



## **LOVELAND PLANNING COMMISSION MEETING**

### **AGENDA**

**Monday, September 26, 2016**  
**500 E. 3<sup>rd</sup> Street – Council Chambers**  
**Loveland, CO 80537**  
**6:30 PM**

#### **NOTICE OF NON-DISCRIMINATION**

It is the policy of the City of Loveland to provide equal services, programs and activities without regard to race, color, national origin, creed, religion, sex, disability, or age and without regard to the exercise of rights guaranteed by state or federal law. It is the policy of the City of Loveland to provide language access services at no charge to populations of persons with limited English proficiency (LEP) and persons with a disability who are served by the City.

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Title VI and ADA Grievance Policy and Procedures can be located on the City of Loveland website at: [cityofloveland.org/](http://cityofloveland.org/)

### **AGENDA**

**Monday, September 26, 2016**

#### **I. CALL TO ORDER**

#### **II. PLEDGE OF ALLEGIANCE**

#### **III. REPORTS:**

##### **Citizen Reports**

This is time for citizens to address the Commission on matters not on the published agenda.

##### **Staff Matters**

- 1. Recognition of Commissioner Meyers**
- 2. 10/10/16 Agenda Preview:**
  - **Downtown Update: The Foundry Project and DDA activities**
  - **Zoning Code Update process**
- 3. Zoning Code Update**

#### **4. Council actions:**

- **Lee Farms GDP Amendment**
- **Mirasol Annexation / GDP Amendment**

#### **Commission Comments**

- **Title 18 Committee**

### **IV. APPROVAL OF MINUTES**

#### **Review and approval of the September 12, 2016 Planning Commission Meeting minutes**

### **V. CONSENT AGENDA**

- No items are scheduled for the Consent Agenda

### **VI. REGULAR AGENDA:**

#### **1. Follow-up Report to the Commission on Taft Avenue Properties (Presentation Time: 5 minutes)**

At the September 12, 2016 meeting, a number of issues arose concerning access for properties to the south of the Taft Gardens project. Staff will provide the Commission with information regarding the Taft widening project, access afforded to the properties in question and response to other concerns raised by citizens on September 12<sup>th</sup>. This is an administrative item and the Commission may entertain public comment.

#### **2. Kendall Brook Townhomes Preliminary Development Plan and Preliminary Plat (Presentation Time: 20 minutes)**

This is a public hearing item on a quasi-judicial matter relating to a proposed residential townhome development located along the south side of 50<sup>th</sup> Street within the Kendall Brook PUD. The proposal is for 84 townhouse units within 16 buildings located on a 7.6-acre site that is currently vacant. Access to the development is from 50<sup>th</sup> Street from two points. The Planning Commission has final authority on the two application components unless an appeal is filed.

City staff has reviewed the two associated applications and has determined that the proposed project meets applicable City standards and is in conformance with the General Development Plan for the Kendall Brook PUD that was approved in 2000. Staff is recommending approval with conditions.

#### **3. Loveland Classical Schools Location, Extent and Site Plan Review (Presentation Time: 15 minutes)**

Loveland Classical Schools is proposing a new location and facility to house their middle and high school programs, and eventually their elementary program. The location is on the north side of W. 29<sup>th</sup> Street and west of N. Wilson Avenue between the King of Glory Church (to the east) and the Hunter's Run Subdivision (to the west). The property is zoned DR – Developing Resource, containing approximately 12 acres. Public schools are permitted by-right under the current zoning based on allowances governed by the State of Colorado. Loveland Classical is public charter school authorized through the Thompson School District.

The proposed school is two stories with the initial phase including 53,000 sf of building area. The site improvements include landscaping, parking, and a stacking/queuing lanes to provide for student drop-off. The school is targeting the opening for August of 2017.

As per State Statute, the review and permitting of the school is primarily a function of the State of Colorado. The Planning Commission review of the proposed location and site plan is also a requirement of the statute. Any action/direction by the Planning Commission as a result of the site plan review will be communicated to the Board of Education for consideration.

## **VII. ADJOURNMENT**

# **CITY OF LOVELAND**

## **PLANNING COMMISSION MINUTES**

### **September 12, 2016**

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A meeting of the City of Loveland Planning Commission was held in the City Council Chambers on September 12, 2016 at 6:30 p.m. Members present: Chairman Jersvig; and Commissioners Dowding, Meyers, Molloy, Ray, McFall, Roskie, and Cloutier. Members absent: Commissioner Forrest. City Staff present: Bob Paulsen, Current Planning Manager; Moses Garcia, Assistant City Attorney; Linda Bersch, Interim Planning Commission Secretary.

*These minutes are a general summary of the meeting. A complete video recording of the meeting is available for two years on the City's web site as follows: <http://loveland.pegcentral.com>*

### **CITIZEN REPORT**

There were no citizen reports.

### **STAFF MATTERS**

1. **Robert Paulsen**, Current Planning Manager, provided a preview of the agenda items slated for the September 26, 2016 Planning Commission meeting:
  - Kendall Brook Townhomes Preliminary Development Plan and Preliminary Plat
  - Loveland Classical Schools – Site Plan
  - Updates on South Catalyst & DDA will be delayed until later in October.
2. **Mr. Paulsen** reported that the Zoning Code Update project continues to move ahead with the zoning code, subdivision code and annexation provisions moving forward into a single unified document. Several committees, which will include members of this commission, are working on this project. Committees include a core staff team from development services; a technical team comprised of city staff from other departments; a stakeholders team comprised mostly of members of development community that have been invited to participate in the process who will review the changes as they are drafted; and finally, the Title 18 Committee who will continue to work with staff throughout the process. There will be a kickoff meeting of these committees along with the consultant on this project, **Todd Messenger** with Fairfield and Woods, this Wednesday, September 17, 2016. A report on this meeting will be provided at the September 26<sup>th</sup> meeting. **Mr. Paulsen** also reported **Mr. Messenger** will attend the first study session on these updates on November 14<sup>th</sup>, a regular meeting date for the Commission. The session will begin at 5:00 or 5:30 p.m. with an open house for the public. The Commissioners are reminded that it will take 18 months to complete this project.
3. **Mr. Paulsen** reported that a written resignation has been received from **Commissioner Meyers**. **Commissioner Meyers** reported his last meeting with be September 26, 2016. He stated that it has been a privilege and honor to serve on this commission the last nine years but due to the growth of his business he can no longer continue. **Several Commissioners** and **Mr. Paulsen** expressed gratitude to **Commissioner Meyers** for his service to the commission and the community and wished him well.



## **COMMITTEE REPORTS**

**Commissioner Meyers'** resignation creates a vacancy on the Title 18 Committee. *After discussion, Commissioner Ray motioned that Commissioner Roskie be appointed to the Title 18 Committee. Commissioner Dowding seconded the motion which was unanimously approved.*

## **COMMISSIONER COMMENTS**

**Commissioner McFall** asked for a moment of silence to remember **Dr. Dan Maas**, COO of Thompson School District, and his wife who were killed in a traffic accident on August 27<sup>th</sup>. His partnership with this commission will be greatly missed. **Commissioner Meyers** and **Mr. Paulsen** also noted Dr. Maas' contributions to the school district, this commission, the city council and the community and expressed hope that his legacy will live on.

## **APPROVAL OF THE MINUTES**

*Commissioner Dowding made a motion to approve the August 22, 2016 minutes; upon a second from Commissioner McFall the minutes were approved with Commissioner Meyers abstaining.*

## **CONSENT AGENDA**

There were no items on the consent agenda.

## **REGULAR AGENDA**

### **1. Loveland Classical School – Determination of Need for Planning Commission Review**

**Project Description:** Loveland Classical School, a public charter, is preparing plans for a new campus to be located on the north side of 29<sup>th</sup> Street and west of N. Wilson Ave. Staff is requesting direction as to whether the Commission wants to review the site plan and associated materials for the new campus. Staff has tentatively scheduled this item for the September 26<sup>th</sup> Commission meeting.

**Troy Bliss**, staff planner, explained that this school has now decided to build a middle school/high school building on the 29<sup>th</sup> Street site and retain the elementary campus at the 14<sup>th</sup> Street SW location. Prior to any site plan review by the Planning Commission, Loveland Classical School will be meeting with the Hunter's Run neighborhood on September 15, 2016, for further input on their plan as well as conducting a groundbreaking ceremony on September 24, 2016. No construction would begin as a result of this ceremony. These matters are outside of the City's purview in terms of process. Nonetheless, City staff felt it important to share this information with the Planning Commission.

*Commissioner Meyers motioned to have the staff arrange a presentation by Loveland Classical School for the planning commission to review the site plans and associated materials for the W. 29<sup>th</sup> Street campus of Loveland Classical Schools. Upon a second by Commissioner Ray the motion was unanimously approved.*

## 2. N. Taft Avenue First Subdivision Preliminary Plat

**Project Description:** This is a public hearing to consider a preliminary plat. This is a quasi-judicial matter. The application proposes to subdivide the property into 24 lots and four tracts for the purpose of developing single family detached houses. The property owner is Insignia Homes and the applicant is Fred Cooke. The North Taft Avenue First Subdivision is located on the west side of N. Taft Avenue between W. 8<sup>th</sup> Street and W. 10<sup>th</sup> Street. It is zoned R2 Developing Two-Family Residential zoning district. The Planning Commission has final decision making authority on this application.

**Noreen Smyth**, Staff Planner, presented the proposal to subdivide a 6.53-acre portion of the North Taft Avenue First Addition to create additional lots under the existing zoning of R2 Developing Two Family Residential. The site lies on the west side of North Taft Avenue, north of 8<sup>th</sup> Street and south of abandoned Colorado and Southern Railroad right-of-way that is now owned by the City of Loveland. The 24 lots proposed to be created by the subdivision would be situated around a loop road, with open space/detention/landscape tracts situated towards the Taft Avenue side. A single family house with a detached garage to the rear is proposed for each lot.

The proposed Preliminary Plat for a single family residential subdivision meets the requirements of the Municipal Code, including those of the R2 zoning district and the Subdivision Code (Title 16). Staff believes that all key issues applicable to Preliminary Plats and associated Preliminary Public Improvement Construction Plans have been resolved. The Commission has final decision-making authority on the Preliminary Plat application unless the Commission's decision is appealed to City Council.

If the Preliminary Plat is approved by the Planning Commission, a subsequent application for a Final Plat and associated Final Public Improvement Construction Plans will be submitted for staff review and approval.

**Fred Cooke** of Insignia Homes indicated this is an infill site that he has purchased from the city. The project fits into the neighborhood with a buffered set back from Taft Avenue and exceeds the open space requirements.

### COMMISSIONER QUESTIONS AND COMMENTS:

- **Commissioner Dowding** asked about the area shown between lots 6 and 7 on the plat and also inquired about the width the lots in the subdivision. **Ms. Smyth** answered that the space between lot 6 and 7 is an out lot to a proposed connection to a future recreation trail that may be placed in the adjacent city owned right of way. The existing zoning allows for the minimum width for 2 lots together to be 65 feet. These lot each have a 48 foot width so the minimum requirements are exceeded.
- **Commissioner Molloy** noted the left turn lanes on Taft Avenue into this development and inquired if the proposed Taft Avenue widening would impact this proposal and also what the timing of the widening project was. **Ms. Smyth** indicated the widening project, scheduled for next summer, will not impact this application and that the traffic impact study for this project showed no impact on the Taft project.

- **Commissioner Meyers** asked if left turns from this development onto Taft would be allowed. **Ms. Smyth** said the traffic impact study showed that this type of restriction is not warranted.
- **Commissioner Ray** noted the bungalow houses, especially their garages, and are close to the back lot line and inquired about buffering on the west border to mitigate any impact to adjacent property owner. **Mr. Cooke** responded that the final plan will show extensive landscaping on the west for that purpose.
- **Commissioner Molloy** asked who would be the builder and what the timeframe is for commencing the project. He also wanted to know if sidewalks are attached or detached as detached sidewalks, in his opinion, are preferable. **Mr. Cooke** indicated he would be the builder of the entire project and wanted to proceed as soon as possible. The detached sidewalk was considered but with rear garages and space limitations, the attached sidewalk presented more usable space in the front of the lot and a better landscape buffer.
- **Commissioner Ray** asked if detached sidewalks could be considered on the interior lots. **Mr. Cooke** noted that the space was available on those three lots so detached sidewalks would be considered there.
- **Commissioner Meyers** asked about the trees buffering Taft Avenue and expressed concern about line of sight problems for traffic entering Taft. Who would be responsible for maintain the trees? **Mr. Cooke** noted that was part of their consideration in placement and species of the trees and should not present a problem. The HOA would be responsible for maintenance.
- **Commissioner Jersvig** inquired whether any of the existing trees would be kept and also suggested detached sidewalks along the open spaces. **Mr. Cooke** responded that existing trees could not be maintained

## **CITIZEN COMMENTS:**

### **Commissioner Jersvig opened the public hearing at 7:18 p.m.**

- **Milan Karspeck**, owns the lot directly south of the development and currently has access to his property from Garth Place through an access easement at the open space detention area and questions if that access will be maintained.
- **Ernie West**, resident, owns the lot adjacent to Mr. Karspeck and is also concerned about acquiring legal access to his property that he was promised for the last 15 years.
- **Kyle Dallabetta**, resident, owns property at 8<sup>th</sup> and Taft. Has concern that density would exceed what is currently in the neighborhood and lots could be further reduced in size. There is also a ditch in the corner of the proposed development and will that be maintained? What is the sewer proposal? The three existing lots to the south are on septic and he also wonders about the drainage. He has a grandfathered foundry that makes noise and wanted to know if any sound barriers are proposed to protect these residents. Also is the electric underground and what are plans for lighting the area?
- **Tammy Hunter**, resident, is concerned about traffic and would like to see Taft widened and turn lanes installed before this development is started.

### **Commissioner Jersvig closed the public hearing at 7:37 p.m.**

## COMMISSIONER COMMENTS:

- **Ms. Smyth** informed the commissioners that, per the zoning and subdivision codes, this project meets overall density as required by the R2 zoning. The zoning was established when the property was annexed to the city. **Mr. Paulsen** noted that, if this preliminary plat is approved, staff is obligated to assure the final plat reflects the Commission's approval. Any significant would require a public hearing before the Commission..
- **Commissioner Jersvig** initiated a discussion amongst the commissioners and **Mr. Cooke** and his civil engineer, **Mr Sam Eliason**, United Civil Design Group, and **Randy Maizland**, Loveland Traffic Engineer regarding the issue of access to the lots to the south of the project site. The discussion responded by claims from the other property owners that adequate legal access to their properties has not been assured by the city. **Mr. Cooke** noted that a permanent easement is designed into his development from Gard Place through the fire access road shown on the south out lot on the plat. **Mr. Eliason** noted that a 60 foot right of way for Taft Avenue widening has been granted to the city that may affect that access. Following a lengthy discussion, **Mr. Maizland agreed to** provide a report to the commission regarding the Taft Avenue widening project and implementation time frame. He also agreed to research the annexation documents and other agreements to determine was the plans are in place to provide direct access to these property owners going forward. The owners of these two properties were encouraged to keep in contact with **Mr. Maizland** or **Mr. Paulsen** to ensure that access is provided from their properties to Taft Avenue.
- **Commissioner Molloy** inquired about the potential of a noise issue from the sculptor foundry. **Mr. Cooke** provided that there is landscaping designed for the lots in that area and also the rear garages will provide buffering. **Commissioner Ray** questioned if landscaping was sufficient. After a lengthy discussion concerning noise abatement, a consensus was reached that the developer has designed the project with rear garages and landscaping to minimize impacts of noise on future residents and no further conditions regarding noise will be placed on the applicant. However, if the applicant chooses to conduct any noise monitoring, the commission would be interested in the result.
- **Commissioner Jersvig** inquired about the underground utilities and lighting. **Mr. Cooke** responded that all utilities will be underground and that lighting will meet the dark sky requirements.
- **Commissioner Meyers** noted that the applicant has brought a good product to the commission and will be voting for it. Commissioner Meyer stressed that the City of Loveland does need to take action to meet their obligation to the owners of the adjacent properties in regard to access.
- **Commissioner Ray** stated that this is good project. He appreciates the applicant moving garages around back to provide buffering. He said that it looks like a nice neighborhood and he will be voting for it.
- **Commissioner Molloy** noted the project is well designed and he is glad to see an internal park and will support it.
- **Commissioner Cloutier** indicated that he likes the layout of the development and the provision for left turn lanes on Taft. He is in favor of the project. He does echo

**Commissioner Meyers** concern about the City of Loveland meeting its obligation to provide access to the neighboring lots.

- **Commissioner McFall** commented that overall the questions put forth have been answered and he is for this project.
- **Commissioner Roskie** is in favor of the project and hopes the developer will consider some noise abatement. She hopes the neighbors with concerns that need to be addressed with the City of Loveland will pursue those solutions. She will be voting for the project.
- **Commissioner Dowding** thanked the residents for their input. It is appreciated. This project is well thought out and kudos for **Mr. Cooke** for coming up with a design that works with the neighborhood. She also hopes he will provide noise abatement if testing finds noise to be a problem. She is supporting the project.
- **Commissioner Jersvig** also thanked the residents for their participation. He likes the project and is concerned that traffic noise might be more of an issue than noise from the foundry. He likes the buffer along Taft for that reason and for the aesthetics it provides. He asked Mr. Paulsen to keep the commission informed about the access issues for the 877 and 873 addresses as discussed. He supports this project.

***Commissioner Dowding** moved to make the findings listed in Section VII of the Planning Commission staff report dated September 12, 2016 and, based on those findings, approve the North Taft Avenue First Subdivision Preliminary Plat, subject to the conditions in Section IX, as amended on the record. **Commissioner Meyers** seconded the motion which passed unanimously after **Mr. Cooke** accepted those conditions.*

**Commissioner Jersvig called for a recess at 8:30 p.m.**

**Commissioner Jersvig called the meeting to order at 8:42 p.m.**

3. **Wintergreen Townhomes Preliminary Development Plan and Preliminary Plat**  
**Project Description:** This is a public hearing to consider a preliminary development plan and preliminary plat for 3 acres of land to be known as the Wintergreen Townhomes/Wintergreen Fourth Subdivision. This is a quasi-judicial matter. The property is at 353 W. 64<sup>th</sup> Street and is generally located on the north side of W. 64<sup>th</sup> Street between N. Garfield Ave and Eden Garden Dr. It is zoned P-69 Wintergreen PUD. The application proposes to subdivide the property into 28 lots for the purpose of developing single family attached houses. The property owner is 3T Investments LLC and the applicant is Alan Strobe, Savant Homes. The Planning Commission has final decision making authority on this application.

**Noreen Smyth**, staff planner, presented a description of the Preliminary Development Plan and Preliminary Plat for a proposed residential development within the Wintergreen 1<sup>st</sup> Addition Planned Unit Development (PUD). The Preliminary Development Plan is titled "Wintergreen Townhomes" and the associated plat is the "Wintergreen Fourth Subdivision". A General Development Plan for the Wintergreen PUD was approved in 2001 (later amended) and includes single family attached (townhomes) as an allowed use on the subject property.

**Ms. Smyth** added that the 3-acre subject property is currently vacant. The proposal is for 28

townhomes on separate (fee simple) lots in groupings of three attached units (within one stand-alone unit) situated along a publicly dedicated cul-de-sac street extending off of 64<sup>th</sup> Street. The subject property is south and west of commercial developments within the Wintergreen PUD, north of the Wintergreen Village single family residential development, and east of an undeveloped property. The Planning Commission's decision on both Preliminary Development Plans and Preliminary Plat is final unless an appeal to the Commission's decision is filed. If the Preliminary Development Plan and Preliminary Plat are approved, the applicant can proceed to submit a Final Development Plan and Final Plat, which are reviewed administratively (by staff), followed by a site work permit and building permits, which are also reviewed administratively.

**Alan Strope** of Savant Homes, the applicant, and **Cody Geisendorfer**, Civil Engineer, discussed the site plan, open space and buffering areas and storm drainage. A sound study was done and acoustical fencing is included along the north and east to mitigate noise from the Wal-Mart loading docks and the car wash. Heavy landscaping is placed all along the property.

### COMMISSIONER QUESTIONS AND COMMENTS:

- **Commissioner Dowding** asked about the setback variance that is requested. **Mr. Strope** explained the due to the curvature of the street, one end unit's patio has a five foot encroachment. That is the only variance needed.
- **Commissioner McFall** had questions about where the noise study was taken. **Mr. Geisendorfer** indicated it taken on this site.
- **Commissioner Cloutier** and **Roskie** asked about the noise standards and the source of the noise. **Ms. Smyth** responded that The GDP for Wintergreen requires each new residential development within Wintergreen to conduct a noise survey and construct noise abatement if warranted for compliance with the municipal code noise standards. Both the Wal Mart loading docks and the car wash are the source of the noise.
- **Commissioner Jersvig** asked about accesses to the recreation trail access from this project and conditions of approval for that as stated in an attachment. **Ms. Smyth** noted that is a condition from the GDP and is not applicable to this plan. That will be corrected in the final plan.

### CITIZEN COMMENTS:

**Commissioner Jersvig opened the public hearing at 9:00 p.m.**

- **Christie Hoffer**, resident, asked about sidewalks along the edge of this development adjacent to 64<sup>th</sup> Street and will the street lights in this plan be similar to existing ones?
- **Michael Bray**, resident, stated that since 64<sup>th</sup> traffic is only able to turn right onto Hwy 287, he has a concern for the number of cars that have to turn right out of this development and go around other existing developments to the stop light by Wal Mart to go north. He also wants to know how snow accumulation removed from Osceola Place will be handled.
- **Julie Dressler**, resident, said Tongas Avenue is the only access being used to the walking trail especially from the existing apartments. Will another access be put in to minimize the foot traffic on Tongas Avenue?

- **Paul Jullius**, resident, stated that there are additional walk-ways to the recreation trail. He does have a concern about people turning left from this development on busy mornings. He does like what he sees and this would be good addition to community.

**Commissioner Jersvig closed the public hearing at 9:09 p.m.**

#### **COMMISSIONER COMMENTS:**

- **Commissioner Jersvig** questioned the applicant about the plans for snow removal and sidewalks on 64<sup>th</sup> and lighting requirements. **Mr. Strobe** indicated that there is a section in the green belt areas for snow storage. The sidewalks do continue along 64<sup>th</sup> and are attached because of the width of the road and for parking that couldn't be done. That is also the reason the internal sidewalk stops where it does. Lighting will be in keeping with the down light types that are already there.
- **Commissioner Jersvig** asked **Mr. Strobe** to comment about the traffic study. **Mr. Strobe** stated that they are meeting requirements as specified in the traffic study.
- **Commissioner McFall** asked a question to the transportation staff, regarding the traffic study. **Randy Maizland** indicated the traffic study complies with the requirements for the original study for the Wintergreen Master Plan. A question was also asked about the slight curve at the intersection of Osceola Place with 64<sup>th</sup> instead of a perpendicular intersection. **Mr. Maizland** indicated that this design is within the standards.
- **Commission Molloy** asked **Ms. Smyth** about the density standards. **Ms. Smyth said** this project was within the allowable standards.
- **Commissioner Ray** said he was perplexed about the GDP requiring the noise study and the requirements placed on new development. He commended the developer for complying with the GDP and meeting the noise standards. He felt this was a good project plan.
- **Commissioner Meyers** noted this project meets the GDP requirement and supports the application.
- **Commissioner Cloutier** thanked the citizens for their participation. The plan is well laid out and meets the requirements of the GDP. It is a good fill-in.
- **Commissioner Molloy** notes this project complies with the GDP and is a good buffer to the single family homes and fits an odd piece of property. He is in support of it.
- **Commissioner Roskie** noted that there is an historic traffic flow problem in the area. This project fits within the GDP and will vote for it.
- **Commissioner McFall** commended the developer for being a good neighbor and the citizens for coming out tonight. He is in favor.
- **Commissioner Dowding** supports as well.
- **Commissioner Jersvig** stated that he appreciates the citizens for coming out. It is good to hear positive comments about a project. He is in favor.

