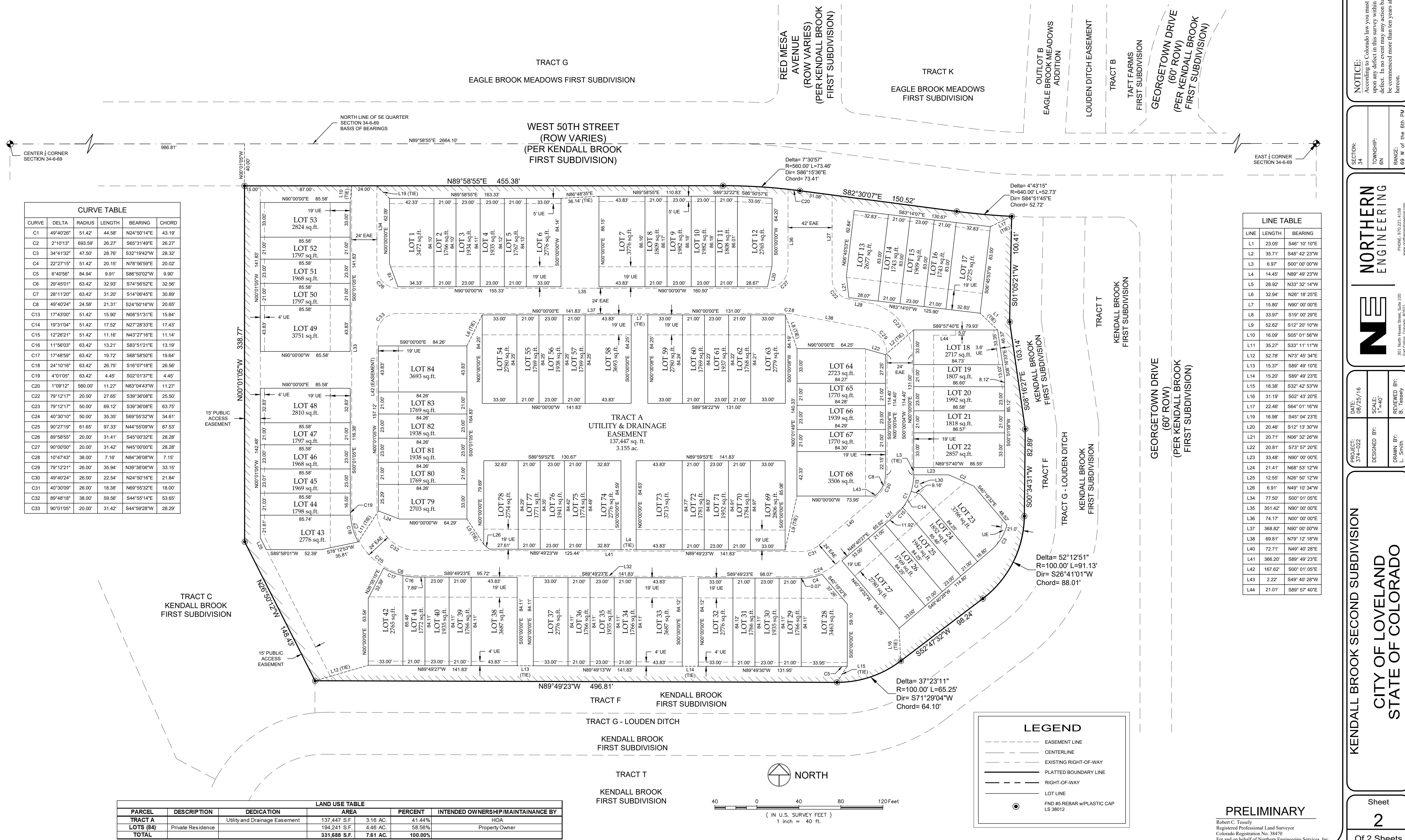
NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may an action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown herein.

SECTION: 34
TOWNSHIP: 6N
RANGE: 69 W of the 6th P.M.
PHONE: 509-221-4158
www.northernengineering.com

DATE: 08/25/16
DESIGNED BY: N.A.
DRAWN BY: L. Smith
REVIEWED BY: B. Tessely

KENDALL BROOK SECOND SUBDIVISION

BEING A SUBDIVISION OF OUTLOT A, KENDALL BROOK FIRST SUBDIVISION, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO



NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years from the date of the certificate shown hereon.

SECTION: 34
TOWNSHIP: 6N
RANGE: 69W of the 6th P.M.

LINE TABLE
LINE LENGTH BEARING
L1 23.05 S46° 10' 10"E
L2 35.71 S48° 42' 23"E
L3 6.97 S00° 00' 00"W
L4 14.45 N89° 49' 23"E
L5 28.92 N33° 32' 14"E
L6 32.94 N26° 18' 25"E
L7 15.80 N90° 00' 00"E
L8 33.97 S19° 00' 29"E
L9 52.62 S12° 20' 10"W
L10 16.09 S05° 01' 56"W
L11 35.27 S33° 11' 11"W
L12 52.78 N73° 45' 34"E
L13 15.37 S89° 49' 10"E
L14 15.20 S89° 49' 23"E
L15 18.38 S32° 42' 53"W
L16 31.19 S02° 43' 20"E
L17 22.46 S64° 01' 16"W
L18 16.98 S45° 04' 23"E
L19 20.46 S12° 13' 30"W
L20 20.71 N06° 32' 26"W
L21 20.81 S73° 57' 20"E
L22 33.48 N90° 00' 00"E
L23 21.41 N68° 53' 12"W
L24 12.55 N26° 50' 12"W
L25 6.91 N49° 10' 34"W
L26 77.50 S00° 01' 05"E
L27 35.14 S00° 01' 05"E
L28 21.47 N00° 00' 00"E
L29 36.82 N90° 00' 00"W
L30 69.81 N79° 12' 18"W
L31 72.71 N49° 40' 28"E
L32 366.20 S89° 49' 23"E
L33 167.62 S00° 01' 05"E
L34 2.22 S49° 40' 28"W
L35 21.01 S89° 57' 40"E

www.northernengineering.com
301 North Howes Street, Suite 100
Fort Collins, Colorado 80522

KENDALL BROOK SECOND SUBDIVISION
CITY OF LOVELAND STATE OF COLORADO

Sheet 2
Of 2 Sheets

Current Planning

- A minimum of 8 acres shall be zoned for multi-family apartment units. (Area E-1 relocated to B-1, and area B-1 relocated to E-1)
- Lots with less than 65 feet of frontage on a public street right of way shall not be permitted a garage where garage doors for more than two cars are visible as part of the front building elevation.
- Additional architectural conditions:
 - The minimum square footage of single story homes would be 1350 square feet for a ranch and 1600 square feet for a 2 story or tri-level.
 - Detached residential units with a 2 or 3 car garage shall not be required to taper the driveway from the garage door to the face of the curb.
 - On 50% of the lots having frontage on a public street, garage doors that are visible as part of front building elevations shall be recessed behind either the front facade of the living portion of the dwelling or a covered porch by at least four (4) feet. Covered porches referred to in this condition shall measure at least eight (8) feet across the front of the building, by six (6) feet deep. This requirement shall not apply to side or rear loaded garages.
- Garage doors visible as part of front building elevations shall not comprise more than fifty (50) percent of the ground floor street-facing linear building frontage. This requirement shall not apply to side or rear loaded garages.
- Covenants shall be submitted with subsequent PDP applications and executed with approval of the PDP.
- A commercial lighting plan shall be submitted with the preliminary development plans within Zoning Areas G and H as depicted on the GDP.
- A written statement from the Louden Ditch Company representatives indicating any concerns they may have shall be included and incorporated into subsequent preliminary development plans.
- All signage shall require a separate sign permit and comply with the Loveland Municipal Code.
- Easements for the Louden Ditch, Dry Creek and wetland areas shall not be included in the calculation for open space play fields, which shall be required at a rate of one acre for every 100 residential units.