***Commissioner Dowding** moved to make the findings listed in Section VIII of the Planning Commission staff report dated September 12, 2016, and based on these findings approve the Wintergreen Preliminary Development Plan, subject to the conditions listed in Section IX, as amended on the record. The motion*

was seconded by **Commissioner McFall**. After **Mr. Strobe** accepted those conditions, the motion was approved by a unanimous vote.

**Commissioner Dowding** moved to make the findings listed in Section VIII of the Planning Commission staff report dated September 12, 2016, and based on these findings approve the Wintergreen Fourth Subdivision Preliminary Plat, subject to the conditions listed in Section IX, as amended on the record. The motion was seconded by **Commissioner McFall**. After **Mr. Strobe** accepted those conditions, the motion was approved by a unanimous vote

#### 4. Create Loveland Amendment to the Future Land Use Map

**Project Description:** Public Hearing for the purpose of considering a recommendation to City Council on an amendment to the procedures for processing amendments to the Future Land Use Map contained in Create Loveland, the City of Loveland's comprehensive plan. The amendment will remove the requirement for Future Land Use Map amendments to be processed in conjunction with zoning, re-zoning, or other land use applications. Instead, Land Use Map changes will be considered and processed as part of an annual review. To institute this change, small text changes are being made to Chapter 4 of Create Loveland.

**Karl Barton**, Staff Planner with the Strategic Planning Division, explained that this proposal is a text amendment to change a process. Because it is a policy change it requires review by the Commission. The Planning Commission is being asked to recommend that City Council adopt a text amendment to Chapter 4 of Create Loveland that will allow for a change to the way that Future Land Use Map Amendments are processed. This text change will effectively remove the requirement that a separate application be submitted for Future Land Use Map Amendments when annexation or rezoning applications are not consistent with the Land Use Map.

**Mr. Barton** explained that in order to support this procedure change, a minor amendment to the text of Create Loveland is required. The change will be made to the final paragraph on Chapter 4 Page 7. It is shown below in redline version. Following is how it looks within the Create Loveland document:

**Option B:** If a proposed or future development project is deemed to require a Plan amendment by staff, then the proponent **or Staff** has the option of making said amendment request separate from, ~~but prior to,~~ any request being made for an annexation, rezoning, or other action on the proposed or future development project.

#### COMMISSIONER QUESTIONS AND COMMENTS:

- **Commissioner Meyers** asked for a clarification on why the words "or staff " were added to the text. **Mr. Barton** noted that staff has discretion to bring amendments forward. This clarifies that staff has the option of bringing an comprehensive plan amendment application forward (with a annexation of rezoning application) or staff can make a separate request e from an application (at a later date) or chose to not require it. The hearing process does not change. This gives staff the ability to support a request that is



not in compliance with current Land Use Map and gives staff an opportunity to look at bigger picture rather than a map change to a small parcel.

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- **Mr. Paulsen** indicated that a separate application is currently required to amend the comprehensive plan whenever an annexation or zoning application is made that is not consistent with the Land Use Plan. But, since the comprehensive plan is policy document and not law, it makes sense to modify this requirement. In such instances, it is not necessary to go through an amendment process. The existing process creates a second hurdle for the applicant and results in piecemeal changes to our land use plan. The proposed approach allows us to look at the bigger picture on an annual basis and to make any needed changes. **Commissioner Meyers** noted that an annual process makes more sense.

#### **CITIZEN COMMENTS:**

There were no public comments.

*Commissioner Molloy moved to adopt the resolution of the Planning Commission of the City of Loveland recommending an amendment to the City of Loveland 2016 comprehensive master plan known as Create Loveland as amended on the record.. Commissioner Meyers seconded the motion which was unanimously adopted.*

#### **ADJOURNMENT**

**Commissioner Meyers**, made a motion to adjourn. Upon a second by **Commissioner McFall**, the motion was unanimously adopted.

**Commissioner Jersvig adjourned the meeting at 9:55 p.m.**

Approved by: \_\_\_\_\_  
Jeremy Jersvig, Planning Commission Chair

\_\_\_\_\_  
Linda Bersch, Interim Planning Commission Secretary.



## Development Services Current Planning

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### Planning Commission Staff Report

September 26, 2016

**Agenda #:** Regular Agenda - 2  
**Title:** Kendall Brook Townhomes Preliminary Development Plan and Preliminary Subdivision Plat  
**Applicant:** Landmark Solutions Inc., Jason Sherrill  
**Request:** **Preliminary Development Plan and Preliminary Subdivision Plat**  
**Location:** 1750 W. 50<sup>th</sup> Street  
On the south side of W. 50th Street, west of Georgetown Dr.  
**Existing Zoning:** P-49 Kendall Brook Planned Unit Development (PUD)  
**Staff Planner:** Noreen Smyth

#### **Staff Recommendation**

**APPROVAL** of the Preliminary Development Plan and Preliminary Plat.

#### **Recommended Motions:**

1. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated September 26, 2016, and based on these findings approve the Kendall Brook Preliminary Development Plan, subject to the conditions listed in Section IX, as amended on the record. (Resolution attached)*

#### **And**

2. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated September 26, 2016, and based on these findings approve the Kendall Brook Second Subdivision Preliminary Plat, subject to the conditions listed in Section IX, as amended on the record.*

#### **Summary of Analysis**

This is a public hearing item that concerns a Preliminary Development Plan and Preliminary Plat for a proposed residential development within the Kendall Brook Planned Unit Development (PUD). The Preliminary Development Plan is titled "Kendall Brook Townhomes" and the associated plat is the "Kendall Brook Second Subdivision". A General Development Plan for the Kendall Brook PUD was approved in 2000 and allows townhomes, among other residential uses, on the subject property. The Eagle Brook Meadows development is north of the subject property, on the opposite side of 50<sup>th</sup> Street, and other parcels within the Kendall Brook PUD are on the other three sides.

The 7.6-acre subject property is currently vacant. The proposal under consideration at this hearing concerns 84 townhomes on separate (fee simple) lots in 16 buildings of five or six attached units. The units are accessed off of a private drive that connects to 50<sup>th</sup> Street at two points. The submitted plans conform to the GDP and staff recommends approval.

The Planning Commission's decision on both Preliminary Development Plans and Preliminary Plats is final unless an appeal to the Commission's decision is filed. If the Preliminary Development Plan and Preliminary Plat are approved, the applicant can proceed to submit a Final Development Plan and Final Plat, which are reviewed administratively (by staff), followed by a site work permit and building permits, which are also reviewed administratively.

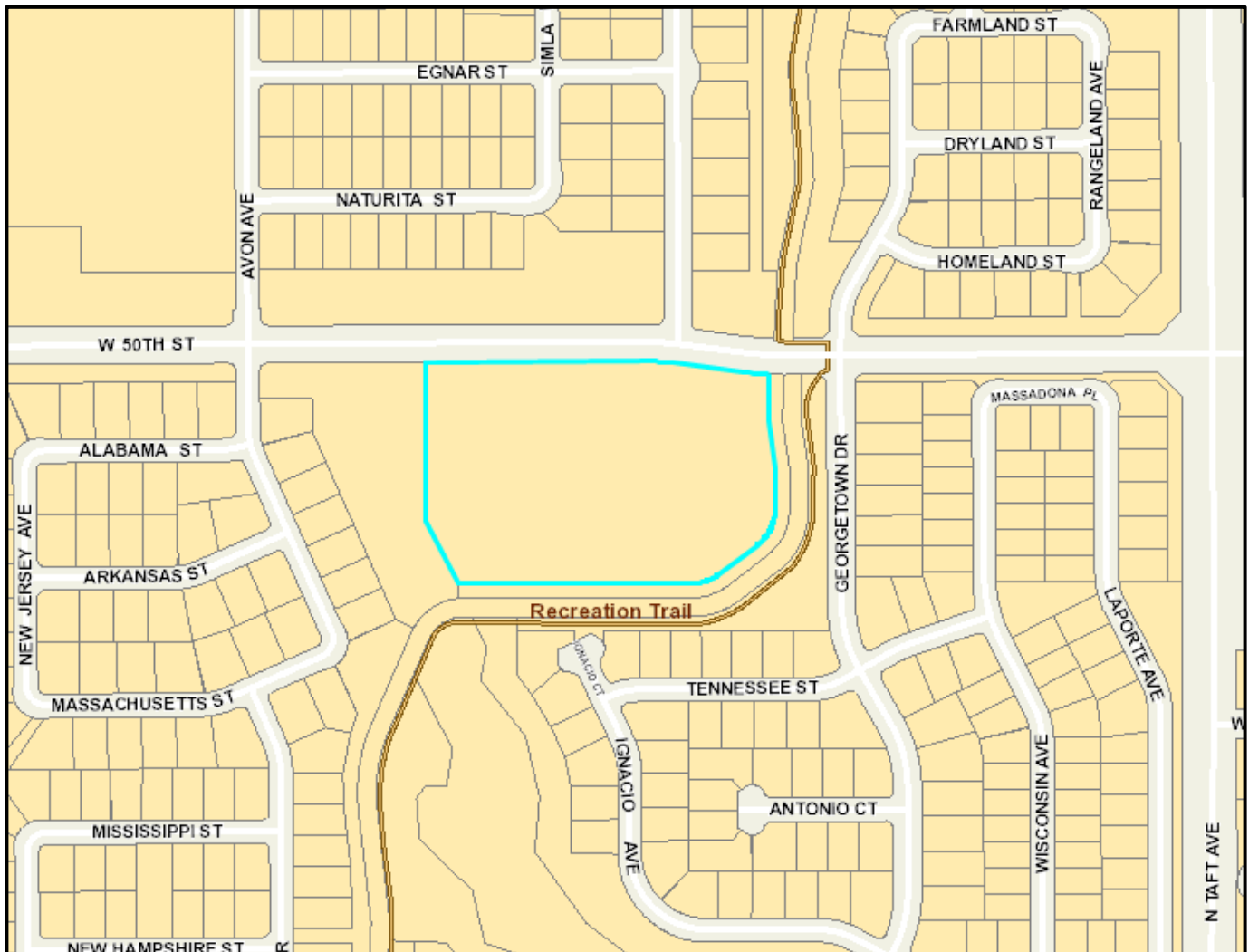
The following abbreviations will be used throughout this report and are being provided clarification:

- PUD: Planned Unit Development is a type of zoning that allows for the creation of zoning and design standards that are tailored to a site with this designation. This zoning is unique to a particular site or area, typically described in some form of development plan. The primary purpose of this zoning is to encourage a mixture of land use opportunities that are well integrated to allow the efficient use of land and provide quality design.
- GDP: General Development Plan establishes the zoning, density and design standards for a PUD-zoned property that is developed in phases. The plan itself is conceptual in nature, meant to provide guidance with respect to locations for different land uses within a PUD. This plan is usually prepared in conjunction with the annexation of a property as its official zoning document and must be approved by City Council.
- PDP: Preliminary Development Plan specifies a development proposal within a subarea of a PUD. Its contents are reviewed against the zoning requirements of the applicable GDP. This plan must be approved by Planning Commission, subject to appeal to City Council. After PDP approval, the more detailed Final Development Plat is submitted for staff approval.
- PP: Preliminary Plat is the first step in the subdivision of a property into more than 4 additional lots. It establishes all necessary conveyances (i.e. dedication of public rights-of-way and easements) for public and private use. This document must be approved by Planning Commission, subject to appeal to City Council. After PP approval, the more detailed Final Plat is submitted for staff approval.
- TIS: Traffic Impact Study is a study prepared by a traffic engineer to evaluate traffic impacts on a specific development proposal.
- ACF: Adequate Community Facilities is a program adopted by the City of Loveland to ensure that community facilities needed to support new development meet or exceed defined levels of service. This includes fire protection, transportation, water, wastewater, stormwater, and power.

## **I. LOCATION**

The 7.6-acre subject property is located on the south side of W. 50<sup>th</sup> Street, west of Georgetown Drive, and one-sixth of a mile west of N. Taft Avenue. It is Parcel B-1 within the Kendall Brook PUD and is situated in the north center portion of Kendall Brook.

The 159-acre Kendall Brook Planned Unit Development extends from W. 50<sup>th</sup> Street on the north to W. 43<sup>rd</sup> Street on the south, and from N. Taft Avenue on the east and the Harvest Gold & Picabo Hills developments on the west. Besides the subject property, the rest of the PUD is designated for single family residential except for a 9-acre portion at the intersection of N. Taft Avenue & W. 43<sup>rd</sup> Street. That area is allowed both residential uses and limited commercial uses.

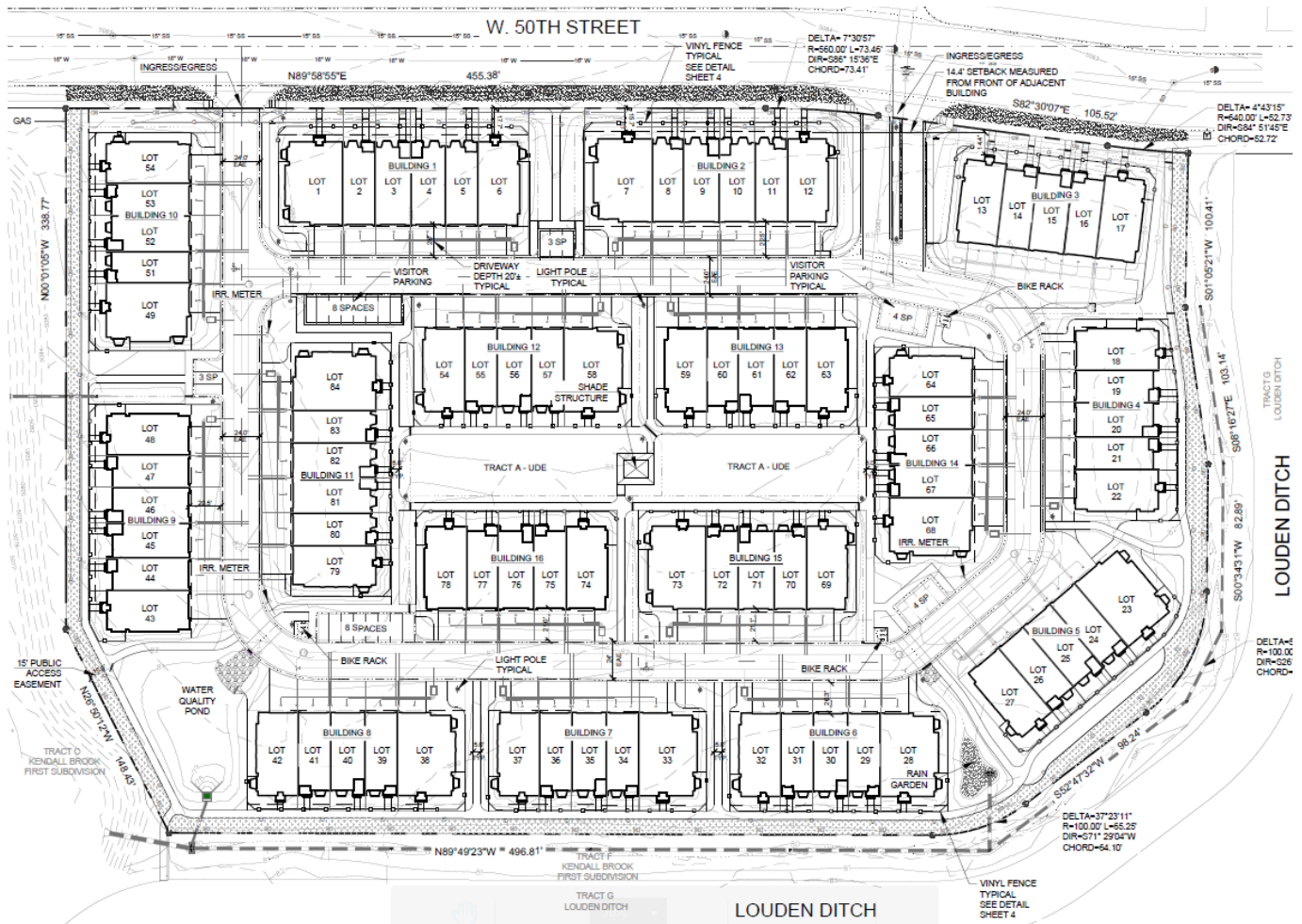


## **II. KEY ISSUES**

City staff believes that all key issues have been addressed in the development proposal. The applicant has worked with existing nearby residents in designing both the buildings and the site layout in a mutually beneficial manner. No significant issues arose at the required neighborhood meeting.

## **III. SUMMARY**

The development of the subject property is governed by the Kendall Brook General Development Plan, which designates it for multifamily, townhome, or duplex residential, or a combination thereof. Components of the proposed development and consistency with the Kendall Brook GDP are summarized as follows:



## Density

The maximum gross density for this parcel is set by the GDP at 18 dwelling units per acre. The maximum number of units set at 130. With a density of 11.05 units per acre, the proposed townhome development is well below the maximum density set for this parcel. With 84 units, the proposal is also below the maximum number of units set by the GDP.

## Site Layout:

The 84 townhomes are situated in 16 buildings of five and six units. Each townhome is on a separate fee-simple lot (see **Attachment 2**). The site layout includes an outer circle of buildings along the perimeter of the development and an inner circle of buildings around a center park. The buildings situated along the perimeter have front elevations facing the perimeter, while the buildings situated along the center park have front elevations facing the park. A perimeter bufferyard is situated between the outer lots and the perimeter. Both the perimeter bufferyard and the center park are within a homeowners association-owned tract.

There is no perimeter fencing for the overall development. Each lot includes a small front yard, and a 4 ft tall white vinyl picket fencing will enclose the front yards. The vertical slats and the space between them will each be 3 inches wide, so the front yards will remain visible from outside of each lot.

Detention for the larger Kendall Brook development has already been designed, and the stormwater runoff for this development will be directed to an existing adjacent detention facility and a small stormwater area in the southwest portion of the site.

Street:

Vehicular access into the subject property is proposed off of W. 50<sup>th</sup> Street, which abuts it to the north and is the only adjacent public street. The 24 ft private drive to be constructed with this development extends off of 50<sup>th</sup> Street at two full movement access points and continues in a loop configuration. The private drive is situated in between the outer and inner circle of buildings, with the rear elevation and garage of all units facing the drive, with driveways to the garages accessed off of it. An emergency access easement extends over the drive.

The submitted Traffic Impact Study (see **Attachment 5**) indicates that the proposed development will meet city standards for intersection levels of service and street traffic volumes, and that W. 50<sup>th</sup> Street will operate acceptably without need for roadway improvements beyond minor striping changes at the site driveway entrances. The TIS concludes that the traffic generated by the townhomes can be accommodated by the existing street system.

There is space available in landscaped areas adjacent to the drive for snow storage.

Sidewalk:

Detached sidewalk will be extend along the front of each unit, with walkways then extending from the sidewalk to each front door. For the buildings fronting W. 50<sup>th</sup> Street, the walkways will extend to existing detached sidewalk within the 50<sup>th</sup> Street right-of-way. For the buildings along the east, west, and south perimeter of the development, the sidewalk is situated within the homeowners association (bufferyard) tract which then connects to the public sidewalk along 50<sup>th</sup> Street. For the interior buildings facing the center park, the sidewalk circles the park, and connections are provided between this sidewalk and the perimeter sidewalk. A connection is also provided at the southwest portion of the development between this internal sidewalk and an existing city trail the runs to the east and south of the property, along the Loudon Ditch.

Parking:

Each unit has a two-car garage with two additional off-street spaces in the associated garage driveway. There are 34 guest parking spaces located throughout the development off of the internal drive. Bike racks will be situated near the guest parking areas nearest the center park.

Landscape Plan:

A Type B bufferyard is included along W. 50<sup>th</sup> Street, a collector street, and along all other property boundaries. Because the plantings in the front yards adjacent to the bufferyard tract will be visible from areas outside the development, the plantings in the front yards that are on the approved landscape plan are credited towards the required bufferyard plantings. Some of the required street trees along 50<sup>th</sup> Street are already in place, and missing street trees will be added. The submitted landscape plan does not include all required evergreen trees in the bufferyards, but they will be added to the plan before the Final Development Plan approval. Details of plant species will also be left to the Final Development Plan stage.

#### Architecture:

Each building will consist of 5 or 6 units and include pitched roofs with varying roof lines, varying materials, dormers, and a large number of paned windows on both floors. Eleven of the buildings will include a one-story end unit, with all other units two stories in height. Porches are to the front and garage doors to the back of all units. Floor plans will include two and three bedrooms options and all have full basements.



*Front elevation of a six-unit building with a one-story end unit*



*Rear elevation of a six-unit building with a one-story end unit*



*Side elevation*

Building materials will consist of lap siding, shingle siding, stone veneer, shingle roofs, and accent elements including brackets. Colors will be neutral or earth tones-buff, gray, white, and charcoal. A materials board and color scheme for the buildings will be submitted and reviewed with the Final Development Plan.

#### **IV. ATTACHMENTS**

1. Kendall Brook Townhomes Preliminary Development Plan
2. Kendall Brook Second Subdivision Preliminary Plat
3. Kendall Brook General Development Plan
4. Project Description & Findings (from Applicant)
5. TIS Conclusions
6. Kendall Brook Preliminary Development Plan Resolution

## **V. SITE DATA**

|                                      |   |
|--------------------------------------|---|
| ACREAGE .....                        | 7.6 AC  |
| DENSITY .....                        | 11.05 UNITS/AC  |
| NUMBER OF UNITS .....                | 84  |
| COMPREHENSIVE PLAN DESIGNATION ..... | LDR LOW DENSITY RESIDENTIAL   |
| EXISTING ZONING .....                | P-49 KENDALL BROOK PUD  |
| EXISTING USE .....                   | VACANT/UNDEVELOPED  |
| EXIST ADJ ZONING & USE - NORTH ..... | P-72 EAGLE BROOK MEADOWS PUD; DETENTION<br>FOLLOWED BY SINGLE FAMILY RESIDENTIAL            |
| EXIST ADJ ZONING & USE - SOUTH ..... | P-49 KENDALL BROOK PUD-IRRIGATION DITCH WITH<br>TRAIL FOLLOWED BY SINGLE FAMILY RESIDENTIAL |
| EXIST ADJ ZONING & USE - WEST .....  | P-49 KENDALL BROOK PUD-DETENTION FOLLOWED BY<br>SINGLE FAMILY RESIDENTIAL                   |
| EXIST ADJ ZONING & USE - EAST .....  | P-49 KENDALL BROOK PUD-IRRIGATION DITCH WITH<br>TRAIL, LANDSCAPE, AND PUBLIC STREET         |
| WATER SERVICE .....                  | CITY OF LOVELAND  |
| WASTEWATER SERVICE .....             | CITY OF LOVELAND  |
| POWER SERVICE .....                  | CITY OF LOVELAND  |

## **VI. BACKGROUND**

The following represents a timeline for the background of the development:

- 2000 The 159-acre Kendall Brook Addition is annexed into the city. The Kendall Brook General Development Plan is approved in conjunction with the annexation, providing Planned Unit Development zoning for the entire addition. The subject parcel is designated by the GDP for multifamily, townhomes, duplexes, or a combination thereof.
- 2001 Kendall Brook First Subdivision is approved, establishing the outlot that constitutes the current townhome proposal. A Final Development Plan is also approved for the single family residential areas of Kendall Brook, including the land to the east, west, and south of the subject property.
- 2014 A PDP proposal for a multifamily development consisting of 120 units in 8-plex buildings is submitted by Journey Homes. The application is reviewed by staff and heard at a public hearing before the Planning Commission. It does not obtain Commission approval and the applicant does not further pursue developing the property.
- 2016 The current PDP application (#16-31) and Preliminary Plat application (#16-32) for a townhome development are submitted.