10. The minimum building setback for commercial buildings, when a commercial building is adjacent to residential uses, shall be thirty-five (35) feet and an easement, no less than six (6) feet in height shall be provided within this setback area. The setback area shall be landscaped in accordance with the City's Site Development Performance Standards and Guidelines.

11. Architecture within Zoning Areas G and H as depicted on the GDP shall incorporate a consistent and compatible architecture designed to minimize corporate architecture. Roofs within this area shall have no less than two (2) of the following features:

a. parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed fifteen (15) percent of the height of the supporting wall and such parapets shall not at any point exceed one-third (1/3) of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment;

b. overhanging eaves, extending no less than three (3) feet past the supporting walls;

c. sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to one (1) foot of vertical rise for every three (3) feet of horizontal run;

d. three (3) or more roof slope planes.

12. All parking lots shall be set back a minimum distance of 40 feet from any public right-of-way and shall be screened from surrounding public streets, sidewalks, parks, and other properties used by the public by a minimum 4 foot high berm and landscaping in compliance with the City's Site Development Performance Standards and Guidelines.

13. In addition to compliance with Chapter 18.50 of the City Municipal code, all signs shall comply with the design guidelines set forth in Section 6.2 of the Loveland Comprehensive Master Plan.

14. View corridors from Taft Avenue looking west shall be identified and preserved.

15. All building heights for structures located within Zoning Area H and on the row of lots adjacent to Taft Avenue in zoning areas F and D-1 shall be measured from the existing grade and limited to 35 feet in height as measured by City of Loveland standards.

16. Building height shall be measured as per the Loveland Municipal Code, as may be amended.

17. Fencing shall be in accordance with the Loveland Municipal Code.

18. All chemicals, gasoline, waste oils, fertilizers, and hydraulic fluids shall be properly disposed of in accordance with Larimer County, State of Colorado, and Federal Requirements no later than September 15, 2005.

19. A minimum four-foot high fence shall be placed around the perimeter of the farming operations area prior to the issuance of the first certificate of occupancy within this development.

20. All conditions of approval shall be placed on the GDP mylar prior to recordation.

21. All elements within Exhibit B of Attachment B shall be incorporated into this FUD and illustrated or itemized as conditions on the GDP mylar prior to recordation.

Water Conditions

22. As per the Dry Creek Master Drainage Plan update by the Bear Brown Group, storm drainage releases from this project shall be limited to 10 year historic.

Drainage recommendations contained within the master drainage plan update shall be adhered to by this project.

Fire Prevention Conditions

23. All 25 feet wide streets shall be signed NO PARKING on one side.

24. Hydrants shall provide a minimum of 1,000 gpm at 20 psi. No structures shall be further than 300 feet from a hydrant. Average spacing between hydrants shall be 600 feet.

25. Construction phasing shall not create dead-end streets or water lines.

26. Cul-de-sacs shall be a minimum radius of 50 feet flow-line to flow-line.

27. Dead-end streets shall be no more than 400 feet in length.

Engineering Conditions

28. With each subsequent submittal of a preliminary development plan, the Developer shall provide a School Routing Plan for approval by the School District and the City.

29. All roadway cross sections must conform to City standards and the knuckle extending south off West 50th Street shall be deleted and an alternate means of serving the property shall be approved as part of the preliminary development plan.

30. For any newly constructed parcels, the Developer shall design and construct ultimate street, bike and pedestrian improvements for Taft Avenue to a full width Major Arterial Standard. The width of improvements shall extend from the intersection of West 43rd Street to the north property line. Additionally, the Developer shall be responsible for the design and construction of all off-site street improvements to accommodate transitions to existing roadway improvements within Larimer County's jurisdiction. Specific construction phasing and scope of the street improvements shall be determined at the time of a preliminary development plan submittal.

31. The Developer shall design and construct ultimate street, bike and pedestrian improvements for West 43rd Street to a Major Arterial Street standard. The improvements shall extend from the intersection of Taft Avenue to intersection of Glen Isle Drive and shall include all necessary transitions to properly interface with street improvements associated with Sharrowock West 2nd Subdivision and existing intersection improvements at Glen Isle Drive and West 43rd Street. Said improvements shall be constructed before issuance of the first building permit within the PUD.

32. The Developer shall design and construct ultimate street, bike and pedestrian improvements for West 50th Street to a full width Major Collector Street standard (less than 50 feet along the north side of W. 50th Street). The improvements shall begin at the intersection of Taft Avenue and the north property line with Taft Avenue and shall extend to the west property line. If the Developer desires to design and construct West 50th Street entirely on the subject property, the north right-of-way shall be coterminous with the north property line up to a point of divergence to accommodate alignment with West 50th Street, as shown on the Harvest Gold 2nd Subdivision Preliminary Development Plan. Specific construction phasing and scope of the street improvements shall be determined at the time of a preliminary development plan submittal.

33. The Developer shall be responsible for obtaining necessary off-site right-of-way to accommodate required street improvements on Taft Avenue, West 43rd Street and West 50th Street. Specific right-of-way requirements shall be determined at the time of Preliminary Development Plan submittal. All specific right-of-way shall be either dedicated or under legal contract to purchase, prior to approval of a Preliminary Development Plan.

34. The Developer shall dedicate 50' of on-site right-of-way along the south property line, from the Louden Ditch to the west property line, for West 43rd Street.

35. The Developer shall dedicate necessary on-site right-of-way along the entire east property line to bring the total west half of right-of-way for Taft Avenue to 70'.

36. The Developer shall obtain approval from Larimer County regarding necessary off-site street improvements and right-of-way requirements on Taft Avenue. County approval(s) and evidence of dedicated right-of-way shall be in place prior to the City's approval of a preliminary development plan.

37. The Developer shall dedicate sufficient on-site right-of-way at the southeast corner of West 50th Street and Taft Avenue to accommodate a future roundabout. Specific right-of-way requirements shall be determined at the time of a Preliminary Development Plan submittal.

38. The Developer shall design and install all necessary traffic signals unless the City has same scheduled for installation at the time signal warrants are met. Warrants shall be analyzed as part of Traffic Impact Studies for future development applications. If the Developer installs the traffic signal(s), the City will reimburse all associated costs pursuant to the City's CEF policy.

Power Conditions

39. The property being annexed into the City of Loveland currently is located within the REA certified territory, and this property shall be subject to a five percent (5%) surcharge on electrical energy as defined in 40-915-204, CRS, and the City of Loveland Municipal Code 13.12.180. This surcharge shall apply to any subsequent subdivisions of property annexed after January 31, 1987 within the REA certified service territory.

40. The following note shall be added to the final plat: "A surcharge of 5% will be added to all bills for the sale of electric power to additional services which came into existence after January 31, 1987, within the territory herein annexed, which surcharge will expire ten years after effective date of this annexation."

Building Conditions

41. A demolition permit shall be required for the removal of any existing structures.

KENDALL BROOK

Being a General Development Plan of Tract A,
Kendall Brook Addition
LOVELAND, COLORADO
CHATEAU DEVELOPMENT COMPANYNUSZER
KOPATZ

urban design associates
1129 CHEROKEE STREET
DENVER, COLORADO 80204
303.534.3881
303.534.3884 (FAX)
nuspatz@ao.com

Owner:
Chateau Development Company
8101 E. Prentiss Ave.
Suite 615
Greenwood Village, CO 80111
303.771.8854 (Voice)
303.694.3332 (FAX)

SIGNATURE BLOCK

Ownership Certification
The undersigned, have ownership in the land included in this PUD, hereby consent to the preparation and recordings of this General Development Plan.

Ownership of Parcel 1 only

FAMLECO, RLLP

BY: MANCORP., its GENERAL PARTNER

BY: CLARENCE H. STUMP, JR. PRESIDENT

By *Clarence H. Stump, Jr.*
Its President

CLARENCE H. STUMP, JR.
EMILY J. STUMP

Approved this 21st day of September, 2000

Ownership of the remaining parcels

Kendall Brook LLC
a Colorado Limited Liability Company

BY: Bradford C. Bennett, Manager

By *Bradford C. Bennett*
Its Manager

Approved this 20 day of Sept., 2000

Lienholder as to remaining parcels only

COMPASS BANK

By *Terry L. Chen*
Its Executive Vice President

Approved this 20 day of September, 2000

City Approvals

Approved this 26th day of September, 2000, by the
Current Planning Manager of the City of Loveland, Colorado.By *John W. McElroy*
Current Planning ManagerApproved this 26th day of September, 2000,
by the City Engineer of the City of Loveland, Colorado.By *Guy McElroy*
City EngineerApproved this 26th day of September, 2000,
by the City Attorney of the City of Loveland, Colorado.By *Jean S. Quatromani*
City AttorneyApproved this day of , 2000,
by the Planning Commission of the City of Loveland, Colorado.By *John W. McElroy*
ChairpersonApproved this 26th day of September, 2000,
by the City Council of the City of Loveland, Colorado.By *Hathleen T. McElroy*
MayorBy *Kristen K. Bashor*
Attest

SEAL
CITY OF LOVELAND
COLORADO

By *James Sudman*
Loden Ditch Co.STATE OF COLORADO)
) ss.

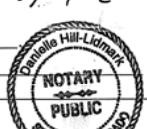
))

The foregoing instrument was acknowledged before me this 21st
day of September, 2000, by *Danielle Hill-Bidwell*.

Witness my hand and official seal.

My Commission expires 12/27/02

Notary Public



SHEET INDEX

- 1 2 NARRATIVE AND SIGNATURE BLOCK
3 GENERAL DEVELOPMENT PLAN
4 TYPICAL DETAILS ? ELEVATIONS

Kendall Brook GDP Narrative
Loveland, Colorado
Chateau Development Company

PROJECT: 991014
DRAWN BY: HT
CHECK BY: CK
ISSUE DATE: 06/22/98
REVISIONS: 01/23/98
02/12/99
04/23/99
09/10/99
11/12/99
12/5/99
DRAFT: 03/11/00
05/04/00
06/14/00
SHEET TITLE: GDP NARRATIVE SHEET
SHEET NUMBER: 1
1 OF 4

PROJECT:	991014
DRAWN BY:	
CHECK BY:	
ISSUE DATE:	06/22/98
REVISIONS:	06/23/98 07/29/98 08/23/98

SHEET TITLE:	G.D.P. NARRATIVE SHEET
SHEET NUMBER:	

B. Edge Treatment

1. Architecture

One of the most important aspects of the development's overall appearance as viewed from its edge is the appearance of the structures. To provide visual interest and avoid unattractive views from adjoining streets, visible rear and side elevations of residential structures along major and minor arterial streets shall be detailed with a combination of one or more of the following architectural elements: roof line articulation, variety of exterior materials, design-integrated windows and window treatments, and porches or decks. These elements shall be used to create an interesting and attractive streetscape along major and minor arterial streets along the edge of Kendall Brook (North Taft Ave., and West 43rd Street and West 50th Streets).

To the extent possible, long stretches of double frontage lots will be avoided.

2. Landscaping

Perimeter landscaping and grading have a number of edge functions, including separation of uses, noise mitigation, recreational opportunities, aesthetic qualities, and storm drainage management. Perimeter landscaping will be used where appropriate to create a visually interesting streetscape and enhance views of the neighborhood from off-site.

3. Access

Two major entry points are proposed from West 43rd and West 50th Streets. Additional access to the west is planned. Entries will be designed with the development's overall theme in terms of landscape and architectural treatment.

4. Fencing

The use of fencing as an element of the development's residential edge treatments will be minimized. The dominant form of edge treatment will be landscaping. Perimeter fencing will be limited to a maximum of six (6) feet in height and shall be used in conjunction with landscaping and buffering, where appropriate, to act as a noise or visual buffer between the development and adjacent land uses.

Design specifications for fencing will be defined in Covenants for the development, which will be submitted with Preliminary and/or Final Development Plans. Fences with chain link shall not be permitted.

All Fencing will be managed by the Architectural Review Committee.

Fences will be allowed on private lots according to the following criteria:

- * Front yard fencing shall not be permitted
- * Backyard fencing between lots: 6' privacy fences will be permitted.
- * Backyard fencing on corner lots: 6' privacy fences will be permitted, setback a minimum of 10' from adjacent sidewalk, or property line where no walk is present.
- * Fencing adjacent to open spaces: May be open, limited to a maximum height of 48".
- * Side and Backyard fencing adjacent to arterial roadways: At a minimum of 15' from a public street right-of-way boundary, fencing shall be limited to a maximum height of 6 feet.

C. Landscaping

1. Overall Concept
Landscaping will be designed with a comprehensive theme for the entire development. The property/identity features will be designed to complement the site design. By maximizing use of the planned open spaces, a sense of openness will be achieved. Collector streets will be designed with detached sidewalks, street trees, and tree lawns between the walk and the curb. The overall concept will be to treat the roadways as tree-lined lanes reflective of early, established communities typical of northern Colorado.

Minimum clearances of 4 feet will be maintained from all underground utilities.

2. Maintenance

The landscaped areas of the development, including perimeter areas, common open space, and entry features, will be maintained by appropriate Owners' Association(s). Landscaping on private lots is the responsibility of that owner.

3. Dry Creek

Landscaping for the areas along Dry Creek will be planted with native species designed to enhance wildlife values and improve the water quality of Dry Creek. Detail of these plantings will be provided with PDP and FDP submittals.

D. Architecture

1. Overall Concept

To ensure an attractive and desirable neighborhood, the following architectural elements must be incorporated into the design of all structures:

- a. A sloping roof with at least one break in the roof line
- b. Windows, exterior window treatments, and/or other similar architectural features on all elevations of the buildings (except patio, townhome, or similar building type where privacy is a factor in the placement of windows)
- c. Offsets and protrusions along exterior walls are encouraged
- d. Coordinated roofing materials, windows, building materials and finish, and accents to achieve a cohesive appearance
- e. No wood steps or stoops shall be allowed for front entries
- f. All homes will be required to have brick, stucco, stone, synthetic stone or other masonry on at least 75% of the first floor front elevations, excluding doors, garage doors and windows.
- g. There will be no three (3) garage on lots smaller than 65' in width, with the exception of alleys loaded or side loaded corner lots
- h. All roofs will be a minimum of 20-25 year composition roofing.
- i. No vinyl or aluminum siding will be allowed.
- j. All soffit dimensions will be a minimum of 12" wide.
- k. Where soffit plans are offered on a repeating basis, alternative elevations shall be developed and the same elevation shall not be repeated adjacent to or across the street from one another.
- l. The minimum square footage of single story homes shall be 1350 square feet for a ranch and 1600 square feet for a two story or tri-level.
- m. The maximum lot coverage shall be 50% including the building foot print, garage, porches, patio and driveways.