## **VII. STAFF, APPLICANT, AND NEIGHBORHOOD INTERACTION**

- A. Notification:** An affidavit was received from James Doyle of TB Group certifying that written notice was mailed to all property owners within 900 feet of the property on September 9, 2016 and notices were posted in prominent locations on the perimeter of the site at least 15 days prior to the date of the



Planning Commission hearing. In addition, a notice was published in the Reporter Herald at least 15 days in advance.

- B. Neighborhood Response:** A neighborhood meeting was held at 5:30 p.m. on July 27, 2016, in the Public Works Administration Building. The meeting was attended by approximately 70 neighbors, along with city staff and the applicant. The applicant described the proposed buildings, site plan, and landscape plan. Representatives of the Kendall Brook HOA came to the meeting and were complimentary of the development. There were a number of favorable comments voiced from other attendees, and while there were a number of questions on increased traffic, no other negative comments were voiced.

Prior to this formal neighborhood meeting arranged by city staff, the applicant had arranged an informal meeting with neighbors. Many of the attendees at the city meeting had also attended the informal meeting and commented favorably that the changes they had requested at the earlier meeting were reflected in the plans that were presented at the city neighborhood meeting.

## **VIII. FINDINGS AND ANALYSIS**

The chapters and sections cited below are from the Loveland Municipal Code pertaining to Preliminary Plats and Preliminary Development Plans. Applicable findings contained in the Municipal Code are specified in italic print followed by the staff analysis as to whether the findings are met by the submitted application. Adequate Community Facilities (ACF) analyses are included below. The Planning Commission decision to approve or deny the applications is to be based on a majority vote on whether or not the findings can be met.

### **A. City Utilities and Services**

#### **1. Section 16.20.030:**

- a. The proposed public facilities and services are adequate, consistent with the City's utility planning, and capable of being provided in a timely and efficient manner*
- b. The subdivision complies with the water rights requirements in Title 19.*
- c. The subdivision has been reviewed in accordance with the Loveland Comprehensive Master Plan, including the Parks and Recreation Functional Master Plan, and other pertinent plans approved and adopted by the City, to insure that the subdivision is designed in accordance with good engineering practices and provides for safe and convenient movement.*

#### **2. Section 16.24.012:** *Electric and water distribution system improvements, sewer collection improvements, storm drainage control facilities, and other improvements as required to be constructed with the subdivision have been designed in accordance with the City of Loveland "Storm Drainage Criteria Manual," 1986 Edition, as amended and the latest edition of the "Development Standards and Specifications Governing the Construction of Public Improvements."*

#### **3. Section 16.24.090:**

- a. All new and replacement sanitary sewer and water supply systems have been designed to minimize or eliminate infiltration of floodwaters in the system.*
- b. The subdivision proposal has adequate drainage provided to reduce exposure to flood damage.*

- c. The subdivision proposal has public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.*
- d. The development proposal conforms to all federal, state, and local floodplain regulations*
- e. When deemed necessary by the Director of Development Services or the Planning Commission for the health, safety, or welfare of the present or future population of the area or necessary to the conservation of water, drainage, and sanitary facilities, the subdivision of land within the flood fringe and floodway, or any stream, river, or drainage course has been prohibited.*
- 4. Section 16.24.140:** *All proposed utility facilities, including, but not limited to, gas, electric power, telephone, and CATV cables, are located underground. Where practical, existing utility facilities located above ground, except when located in a public right-of-way, are to be removed and placed underground.*
- 5. Chapter 16.41:** *A positive determination of adequacy, or a positive determination of adequacy with conditions, has been made in accordance with Section 16.41.100 for fire protection and emergency rescue services, Section 16.41.120 for water facilities and services, Section 16.41.130 for wastewater facilities and services, Section 16.41.140 for storm drainage facilities, and Section 16.41.150 for power.*
- 6. Section 18.41.050:**
  - a. Development permitted by the PDP will not have negative impacts on City utilities. If such impacts exist, Section 18.41.050.D.4(b) of the Loveland Municipal Code requires City staff to recommend either disapproval of the PDP or reasonable conditions designed to mitigate the negative impacts.*
  - b. Whether development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed development will not negatively impact the levels of service of the City's services and facilities.*

**Fire:** Staff believes that this finding can be met, due to the following:

- The development site will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.
- The proposed development of townhome clusters will not negatively impact fire protection for the subject development or surrounding properties.

**Water/Wastewater:** This development is situated within the City's current service area for both water and wastewater. The Department finds that the Development will be compliant to ACF for the following reasons:

- The proposed development will not negatively impact City water and wastewater facilities.
- The proposed development is in harmony with existing and future development and incorporates public infrastructure designed so that the proposed development will not negatively impact the levels of service of the City utilities adjacent to the development.
- The proposed facilities shown on the Preliminary PICPs have been designed pursuant to the City's Development Standards.
- The proposed facilities have been design to minimize flood damage and infiltration.

**PW-Stormwater:** Staff believes that this finding can be met, due to the following:

- When final designed and built, the development will not negatively impact City storm drainage utilities and will comply with the Adequate Community Services ordinance outlined in the Loveland Municipal Code, Section 16.41.140.
- No irrigation ditches traverse the site.
- No natural drainage courses/open channels traverse the site.

**Power:** This development is situated within the City's current service area for power. Staff believes that this finding can be met, due to the following:

- The proposed development will have no negative impact on our system.
- This project will comply with the requirements in the ACF Ordinance.

**Building:** Staff believes that this finding can be met, due to the following:

- The proposed development of townhomes will not negatively impact surrounding properties, as the development will be required to meet building codes adopted at the time of permit review.

## **B. Transportation**

1. **Section 16.20.030:** *The subdivision has been reviewed in accordance with the Loveland Transportation Master Plan to insure that the subdivision is designed in accordance with good engineering practices and provides for safe and convenient movement.*
2. **Section 16.24.015:** *Streets, street signs, highways, curb and gutter, traffic control devices, and other improvements as required to be constructed with the subdivision have been designed in accordance with the Larimer County Urban Area Street Standards, as amended.*
3. **Section 16.24.040:** *Streets have been designed to have a logical relationship to topography and to the location of existing or platted streets in adjacent properties. Certain proposed streets, as determined by the City engineer, have been extended to the boundary of the subdivision to provide for traffic circulation within the vicinity*
4. **Section 16.41.110:** *A positive determination of adequacy, or a positive determination of adequacy with conditions, has been made for transportation facilities in accordance with Chapter 16.41 of the Loveland Municipal Code.*
5. **Section 18.41.050:**
  - a. *Development permitted by the PDP will not have negative impacts on traffic in the area. If such impacts exist, Section 18.41.050.D.4(b) of the Loveland Municipal Code requires City staff to recommend either disapproval of the PDP or reasonable conditions designed to mitigate the negative impacts.*
  - b. *Whether development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed development will not negatively impact the levels of service of the City's services and facilities.*

**PW-Transportation:** Staff believes that this finding can be met, due to the following:

- A Traffic Impact Study (TIS) has been submitted with Kendall Brook Townhomes Preliminary Development Plan and Preliminary Plat applications which demonstrates that the transportation system, incorporating the required roadway improvements, can adequately serve the land uses proposed.

- Access to the site will be from two proposed full movement access points on West 50th Street.
- The applicant's traffic engineer, Eugene Coppola, P.E., has submitted a Traffic Impact Study (TIS) that indicates that the traffic associated with the proposed development will meet the City's standards. The proposed Kendall Brook Townhomes Subdivision is estimated to generate approximately 505 daily trips, 38 weekday AM peak hour trips, and 45 weekday PM peak hour trips.

In conclusion, the development of the subject property pursuant to any of the uses permitted by right under the zoning district will not adversely impact any existing City infrastructure when typical roadway improvements are constructed. A positive determination of adequacy for transportation facilities for the proposed PDP has been made under the provisions referenced above.

## C. Land Use

### 1. Section 18.41.050.E.2:

- The preliminary development plan conforms to the general development plan on file with the city where the property is being developed in phases.*
- The PDP conforms to the intent and objectives of Title 18 with regard to Planned Unit Developments and any applicable area plan.*
- The PDP complies with applicable land use and development regulations in effect as of the date that the GDP was approved and any land use and development regulations adopted by the City after that date if the Planning Division and Planning Commission expressly find that compliance with such regulations is necessary to protect public health, safety, and welfare.*
- Development permitted by the PDP will not have detrimental impacts on property that is in sufficient proximity to the PDP to be affected by it.*

**Current Planning:** Staff believes that these findings can be met, due to the following:

- The proposed townhome development meets the use requirements of the Kendall Brook GDP, which designates the subject property for multifamily (rental or condominium), townhomes, duplexes, or a mix thereof.
- With a density of 11.05 units per acre, the proposed townhome development is well below the GDP maximum gross density requirement of 18 dwelling units per acre for Parcel B-1. With 84 units, the proposal is also below the 130 maximum number of units set by the GDP.
- The development consists of an outer circle of buildings, with the front of these units facing outwards towards the perimeter of the subject property, and an inner circle of buildings, with the front of these units facing the interior center park area. For the buildings facing the perimeter, the front yard building setback, while normally measured from individual lot lines, has instead been measured from the perimeter boundary line. This is due to the requirement from staff that the perimeter bufferyard be placed in a tract rather than in the front yard area of individual lots. For the buildings facing the center park, a conventional setback has not been applied, as the purposes of a front yard setback would not be served on lots facing a park. A picket fence is situated at the front lot line of the lots adjacent to the central park, with building setbacks from this lot line varying between 5 ft and 9 ft. The fence and the buildings at this location function to create a defined space for the center park, which is in keeping with the new urbanist design philosophy that has influenced the site layout.

- There is no minimum side yard setback for townhomes. There is minimum 10 ft separation distance required between structures, which is met. The rear yard setback of 15 ft between lot lines and structures is met.
- Most of the units will be two stories in height. Where townhome buildings are adjacent to each other, the GDP requires one of the end units to be one story in height. This provides variation in the roofline between buildings. This standard is met, and the one story end units are identifiable on the site plan as the units with a wider footprint (Units 1, 7, 23, 28, 33, 38, 49, 58, 68, 73, and 84).
- As required by the GDP, the front yard setbacks of adjacent buildings situated along 50<sup>th</sup> Street are staggered to prevent a wall-like appearance along the public street. The front yard setback of the three buildings fronting 50<sup>th</sup> Street are offset from one another by 2 ft.
- With 33% common open space, the development exceeds the 20% open space requirement of the GDP.
- The Future Land Use Map in the Comprehensive Plan designates the region of the subject property as Low Density Residential. While this individual development is not low density, the overall Kendall Brook GDP was deemed to meet the intention of the Comprehensive Plan at the time of its approval.
- The proposal is infill development, as land in all directions is already developed. While the townhome development is higher density than the surrounding single family residential subdivisions, this use as proposed is generally compatible with these nearby developments. There are no unique matters of concern regarding negative impacts to surrounding property.

#### **D. Subdivision and Design Standards**

##### **1. Section 16.20.030:**

- a. The subdivision does not create, or mitigates to the extent possible, negative impacts on the surrounding property.*
- b. The lots and tracts are laid out to allow efficient use of the property to be platted.*
- c. The subdivision provides desirable settings for buildings, protects views, and affords privacy, protect from noise and traffic, and uses resources such as energy and water in keeping with responsible resource stewardship.*
- d. The subdivision has been reviewed in accordance with the pertinent portions of the adopted Comprehensive Master Plan.*

##### **2. Section 16.24.050:** *All lots comply with the standards set forth in the GDP and, to the extent practical, lot lines are at right angles to the street line or at right angles to the tangent of the curve of the street line.*

##### **3. Section 16.24.120:**

- a. Landscaping complies with the requirements set forth in the GDP and bufferyards required pursuant to the GDP are within separate tracts of land, separate from individual residential lots.*
- b. Street trees are located in compliance with the City's Site Development Performance Standards and guidelines, unless waived by the Director.*

##### **4. Section 18.41.050.E.2:** *Development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by:*

- a. Incorporating natural physical features into the PDP design and providing sufficient open spaces considering the type and intensity of proposed land uses.*

- b. The PDP incorporates environmentally sensitive areas, including but not limited to wetlands and wildlife corridors, into the project design.*
- c. Incorporating site planning techniques that will foster the implementation of the Loveland Comprehensive Master Plan.*
- d. Incorporating physical design features that will provide a transition between the project and adjacent land uses through the provisions of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures.*
- e. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings and street furniture.*

**Current Planning:** Staff believes that these findings can be met, due to the following:

- A photometric plan demonstrating compliance with the city's lighting standards has been submitted. No noise study is required for a proposal of this nature. The townhome development will not cause any unusual levels of light or noise or a significant diminishment of existing views or privacy.
- The lot layout is efficiently designed to allow convenient access to each unit by both motorists and pedestrians. Lots are roughly rectangular in shape. Significant landscaping will be situated at the perimeter to provide buffering and a picket fence will be situated along front lot lines to provide some privacy without creating a solid separation of the development from the adjacent land. While the city generally encourages street connections, no opportunity exists to connect the drive within this development to other streets except for W. 50<sup>th</sup> Street.
- There are no double frontage lots in this subdivision, as a tract with a bufferyard is situated along the perimeter of the development. All lots will have access to an internal drive that connects to 50<sup>th</sup> Street, a public right-of-way.
- Detached sidewalk extends along the front of each unit, with walkways then extending from the sidewalk to each front door. For the buildings along 50<sup>th</sup> Street, the sidewalk is situated within the 50<sup>th</sup> Street right-of-way. For the buildings along the east, west, and south perimeter of the development, the sidewalk is situated within the homeowners association bufferyard tract, and for the interior buildings facing the center park, the sidewalk is also situated within the homeowners association tract.
- The sidewalk adjacent to the interior buildings connects to the perimeter sidewalk through connections provided between buildings.
- No environmental impacts have been identified for the site. Significant landscaped buffer areas are planned between the lots created with this plat and the adjacent properties.
- The preliminary landscape plans demonstrates the inclusion of dense landscape with a variety of species.

## **IX. RECOMMENDED CONDITIONS**

### Current Planning:

1. The Developer shall install all street trees, common open space landscape, and other common open space improvements as shown on the landscape plan in the subsequent Final Development Plan and Public

Improvement Construction Plans. These improvements shall be installed prior to issuance of the first building permit unless the Developer has filed adequate financial security with the city.

2. All external mechanical equipment including HVAC units, electrical meters, and breaker/junction boxes, shall be screened from public view by architectural building features or landscaping.

3. The Final Development Plan shall include a materials board and color schemes for all buildings proposed on this site. Specific materials and colors shall be approved by the Current Planning Manager.

#### Transportation:

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1. All public improvements presented in the Preliminary Development Plan (PDP) or any accompanying Public Improvement Construction Plan (PICP) documents (text or graphical depictions), shall conform to the Larimer County Urban Area Street Standards (LCUASS).

2. City signed Preliminary Development Plans (including any associated PICP's) do not allow any construction within the public street or alley rights-of-way or pedestrian easements. A separate City Street right-of-way (ROW) work permit must be obtained by the developer and/or his contractor at the City Project Engineering Office (and approved by Project Engineering) prior to any repair or construction of sidewalk, curb & gutter, driveway accesses or any other construction in the City street ROW or pedestrian easements (this includes all items such as utility street cuts, sidewalk ramps, construction staging in the street, landscaping, traffic control etc...). Call 970.962.2510 to discuss details to obtain a ROW work permit.

3. Prior to the issuance of any building permits for Kendall Brook Townhomes, Replat of Outlot A, Kendall Brook First Subdivision, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct all on-site improvements and street improvements as shown in the City approved Public Improvement Construction Plans unless already designed and constructed by others.

4. All trees, shrubs, and other plant materials located within the clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of LCUASS. Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet above any public street or sidewalk. Shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity.



PRELIMINARY DEVELOPMENT PLAN

KENDALL BROOK SECOND SUBDIVISION SITUATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

(KENDALL BROOK TOWNHOMES)

APPROVAL SIGNATURE

- a) APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BY THE  
CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, COLORADO.
- \_\_\_\_\_
- CURRENT PLANNING MANAGER
- b) APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BY THE CITY  
ENGINEER OF THE CITY OF LOVELAND, COLORADO.
- \_\_\_\_\_
- CITY ENGINEER
- c) APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BY THE CITY  
ATTORNEY OF THE CITY OF LOVELAND, COLORADO.
- \_\_\_\_\_
- CITY ATTORNEY
- d) APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BY THE CITY  
PLANNING COMMISSION OF THE CITY OF LOVELAND, COLORADO.
- \_\_\_\_\_
- CHAIRPERSON
- e) APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_ BY THE CITY  
COUNCIL OF THE CITY OF LOVELAND, COLORADO.
- \_\_\_\_\_
- MAYOR ATTEST

OWNER'S SIGNATURE BLOCK

KNOW ALL MEN BY THESE PRESENT THAT:

THE FLATS AT CENTERRA, LLC, GREAT WESTERN BANK, & CENTERRA OFFICE PARTNERS, LLC, BEING ALL THE LAWFUL RECORDED OWNERS OF THE PROPERTY SHOWN ON THIS FINAL DEVELOPMENT PLAN, EXCEPT ANY EXISTING PUBLIC STREETS, ROADS, OR HIGHWAYS, DO HEREBY CERTIFY THAT IWE ACCEPT THE CONDITIONS SET FORTH ON SAID SITE PLAN AND IN THE CONDITIONS OF APPROVAL BY THE CITY OF LOVELAND, DATED \_\_\_\_\_, AND THAT IWE CONSENT TO THE RECORDATION OF ANY INFORMATION THERETO.

\_\_\_\_\_

(OWNER'S SIGNATURE)

\_\_\_\_\_

(LIENHOLDER'S SIGNATURE)

\_\_\_\_\_

(LIENHOLDER'S SIGNATURE)

NOTARIAL CERTIFICATE

STATE OF COLORADO)

JSS

COUNTY OF \_\_\_\_\_)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_.

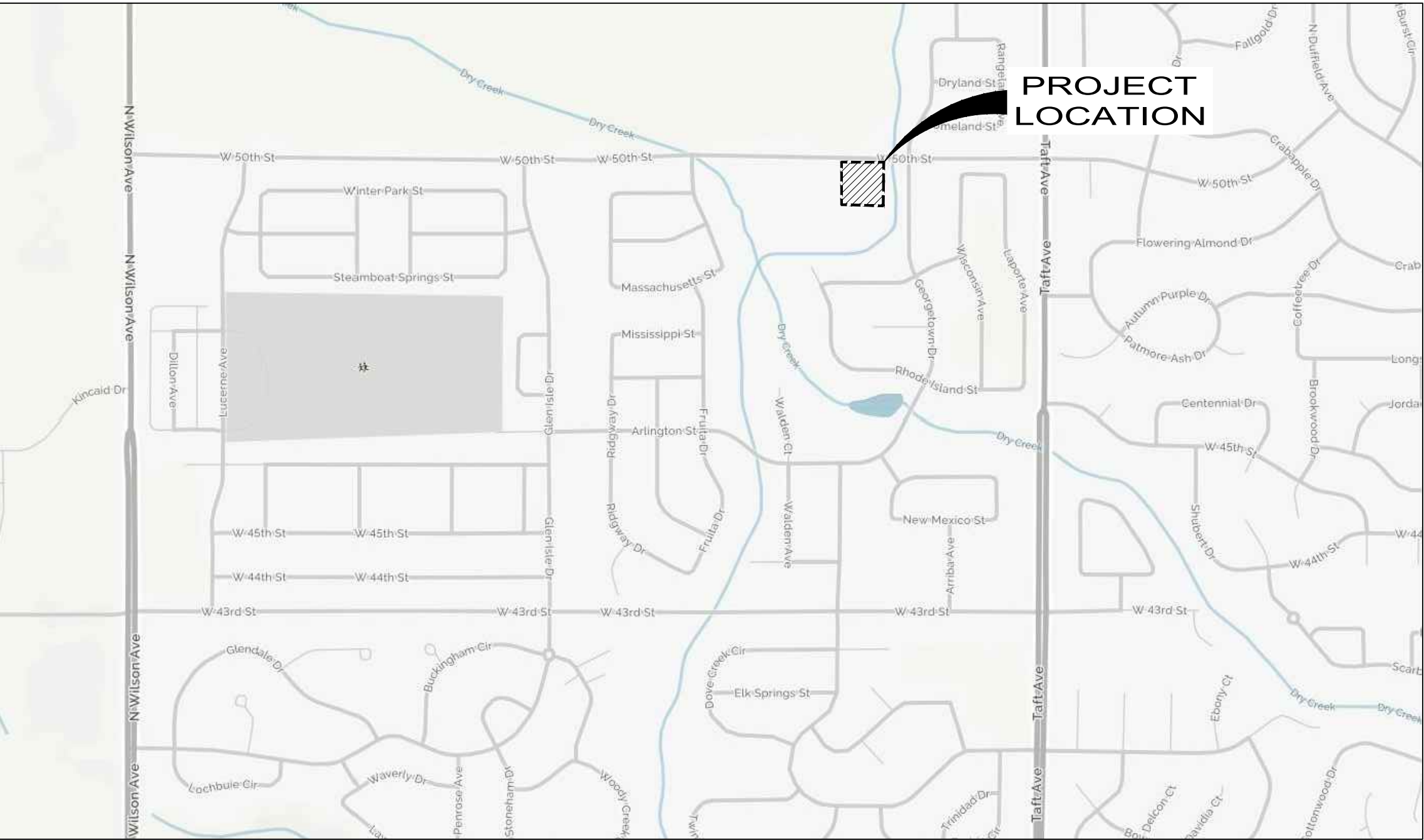
WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: \_\_\_\_\_

\_\_\_\_\_

NOTARY PUBLIC

(SEAL)



VICINITY MAP:



TDR CONDITIONS OF APPROVAL

1. ALL PUBLIC IMPROVEMENTS PRESENTED IN THE PRELIMINARY DEVELOPMENT PLAN (PDP) OR ANY ACCOMPANYING PUBLIC IMPROVEMENT CONSTRUCTION PLAN (PICP) DOCUMENTS (TEXT OR GRAPHICAL DEPICTIONS), SHALL CONFORM TO THE LARIMER COUNTY URBAN AREA STREET STANDARDS (LCUASS).
2. CITY SIGNED PRELIMINARY DEVELOPMENT PLANS (INCLUDING ANY ASSOCIATED PICP'S) DO NOT ALLOW ANY CONSTRUCTION WITHIN THE PUBLIC STREET OR ALLEY RIGHTS-OF-WAY OR PEDESTRIAN EASEMENTS. A SEPARATE CITY STREET RIGHT-OF-WAY (ROW) WORK PERMIT MUST BE OBTAINED BY THE DEVELOPER AND/OR HIS CONTRACTOR AT THE CITY PROJECT ENGINEERING OFFICE (AND APPROVED BY PROJECT ENGINEERING) PRIOR TO ANY REPAIR OR CONSTRUCTION OF SIDEWALK, CURB & GUTTER, DRIVEWAY ACCESSES OR ANY OTHER CONSTRUCTION IN THE CITY STREET ROW OR PEDESTRIAN EASEMENTS (THIS INCLUDES ALL ITEMS SUCH AS UTILITY STREET CUTS, SIDEWALK RAMPS, CONSTRUCTION STAGING IN THE STREET, LANDSCAPING, TRAFFIC CONTROL ETC...). CALL 970.962.2510 TO DISCUSS DETAILS TO OBTAIN A ROW WORK PERMIT.
3. PRIOR TO ISSUANCE OF ANY BUILDING PERMITS FOR KENDALL BROOK TOWN HOMES, REPLAT OF OUTLOT A, KENDALL BROOK FIRST SUBDIVISION, PURSUANT TO THE PROVISIONS IN SECTION 16.40.010.B OF THE LOVELAND MUNICIPAL CODE, THE DEVELOPER SHALL DESIGN AND CONSTRUCT ALL ON-SITE IMPROVEMENTS AND STREET IMPROVEMENTS AS SHOWN IN THE CITY APPROVED PUBLIC IMPROVEMENT CONSTRUCTION PLANS UNLESS ALREADY DESIGNED AND CONSTRUCTED BY OTHERS.
4. ALL TREES, SHRUBS, AND OTHER PLANT MATERIALS LOCATED WITHIN THE CLEAR SIGHT TRIANGLES SHALL BE TRIMMED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 7.07 OF LCUASS. UNDER CURRENT LCUASS REQUIREMENTS, TREES SHALL BE LIMBED TO A HEIGHT OF NOT LESS THAN EIGHT (8) FEET ABOVE ANY PUBLIC STREET OR SIDEWALK. SHRUBS AND OTHER PLANT MATERIALS SHALL BE MAINTAINED AT A HEIGHT OF NOT MORE THAN THIRTY (30) INCHES, AND SAID MAINTENANCE SHALL BE CONDUCTED IN PERPETUITY.