Non-residential architecture within zoning areas G and H as designated on the GDP shall incorporate a consistent and compatible architecture and not the typical corporate architecture traditionally utilized for fast food restaurants and convenience stores. Roofs within this area shall have not less than two (2) of the following features:

- a. parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed fifteen (15) percent of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment;
- b. overhanging eaves, extending no less than three (3) feet past the supporting walls;
- c. sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to one (1) foot of vertical rise for every three (3) feet of horizontal run;
- d. three (3) or more roof slope planes.

The provision of these elements in the architecture of Kendall Brook will serve to create an attractive streetscape and an identity for the development, and to provide visual interest and avoid unattractive views from adjoining streets and properties.

2. Materials

Potential building materials and forms are outlined below:

Siding - Brick, stone, hardboard lap siding, wood siding, stucco or synthetic stucco, or as allowed by the covenants and the building code.

Roofing - Asphalt shingles, tile, or as allowed by covenants and the building code

Architectural materials may include, but are not limited to, the use of brick, stone, lap or other wood siding, synthetic stucco, asphalt shingles, tiles, wood shingles (as allowed by city code), dormers, and covered porches.

3. Nonresidential Structures

Architecture within the area designated as the parcels G and H shall incorporate a consistent and compatible architecture, as opposed to typical "corporate architecture." Churches and other community and institutional services are not subject to the stipulation of "consistent" design, although it is encouraged that these facilities provide a varied and interesting design that is compatible with surrounding land uses and structures.

Roofs shall have no less than one of the following features, and the use of more than one of these elements is however strongly encouraged:

- * parapets featuring three-dimensional cornice treatment, concealing flat roofs and rooftop equipment (i.e., HVAC units) of an average height not to exceed 15% of the height of the supporting wall; and/or
- * minimum of 3-foot overhanging eaves; and/or
- * sloping roofs that do not exceed the average height of the supporting walls, with an average slope of 1:3; and/or
- * three or more roof slope planes.

In addition, a commercial lighting plan shall be submitted with the PDP for the commercial site, if applicable.

E. Landform Modification

The existing area within the Kendall Brook GDP has gently rolling topography generally falling from west to east. The development of the parcels within the Kendall Brook GDP will generally conform to existing topography, with minor grade modifications as needed to facilitate proper drainage.

Significant grade modifications that are anticipated include the development of three detention ponds to be located along the waterway(s) and wetland areas running through the site. Grade modifications in these areas are anticipated to involve the excavation of ponds with excavation depths ranging from 0-5 feet. Detailed grading design will be shown on subsequent Preliminary Development Plans (PDP) and Final Development Plans (FDP).

Grading will be designed to minimize the amount of stormwater runoff that enters the Louden Ditch.

3. IMPLEMENTATION

A. Regulatory Procedures

The following regulatory procedures shall apply to all development within the Kendall Brook Planned Unit Development, in accordance with Chapter 18.41 of the Loveland Municipal Code. It is the intent of this plan to provide a mechanism by which land can be developed in a manner that encourages flexibility and innovative design of residential development, in compliance with other applicable land use and development regulations in effect at the time of approval of this Plan.

1. Permitted Uses

Residential Areas - These uses are permitted in all Parcels of the Kendall Brook PUD Residential dwelling units as defined in 1.B.2 above; and:

public and private schools
churches or other religious facilities
community recreational facilities

home occupations as permitted by Loveland Municipal Code
farming and general agricultural practices, as described in 1.B.5. above

Mixed-Use Area G -

These uses are permitted in Parcel G of the Kendall Brook GDP Community uses, such as or similar to:

churches or other religious facilities
child and adult day care centers

Residential uses, such as or similar to:

multiple-unit assisted living or elderly housing centers
group care facilities
congregate care facilities
single family homes
duplex homes
condominiums
townhomes

And other uses as permitted by Special Review, per the Loveland Municipal Code Chapter 18.

Mixed-Use Area H -

These uses are permitted in Parcel H of the Kendall Brook GDP

Commercial uses, such as or similar to:

financial institutions
medical/dental labs
membership clubs
neighborhood shopping center
offices and clinics
printing and newspaper offices
personal service shops
retail laundry/dry cleaning stores
retail and/or wholesale stores
pharmacies

restaurants and other eating and drinking establishments, but not fast food
small animal hospital and clinic

Community uses, such as or similar to:

public and private schools
churches or other religious facilities
community recreational facilities
hospitals
nursery schools
child and adult day care centers
emergency service facilities (i.e., police, fire, government and semi-public uses)

Residential uses, such as or similar to:

multiple-unit assisted living or elderly housing centers
group care facilities
congregate care facilities

And other uses as permitted by Special Review, per the Loveland Municipal Code Chapter 18.

Seasonal uses typically associated with all uses as listed above will be allowed, subject to applicable health department and municipal codes of the City of Loveland. All applicable special permit processes shall apply.

Specific uses shall be indicated at the time a Final Development Plan is submitted for review. Any additional uses to be considered must be included on an amended General Development Plan or established developments may be modified by the procedure set forth in paragraph 9 - "Modifications".

2. Building Setbacks

The following minimum setbacks shall apply to all residential development within this PUD: All non-garage door setbacks are measured to the foundation wall/"building envelope"(see encirclements below)

Single Family Detached Homes

* Front - 15 ft. from property line to building envelope, 20 ft. to face of garage door.

* Side - 5 ft.

* Corner Side - 15 ft. from property line to building envelope, 20 ft. to face of garage door.

* Rear - 15 ft. on primary structures, 6 ft. on accessory structures, 3 ft. at garage doors on alleys.

Duplexes/Patio Homes/Court Yard Homes/Townhomes

* Front - 15 ft. from property line to building envelope or lot (as appropriate per housing type).

* Side - 0 ft., 10 ft. minimum between structures.

* Corner Side - 15 ft. from property line to building envelope.

* Rear - 15 ft. on primary structures, 6 ft. on accessory structures, 3 ft. at garage doors on alleys.

Multifamily/Condominiums

* 30 ft. from right-of-way or property lines.

* 15' between buildings.

Accessory structure setbacks for all residential uses

* Front - 15 ft. or front setback primary structure, whichever is greater.

* Side - 0 ft., 15 ft. on corners.

Encroachments

* Overhangs, fireplaces and cantilevers, including structural elements may encroach into required setback by no more than 24 inches.

All applicable U.B.C. codes for fire protection et. al. shall apply.

Where two townhomes/ multifamily etc. buildings are adjacent to each other, one of the end units shall be one story.

Staggered front yard setbacks will be required for all residential development except apartments. A staggering of residential building setbacks along all streets is required (i.e., every house must be staggered a minimum of 2' closer to, or further from, the right-of-way than the adjacent homes - 15' / 18' / 16' / 20'). To create a softer, less rigid streetscape, specific parameters shall be incorporated into Preliminary Development Plans.

The following minimum setbacks shall apply to all nonresidential development within this PUD: Nonresidential structures shall maintain a minimum 35-foot setback and shall be subject to the city code, with a 6-foot tall berm, adjacent to residential uses. The setback shall be landscaped in accordance with Loveland Site Development Performance Standards and Guidelines.

Nonresidential structures adjacent to public rights-of-way shall be setback a minimum of 20 feet, with appropriate bufferyards in accordance with the Loveland Site Development Performance Standards and Guidelines.

Roofs shall have no less than one of the following features, and the use of more than one of these elements is however strongly encouraged:

- * parapets featuring three-dimensional cornice treatment, concealing flat roofs and rooftop equipment (i.e., HVAC units) of an average height not to exceed 15% of the height of the supporting wall; and/or
- * minimum of 3-foot overhanging eaves; and/or
- * sloping roofs that do not exceed the average height of the supporting walls, with an average slope of 1:3; and/or
- * three or more roof slope planes.

In addition, a commercial lighting plan shall be submitted with the PDP for the commercial site, if applicable.

All parking lots shall be setback a minimum distance of 30 feet from any public right-of-way and 40' from arterial roadways, and shall be screened from surrounding public views by a minimum 3-foot high berm and landscaping in compliance with Loveland Site Development Performance Standards and Guidelines.

3. Development Setbacks from Louden Ditch and Dry Creek

To protect and enhance the existing wildlife corridor along the Louden Ditch and the inherent qualities of Dry Creek and the wetlands associated with this area, the following development setbacks apply to all development along the Louden Ditch and Dry Creek:

From Louden Ditch	Average	100 feet, Minimum	35 feet

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**NUSZER
KOPATZ**

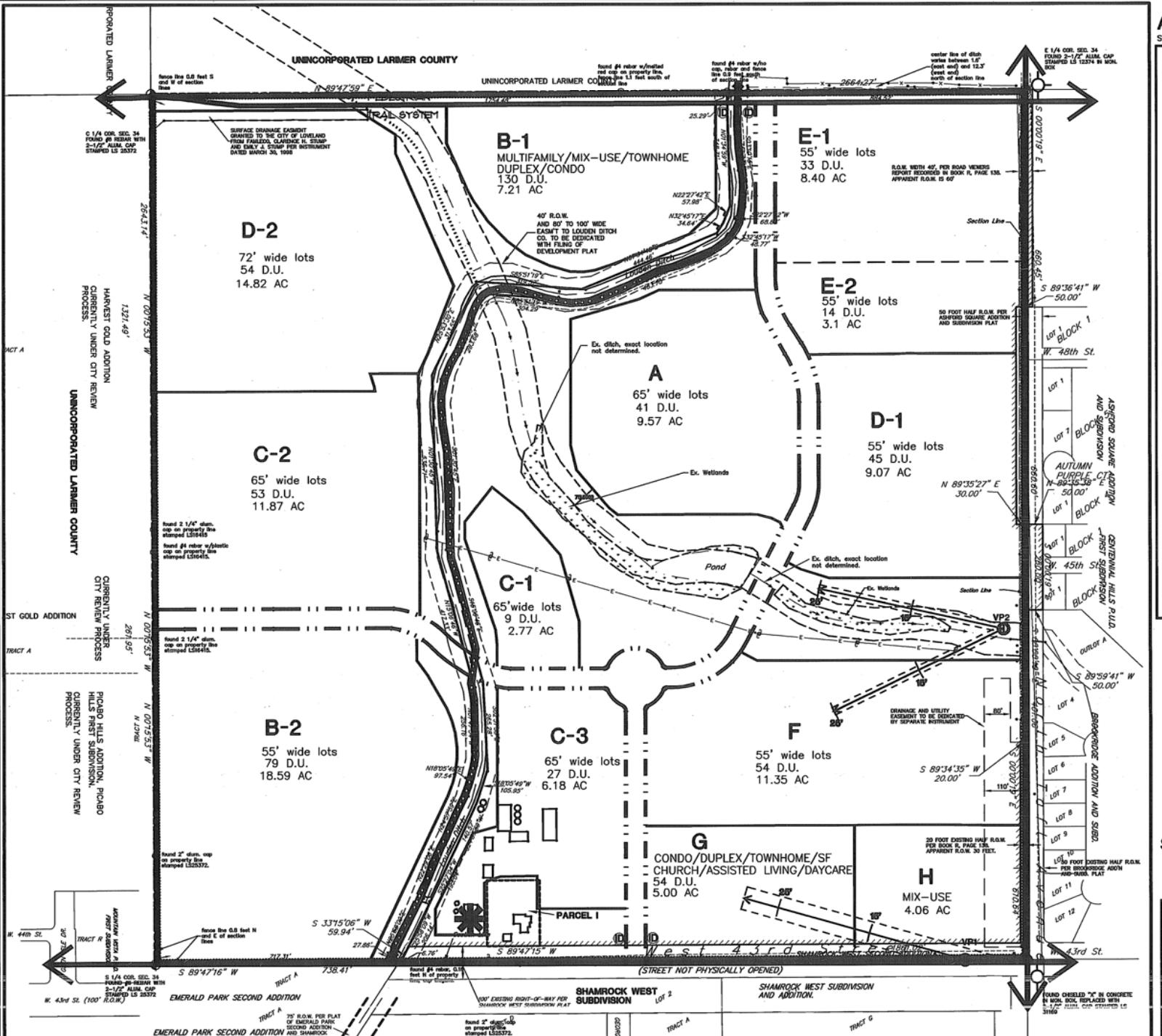
urban design associates

1129 CHEROKEE STREET
DENVER, COLORADO 80204
303.534.3881
303.534.3886 (FAX)
nuspatz@aol.com

Owner: Chateau Development Company
8101 E. Prentiss Ave
Suite 815
Greenwood Village, CO 80111
303.771.8854 (Voice)
303.694.3332 (FAX)

KENDALL BROOK G.D.P.

Loveland, Colorado
Chateau Development Company



PROPERTY DESCRIPTION

ALL TRACTS OF THE KENDALL BROOK ADDITION:
A TRACT OR PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPLE MERIDIAN, COUNTY OF LARIMER, STATE OF COLORADO; BEING A PORTION OF THE LANDS CONVEYED BY DEED RECORDED IN THE OFFICE OF THE LARIMER COUNTY CLERK AND RECORDED ON NOVEMBER 1, 1978 AT 9:28 A.M. IN BOOK 1903, PAGE 255; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.;

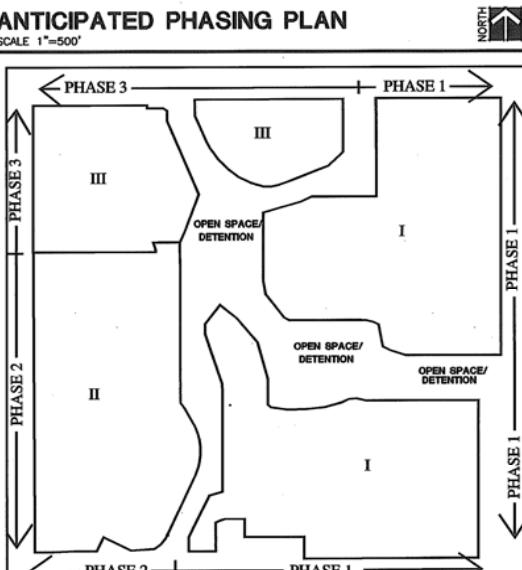
LESS AND EXCEPT THAT PORTION CONVEYED TO THE LOUDEN CANAL COMPANY BY DEED RECORDED IN BOOK L, PAGE 378 ON JANUARY 22, 1884, SAID PORTION BEING DESCRIBED AS A STRIP OF LAND FORTY FEET IN WIDTH, THROUGH THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP NUMBER SIX (6) NORTH OF RANGE SIXTY-NINE (69) WEST, WHERE THE CANAL OF THE ABOVE NAMED COMPANY IS NOW LOCATED, OR SO MUCH OF THE FORTY FEET IN WIDTH AS MAY BE REQUIRED FOR THE CANAL AND ALL NECESSARY EMBANKMENTS. SAID DESCRIBED LAND CONTAINS 158.82 ACRES AND IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORDED OR AS NOW EXIST ON THE GROUND.