PROJECT PURPOSE:

A residential condominium project.

DEVELOPER/APPLICANT

Owner: Kendall Brook Townhomes  
Jason Sherrill, CEO.  
Landmark Homes  
1170 West Ash Street Suite 100  
Windsor, Colorado 80550  
(970) 460-0567

PLANNER/  
LANDSCAPE ARCHITECT

Jim Doyle  
TB Group  
444 Mountain Avenue  
Berthoud, Colorado 80513  
(970) 532-5891

SITE ENGINEER/SURVEYOR

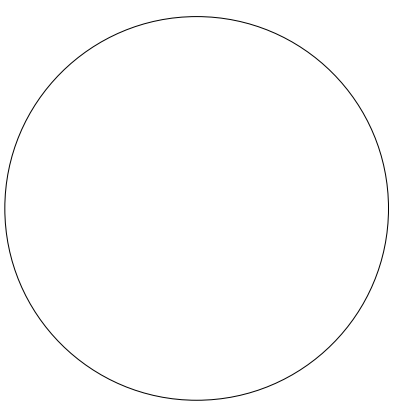
NORTHERN ENGINEERING SERVICES, INC.  
301 NORTH HOWES STREET, SUITE 010  
FORT COLLINS, COLORADO 80521  
970.221.4158

CONTACT: RYAN BANNING  
RYAN@NORTHERNENGINEERING.COM

SHEET INDEX:

|                           |       |
|---------------------------|-------|
| COVER SHEET               | 1     |
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| OVERALL LANDSCAPE PLAN    | 3     |
| LANDSCAPE NOTES & DETAILS | 4     |
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SEAL



PROJECT TITLE

KENDALL  
BROOK  
TOWNHOMES

LOVELAND, CO

PREPARED FOR

Landmark Homes

1170 W Ash St # 100  
Windsor, CO 80550-4783  
(970) 460-0567  
CONTACT: Jason Sherrill

| REVISIONS                 | DATE    |
|---------------------------|---------|
| Revised Per City Comments | 6-29-16 |
| Revised Per City Comments | 8-12-16 |
|                           |         |
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DATE

09-22-2015

SHEET TITLE

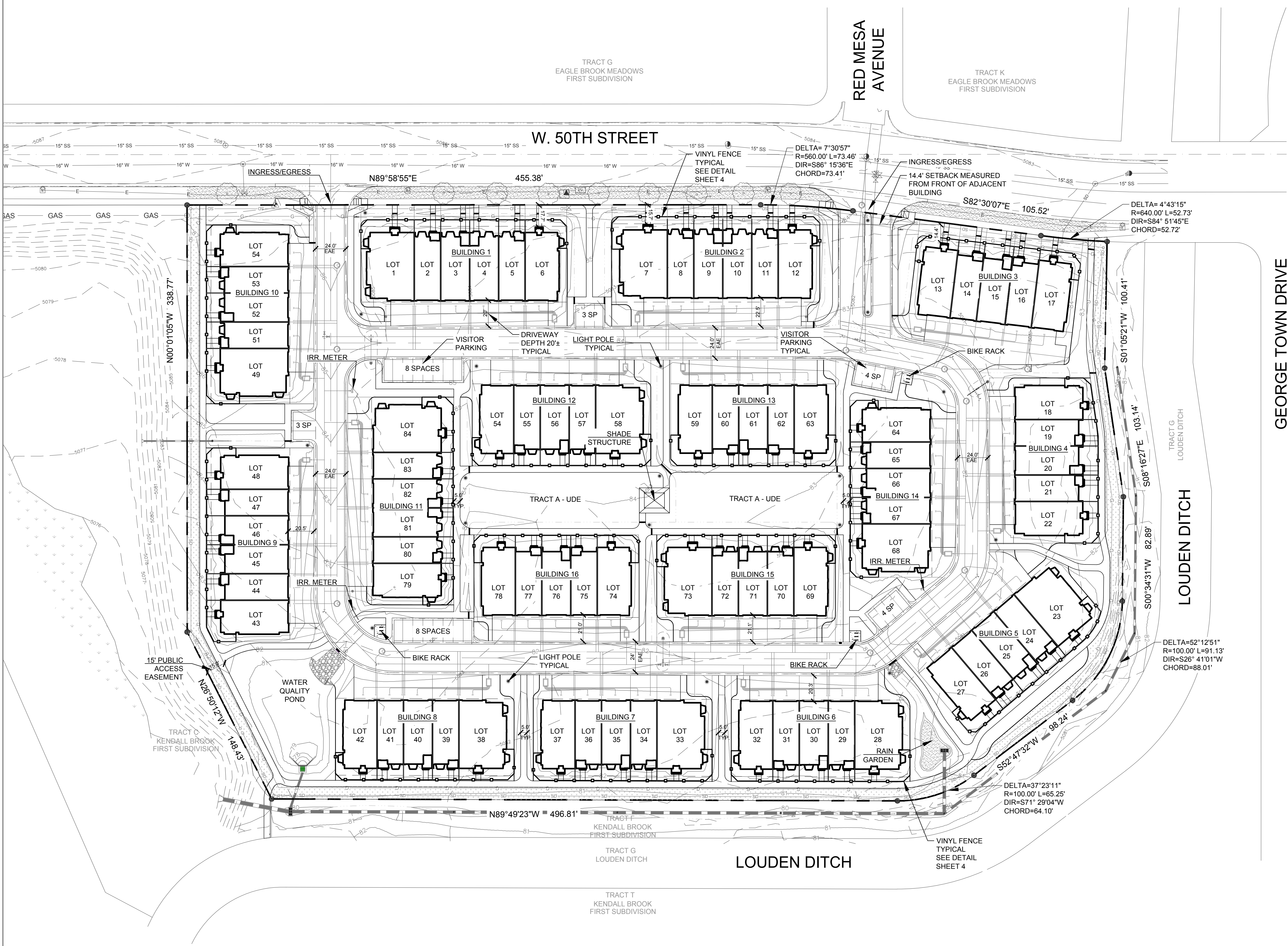
Cover Sheet

SHEET INFORMATION

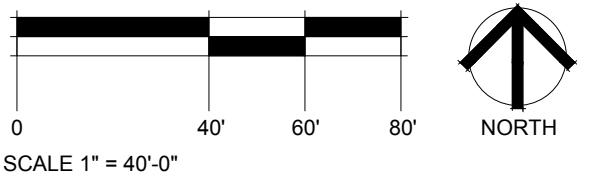
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Of: 10





SITE PLAN  
CENTERRA CONDOMINIUMS

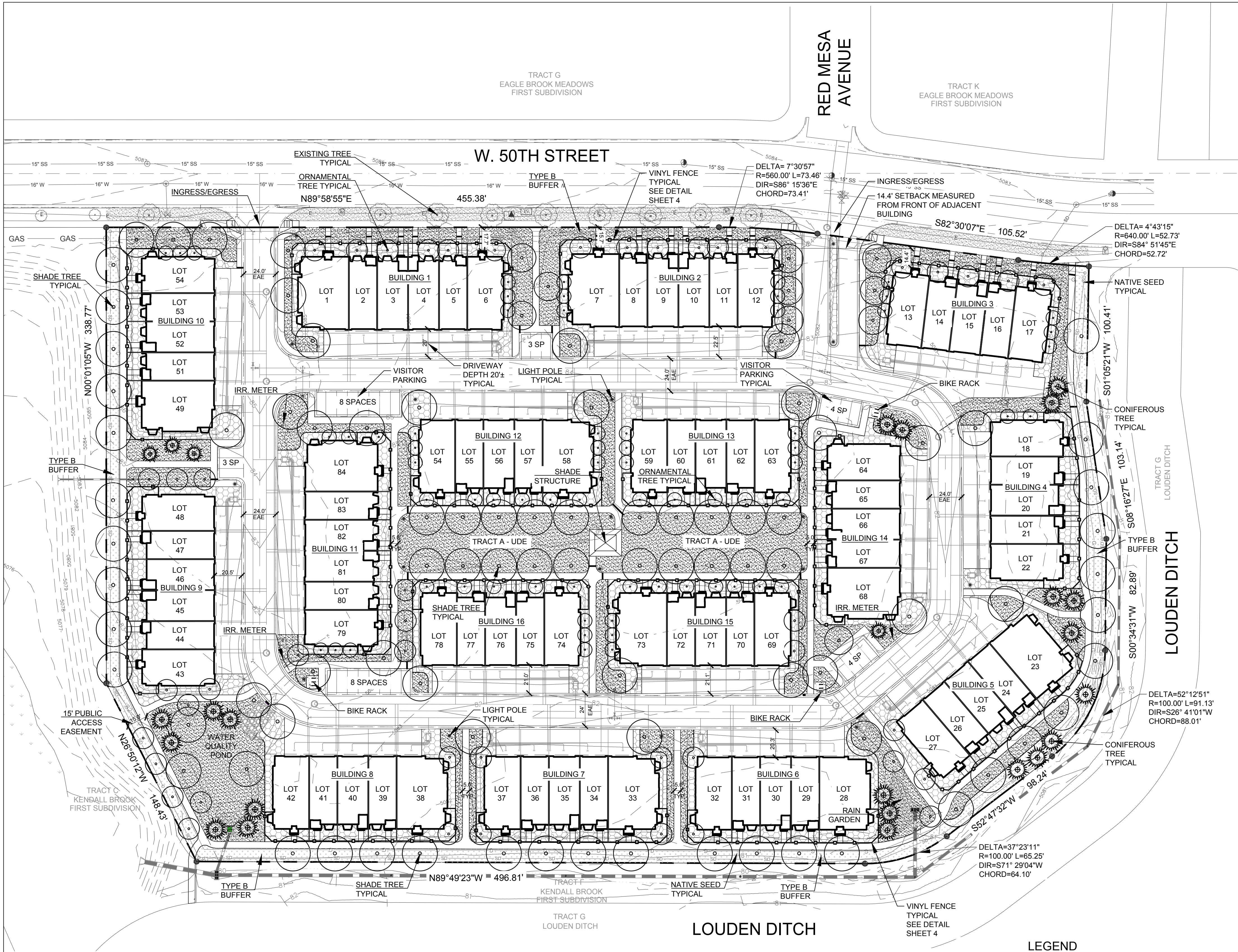


| LEGEND |                        |
|--------|------------------------|
|        | LIGHT POLE             |
|        | BIKE RACK              |
|        | TRANSFORMER            |
|        | HANDICAP PARKING STALL |

| SITE DATA TABLE                                    |                             |          |        |
|--|-----------------------------|----------|--------|
| TOTAL UNITS:                                       | 84                          |          |        |
| BUILDING COVERAGE                                  | 109,043 S.F.                | 2.51 AC. | (33%)  |
| PARKING AND DRIVES                                 | 84,070 S.F.                 | 1.93 AC. | (25%)  |
| WALKWAYS   | 28,749 S.F.                 | 0.66 AC. | (9%)   |
| LANDSCAPE / OPEN SPACE                             | 109,640 S.F.                | 2.51 AC. | (33%)  |
| GROSS SITE AREA:                                   | 331,461 S.F.                | 7.61 AC. | (100%) |
| PARKING DATA                                       |                             |          |        |
| STANDARD GARAGE                                    | REQUIRED                    | PROVIDED |        |
| DRIVEWAY PARKING                                   | 0                           | 168      |        |
| VISITOR PARKING                                    | 30                          | 30       |        |
| HANDICAP PARKING                                   | 6                           | 6        |        |
| TOTAL PARKING                                      | 204                         | 372      |        |
| BICYCLE PARKING<br>(2 SPOTS PER 25 PARKING SPACES) | 15                          | 15       |        |
| TOTAL FLOOR AREA                                   | 109,043 SF                  |          |        |
| FLOOR AREA RATIO                                   | .328                        |          |        |
| PROPERTY ZONING                                    | KENDALL BROOK TOWNHOMES PUD |          |        |
| LAND USE   | TOWNHOMES                   |          |        |
| BUILDING HEIGHT                                    | 32'-0"                      |          |        |
| BUILDING OCCUPANCY TYPE                            | TBD                         |          |        |
| ALLOWABLE AREA OCCUPANCY                           | TBD                         |          |        |
| TYPE OF CONSTRUCTION                               | TBD                         |          |        |
| OCCUPANCY LOAD                                     | TBD                         |          |        |
| FEMA FLOODPLAIN                                    | NO                          |          |        |

| REVISIONS                 | DATE    |
|---------------------------|---------|
| Revised Per City Comments | 6-29-16 |
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## OVERALL LANDSCAPE PLAN

### BUFFERYARD REQUIREMENT TABLES

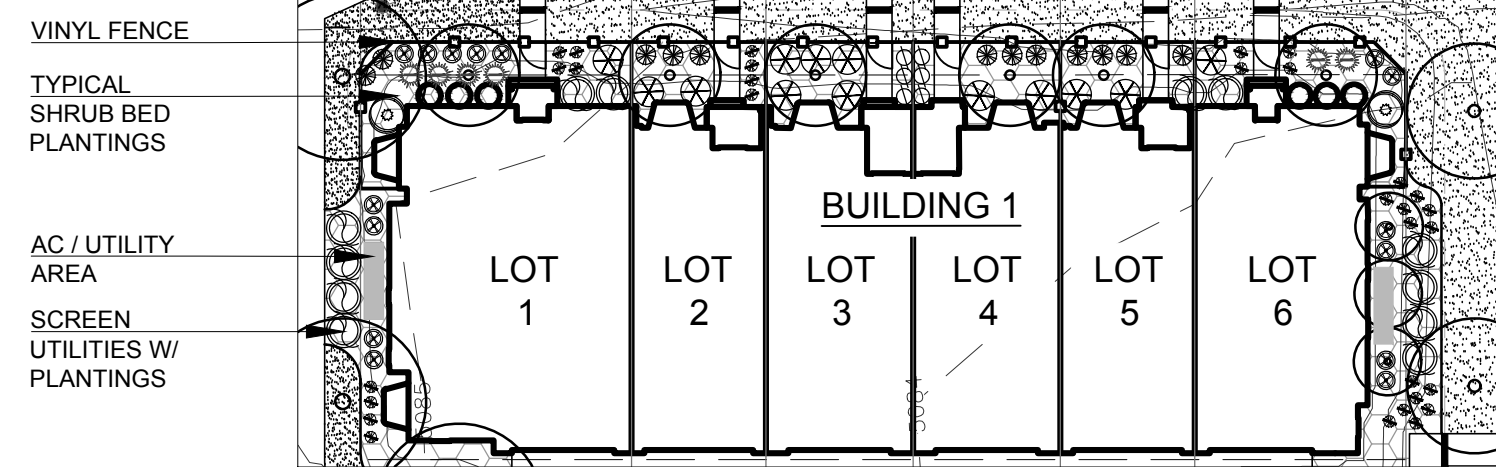
**1. LANDSCAPE BUFFER ALONG WEST 50TH STREET**  
BUFFER TYPE: B PER THE CITY STANDARDS.  
EXISTING STREET TREES ARE CURRENTLY PLANTED ALONG WEST 50TH.  
ADDITIONALLY SIGNIFICANT FRONT YARD LANDSCAPING WILL BE INSTALLED  
TO BE COMPATIBLE WITH THE EXISTING NEIGHBORHOOD.  
LENGTH OF BUFFER - 560.9'  
WIDTH OF BUFFER - VARIES 15' TO 18.7'  
PLANT MULTIPLIER - 1

**2. LANDSCAPE BUFFER WEST PROPERTY BOUNDARY**  
BUFFER TYPE: B  
LENGTH OF BUFFER -  
WEST SIDE: 487.2'  
WIDTH OF BUFFER - VARIES 26' WIDE  
PLANT MULTIPLIER - .9

**3. LANDSCAPE BUFFER EAST PROPERTY BOUNDARY**  
BUFFER TYPE: B  
LENGTH OF BUFFER -  
WEST SIDE: 377.57'  
WIDTH OF BUFFER - VARIES 19'-25' WIDE  
PLANT MULTIPLIER - .8

**2. LANDSCAPE BUFFER SOUTH PROPERTY BOUNDARY**  
BUFFER TYPE: B  
LENGTH OF BUFFER -  
SOUTH: 595.05'  
WIDTH OF BUFFER - VARIES 24' WIDE  
PLANT MULTIPLIER - 1

### TYPICAL SHRUB BED PLANTING



### LEGEND

|  |   |
|--|---|
|  | TURF                                      |
|  | SHRUB BED<br>2.4" COBBLE<br>MULCH TYPICAL |
|  | NATIVE SEED                               |

### LEGEND

|                                  |  |      |     |
|----------------------------------|--|------|-----|
| SHADE / CANOPY TREES - 0         |  |      |     |
| HONEYLOCUST, IMPERIAL            | Gleditsia triacanthos 'Imperial'         | 45'  | 35' |
| LINDEN, STERLING                 | Tilia tomentosa 'Sterling'               | 45'  | 30' |
| MAPLE, AMUR MAPLE                | Acer ginnala                             | 30'  | 20' |
| MAPLE, AUTUMN BLAZE              | Acer x freemanii 'Jeffersred'            | 50'  | 40' |
| OAK, BUR                         | Quercus macrocarpa                       | 50'  | 40' |
| OAK, CRIMSON SPIRE               | Quercus robur 'Crimschmidt'              | 40'  | 15' |
| OAK, ENGLISH FASTIGIATE          | Quercus robur 'Fastigiata'               | 40'  | 15' |
| EVERGREEN TREES - 0              |  |      |     |
| PINE, BOSNIAN                    | Pinus heldreichii                        | 40'  | 10' |
| PINE, VANDERWOLF'S               | Pinus flexilis 'Vanderwolfs'             | 30'  | 15' |
| SPRUCE, NORWAY FASTIGIATE        | Picea abies 'Cupressina'                 | 18'  | 5'  |
| SPRUCE, BAKERI                   | Picea pungens 'Bakeri'                   | 35'  | 20' |
| SPRUCE, BLUE                     | Picea pungens 'Glauca'                   | 35'  | 20' |
| ORNAMENTAL TREES - 0             |  |      |     |
| CRABAPPLE, CENTURION             | Malus spp. 'Centurion'                   | 25'  | 20' |
| CRABAPPLE, CORAL BURST           | Malus spp. 'Coral Burst'                 | 10'  | 12' |
| CRABAPPLE, PRAIRIE FIRE          | Malus spp. 'Prairie Fire'                | 20'  | 15' |
| CRABAPPLE, SPRING SNOW           | Malus spp. 'Spring Snow'                 | 20'  | 20' |
| PEAR, AUTUMN BLAZE               | Pyrus calleryana 'Autumn Blaze'          | 25'  | 25' |
| PEAR, CHANTICLEER                | Pyrus calleryana 'Chanticleer'           | 40'  | 15' |
| EVERGREEN SHRUBS - 0             |  |      |     |
| - JUNIPER, BLUE CHIP             | Juniperus horizontalis 'Blue Chip'       | 1'   | 6'  |
| - JUNIPER, CALGARY CARPET        | Juniperus sabina 'Calgary Carpet'        | 2.5' | 5'  |
| - JUNIPER, SCANDIA               | Juniperus sabina 'Scandia'               | 1'   | 8'  |
| - JUNIPER, SKYROCKET             | Juniperis scopulorum 'Skyrocket'         | 15'  | 3'  |
| - SPRUCE, DWARF NORWAY           | Picea abies 'Pumila'                     | 3'   | 5'  |
| DECIDUOUS SHRUBS - 0             |  |      |     |
| - BOXWOOD, JULIA JANE            | Buxus microphylla 'Julia Jane'           | 4'   | 4'  |
| - BUCKTHORN, ALDER               | Rhamnus frangula                         | 20'  | 20' |
| - BUTTERFLY BUSH                 | Buddleja davidii                         | 6'   | 8'  |
| - CHOKEBERRY, BRILLIANT RED      | Aronia arbutifolia 'Brilliantissima'     | 6'   | 6'  |
| - DOGWOOD, ISANTI                | Cornus stolonifera 'Isanti'              | 4'   | 4'  |
| - EUONYMUS, DWARF BURNING BUSH   | Euonymus alatus 'Compactus'              | 4'   | 6'  |
| - LILAC, DWARF KOREAN            | Syringa meyeri 'Palibin'                 | 4'   | 4'  |
| - NINEBARK, LITTLE DEVIL         | Physocarpus opulifolius 'Donna May'      | 4'   | 4'  |
| - HIBISCUS SYRIACUS              | Hibiscus syriacus                        | 8'   | 6'  |
| - ROSE, RED KNOCK-DOUBLE RED     | Rosa Knock-out 'RadTKO'                  | 4'   | 4'  |
| - SAGE, RUSSIAN                  | Perovskia atriplicifolia                 | 5'   | 4'  |
| - SPIREA, LITTLE PRINCESS        | Spiraea japonica 'Little Princess'       | 3'   | 6'  |
| - VIBURNUM, JUDD                 | Viburnum x juddi                         | 6'   | 8'  |
| PERENNIALS / GRASSES - 0         |  |      |     |
| - AGASTACHE, SUNSET              | Agastache rupestris 'Apache sunset'      | 2'   | 1'  |
| - BLACK EYED SUSAN               | Rudbeckia hirta                          | 2'   | 1'  |
| - CORAL BELLS                    | Heuchera micrantha 'Palace Purple'       | 1'   | 1'  |
| - DAPHNE, CAROL MACKIE           | Daphne x burkwoodii 'Carol Mackie'       | 3'   | 4'  |
| - GRASS, AVENA                   | Helictotrichon sempervirens              | 3'   | 2'  |
| - GRASS, BLUE FESCUE             | Festuca glauca                           | 1'   | 1'  |
| - GRASS, FEATHER REED            | Calamagrostis acutiflora 'Karl Foerster' | 4'   | 2'  |
| - GRASS, FOUNTAIN                | Pennisetum setaceum                      | 3'   | 3'  |
| - GRASS, GRACILLIMUS             | Miscanthus sinensis 'Gracillimus'        | 6'   | 3'  |
| - GRASS, PURPLE FLAME            | Miscanthus Purpurascens                  | 4'   | 4'  |
| - GRASS, MISCANTHUS              | Miscanthus sinensis 'Morning Light'      | 6'   | 3'  |
| - GRASS, MOOR                    | Molinia caerulea 'Variegata'             | 1'   | 2'  |
| - GRASS, PINK MUHLY              | Muellerbergia capillaris 'Lencia'        | 4'   | 4'  |
| - GRASS, HEAVY METAL BLUE SWITCH | Panicum virgatum 'Heavy Metal'           | 3'   | 18" |
| - IRIS, SIBERIAN                 | Iris sibirica                            | 3'   | 1'  |

### NOTES:

THE PLANT LIST ABOVE ILLUSTRATES TYPICAL LANDSCAPE PLANTINGS THAT MAY BE INCLUDED WITH KENDALL BROOK TOWNHOMES LANDSCAPE PLAN. THE FINAL LANDSCAPE PLANT LIST WILL VARY.