BASIS OF BEARING STATEMENT
CONSIDERING THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 34, T6N, R69W AS BEARING N00°0'19" W AS SHOWN ON THE PLAT OF BROOKBRIDGE ADDITION AND SUBDIVISION RECORDED AT RECEPTION NO. 94034077, AND WITH TERMINI OF SAID LINE MARKED AS SHOWN ON THIS PLAT, WITH ALL OTHER BEARINGS RELATIVE THERETO.

LAND USE BREAKDOWN

PARCEL LANDUSE	PERMITTED USES **	APPROX. NO. UNITS	APPROX. ACRES	DENSITY *	PERCENT OF ALL UNITS	PERCENT OF SINGLE FAMILY
A SINGLE FAMILY	RESIDENTIAL AREA	41 DU	9.57 AC	4.28 DU/AC	7.6%	10.0%
B-1 MULTIFAMILY	RESIDENTIAL AREA	130 DU	7.21 AC	18.10 DU/AC	20.7%	NA
B-2 SINGLE FAMILY	RESIDENTIAL AREA	79 DU	18.59 AC	4.25 DU/AC	13.0%	19.3%
C-1 SINGLE F/DUPLEX/CONDO	RESIDENTIAL AREA	9 DU	2.77 AC	3.25 DU/AC	2.4%	2.2%
C-2 SINGLE FAMILY	RESIDENTIAL AREA	53 DU	11.87 AC	4.47 DU/AC	9.1%	12.9%
C-3 SINGLE FAMILY	RESIDENTIAL AREA	27 DU	6.18 AC	4.37 DU/AC	6.0%	6.6%
D-1 SINGLE FAMILY/DUPLEX/CONDO	RESIDENTIAL AREA	45 DU	9.07 AC	4.96 DU/AC	7.2%	11.0%
D-2 SINGLE FAMILY	RESIDENTIAL AREA	54 DU	14.82 AC	3.64 DU/AC	8.7%	13.2%
E-1 SINGLE FAMILY	RESIDENTIAL AREA	33 DU	8.40 AC	3.92 DU/AC	5.2%	8.0%
E-2 SINGLE FAMILY	RESIDENTIAL AREA	14 DU	3.10 AC	4.52 DU/AC	2.2%	3.4%
F SINGLE FAMILY	RESIDENTIAL AREA	54 DU	11.35 AC	4.76 DU/AC	9.1%	13.2%
G MIXED-USE ***	MIXED-USE ***	54 DU	5.00 AC	10.80 DU/AC	8.6%	NA
H MIXED-USE	MIXED-USE ***	NA	4.06 AC	NA	NA	NA
PARCEL I SINGLE FAMILY	RESIDENTIAL AREA	1	0.997 AC	1.00 DU/AC	0.2%	0.2%
NA OPEN SPACE	OPEN SPACE	NA	31.06 AC	NA	NA	NA
NA INTERIOR MINOR R.O.W.	R.O.W.	NA	14.77 AC	NA	NA	NA
TOTAL		594 DU	158.82 AC	3.74 DU/AC	100%	100%
TOTAL FOR SINGLE FAMILY PARCELS (includes parcels A, B-2, C's, D's, E's, F)		410 DU	146.61 AC	2.79 DU/AC	69%	100%
TOTAL FOR MULTI-FAMILY ? MIX-USE RESIDENTIAL (includes parcels B-1, G, H)		184 DU	12.21 AC	15.07 DU/AC	31%	NA
* DENSITY ON EACH P.D.P. MAY VARY TO INCLUDE DENSITIES AND TOTAL NUMBER OF UNITS WITHIN 10% (GREATER OR LOWER) OF THE MAXIMUM APPROVED DENSITY AND TOTAL NUMBER OF UNITS SHOWN ON THE G.D.P.						
** TOTAL OPEN SPACE TO BE 20% MINIMUM (SEE GENERAL NOTE #4)						
*** SEE SECTION 3A(1) G.D.P. NARRATIVE SHEET RESIDENTIAL AREA AND MIXED-USE (COMMERCIAL, COMMUNITY, & RESIDENTIAL USES)						
**** MIXED-USE IN PARCELS G AND H HAVE LIMITED USES. PER SECTION 3A(1).						

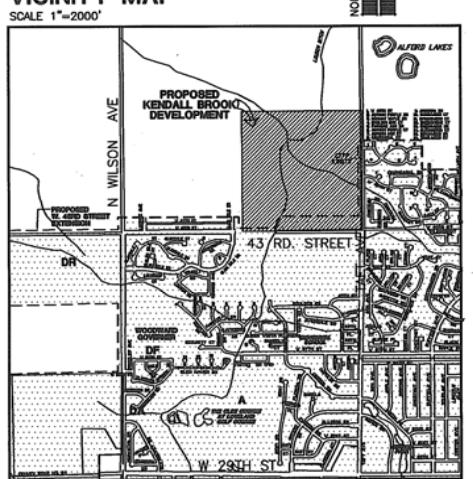
Attachment 3



GENERAL NOTES

1. THE NUMBER OF UNITS SHOWN FOR EACH PHASE IS THE MAXIMUM (10%+/-) ANTICIPATED IN THAT PHASE.
2. AREAS SHOWN REPRESENT RESIDENTIAL AND MIXED-USE AREAS AND MAY CHANGE WITH THE PDP AND FDP.
3. LOTS SIZES WILL BE DETERMINED WITH EACH PRELIMINARY AND FINAL SUBMITTAL.
4. ACREAGE EQUAL TO A MINIMUM OF 20% OF THE GROSS RESIDENTIAL SITE AREA SHALL BE DESIGNATED FOR OPEN SPACE WITHIN THE OVERALL G.D.P. THIS OPEN SPACE MAY INCLUDE DRAINAGE AREAS, DETENTION PONDS, GREENBELTS, BUFFERYARDS RECREATIONAL FACILITIES, STREETSCAPE GREENBELTS, TRAIL CONNECTIONS, OR OTHER SIMILAR FEATURES.
5. FINAL CONFIGURATION OF PHASES AND OPEN SPACE AREAS MAY VARY FROM THAT SHOWN.
6. THE DEVELOPERS AND OWNERS OF KENDALL BROOK WILL WORK WITH ADJACENT PROPERTIES TO COORDINATE ACCESS AND CIRCULATION BETWEEN PROPERTIES.
7. DENSITY ON EACH PHASE MAY VARY TO INCLUDE DENSITIES AND TOTAL NUMBER OF UNITS WITHIN 10%+/- OF THE MAXIMUM APPROVED DENSITY AND TOTAL NUMBER OF UNITS SHOWN ON THE G.D.P. FOR EACH PARCEL.
8. PARCEL I SHALL REMAIN AS A 0.997 ACRE LOT FOR THE EXISTING SINGLE FAMILY HOME AND DETACHED GARAGE.
9. A 20' EASEMENT FOR A 10' CITY MULTI-USE TRAIL ALONG THE LOUDEN DITCH WILL BE DEDICATED TO THE CITY OF LOVELAND PARK AND RECREATION DISTRICT WITH THE FILING OF ADJACENT PLATS.
10. SIGNIFICANT VIEWS OF LONG'S PEAK AND THE MUMMY RANGE HAVE BEEN PROTECTED, USING THE FORMULAS SHOWN IN THE U.S. 34 CORRIDOR PLAN.
11. OPEN SPACE PLAYFIELDS SHALL BE DEVELOPED AT A RATE OF 1 ACRE PER 100 DWELLING UNITS.
12. NO PORTION OF ANY STRUCTURE WITHIN THE VIEW CORRIDOR AS SHOWN ON THIS PLAN MAY BE TALLER THAN THE HEIGHT AS INDICATED IN THE VIEW CORRIDOR ASSUMPTIONS AND CALCULATIONS.
13. A MINIMUM OF 8 ACRES SHALL BE ZONED FOR MULTI-FAMILY APARTMENT UNITS. SEE PARCEL B-1.