## KENDALL BROOK TOWNHOMES

LOVELAND, CO

PREPARED FOR

Landmark Homes

1170 W Ash St # 100  
Windsor, CO 80550-4783  
(970) 460-0567  
CONTACT: Jason Sherrill

Revised Per City Comments 6-29-16  
Revised Per City Comments 8-12-16

09-22-2015

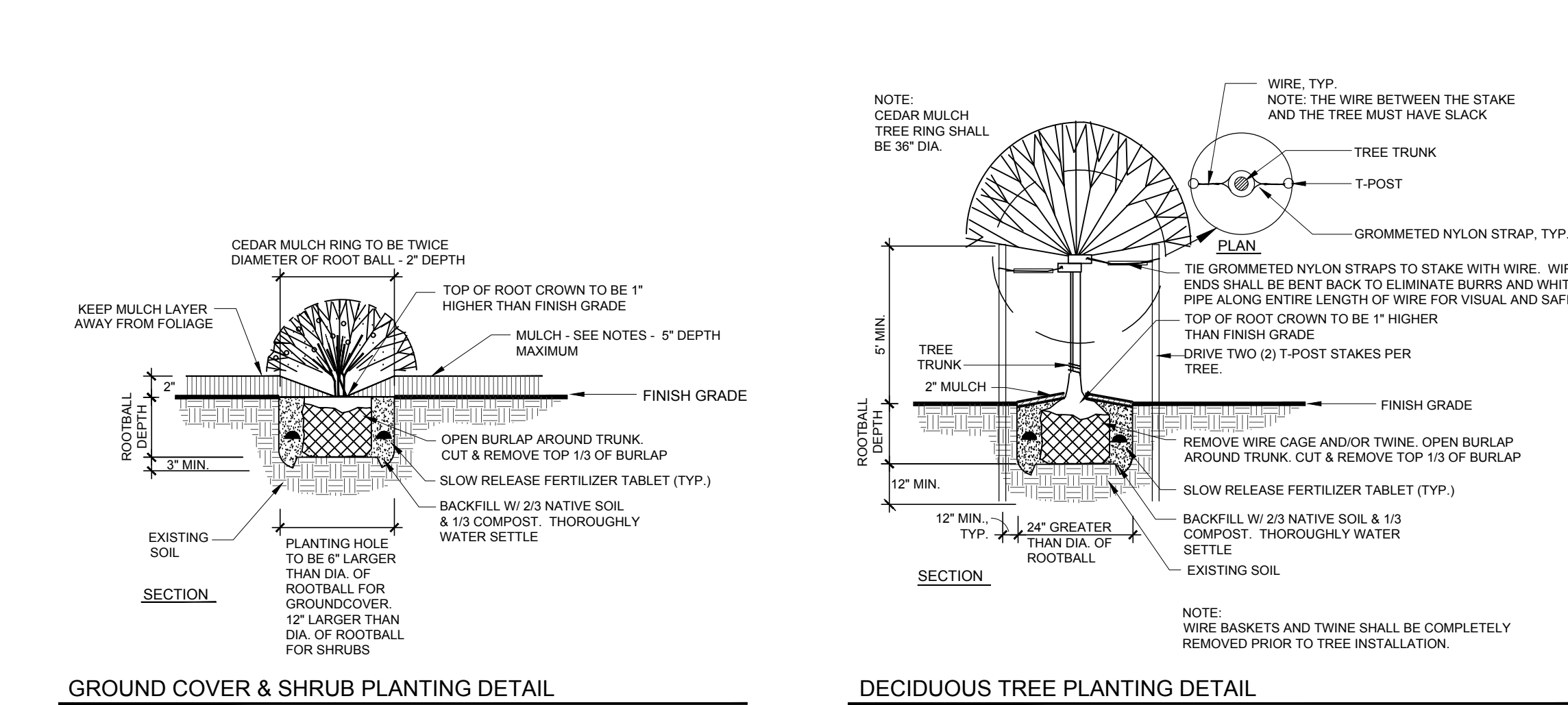
## Overall Landscape Plan

Sheet Number: 3

of: 10



PLANTING DETAILS

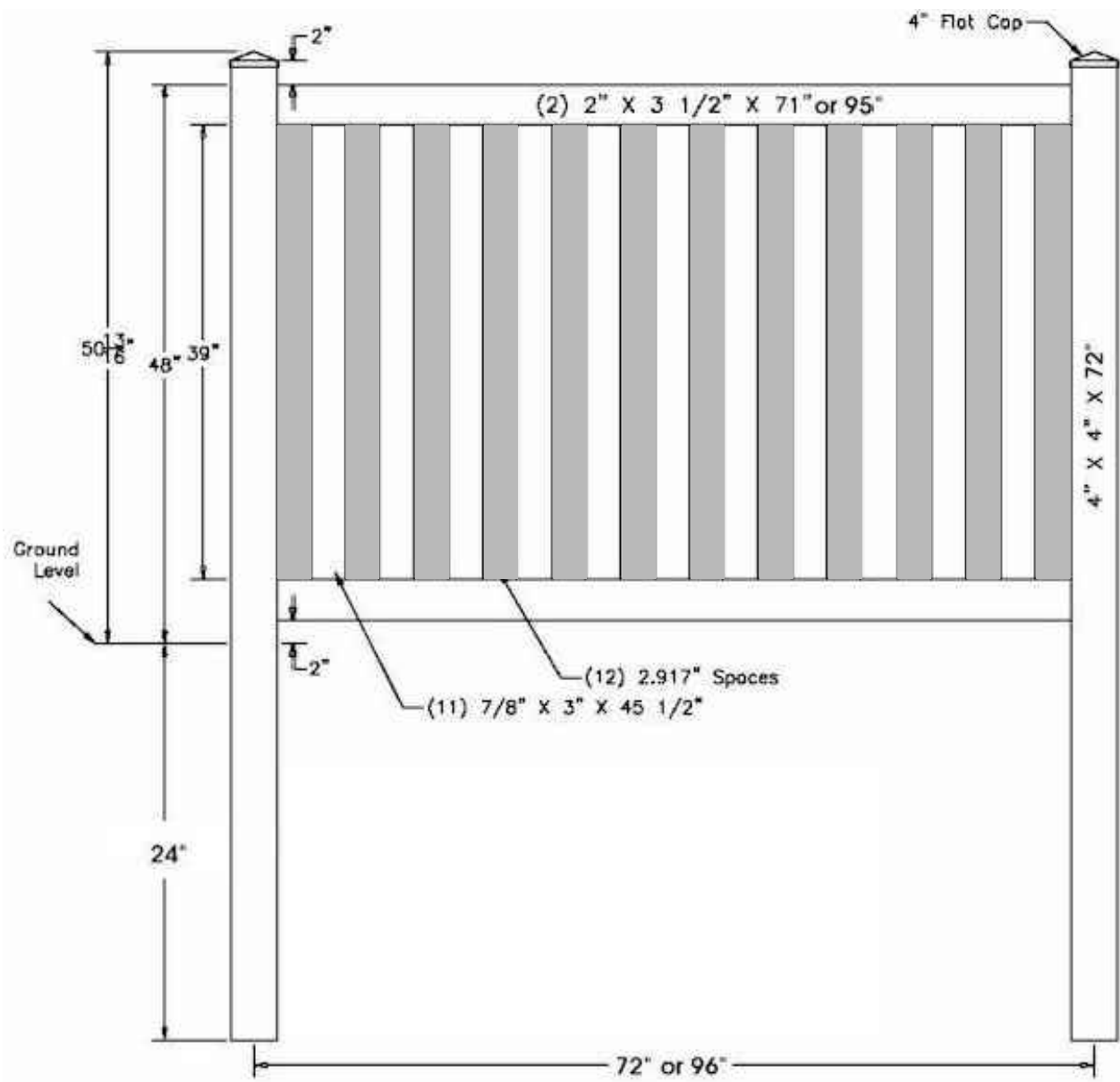


LANDSCAPE NOTES

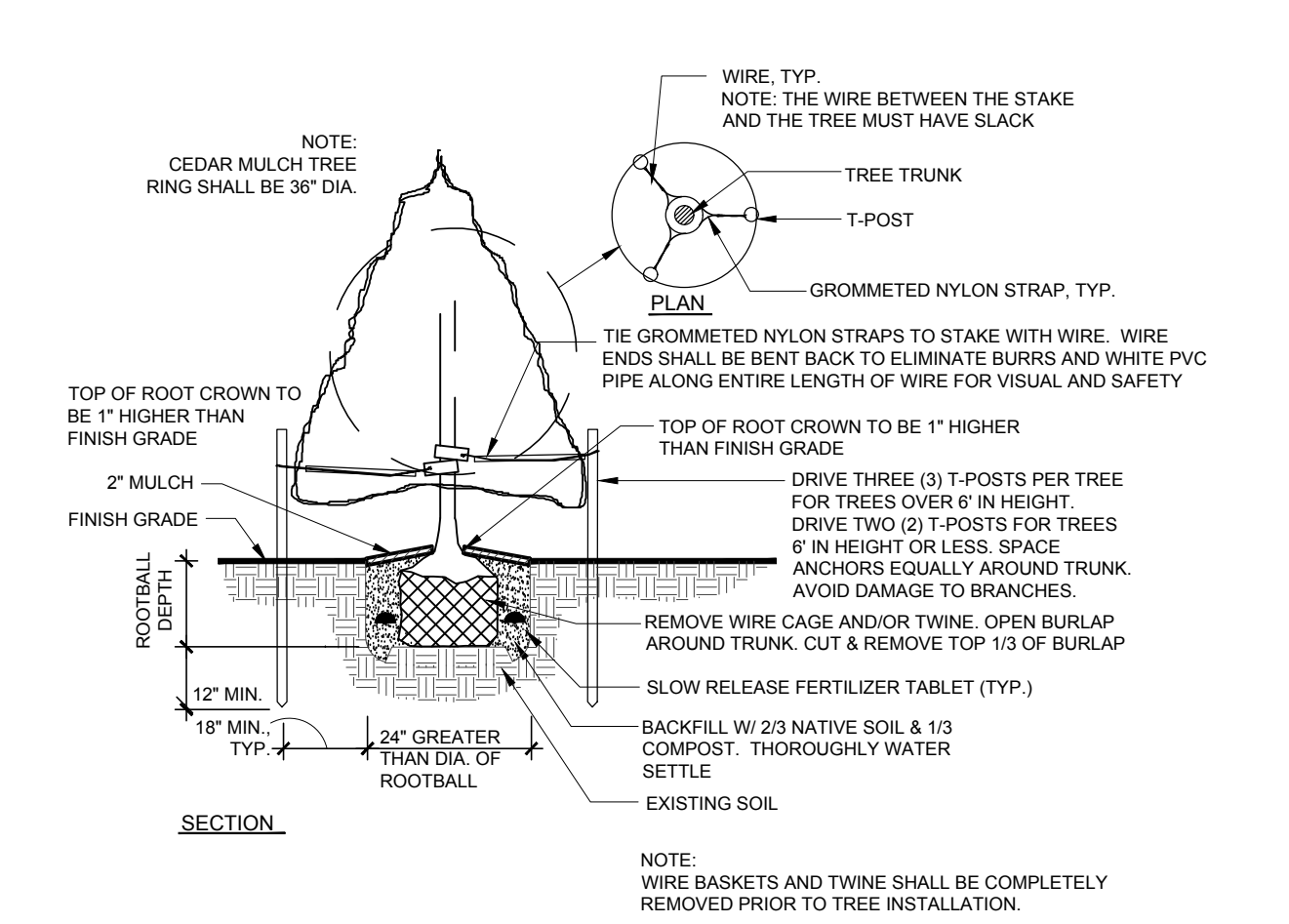
- LANDSCAPE CONTRACTOR MUST CONTACT CITY OF LOVELAND AND RECREATION DEPARTMENT PRIOR TO PLANTING IN ORDER FOR CITY TO VERIFY PROPER PLANTING.
- CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- JOB SITE TO BE KEPT CLEAN AT ALL TIMES AND CONSTRUCTION AREAS ARE TO BE MAINTAINED FOR SAFETY.
- SOILS DISTURBED ADJACENT TO WORK AREA, INCLUDING AREAS OUTSIDE OF CONSTRUCTION LIMITS, DUE TO NEW CONSTRUCTION ARE TO BE REGRADED AND SURFACE CONDITIONS REPAIRED EQUIVALENT TO THAT CONDITION PRIOR TO START OF WORK.
- PROTECT EXISTING SURFACES AND SOILS, BOTH INSIDE AND OUTSIDE OF CONSTRUCTION LIMITS, DURING CONSTRUCTION. IF GRADES, CONCRETE OR ASPHALT ARE DAMAGED DUE TO CONSTRUCTION OPERATIONS OR WEATHER THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO THAT EQUIVALENT TO EXISTING CONDITIONS AT NO EXPENSE TO THE OWNER / CITY.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED OR CHANGED AFTER PLANS WERE SUBMITTED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE CITY OF LOVELAN IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE AND EXPENSE FOR THE CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-800-922-1987.
- STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER LINES, FOUR (4) FEET FROM GAS, TELEPHONE AND ELECTRIC UTILITIES, AND TEN (10) FEET FROM ANY DRIVEWAY.
- MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- NO SUBSTANTIAL IMPEDIMENT TO VISIBILITY BETWEEN THE HEIGHTS OF THREE (3) FEET AND EIGHT(8) FEET SHALL BE CREATED OR MAINTAINED AT STREET INTERSECTIONS WITHIN A SITE TRIANGLE DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF THE EDGES OF THE DRIVING SURFACE, THEN TO FORTY (40) FEET ALONG BOTH INTERSECTING EDGES AND THEN ALONG A TRANSVERSE LINE CONNECTING THESE POINTS.
- IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE BY OWNER
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES
- PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSENEED AND TILLED TO A 6" DEPTH. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION. ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. AFTER THAT TIME ORGANIC AMENDMENTS SHALL THEN BE THOROUGHLY TILLED AND INCORPORATED TO A MINIMUM 6" DEPTH IN THESE AREAS AT THE MINIMUM OF RATE OF 3 CU. YDS. / 1,000 SQ.FT.
- 10 - UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
- SOD TO BE 100% COLORADO GROWN TALL FESCUE GRASS SOD BLEND SPECIFICALLY GROWN FOR LOW WATER LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARM'S RECOMMENDATIONS.
- SEEDED AREAS -IF APPLICABLE: ADEQUATE IRRIGATION WILL BE PROVIDED FOR THE ESTABLISHMENT AND MAINTENANCE FOR THESE SEEDED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.
- SECOND DOMESTIC WATER METER TO BE SHOWN ON LANDSCAPE PLAN FOR IRRIGATION CONNECTION OR NON-POTABLE WATER SOURCE CONNECTION.
- ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS, INCLUDING 18" RADIUS WOOD MULCH RING IF PLANTED WITHIN GRASS AREAS PER DETAILS. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT FOR NUMBER ONE GRADE.
- IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS MUST BE REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE TOWN FORESTER.
- CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE TOWN FORESTER PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED AND SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH - NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. PLANTS LOCATED IN ROCK MULCH SHALL HAVE WOOD MULCH AROUND BASE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4" O.C. IN ALL DIRECTIONS.
- EDGING BETWEEN GRASS TYPES AND SHRUB BEDS SHALL BE HEAVY DUTY STEEL EDGER MIN. 14 GA x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH AND COBBLE TRANSITIONS

TYPICAL WHITE VINYL FENCE DETAIL

NOT TO SCALE



CONIFER TREE PLANTING DETAIL



IRRIGATION NOTES

- IRRIGATION SYSTEM TO BE INSTALLED PER IRRIGATION PLANS. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM. IF NECESSARY CONTACT THE WATER DEPARTMENT PRIOR TO BEGINNING DESIGN TO OBTAIN AVAILABLE PRESSURES.
- THE IRRIGATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE TOWN'S WATER DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE IRRIGATION SYSTEM MUST BE INSTALLED OR SECURED WITH A FINANCIAL INSTRUMENT DEPOSITED WITH THE TOWN PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.
- ALL INDICATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TURF AREAS LESS THAN 25 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 25 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
- ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF IRRIGATED SOD AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM.
- IRRIGATION SYSTEM WITH RAIN SENSOR AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

NATIVE GRASS SEED MIX

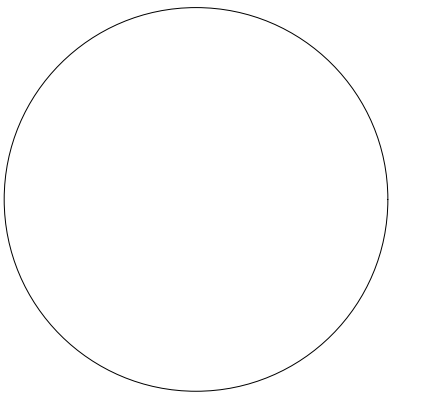
|   |     |
|---|-----|
| NON IRRIGATED NATIVE GRASS -  |     |
| FOOTHILLS NATIVE GRASS MIX: SEED SHALL BE A MIXTURE THAT MATCHES THE FOLLOWING: |     |
| COMMON NAME   | %   |
| ANNUAL RYEGRASS   | 20% |
| SLENDER WHEATGRASS  | 15% |
| MOUNTAIN BROME  | 10% |
| PUBESCENT WHEATGRASS  | 10% |
| HARD FESCUE   | 10% |
| KENTUCKY BLUEGRASS  | 10% |
| INDIANGRASS   | 8%  |
| BIG BLUESTEM  | 7%  |
| BLUE GRAMA  | 5%  |
| SWITCHGRASS   | 5%  |

- SEED SHALL BE AS MANUFACTURED BY ARKANSAS VALLEY SEED SOLUTIONS, 4625 COLORADO BOULEVARD, DENVER, CO 80216, (877) 957-3337.
- DRILLED IN TWO PERPENDICULAR DIRECTIONS WITH AN APPLICATION RATE: 25.0 LBS (PLS) PER ACRE ( 0.57 LBS / 1000 SF)
- ADEQUATE TEMPORARY IRRIGATION OR BY WATER TRUCK, OR BY OTHER ACCEPTABLE MEANS, WILL BE PROVIDED BY CONTRACTOR FOR THE WATERING, ESTABLISHMENT AND MAINTENANCE OF THESE SEEDED AREAS, AND THAT NATIVE GRASSES SHALL BE MAINTAINED IN A CONDITION OF ACCEPTABLE HEIGHT, FREE OF WEEDS, TRASH AND DEBRIS, AND SHALL NOT REPRESENT A FIRE HAZARD NOR BECOME A NUISANCE SITE FOR WATER OR WIND EROSION.

MULCH IN ALL NATIVE SEED AREAS:

- IMMEDIATELY FOLLOWING THE RAKING / SEEDING OPERATION, ADD STRAW MULCH TO THE SEEDED AREAS.
- APPLY STRAW MULCH AT A MINIMUM OF 1.5 TONS PER ACRE OF AIR DRY MATERIAL. SPREAD STRAW MULCH UNIFORMLY OVER THE AREA WITH MECHANICAL MULCH SPREADER / CRIMPER. DO NOT MULCH WHEN WIND VELOCITY EXCEEDS 10 MPH.
- WHEREVER THE USE OF CRIMPING EQUIPMENT IS PRACTICAL, PLACE MULCH IN THE MANNER NOTED ABOVE AND ANCHOR IT INTO THE SOIL. USE A DISC SUCH AS A MULCH TILLER WITH A FLAT SERRATED DISC AT LEAS 1/2 INCH IN THICKNESS, HAVING DULL EDGES, AND SPACE NO MORE THAN 9 INCHES APART, WITH DISCS OF SUFFICIENT DIAMETER TO PREVENT THE FRAME OF THE EQUIPMENT FROM DRAGGING THE MULCH. ANCHOR MULCH A MINIMUM DEPTH OF 2 INCHES AND ACROSS THE SLOPE WHERE PRACTICAL WITH NO MORE THAN TWO PASSES OF THE ANCHORING EQUIPMENT.
- IMMEDIATELY UPON COMPLETION OF THE MULCHING AND BINDING OPERATION, THE SEEDED AREAS SHALL BE IRRIGATED, KEEPING THE TOP 2 INCHES OF SOIL EVENLY MOIST UNTIL SEED HAS UNIFORMLY GERMINATED AND GROWN TO A HEIGHT OF 2-INCHES.
- WATERING APPLICATION SHALL BE DONE IN A MANNER WHICH WILL PROVIDE UNIFORM COVERAGE BUT WHICH WILL NOT CAUSE EROSION, MOVEMENT, OR DAMAGE TO THE FINISHED SURFACE.

SEAL



PROJECT TITLE

KENDALL  
BROOK  
TOWNHOMES

LOVELAND, CO

PREPARED FOR

Landmark Homes

1170 W Ash St # 100  
Windsor, CO 80550-4783  
(970) 460-0567  
CONTACT: Jason Sherrill

REVISIONS

| REVISIONS                 | DATE    |
|---------------------------|---------|
| Revised Per City Comments | 6-29-16 |
| Revised Per City Comments | 8-12-16 |
| Comments                  |         |
|                           |         |
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DATE

09-22-2015

SHEET TITLE

Landscape Notes

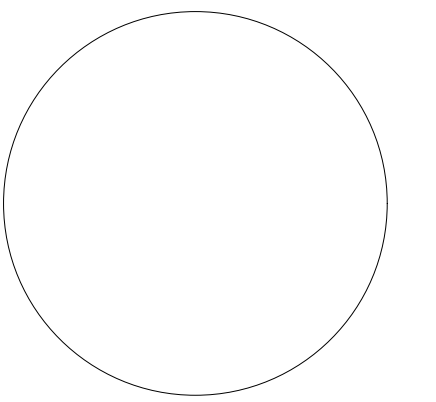
SHEET INFORMATION

Sheet Number: 4

of: 10



SEAL



PROJECT TITLE

**KENDALL  
BROOK  
TOWNHOMES**

LOVELAND, CO

PREPARED FOR

**Landmark Homes**

1170 W Ash St # 100  
Windsor, CO 80550-4783  
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DATE

09-22-2015

SHEET TITLE

**ARCHITECTURAL  
ELEVATIONS**

SHEET INFORMATION

Sheet Number: **5**

Of: **10**



**Rear Elevation**

1/8" = 1'-0"



**Left Elevation**

1/8" = 1'-0"



**Right Elevation**

1/8" = 1'-0"

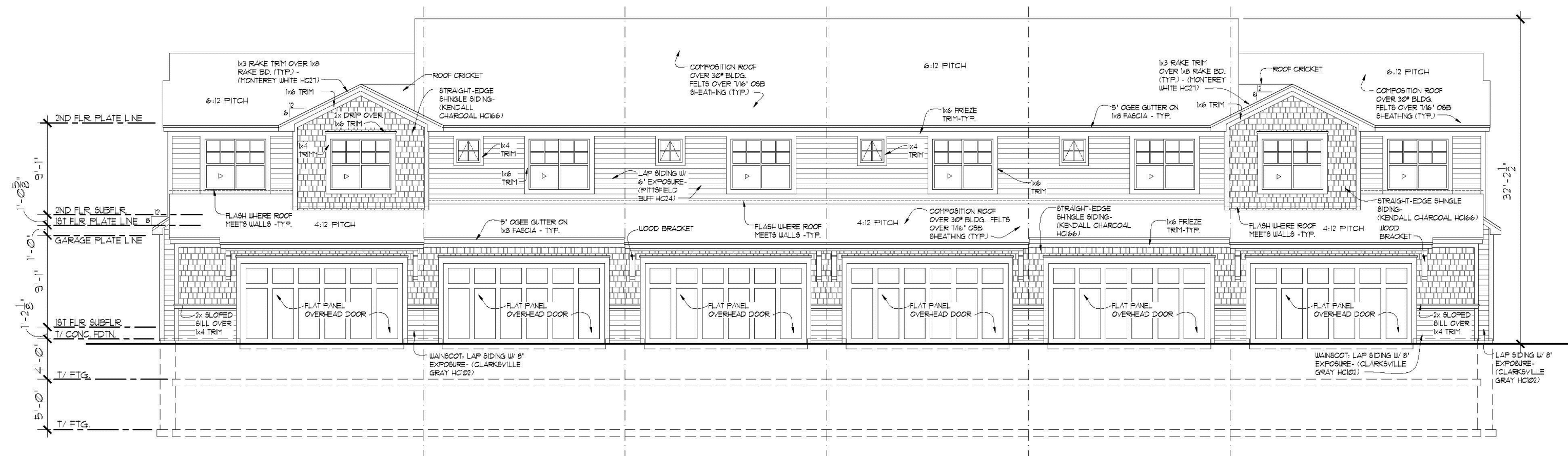


**Front Elevation**

1/8" = 1'-0"

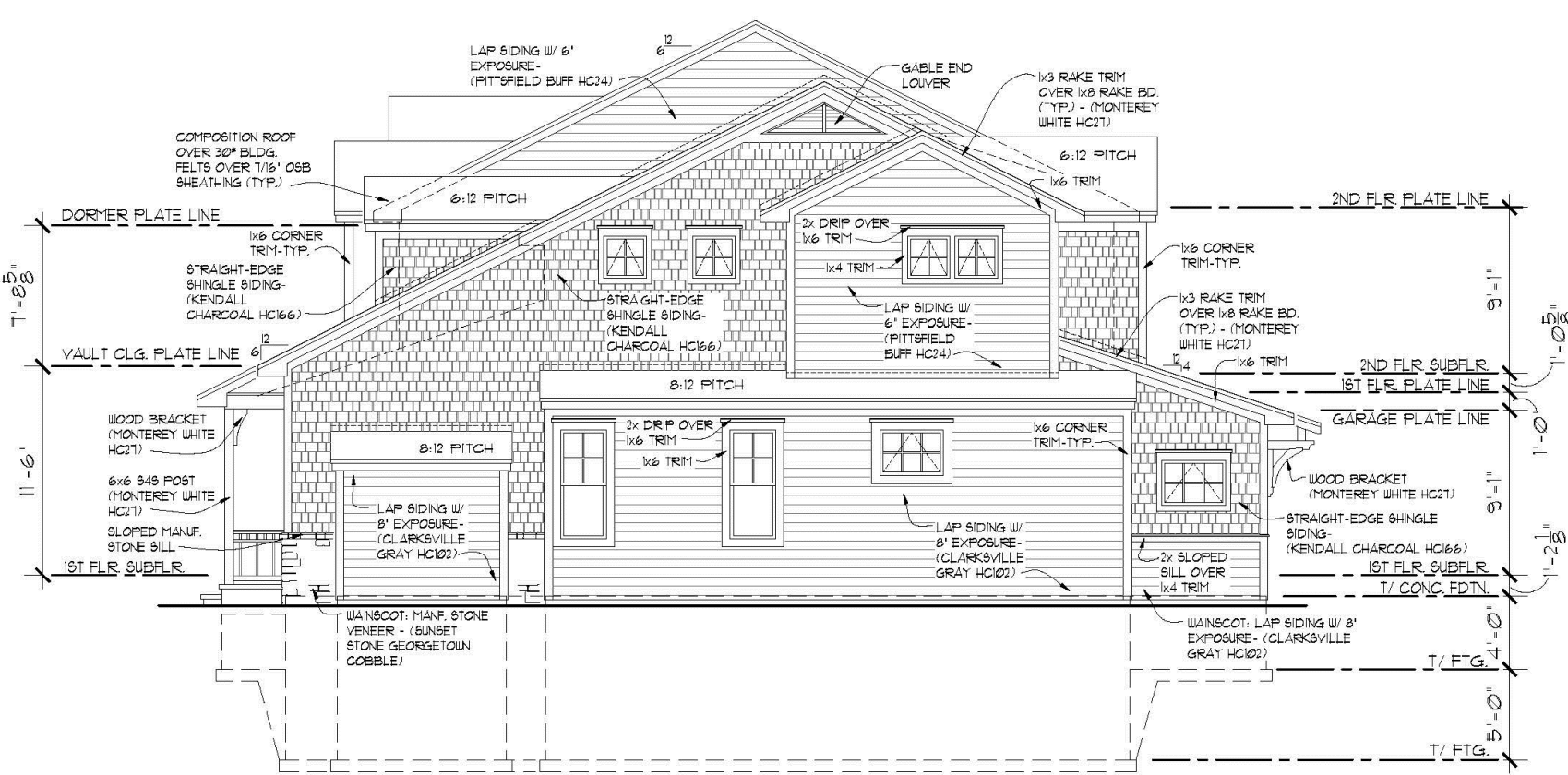


| REVISIONS                 | DATE    |
|---------------------------|---------|
| Revised Per City Comments | 6-29-16 |
| Revised Per City Comments | 8-12-16 |
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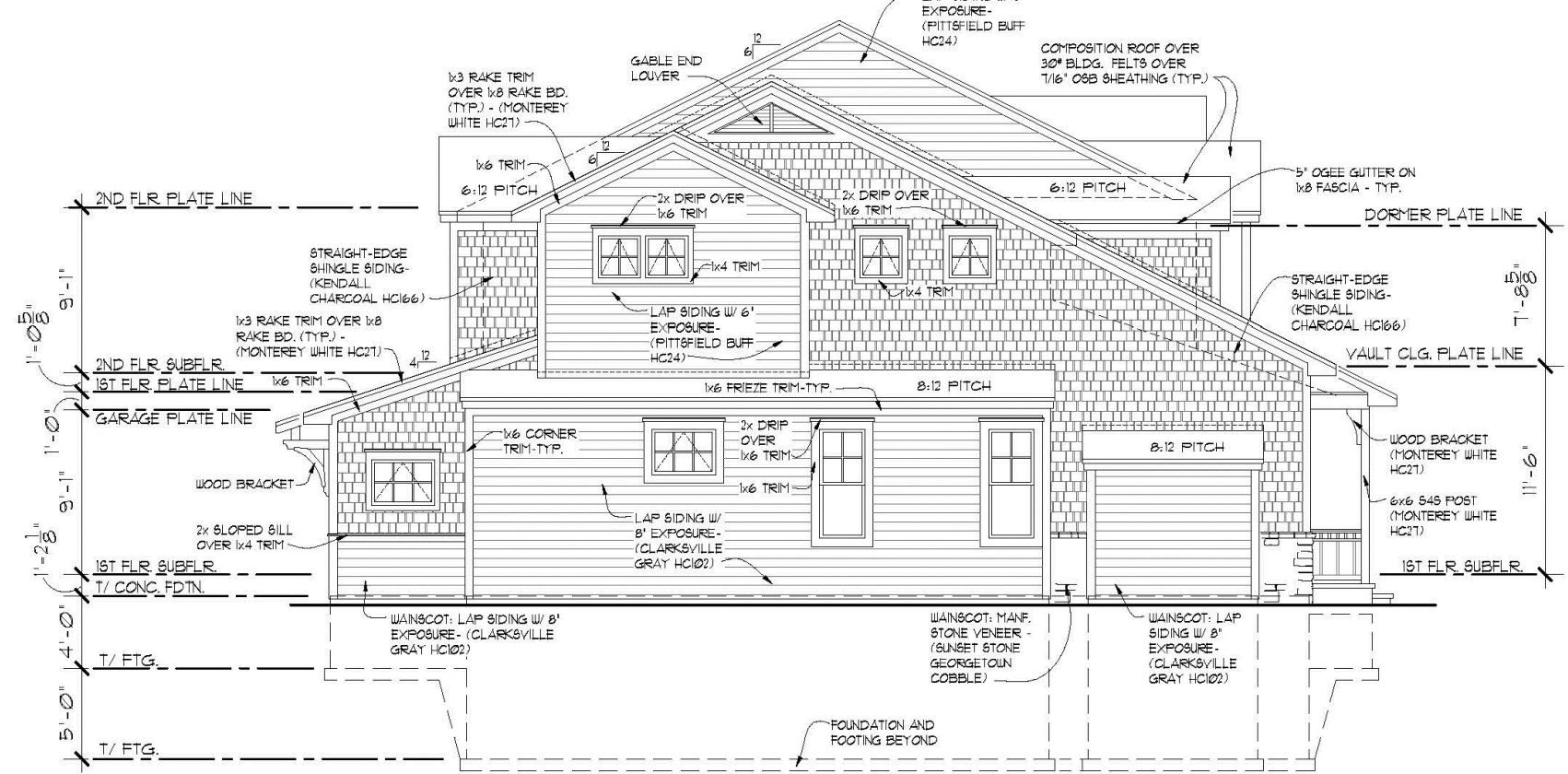
Rear Elevation (6 Unit)

1/8" = 1'-0"



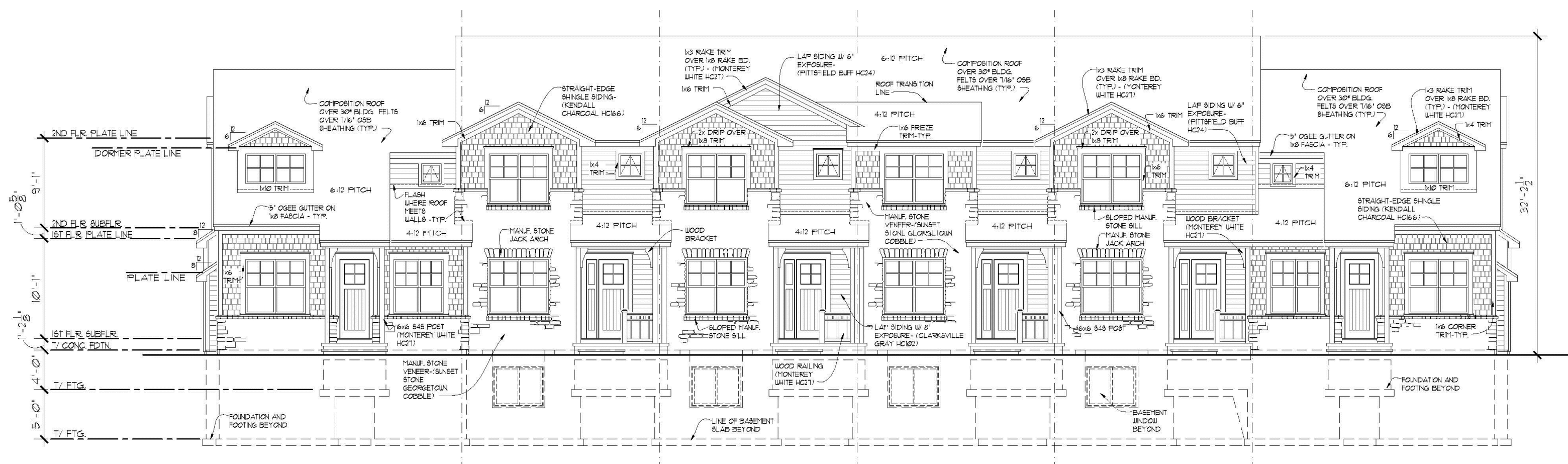
Right Elevation (6 Unit)

1/8" = 1'-0"



Left Elevation (6 Unit)

1/8" = 1'-0"



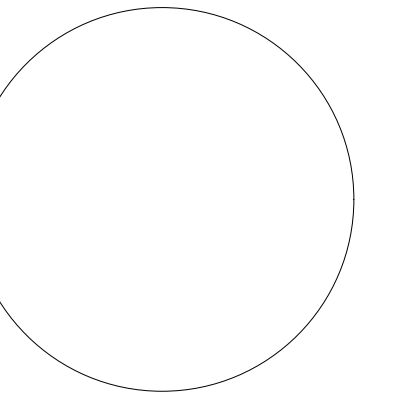
Front Elevation (6 Unit)

1/8" = 1'-0"

EXTERIOR FINISH LEGEND

- 6" LAP SIDING FINISH  
BENJAMIN MOORE - PITTSFIELD BUFF HC24  
UNLESS NOTED OTHERWISE
- 8" LAP SIDING FINISH  
BENJAMIN MOORE - CLARKSVILLE GRAY HC02  
UNLESS NOTED OTHERWISE
- TRIM FINISH (RAKES, FASCIA, SOFFIT, DOORS, POSTS,  
BRACKETS, RAILING, ETC.)  
BENJAMIN MOORE - MONTEREY WHITE HC21  
UNLESS NOTED OTHERWISE
- SINGLE SIDING FINISH  
BENJAMIN MOORE - KENDALL CHARCOAL HC66  
UNLESS NOTED OTHERWISE
- STONE VENEER  
SUNBELT STONE - GEORGETOWN COBBLE  
UNLESS NOTED OTHERWISE





ENDALL  
ROOK  
OWNHOMES

COVELAND, CO

PREPARED FOR

Landmark Homes

70 W Ash St # 100  
 Windsor, CO 80550-4783  
 (703) 460-0567  
 CONTACT: Jason Sherrill



### Rear Elevation

$$1/8'' = 1' - \emptyset''$$


### Left Elevation

$$1/\mathcal{B}'' = 1' - \mathcal{O}''$$


### Right Elevation

$$1/8'' = 1' - 0''$$


### Front Elevation

$$1/8'' = 1' - \emptyset''$$

ARCHITECTURAL ELEVATIONS - 5 UNIT WITH SINGLE STORY RANCH

[illegible]

TE

4-22-2015

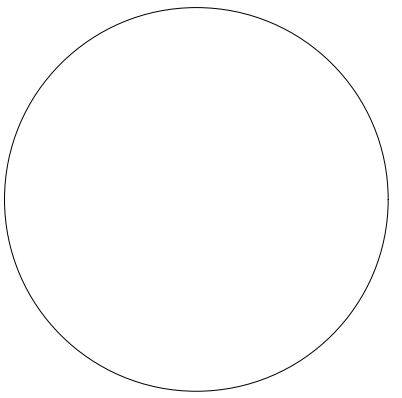
EET TITLE

## ARCHITECTURAL ELEVATIONS

EET INFORMATION

Sheet Number: 7

10



**KENDALL  
BROOK  
TOWNHOMES**

LOVELAND, CO

PREPARED FOR

**Landmark Homes**

1170 W Ash St # 100  
Windsor, CO 80550-4783  
(970) 460-0567  
CONTACT: Jason Sherrill



**Rear Elevation**  
1/8" = 1'-0"



**Left Elevation**  
1/8" = 1'-0"



**Right Elevation**  
1/8" = 1'-0"



**Front Elevation**  
1/8" = 1'-0"

| REVISIONS                 | DATE    |
|---------------------------|---------|
| Revised Per City Comments | 6-29-16 |
| Revised Per City Comments | 8-12-16 |
|                           |         |
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09-22-2015

**ARCHITECTURAL  
ELEVATIONS**

Sheet Number: **8**

Of: **10**

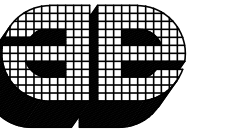


KENDALL  
BROOK  
TOWNHOMES

LOVELAND, CO

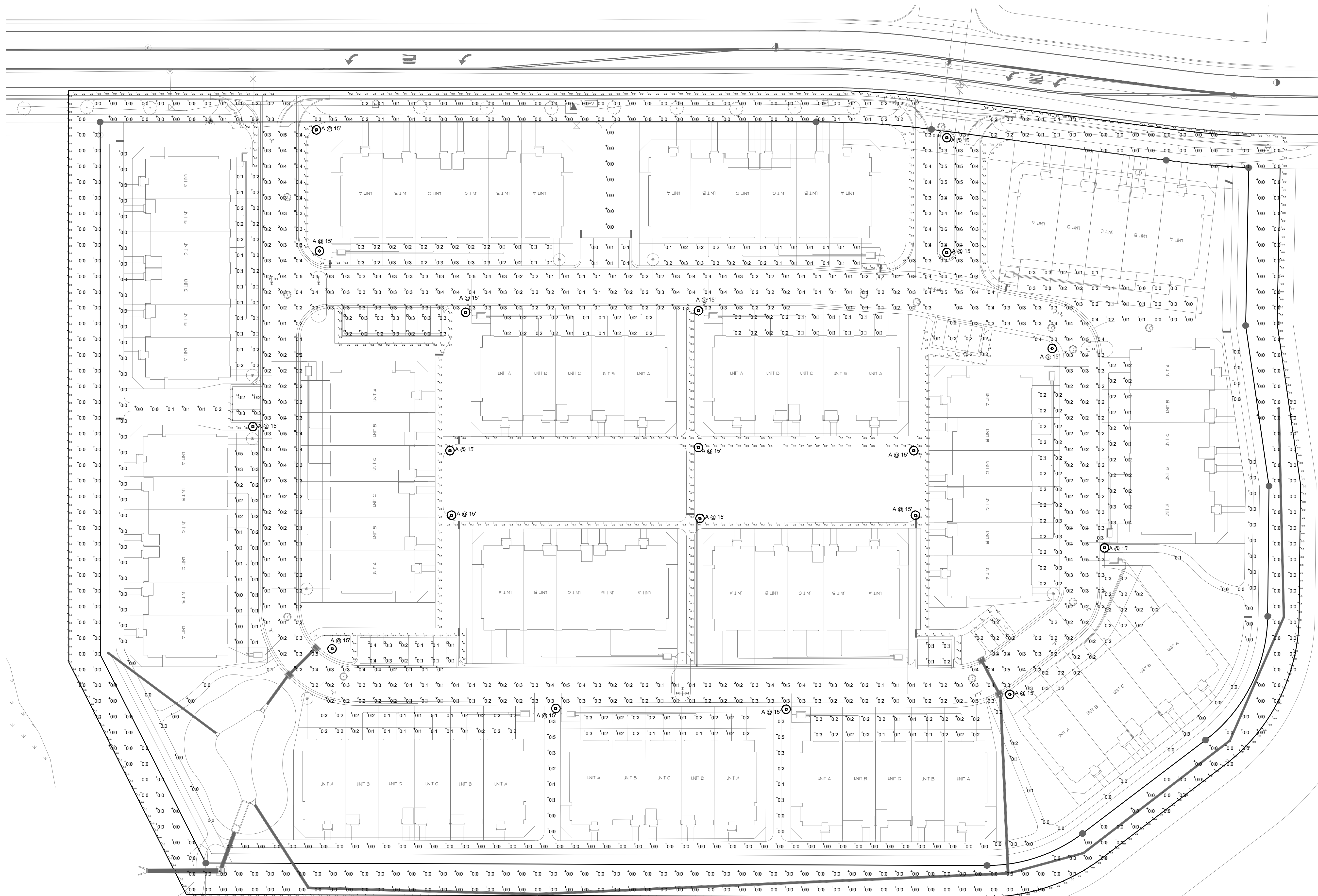
## Landmark Homes

1170 W Ash St # 100  
Windsor, CO 80550-4783  
(970) 460-0567  
CONTACT: Jason Sherrill

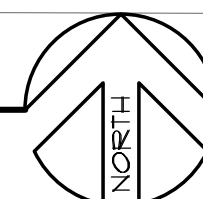


AE Associates, Inc.

**Engineering Successful  
Building Environments**  
5587 West 19th Street  
Greeley, Colorado  
Phone: (970) 330-5587  
Fax: (970) 330-3040



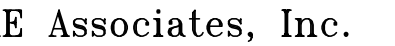
# SITE PHOTOMETRIC PLAN





## LOVELAND, CO

1170 W Ash St # 100  
Windsor, CO 80550-4783  
(970) 460-0567  
CONTACT: Jason Sherrill



**Engineering Successful  
Building Environments**  
5587 West 19th Street  
Greeley, Colorado  
Phone: (970) 330-5587  
Fax: (970) 330-3040

[illegible]

06-24-2016

## LIGHT FIXTURE FORMATION

Sheet Number: E2

Df: 10

Diagram illustrating a Direct Bury Pole with Fixture Type A.

Labels and Dimensions:

- FIXTURE TYPE A
- 15' 0"
- FIBERGLASS POLE
- DIRECT BURY POLE PER MANUFACTURER'S RECOMMENDATIONS
- FINISH GRADE
- UNDISTURBED EARTH
- UNDERGROUND WIRING

LIGHT STANDARD  
POLE - BASE

SCALE: NTS

| Quantity | Manufacturer | Catalog Number  | Description | Lamp         | Number Lamps | Filename            | Lumens Per Lamp | Light Loss Factor | Wattage |  |
|----------|--------------|-----------------|-------------|--------------|--------------|---------------------|-----------------|-------------------|---------|--|
| 19       | Holophane    | GV70DMH00XX4NXX | GRANVILLE   | 70W CLEAR MH | 1            | GV70DMH00XX4NXX.ies | 5000            | 1                 | 95      |  |

| Statistics  |        |        |        |         |         |
|---|--------|--------|--------|---------|---------|
| Description   | Avg    | Max    | Min    | Max/Min | Avg/Min |
| 20 Feet from Property Line                                    | 0.0 fc | 0.2 fc | 0.0 fc | N/A     | N/A     |
| Area Between Property Line and 20 Feet Out From Property Line | 0.0 fc | 0.5 fc | 0.0 fc | N/A     | N/A     |
| Adjacent Walkways (To Private Drives)                         | 0.3 fc | 0.6 fc | N/A    | N/A     | N/A     |
| Exterior Walkways   | 0.0 fc | 0.0 fc | 0.0 fc | N/A     | N/A     |
| Interior Walkways   | 0.3 fc | 0.6 fc | 0.1 fc | 6:0:1   | 3:0:1   |
| Walkways Between Buildings                                    | 0.1 fc | 0.5 fc | 0.0 fc | N/A     | N/A     |
| Private Drive Lanes   | 0.3 fc | 0.6 fc | 0.1 fc | 6:0:1   | 3:0:1   |
| Private Driveways (in front of Garages)                       | 0.2 fc | 0.5 fc | 0.0 fc | N/A     | N/A     |
| Private Parking Areas   | 0.2 fc | 0.4 fc | 0.0 fc | N/A     | N/A     |

KENDALL BROOK SECOND SUBDIVISION  
BEING A SUBDIVISION OF OUTLOT A, KENDALL BROOK FIRST SUBDIVISION, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 34,TOWNSHIP 6 NORTH,  
RANGE 69 WEST OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

LEGAL DESCRIPTION:

A tract of land located in that portion of the Southeast Quarter of Section 34, Township 6 North, Range 69 West of the 6th Principal Meridian, City of Loveland, County of Larimer, State of Colorado being more particularly described as follows:

OUTLOT A, KENDALL BROOK FIRST SUBDIVISION (according to the Plat recorded with Larimer County Clerk and Recorder on March 2, 2002 at Reception No. 2002001552), to the City of Loveland, County of Larimer, State of Colorado.

Considering the North line of the Southeast Quarter of Section 34 as bearing South 89° 58' 55" East and with all bearings contained herein relative thereto:

BEGINNING at the Northwest corner of Outlot A, Kendall Brook First Subdivision; thence, North 89° 58' 55" East, 455.38 feet; thence along a curve concave to the south having a central angle of 07° 30' 57" with a radius of 560.00 feet, an arc length of 73.46 feet and the chord of which bears South 86° 15' 36" East, 73.41 feet; thence South 82° 30' 07" East, 150.52 feet; thence along a curve concave to the north having a central angle of 04° 43' 15" with a radius of 640.00 feet, an arc length of 52.73 feet and the chord of which bears South 84° 51' 45" East, 52.72 feet; thence, South 01° 05' 21" West, 100.41 feet; thence, South 08° 16' 27" East, 103.14 feet; thence, South 00° 34' 31" West, 82.89 feet; thence along a curve concave to the northwest having a central angle of 52° 12' 51" with a radius of 100.00 feet, an arc length of 91.13 feet and the chord of which bears South 26° 41' 01" West, 88.01 feet; thence, South 52° 47' 32" West, 98.24 feet; thence along a curve concave to the north having a central angle of 37° 23' 11" with a radius of 100.00 feet, an arc length of 65.25 feet and the chord of which bears South 71° 29' 04" West, 64.10 feet; thence, North 89° 49' 23" West, 496.81 feet; thence, North 26° 50' 12" West, 148.43 feet; thence, North 00° 01' 05" West, 338.77 feet to the POINT OF BEGINNING.