VICINITY MAP



SCALE 1"=200'

LEGEND

- MAJOR TRAFFIC CIRCULATION
- ④ ENTRY IDENTIFICATION FEATURE
- TRAFFIC CIRCLE
- VIEW CORRIDOR

VIEW CORRIDOR ASSUMPTIONS ? CALCULATIONS

VIEW POINTS

VIEWPOINT 1 - VEHICULAR
5 SECONDS AT 40 MPH = 293 FEET

VIEWPOINT 2 - PEDESTRIAN
5 SECONDS AT 3 MPH = 293 FEET

HORIZONTAL VIEW ANGLES

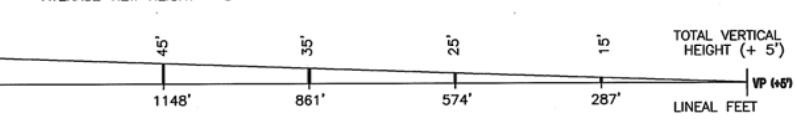
VPI	LONGS PEAK	CACHE LAPE	MT. CHIQUITA
VPI	24.3° SW-25.3° SW	14° NW	0.8° NW
VP2	25° SW-26° SW	13.5° NW	0°

VERTICAL VIEW ANGLES

VIEWPOINT ELEVATIONS 5000' (APPROX)
FOREGROUND VIEW ELEVATIONS 8000'
NET GAIN 2940'
DISTANCE FROM VIEW POINTS TO 8000' FOREGROUND IS APPROXIMATELY 84,480 FT (16 MILES)

VIEW/HEIGHT RELATIONSHIP

(1'28.7") = 1 FOOT PER 28.7 LINEAL FEET
AVERAGE' VIEW HEIGHT = 5'



GENERAL DEVELOPMENT PLAN

SHEET NUMBER

30F4

KENDALL BROOK
GENERAL DEVELOPMENT PLAN - SHEET 3 OF 4



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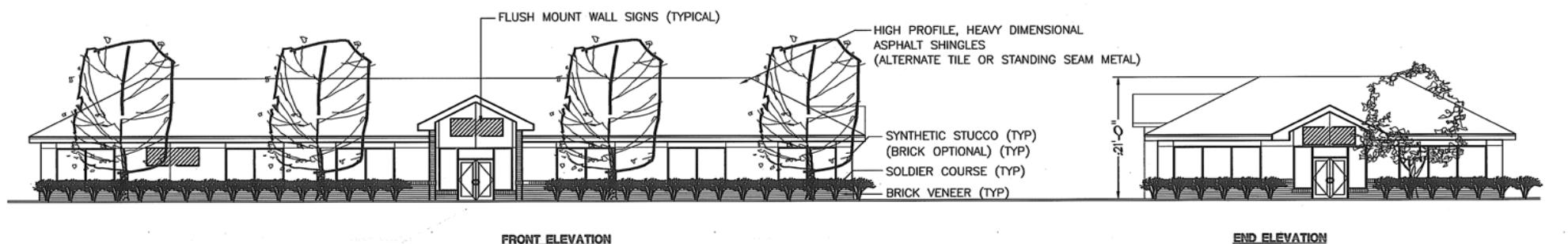
Kendall Brook GDP Details/Elevations

Loveland, Colorado
Chateau Development Company

PROJECT: 991014
DRAWN BY:
CHECK BY:
ISSUE DATE: 06/22/98
REVISIONS: 02/12/99
04/23/99
09/10/99
12/15/99
Draft 03/17/00
05/04/00
06/14/00

SHEET TITLE
**GDP
DETAILS &
ELEVATIONS**
SHEET NUMBER

4 OF 4



CONCEPTUAL PARCELS G ? H ELEVATIONS - NON-RESIDENTIAL

NOT TO SCALE



CONCEPTUAL CONDOMINIUM ELEVATIONS

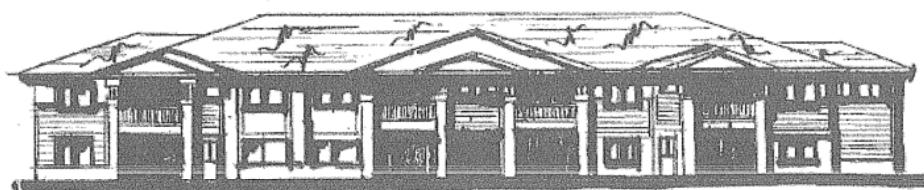
NOT TO SCALE



TYPICAL MIXED USE COMMUNITY ENTRY SIGN



TYPICAL NEIGHBORHOOD IDENTITY SIGN



THESE SIGN ELEVATIONS ARE INTENDED TO ILLUSTRATE CONCEPTS AND IDEAS ONLY. FINAL DESIGN OF ALL SIGNS MAY VARY FROM THAT SHOWN. ADDITIONAL SIGNAGE DESIGN INFORMATION IS TO BE PROVIDED WITH PRELIMINARY AND FINAL SUBMITTALS. ALL SIGNS ARE TO COMPLY WITH THE SIGN CODE AND RECEIVE SEPARATE SIGN PERMITS UNLESS SPECIFIC VARIANCES ARE GRANTED, AND SHALL HAVE A HORIZONTAL PRESENTATION.

CONCEPTUAL SIGN ELEVATIONS

FINAL ELEVATIONS MAY VARY

NOT TO SCALE



CONCEPTUAL APARTMENT ELEVATIONS

NOT TO SCALE

GENERAL NOTES

1. ALL LAYOUTS ILLUSTRATED HERE ARE INTENDED TO SHOW BASIC CONCEPTS AND DESIGN IDEAS, NOT FINAL DESIGNS.
2. DESIGNS AND LAYOUTS PROPOSED ON THE PRELIMINARY AND FINAL SITE PLANS MAY VARY FROM THOSE CONCEPTS SHOWN HERE.
3. ALL PRELIMINARY AND FINAL PLANS MUST BE APPROVED BY THE CITY OF LOVELAND.

I. PROJECT DESCRIPTION

1. Overall Summary of the PUD

The following development standards and project descriptions pertain to a replat of Outlot A, Kendall Brook First Subdivision located in the Kendall Brook PUD. The Kendall Brook project area is 7.21 acres in size and is being developed on vacant land within the approved Kendall Brook General Development Plan (GDP). The Kendall Brook GDP approved this parcel for a total of 130 units. After initial meetings with the neighborhood residents, density was a large concern for them. This new project takes those concerns into account and is proposed to be 87 units. The town homes will be for sale units with a total of 16 buildings.

Key elements:

- Front elevations facing out from the property or inward toward the proposed pocket park
- Front porches and private front yards on all units
- Each unit has a 2-car garage with 2 additional tandem surface parking spaces
- 34 additional guest parking spaces located throughout
- Units are comprised of 2 and 3 bedroom plans. All end units have a main floor master bedroom
- All units have full basements
- Gas and Electrical meter banks will be screened.

The project provides a complimentary product type to the existing neighborhood. The combination of floor plans appeals to a wide variety of homebuyers – from first time buyers to empty nesters.