Containing 331,688 square feet or 7.614 acres more or less.

OWNER'S CERTIFICATE:

KNOW ALL PERSONS BY THESE PRESENTS THAT: Being all the lawful recorded owners of the property shown on this KENDAL BROOK SECOND SUBDIVISION General Development Plan, except any existing public streets, roads, or highways, do hereby certify that I/we accept the conditions and restrictions set forth on said plan and in the conditions of approval by the City of Loveland, dated \_\_\_\_\_, and that I/we consent to the recordation of any information pertaining thereto.

OWNER:

By: \_\_\_\_\_

STATE OF COLORADO )  
) ss.  
COUNTY OF LARIMER )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, as \_\_\_\_\_ of \_\_\_\_\_.

Witness my hand and official seal.

My Commission Expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

LIENHOLDER:

By: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
) ss.  
COUNTY OF \_\_\_\_\_ )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by,

\_\_\_\_\_ as \_\_\_\_\_ of \_\_\_\_\_.

Witness my hand and official seal.

My commission expires \_\_\_\_\_.

\_\_\_\_\_  
Notary Public

PLANNING COMMISSION:

This preliminary plat of Kendall Brook Second Subdivision is hereby approved by the Planning Commission of the City of Loveland, Larimer County, Colorado, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, for the public dedications shown hereon, which are accepted, subject to the provision that approval in no way constitutes a final plat.

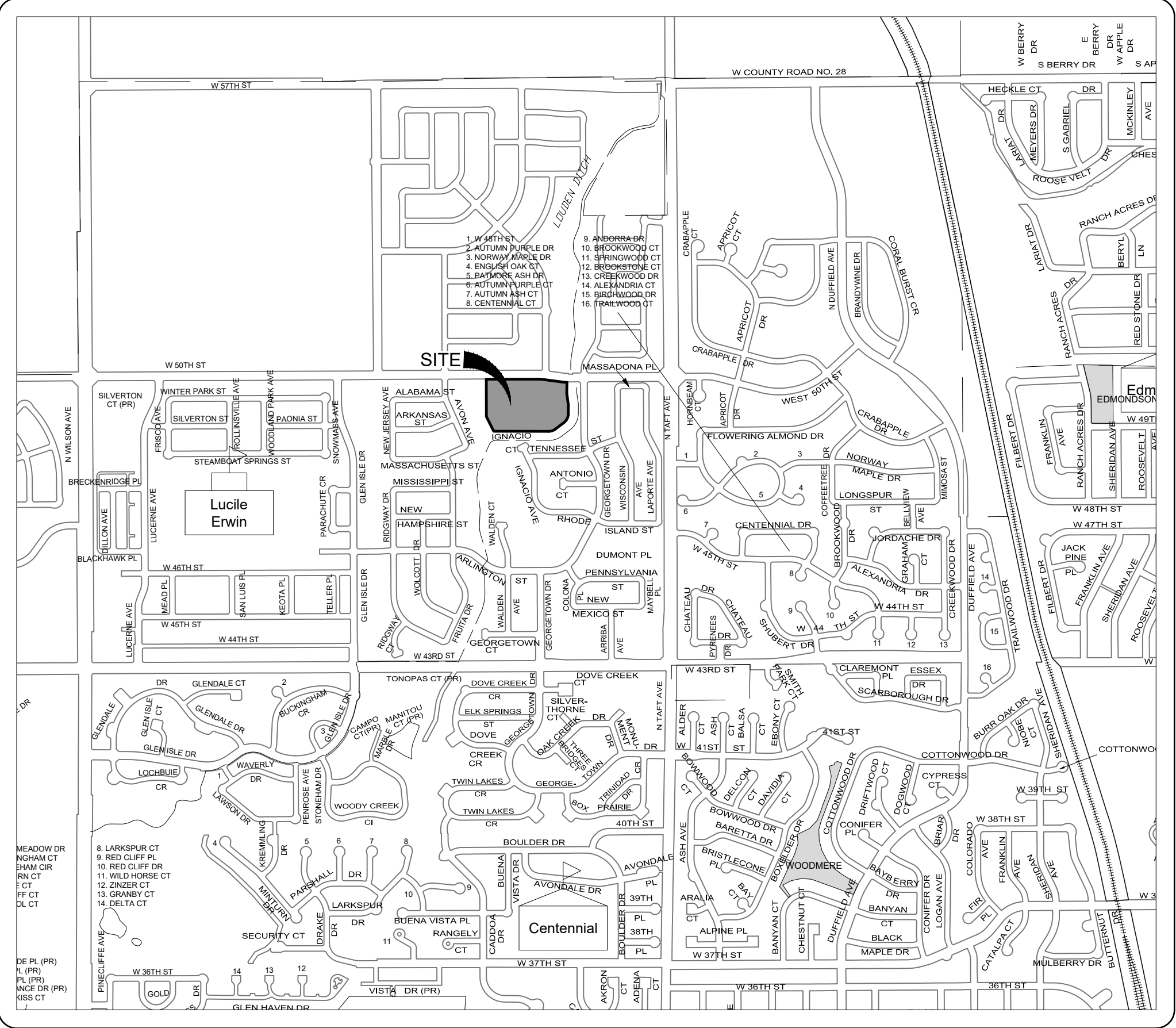
\_\_\_\_\_  
Planning Commission Chair

SURVEYOR'S CERTIFICATE:

I, Robert C. Tessely, being a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey of "KENDALL BROOK SECOND SUBDIVISION" was made by me or under my supervision and that the survey is accurately represented on this plat and that the statements contained hereon were read by me and the same are true to the best of my knowledge.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

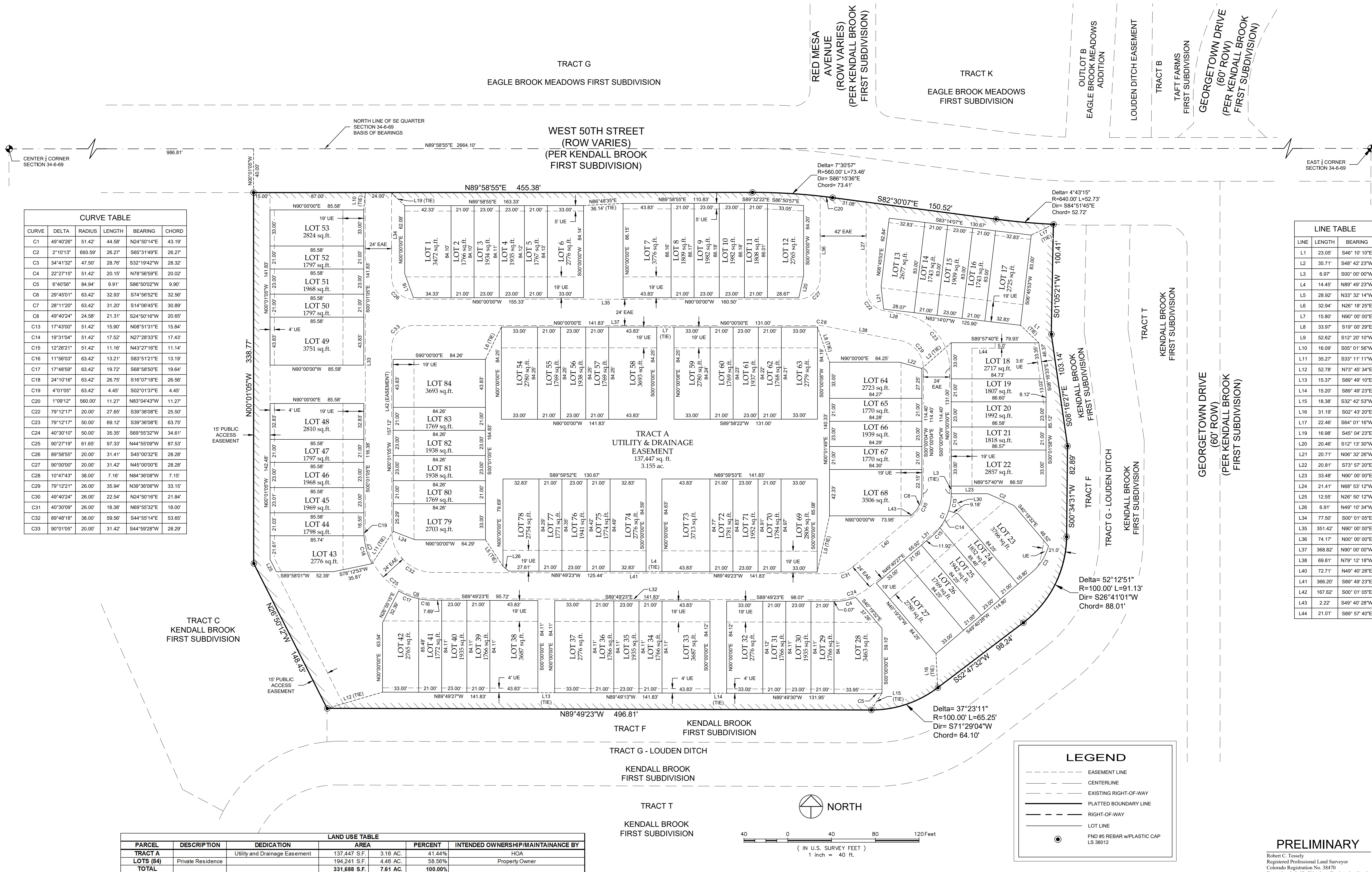
Robert C. Tessely  
Colorado Registered Professional Land Surveyor No. 38470  
For and on Behalf of Northern Engineering Services, Inc.





# KENDALL BROOK SECOND SUBDIVISION

BEING A SUBDIVISION OF OUTLOT A, KENDALL BROOK FIRST SUBDIVISION, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO



**NOTICE:**  
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after its discovery. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

SECTION: 34  
TOWNSHIP: 6N  
RANGE: 69 W of the 6th PM

**NORTHERN ENGINEERING**  
N  
301 North Nevada Street, Suite 100  
Fort Collins, Colorado 80521  
Phone: 970.221.1159  
www.northernengineering.com

PROJECT: 07-022  
DESIGNED BY: B. Tessler  
DATE: 05/23/16  
SCALE: 1"=40'  
REVIEWED BY: L. Smith

KENDALL BROOK SECOND SUBDIVISION  
CITY OF LOVELAND  
STATE OF COLORADO  
Sheet 2  
Of 2 Sheets



# CONDITIONS OF APPROVAL

## Current Planning

1. A minimum of 8 acres shall be zoned for multi-family apartment units. (Area B-1 relocated to B-1, and area B-1 relocated to E-1)
2. Lots with less than 65 feet of frontage on a public street right of way shall not be permitted a garage where garage doors for more than two cars are visible as part of the front building elevation.
3. Additional architectural conditions:
  - A. The minimum square footage of single story homes would be 1350 square feet for a ranch and 1600 square feet for a 2 story or tri-level.
  - B. Detached residential units with a 2 or 3 car garage shall not be required to taper the driveway from the garage door to the face of the curb.
  - C. On 50% of the lots having frontage on a public street, garage doors that are visible as part of front building elevations shall be recessed behind either the front facade of the living portion of the dwelling or a covered porch by at least four (4) feet. Covered porches referred to in this condition shall measure at least eight (8) feet across the front of the building, by six (6) feet deep. This requirement shall not apply to side or rear loaded garages.
4. Garage doors visible as part of front building elevations shall not comprise more than fifty (50) percent of the ground floor street-facing linear building frontage. This requirement shall not apply to side or rear loaded garages.
5. Covenants shall be submitted with subsequent PDP applications and executed with approval of the FDP.
6. A commercial lighting plan shall be submitted with the preliminary development plans within Zoning Areas G and H as depicted on the GDP.
7. A written statement from the Loudon Ditch Company representatives indicating any concerns they may have shall be included and incorporated into subsequent preliminary development plans.
8. All signage shall require a separate sign permit and comply with the Loveland Municipal Code.
9. Easements for the Loudon Ditch, Dry Creek and wetland areas shall not be included in the calculation for open space play fields, which shall be required at a rate of one acre for every 100 residential units.
10. The minimum building setback for commercial buildings, when a commercial building is adjacent to residential units, shall be thirty-five (35) feet and an earthen berm, no less than six (6) feet in height shall be provided within this setback area. The setback area shall be landscaped in accordance with the City's Site Development Performance Standards and Guidelines.
11. Architecture within Zoning Areas G and H as depicted on the GDP shall incorporate a consistent and compatible architecture designed to minimize corporate architecture. Roofs within this area shall have no less than two (2) of the following features:
  - a. parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed fifteen (15) percent of the height of the supporting wall and such parapets shall not at any point exceed one-third (1/3) of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatments;
  - b. overhanging eaves, extending no less than three (3) feet past the supporting walls;
  - c. sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to one (1) foot of vertical rise for every three (3) feet of horizontal run;
  - d. three (3) or more roof slope planes.
12. All parking lots shall be set back a minimum distance of 40 feet from any public right-of-way and shall be screened from surrounding public streets, sidewalks, trails, parks, and other properties used by the public by a minimum 4 foot high berm and landscaping in compliance with the City's Site Development Performance Standards and Guidelines.
13. In addition to compliance with Chapter 18.50 of the City Municipal code, all signs shall comply with the design guidelines set forth in Section 6.2 of the Loveland Comprehensive Master Plan.
14. View corridors from Taft Avenue looking west shall be identified and preserved.
15. All building heights for structures located within Zoning Area H and on the row of lots adjacent to Taft Avenue in zoning areas F and D-1 shall be measured from the existing grade and limited to 35 feet in height as measured by City of Loveland standards.
16. Building height shall be measured as per the Loveland Municipal Code, as may be amended.
17. Fencing shall be in accordance with the Loveland Municipal Code.
18. All chemicals, gasoline, waste oils, fertilizers, and hydraulic fluids shall be properly disposed of in accordance with Larimer County, State of Colorado, and Federal Requirements no later than September 15, 2005.
19. A minimum four-foot high fence shall be placed around the perimeter of the farming operations area prior to the issuance of the first certificate of occupancy within this development.
20. All conditions of approval shall be placed on the GDP mylar prior to recordation.
21. All elements within Exhibit B of Attachment B shall be incorporated into this FUD and illustrated or itemized as conditions on the GDP mylar prior to recordation.

## Water Conditions

22. As per the Dry Creek Master Drainage Plan update by the Bear Brown Group, storm drainage releases from this project shall be limited to 10 year historic. Drainage recommendations contained within the master drainage plan update shall be adhered to by this project.

## Fire Prevention Conditions

23. All 28 foot wide streets shall be signed NO PARKING on one side.
24. Hydrants shall provide a minimum of 1,000 gpm at 20 psi. No structures shall be further than 300 feet from a hydrant. Average spacing between hydrants shall be 600 feet.
25. Construction phasing shall not create dead-end streets or water lines.
26. Cul-de-sacs shall be a minimum radius of 50 feet flow-line to flow-line.
27. Dead-end streets shall be no more than 400 feet in length.

## Engineering Conditions

28. With each subsequent submittal of a preliminary development plan, the Developer shall provide a School Routing Plan for approval by the School District and the City.
29. All roadway cross sections must conform to City standards and the knuckle extending south off West 50th Street shall be deleted and an alternate means of serving the property shall be approved as part of the preliminary development plan.
30. Where not already constructed by others, the Developer shall design and construct ultimate street, bike and pedestrian improvements for Taft Avenue to a full width Major Arterial Street standard. The full width improvements shall extend from the intersection of West 43rd Street to the north property line. Additionally, the Developer shall be responsible for the design and construction of all off-site street improvements to accommodate proper transitions to existing roadway improvements within Larimer County's jurisdiction. Specific construction phasing and scope of the street improvements shall be determined at the time of a preliminary development plan submittal.
31. The Developer shall design and construct ultimate street, bike and pedestrian improvements for West 43rd Street to a Major Arterial Street standard. The improvements shall extend from the intersection of Taft Avenue to intersection of Glen Isle Drive and shall include all necessary transitions to properly interface with street improvements associated with Shumock West 2nd Subdivision and existing intersection improvements at Glen Isle Drive and West 43rd Street. Said improvements shall be constructed before issuance of the first building permit within the FUD.
32. The Developer shall design and construct ultimate street, bike and pedestrian improvements for West 50th Street to a full width Major Collector Street standard (less the sidewalk along the north side of W. 50th Street). The improvements shall begin at the intersection of the north property line with Taft Avenue and shall extend to the west property line. If the Developer desires to design and construct West 50th Street entirely on the subject property, the north right-of-way shall be coterminous with the north property line up to a point of divergence to accommodate alignment with West 50th Street, as shown on the Harvest Gold 2nd Subdivision Preliminary Development Plan. Specific construction phasing and scope of the street improvements shall be determined at the time of a preliminary development plan submittal.
33. The Developer shall be responsible for obtaining necessary off-site right-of-way to accommodate required street improvements on Taft Avenue, West 43rd Street and West 50th Street. Specific right-of-way requirements shall be determined at the time of Preliminary Development Plan submittal. All specific right-of-way shall be either dedicated or under legal contract to purchase, prior to approval of a Preliminary Development Plan.
34. The Developer shall dedicate 50' of on-site right-of-way along the south property line, from the Loudon Ditch to the west property line, for West 43rd Street.
35. The Developer shall dedicate necessary on-site right-of-way along the entire east property line to bring the total west half of right-of-way for Taft Avenue to 70'.
36. The Developer shall obtain approval from Larimer County rezone necessary off-site street improvements and right-of-way requirements on Taft Avenue. County approval(s) and evidence of dedicated right-of-way shall be in place prior to the City's approval of a preliminary development plan.
37. The Developer shall dedicate sufficient on-site right-of-way at the southeast corner of West 50th Street and Taft Avenue to accommodate a future roundabout. Specific right-of-way requirements shall be determined at the time of a Preliminary Development Plan submittal.
38. The Developer shall design and install all necessary traffic signals within the City has same scheduled for installation at the time signal warrants are met. Warrants shall be analyzed as part of Traffic Impact Studies for future development applications. If the Developer installs the traffic signal(s), the City will reimburse all associated costs pursuant to the City's CEF policy.

## Power Conditions

39. The property being annexed into the City of Loveland currently is located within the REA certified territory, and this property shall be subject to a five percent (5%) surcharge on electrical energy as defined in 40-915-204, CRS, and the City of Loveland Municipal Code 13.12.180. This surcharge shall apply to any subsequent subdivisions of property annexed after January 31, 1987 within the REA certified service territory.
40. The following note shall be added to the final plat: "A surcharge of 5% will be added to all bills for the sale of electric power to additional services which came into existence after January 31, 1987, within the territory herein annexed, which surcharge will expire ten years after effective date of this annexation."

## Building Conditions

41. A demolition permit shall be required for the removal of any existing structures.

# KENDALL BROOKBeing a General Development Plan of Tract A,Kendall Brook AdditionLOVELAND, COLORADOCHATEAU DEVELOPMENT COMPANY

## 1. DEVELOPMENT PLAN NARRATIVE

### A. Purpose of the Project

The following goals, concepts, and development standards apply to the 158.82± acres, which comprise the Kendall Brook Planned Unit Development. The purpose of the project is to provide an appropriate mix of uses and variety of housing types in a well planned neighborhood. This development will provide variety in the type, design, and layout of buildings, circulation systems, and open spaces within the development.

### B. Land Use

1. Overall Concept  
The development plan provides an opportunity for a mix of housing types comprised of conventional single family homes, clustered "courtyard" homes, multi-family units, condominiums/townhomes and duplex/patio homes, complemented by a Village Center with a possible mix of commercial, community, and residential uses. The concept for the development is to provide this housing mix within a cohesive neighborhood, unified by a collector street system and a variety of open areas, anchored by neighborhood park areas within convenient walking distance of all neighborhood residents. More intense uses are located to minimize traffic impacts on lower density areas, and to facilitate access to jobs and services. A network of open spaces and greenbelts also facilitates pedestrian circulation and drainage. Substantial perimeter landscape buffers are provided adjacent to existing/platted development, Taft Avenue and West 43rd Street. The street system is designed to provide links to future development to the north and west.
2. Land Use Categories and Definitions  
The land use categories provided include, but are not limited to office/retail/convenience uses, single family detached, patio homes, single family attached dwellings, townhomes and multifamily dwellings. The following definitions apply to all uses within this PUD:  
**Single Family Detached Homes** - A one-family dwelling not attached to any other dwelling, located on individual fee-simple lots or in clusters. These homes may be of conventional construction.  
**Courtyard Homes** - Housing units on individual fee-simple lots or lot envelopes with adjoining areas in common.  
**Duplex Unit** - A two-family dwelling on one or two lots separated by a common wall.  
**Townhome** - A structure containing two or more dwelling units, on fee-simple lots in which access may be gained from individual entries or access courts.  
**Condominium** - A multi-level structure containing two or more individually owned dwelling units. Owners hold title to their living space, while owning a share of the common grounds and structures.  
**Multi-family Housing** - A structure or group of structures typically containing three or more dwelling units each occupied by an individual household on a rental basis.  
**Mixed Use** - An area offering a mix of retail, office, residential and/or community services and uses intended to provide services to Kendall Brook and the surrounding neighborhoods. See Sec. 3.A(1) for permitted uses.
3. Neighborhood Structure  
As indicated above, the site is planned as a cohesive neighborhood with an appropriate mix of housing types and service uses. Unifying elements include a tree lined collector street system, an open space network, and a trail system. Within each parcel, the maximum number of dwelling units (10%+/-) will be allowed as designated on the GDP, and will be designed in accordance with the development standards outlined on this plan.

Kendall Brook is proposed for construction in phases as indicated on these plans. As development progresses, minor density transfers and other adjustments may be made with administrative (city staff) review, as per section 18.41 of the city code, also see Sec. 3.A(7).

4. Integration of the Loudon Ditch and Dry Creek  
Kendall Brook is planned as an integrated community providing increased amenities to the built environment and the natural environment. For the natural environment, the enhancement measures are focused on the Loudon Ditch and Dry Creek. The habitat enhancement features of Kendall Brook will result in a permanent open-space/wildlife-movement corridor along Dry Creek with wildlife access opportunities to and from the Loudon Ditch. In addition to this permanent designation, the habitat will be enhanced through the planting of native riparian species along the periphery of the preserved wetlands.
5. Current Farming Operation  
The premises are currently used for the parking, storage, repair and maintenance of various farm machinery. This machinery is typically stored inside the existing buildings on the subject property; however, some may be stored in the open. A minimum four-foot high fence shall be placed around the perimeter of the farming operations area prior to the issuance of the first certificate of occupancy within this development.

During the active farming season (approximately April 1 to November 1) these machines, or a portion thereof, are in use off-premise at various locations in and around the City of Loveland. The moving of these machines on- and off-premise should be minimal and typically occurs only about six times per year. No unusual noise or other adverse factors impacting neighbors should result.

Repair and maintenance of these machines is accomplished on-site. This activity will not result in any negative noise, odor, dust or visual disturbances.

The activities on-site are minimal, and should not result in a nuisance to adjacent homeowners. There is no storage of hazardous materials on-site. All activities relating to operation of the farm are generally accomplished between 7AM and 7PM during the farming season, and typically occur only a few days per month.

### C. Circulation

1. Overall Concept  
Primary access to the site will be from West 43rd and West 50th Streets. The site is planned to allow access to future development to the west and north. On-site circulation emphasizes direct pedestrian and vehicular access to destinations throughout the site and "park" areas, and the Village Center.
2. Components

a. Vehicular  
A series of residential and/or collector streets will distribute and collect traffic to and from the parcels within the neighborhood. Local streets and private drives will be designed to provide access within the neighborhood, with cross connections to adjacent neighborhoods. Local and collector streets may vary in width, according to the amount of traffic to be accommodated and the specific design requirements of each parcel.