- A. To provide for necessary commercial, recreational, and educational facilities conveniently located to housing:
 - *As part of the Kendall Brook PUD, this project is centrally located in an area that has a variety of commercial businesses schools and recreational opportunities within close proximity.*
- B. To provide for well-located, clean, safe and pleasant industrial sites involving a minimum of strain on transportation facilities.
 - *The Kendall Brook community is a multi-family development, however there are industrial sites nearby that may possibly provide employment to residents. Therefore, making it more convenient for residents to get to work and limiting the strain on transportation facilities.*

- C. To encourage that the provisions of the zoning laws which direct uniform treatment of dwelling type, bulk density, and open space within each zoning district will not be applied to the development of multi-family projects.
 - *The Kendall Brook project is a master planned Town Home community that utilizes efficient and smart growth planning principles to create attractive and much needed housing for the City of Loveland. The roadway and pedestrian circulation is situated to take advantage of scenic views, and connectivity to existing streets, recreational trails and businesses within close proximity.*
- D. To encourage innovation in residential, commercial, and industrial development and renewal so that the growing demands of the population may be met by greater variety in type, design, and layout of buildings and by the conservation and more efficient use of open space ancillary to said buildings.
 - *The Kendall Brook architecture proposes attractive and interesting building types that will blend into the surrounding area. A variety of different exterior finishes and materials are proposed with the building design to create a timeless architecture, reflective of the Colorado vernacular. The palette of colors will be appropriate to the Kendall Brook PUD and the immediate neighborhood, using earth tones and complimentary accent colors. Surrounding landscaping will complement the architecture with a variety of ornamental grasses, shrubs, and trees adapted to Colorado's climate.*

The overall architectural concept will emphasize the following elements:

- *Building form and character shall be of an appropriate scale. Design considerations shall include the mass, bulk and proportion of the structure including roofs, walls and openings.*
- *Building colors for primary and accessory structures shall be low-reflective, subtle, neutral or earth tone colors with the intent of promoting a harmonious appearance of the structure.*
- *All elevations of structures are detailed to provide visual interest and avoid unattractive views.*
- *Roofing materials, windows, building materials and finish will be coordinated to achieve a cohesive appearance.*
- *Primary building entrances shall be clearly defined and recessed or framed by sheltering elements such as an awning, arcade or portico in order to provide shelter in inclement weather.*
- *All heating air-conditioning refrigeration, ventilation or other mechanical equipment located on the exterior of any building or structure shall be screened from view of abutting public street and residential properties.*
- *Site Lighting shall be in accordance with the point by point illumination plan included with this application.*

- E. To encourage a more efficient use of land and public services or private services in lieu thereof, and to reflect changes in the technology of land development so that resulting economies may inure to the benefit of those who need homes.
 - *This project will provide important much needed housing to the City of Loveland. The efficient layout of roadways and buildings create a well-planned attractive and compact development that will add economic benefit to the City and the residents that reside there.*
- F. To lessen the burden of traffic on streets and highways.
 - *The close proximity of this community to nearby businesses and commercial areas will enable residents to utilize alternate forms of transportation and shorter vehicular trips. Additionally, existing recreational trails and proposed pedestrian connectivity will provide safe access to nearby destinations.*
- G. To encourage the building of new development incorporating the best features of modern design.
 - *The Kendall Brook community will incorporate attractive architecture, landscaping and the best features of modern design to create a sense of place and aesthetically pleasing addition to the City of Loveland.*
- H. To conserve the value of the land.
 - *The site layout of buildings and structures proposed for the Kendall Brook community are efficiently laid out to provide a compact development that creates an attractive community for its residents. Landscaping will also provide an openness and connectivity to the surrounding area.*
- I. To provide a procedure which can relate the type, design, and layout of residential, commercial, and industrial development to the particular site, thereby encouraging preservation of the sites' natural characteristics.
 - *The design, type and layout for the Kendall Brook site will utilize architectural design and landscaping standards that reflect the natural characteristics of Colorado and will be integrated to its surroundings.*
- J. To encourage to planning in order to achieve the above purposes; and
 - *The planning practices incorporated into the Kendall Brook community seek to achieve the aforementioned purposes and guidelines.*
- K. To encourage a land use pattern that supports the cost effective delivery of services and facilities.
 - *The land use pattern and roadway layout for Kendall Brook provides cost effective location and delivery to existing utilities. Sufficient utility capacity exists in the area and will be easily connected to this development.*

I. FINDINGS STATEMENT

- A. The PDP conforms to the General Development Plan (GDP) on file with the City where the property is being developed.
 - *The Kendall Brook Preliminary Development Plan meets the requirements of the Kendall Brook (GDP).*
- B. The PDP meets the intent and objectives of Chapter 18.41 of the LMC (PUD chapter), to the City's master plans and to any applicable area plan.
 - *The Kendall Brook Development Plan meets the intent and objectives of the City's comprehensive plan & municipal development code. Additionally, the standards guidelines of the Kendall Brook GDP have been addressed.*
- C. The proposed development will not negatively impact traffic in the area, city utilities, or otherwise have a detrimental impact on property that is in sufficient proximity to the proposed development to be affected by it.
 - *The Kendall Brook community should not have a negative impact on traffic in the area. Its general location and close proximity to nearby businesses and commercial areas will enable residents to utilize alternate forms of transportation and therefore account for shorter vehicular trips. Additionally, existing recreational trails and proposed pedestrian connectivity will provide safe access to nearby destinations.*
 - *Existing utilities are located nearby, making it efficient and cost effective to tie into proposed utility connections. The design and layout of the development has been designed to provide efficient and cost effective utility services.*
- D. The PDP complies with the applicable land use and development regulations in effect as of the date the GDP was approved except that the PDP can be required to comply with regulations adopted after approval of the GDP if the Planning Division and the Planning Commission expressly find that such compliance is necessary to protect public health, safety and welfare. If no GDP was required, then the PDP must comply with applicable land use and development regulations in effect at the time the plan is approved or conditionally approved by Planning Commission.
 - *The Kendall Brook PDP complies with the applicable land use, Kendall Brook GDP, City of Loveland municipal code and will adhere to regulations in effect and the time the plan is approved by the Planning Commission.*

XI. CONCLUSIONS

Based on the analyses, investigations, and findings documented in earlier sections of this report, the following can be concluded.

- Current operating conditions in the area of the Kendall Brook Condominiums site are acceptable.
- At build out, Kendall Brook Condominiums is expected to add 38 morning peak hour trips, 45 afternoon highway peak hour trips and 505 trips per day to the area street system. These trips are considered manageable.
- No roadway improvements except for minor striping changes on 50th Street at the site driveways are needed to serve short term total traffic which includes Kendall Brook Condominiums traffic.
- Pedestrian and bicycle facilities are readily available to serve the needs of site residents and visitors. A review of the existing trail crossing on 50th Street did not reveal any deficiencies.
- The accident review conducted as part of this study did not indicate any accident history and therefore, there are no identifiable safety concerns.
- With Kendall Brook Condominiums fully built, all intersection levels of service and street traffic volumes will satisfy Loveland criteria
- Loveland's ACF criteria will be satisfied with this development fully built. Accordingly, the improvements needed to maintain acceptable conditions as defined in the City's Adequate Community Facilities ordinance are presently available and will continue to be available in the future.
- Kendall Brook Condominiums is viable from a traffic engineering perspective.
- Access to Centennial Elementary School and Lucille Erwin Middle School is currently available using the existing sidewalk, trail, and bicycle networks.

- Table 5 presents a summary of area improvements and the responsibility for each improvement. These improvements will facilitate acceptable conditions.

In summary, traffic generated by the Kendall Brook Condominiums development can be easily absorbed and accommodated by the existing street system. This street system will facilitate acceptable operating conditions for the foreseeable future.