North Taft Avenue will be upgraded to a full Major Arterial with this project from the north site boundary to West 43rd Street. Also, unless constructed by others, North Taft Avenue must be upgraded from West 43rd Street to West 37th Street (currently required to be constructed by the Greenbriar development to the south). Improvements from the north site boundary to West 40th Street include hard surface improvements to accommodate an 84' cross-section (7'12'12'22'12'12'7'). Improvements from West 40th Street to West 37th Street include re-striping. Dedication of 70' for right-of-way along North Taft Avenue is incorporated into this plan.

West 43rd Street will ultimately be built as a Major Arterial from North Taft Avenue to Glen Isle Drive. Right-of-way will be dedicated at a minimum of 50 feet.

Sixty feet will be dedicated along the northern boundary from North Taft Avenue to the Loudon Ditch for the construction of West 50th Street, which is to be a major collector. From the Loudon Ditch west, 40' (half) of the 80' R.O.W. will be dedicated. Sufficient right-of-way will be dedicated at the corner of West 50th Street and North Taft Avenue for a potential future roundabout.

All phases within this GDP shall have secondary access into and out of each phase. Specific locations shall be determined at the time of PDP.

- b. Pedestrian  
An overall system of pedestrian ways will be provided along roadways and through selected open space areas. Detached sidewalks will be provided along perimeter arterial streets and residential collector streets. Attached sidewalks will be provided on both sides of local streets, unless approved otherwise at time of P.D.P. approval.
3. Performance Standards  
North Taft Avenue, which abuts the site, is expected to be developed to major arterial standards. West 43rd Street will be developed as a Major Arterial, and West 50th Street will be developed as a major collector, to city-approved standards. The GDP provides for dedication of necessary right-of-way to accommodate ultimate improvements.

Internal collector roadways will consist of a 36' to 44' wide roadway, within a right-of-way of sufficient width to accommodate a street tree planting strip and detached sidewalks on both sides. On-street parking may be prohibited on portions of major collector roadways, but will be encouraged where alley served units front on these streets.

- D. Public Facilities
1. Overall Concept  
All public facilities and services are readily available to the site. Utilities will be installed underground, and will be provided for as described below:
2. Water and Sewer  
A 16" water line will also run through the site along the western side of the property and tie into the existing 16" water line in West 43rd Street. 8" laterals will serve the individual lots and buildings through the site.

Existing sanitary sewer is located at the intersection of North Taft Avenue and West 43rd Street. A 15" sewer line will run along the east side of the property and then along 50th Street on the north side. 8" sanitary sewer laterals will run through the site and carry the effluent to the 15" lines and then into the existing sanitary sewer system. All sewer will be a gravity system.

3. Storm Drainage  
A preliminary drainage report has been prepared for this PUD. Generalized locations and sizing of detention and conveyance facilities are included in this report.
4. Electric  
Service will be provided by the City of Loveland Light and Power Department. Existing electric distribution feeders run along North Taft Avenue, a future feeder along West 43rd Street will be constructed with the Greenbriar development to the south.
5. Parks and Open Space  
The development will incorporate a network of open space areas, greenbelts, and landscaped buffer areas, but will focus on the park and open play areas. These areas will be designed to link the various parcels that comprise the neighborhood and provide access to the neighborhood recreation facility and future development to the west.

Kendall Brook will also incorporate a 20' wide recreation trail easement along the Loudon Ditch from West 43rd Street to West 50th Street. (A 10' multi-use trail will be installed by the City of Loveland running north-south along the Loudon Ditch.) This easement may extend across the Kendall Brook property line, into that property located to the Loudon Ditch Company. The property owners are currently working with the Ditch Company to secure the necessary easements. Final trail and easement locations will be included with subsequent application for PDP and FDP, and will be determined in cooperation with the Parks Department.

Easements for the Loudon Ditch, Dry Creek and wetland areas shall not be included in the calculation for open space play fields, which shall be required at a rate of one acre for every 100 residential units.

6. Schools  
No school site is anticipated in this G.D.P. Payment-in-lieu fees apply and will be paid at the time of issuance of building permits for each unit.
7. Fire and Police  
The development will be serviced by the City of Loveland Police and Fire departments with service areas as determined to be appropriate.

## 2. DEVELOPMENT DESIGN

- A. Overall Concept  
The design intent for Kendall Brook is to create a sense of place through the careful integration of an overall design theme for the development. This theme will serve to provide neighborhood identity as well as a means of providing an overall sense of continuity among the various parcels. The elements of the design concept include consistent perimeter treatments, integration of complementary man-made amenities (i.e., adjacent system of trails and open spaces), comprehensive landscape treatment, and attention to architectural elements. The general approach to each of these design components is described below. More detailed development of these elements will occur as preliminary and final development plans are prepared for each phase.

View corridors from Taft Avenue looking toward Longs Peak and Mummy Range have been identified and preserved, in accordance with the formulas used in The U.S. 34 Corridor Study. Subsequent Preliminary and Final Development Plans shall recognize and maintain these corridors.

## SIGNATURE BLOCK

Ownership Certification  
The undersigned, have ownership in the land included in this PUD, hereby consent to the preparation and recordings of this General Development Plan.

Ownership of Parcel 1 only  
FAMLECO, RLLP  
BY: MANCORP., its GENERAL PARTNER  
BY: CLARENCE H. STUMP, JR. PRESIDENT

By Clarence H. Stump Jr.  
Its PRESIDENT

By Clarence H. Stump Jr.  
CLARENCE H. STUMP, JR.

By Emily J. Stump  
EMILY J. STUMP

Approved this 21<sup>st</sup> day of September, 2000

## Ownership of the remaining parcels

Kendall Brook LLC  
a Colorado Limited Liability Company  
BY: Bradford C. Bennett, Manager  
By Bradford C. Bennett

Its Manager  
Approved this 20 day of Sept., 2000

## Lienholder as to remaining parcels only

COMPASS BANK  
By Ray G. Olson  
Its Executive Vice President

Approved this 20 day of September, 2000

## City Approvals

Approved this 26<sup>th</sup> day of September, 2000, by the Current Planning Manager of the City of Loveland, Colorado.

By Atty. Gen.  
Atty. Gen. Current Planning Manager

Approved this 26<sup>th</sup> day of September, 2000, by the City Engineer of the City of Loveland, Colorado.

By City Engineer  
Approved this 26<sup>th</sup> day of September, 2000, by the City Attorney of the City of Loveland, Colorado.

By Tam S. Cravens  
City Attorney

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2000, by the Planning Commission of the City of Loveland, Colorado.

By John W. Warrick  
Chairperson

Approved this 26<sup>th</sup> day of September, 2000, by the City Council of the City of Loveland, Colorado.

By Kathleen P. J. J. J.  
Mayor

Attest Kristen K. Baskin

By James S. S. S.  
Louden Ditch Co.

STATE OF COLORADO )  
 ) ss.  
 )

The foregoing instrument was acknowledged before me this 21<sup>st</sup> day of September, 2000, by Danielle Hill-Aidmark.

Witness my hand and official seal.

My Commission expires 12/27/02

Notary Public

## SHEET INDEX

- |   |   |                               |
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| 1 | 2 | NARRATIVE AND SIGNATURE BLOCK |
| 3 |   | GENERAL DEVELOPMENT PLAN      |
| 4 |   | TYPICAL DETAILS & ELEVATIONS  |

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# Kendall Brook GDP NarrativeLoveland, ColoradoChateau Development Company

|             |          |
|-------------|----------|
| PROJECT:    | 991014   |
| DRAWN BY:   | HT       |
| CHECK BY:   | CK       |
| ISSUE DATE: | 06/22/99 |
| REVISIONS:  | 01/23/99 |
|             | 02/12/99 |
|             | 04/23/99 |
|             | 09/10/99 |
|             | 11/12/99 |
|             | 12/15/99 |
| Draft       | 03/11/00 |
|             | 05/04/00 |
|             | 06/14/00 |

SHEET TITLE  
**GDP NARRATIVE SHEET**  
SHEET NUMBER

KENDALL BROOK  
G.D.P. NARRATIVE - SHEET 1 OF 4

B. Edge Treatment

1. Architecture

One of the most important aspects of the development's overall appearance as viewed from its edge is the appearance of the structures. To provide visual interest and avoid unattractive views from adjoining streets, visible rear and side elevations of residential structures along major and minor arterial streets shall be detailed with a combination of one or more of the following architectural elements: roof line articulation, variety of exterior materials, design-integrated windows and window treatments, and porches or decks. These elements shall be used to create an interesting and attractive streetscape along major and minor arterial streets along the edge of Kendall Brook (North Taft Ave., and West 43rd Street and West 50th Streets).

To the extent possible, long stretches of double frontage lots will be avoided.

2. Landscaping

Perimeter landscaping and grading have a number of edge functions, including separation of uses, noise mitigation, recreational opportunities, aesthetic qualities, and storm drainage management. Perimeter landscaping will be used where appropriate to create a visually interesting streetscape and enhance views of the neighborhood from off-site.

3. Access

Two major entry points are proposed from West 43rd and West 50th Streets. Additional access to the west is planned. Entries will be designed with the development's overall theme in terms of landscape and architectural treatment.

4. Fencing

The use of fencing as an element of the development's residential edge treatments will be minimized. The dominant form of edge treatment will be landscaping. Perimeter fencing will be limited to a maximum of six (6) feet in height and shall be used in conjunction with landscaping and berming where appropriate, to act as a noise or visual buffer between the development and adjacent land uses.

Design specifications for fencing will be defined in Covenants for the development, which will be submitted with Preliminary and/or Final Development Plans. Fences with chain link shall not be permitted.

All Fencing will be managed by the Architectural Review Committee.

Fences will be allowed on private lots according to the following criteria:

- Front yard fencing shall not be permitted
- Backyard fencing between lots: 6' privacy fences will be permitted.
- Backyard fencing on corner lots: 6' privacy fences will be permitted, setback a minimum of 10' from adjacent sidewalk, or property line where no walk is present.
- Fencing adjacent to open spaces: May be open, limited to a maximum height of 48".
- Side and Backyard fencing adjacent to arterial roadways: At a minimum of 15' from a public street right-of-way boundary, fencing shall be limited to a maximum height of 6 feet.

C. Landscaping

1. Overall Concept

Landscaping will be designed with a comprehensive theme for the entire development. The project entry/identity features will be designed to complement the site design. By maximizing use of the planned open spaces, a sense of openness will be achieved. Collector streets will be designed with detached sidewalks, street trees, and tree laws between the walk and the curb. The overall concept will be to treat the roadways as tree-lined lanes reflective of early, established communities typical of northern Colorado.

Minimum clearances of 4 feet will be maintained from all underground utilities.

2. Maintenance

The landscaped areas of the development, including perimeter areas, common open space, and entry features, will be maintained by appropriate Owners' Association(s). Landscaping on private lots is the responsibility of that owner.

3. Dry Creek

Landscaping for the areas along Dry Creek will be planted with native species designed to enhance wildlife values and improve the water quality of Dry Creek. Detail of these plantings will be provided with PDP and FDP submittals.

D. Architecture

1. Overall Concept

To ensure an attractive and desirable neighborhood, the following architectural elements must be incorporated into the design of all structures:

- a. A sloping roof with at least one break in the roof line
- b. Windows, exterior window treatments, and/or other similar architectural features on all elevations of the buildings (except patio, townhome, or similar building type where privacy is a factor in the placement of windows)
- c. Offsets and protrusions along exterior walls are encouraged
- d. Coordinated roofing materials, windows, building materials and finish, and accents to achieve a cohesive appearance
- e. No wood steps or stoops shall be allowed for front entries.
- f. All homes will be required to have brick, stucco, stone, synthetic stone or other masonry on at least 75% of the first floor front elevations, excluding doors, garage doors and windows.
- g. There will be no three car garages on lots smaller than 65' in width, with the exception of alley loaded or side loaded corner lots.
- h. All roofs will be a minimum of 20-25 year composition roofing.
- i. No vinyl or aluminum siding will be allowed.
- j. All soffit dimensions will be a minimum of 12" wide.
- k. Where floor plans are offered on a repeating basis, alternative elevations shall be developed and the same elevation shall not be repeated adjacent to or across the street from one another.
- l. The minimum square footage of single story homes shall be 1350 square feet for a ranch and 1600 square feet for a two story or tri-level.
- m. The maximum lot coverage shall be 50% including the building foot print, garage, porches, patio and driveways.

Non-residential architecture within zoning areas G and H as designated on the GDP shall incorporate a consistent and compatible architecture and not the typical corporate architecture traditionally utilized for fast food restaurants and convenience stores. Roofs within this area shall have not less than two (2) of the following features:

- a. parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed fifteen (15) percent of the height of the supporting wall and such parapets shall not at any point exceed one-third (1/3) of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment;
- b. overhanging eaves, extending no less than three (3) feet past the supporting walls;
- c. sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to one (1) foot of vertical rise for every three (3) feet of horizontal run;
- d. three (3) or more roof slope planes.

The provision of these elements in the architecture of Kendall Brook will serve to create an attractive streetscape and an identity for the development, and to provide visual interest and avoid unattractive views from adjoining streets and properties.

2. Materials

Potential building materials and forms are outlined below:

- Siding - Brick, stone, hardboard lap siding, wood siding, stucco or synthetic stucco, or as allowed by the covenants and the building code.
- Roofing - Asphalt shingles, tile, or as allowed by covenants and the building code
- Architectural materials may include, but are not limited to, the use of brick, stone, lap or other wood siding, synthetic stucco, asphalt shingles, tiles, wood shingles (as allowed by city code), dormers, and covered porches.

3. Nonresidential Structures

Architecture within the area designated as the parcels G and H shall incorporate a consistent and compatible architecture, as opposed to typical "corporate architecture." Churches and other community and institutional services are not subject to the stipulation of "consistent" design, although it is encouraged that these facilities provide a varied and interesting design that is compatible with surrounding land uses and structures.

Roofs shall have no less than one of the following features, and the use of more than one of these elements is however strongly encouraged:

- parapets featuring three-dimensional cornice treatment, concealing flat roofs and rooftop equipment (i.e., HVAC units) of an average height not to exceed 16% of the height of the supporting wall; and/or
- minimum of 3-foot overhanging eaves; and/or
- sloping roofs that do not exceed the average height of the supporting walls, with an average slope of 1:3; and/or
- three or more roof slope planes.

In addition, a commercial lighting plan shall be submitted with the PDP for the commercial site, if applicable.

E. Landform Modification

The existing area within the Kendall Brook GDP has gently rolling topography generally falling from west to east. The development of the parcels within the Kendall Brook GDP will generally conform to existing topography, with minor grade modifications as needed to facilitate proper drainage.

Significant grade modifications that are anticipated include the development of three detention ponds to be located along the waterway(s) and wetland area running through the site. Grade modifications in these areas are anticipated to involve the excavation of ponds with excavation depths ranging from 0-5 feet. Detailed grading design will be shown on subsequent Preliminary Development Plans (PDP) and Final Development Plans (FDP).

Grading will be designed to minimize the amount of stormwater runoff that enters the Louden Ditch.

3. IMPLEMENTATION

A. Regulatory Procedures

The following regulatory procedures shall apply to all development within the Kendall Brook Planned Unit Development, in accordance with Chapter 18.41 of the Loveland Municipal Code. It is the intent of this plan to provide a mechanism by which land can be developed in a manner that encourages flexibility and innovative design of residential development, in compliance with other applicable land use and development regulations in effect at the time of approval of this Plan.

1. Permitted Uses

a. Permitted uses include the following:

**Residential Areas -** These uses are permitted in all Parcels of the Kendall Brook PUD

**Residential dwelling units** as defined in I.B.2 above; and:

- public and private schools
- churches or other religious facilities
- community recreational facilities
- home occupations as permitted by Loveland Municipal Code
- farming and general agricultural practices, as described in I.B.5. above

**Mixed-Use Area G -** These uses are permitted in Parcel G of the Kendall Brook GDP

Community uses, such as or similar to:

- churches or other religious facilities
- child and adult day care centers
- Residential uses, such as or similar to:
- multiple-unit assisted living or elderly housing centers
- group care facilities
- congregate care facilities
- single family homes
- duplex homes
- condominium townhomes

And other uses as permitted by Special Review, per the Loveland Municipal Code Chapter 18.

**Mixed-Use Area H -** These uses are permitted in Parcel H of the Kendall Brook GDP

Commercial uses, such as or similar to:

- financial institutions
- medical/dental labs
- membership clubs
- neighborhood shopping center
- offices and clinics
- printing and newspaper offices
- personal service shops
- retail laundry/dry cleaning stores
- retail and/or wholesale stores
- pharmacies
- restaurants and other eating and drinking establishments, but not fast food
- small animal hospital and clinic

Community uses, such as or similar to:

- public and private schools
- churches or other religious facilities
- community recreational facilities
- hospitals
- nursary schools
- child and adult day care centers
- emergency service facilities (i.e., police, fire)
- government and semi-public uses

Residential uses, such as or similar to:

- multiple-unit assisted living or elderly housing centers
- group care facilities
- congregate care facilities

And other uses as permitted by Special Review, per the Loveland Municipal Code Chapter 18.

Seasonal uses typically associated with all uses as listed above will be allowed, subject to applicable health department and municipal codes of the City of Loveland. All applicable special permit processes shall apply.

Specific uses shall be indicated at the time a Final Development Plan is submitted for review. Any additional uses to be considered must be included on an amended General Development Plan or established developments may be modified by the procedure set forth in paragraph 9 - 'Modifications'.

2. Building Setbacks

The following minimum setbacks shall apply to all residential development within this PUD: All non-garage door setbacks are measured to the foundation wall/"building envelope"(see encroachments below)

**Single Family Detached Homes**

- Front - 15 ft. from property line to building envelope, 20 ft. to face of garage door.
- Side - 5 ft.
- Corner Side - 15 ft. from property line to building envelope, 20 ft. to face of garage door.
- Rear - 15 ft. on primary structures, 6 ft. on accessory structures, 3 ft. at garage doors on alleys.

**Duplexes/Patio Homes/Courtyard Homes/Townhomes**

- Front - 15 ft. from property line to building envelope or lot (as appropriate per housing type).
- Side - 0 ft., 10 ft. minimum between structures.
- Corner Side - 15 ft. from property line to building envelope.
- Rear - 15 ft. on primary structures, 6 ft. on accessory structures, 3 ft. at garage doors on alleys.

**Multifamily/Condominiums**

- 30 ft. from right-of-way or property lines.
- 15' between buildings.

**Accessory structure setbacks for all residential uses**

- Front - 15 ft. or front setback primary structure, whichever is greater.
- Side - 6 ft. , 15 ft. on corners.
- Rear - 6 ft.

**Encroachments**

- Overhangs, fireplaces and cantilevers, including structural elements may encroach into required setback by no more than 24 inches.

All applicable U.B.C. codes for fire protection et. al. shall apply.

Where two townhomes/ multifamily etc. buildings are adjacent to each other, one of the end units shall be one story.

Staggered front yard setbacks will be required for all residential development except apartments. A staggering of residential building setbacks along all streets is required (i.e., every house must be staggered a minimum of 2' closer to, or further from, the right-of-way than the adjacent homes - 15' / 18' / 16' / 20'). To create a softer, less rigid streetscape, specific parameters shall be incorporated into Preliminary Development Plans.

The following minimum setbacks shall apply to all nonresidential development within this PUD: Nonresidential structures shall maintain a minimum 35-foot setback and shall be subject to the city code, with a 6-foot tall berm, adjacent to residential uses. The setback shall be landscaped in accordance with Loveland Site Development Performance Standards and Guidelines. Nonresidential structures adjacent to public rights-of-way shall be setback a minimum of 20 feet, with appropriate bufferyards in accordance with the Loveland Site Development Performance Standards and Guidelines.

All parking lots shall be setback a minimum distance of 30 feet from any public right-of-way and 40' from arterial roadways, and shall be screened from surrounding public views by a minimum 3-foot high berm and landscaping in compliance with Loveland Site Development Performance Standards and Guidelines.

3. Development Setbacks from Louden Ditch and Dry Creek

To protect and enhance the existing wildlife corridor along the Louden Ditch and the inherent qualities of Dry Creek and the wetlands associated with this area, the following development setbacks apply to all development along the Louden Ditch and Dry Creek:

|                             |         |           |         |          |
|-----------------------------|---------|-----------|---------|----------|
| From Louden Ditch           | Average | 100 feet, | Minimum | 35 feet  |
| From wetlands and pond      |         |           | Minimum | 75 feet  |
| Between Parcels B-1 and D-2 |         |           | Minimum | 150 feet |
| Between Parcels A and C-1   |         |           | Minimum | 205 feet |
| Between Parcels D-1 and F   |         |           | Minimum | 225 feet |

In addition, a written statement from the Louden Ditch Company Representatives indicating any concerns they may have shall be included and incorporated into subsequent PDP's.

4. Driveway Setbacks and Design Requirements

All driveways on corner lots must maintain a minimum corner clearance of 50 feet from the closest edge of the driveway to the flow line of the nearest street intersection, unless otherwise permitted by the City Engineer.

Three car garages are prohibited on lots less than 50' feet in width.

Garage doors visible as part of front building elevations shall not comprise more than fifty (50) percent of the ground floor street-facing linear building frontage. This requirement shall not apply to side or rear loaded garages.

5. Height

"Building height" means the vertical distance from grade to the highest point of the coping of a flat roof, or to the average height of the highest gable or hip roof, or to the highest point of a curved roof. This measurement shall be exclusive of church spires, chimneys, ventilators, pipes, or similar apparatus. For purposes of this definition, "grade" as a point of measure, shall mean either of the following, whichever yields a greater height of building or structure:

A. The elevation of the highest ground surface within a five foot horizontal distance from the exterior wall of the building when there is less than a ten foot difference between the highest and lowest ground surface within a five foot horizontal distance from said wall.

B. An elevation ten feet or higher than the lowest ground surface within a five foot horizontal difference from the exterior wall of the building when there is greater than a ten foot difference between the highest and lowest ground surface within a five foot horizontal distance from said wall. The term ground surface shall include sidewalks.

Residential building heights will be limited to 35' (40' for multifamily) in height as measured above. Buildings are limited to 2.5 stories. Homes that back up to North Taft shall be limited to 35' in height as measured in the same manner as the commercial height (see below).

Commercial buildings will be limited to 35' in height as measured in Loveland Zoning Regulations section 18.04.120 under Building height defined. The datum for the base of the building will be the mean height of the existing elevation.

Where multifamily structures are adjacent to one another, appropriate and sensitive site design shall ensure that a "tunnel effect" is avoided by use of variations in building heights and building orientation and location to create human-scaled entries and pathways.

No portion of any structure may be taller (measured from the base elevation of the respective viewpoint to the peak of the roof) than the maximum height indicated by the view corridor study, where a structure is located within a view corridor.

6. Parking

Parking for residential units and nonresidential uses will occur on each lot, or on-street as allowed by City code. Parking for multifamily and neighborhood recreational facility uses will be accommodated on site per City requirements, and will be separated from public streets through a combination of berms, landscape, setbacks, or by other means per the individual site plans and approved by the City. Additional off-street parking may be required in cul-de-sac islands based on PDP site plan submittal.

Parking at the parcels G and H for nonresidential uses within parcel G and H must be designed to provide a landscape buffer to screen the parking areas from the right-of-way. A minimum setback of 40' shall apply from arterial roadways and 30 feet from other public right-of-way.

7. Application

Residential uses may be developed within any of the designated residential areas indicated on the General Development Plan, subject to the maximum number of dwellings indicated on the Plan for each area and to an overall maximum of 594 dwelling units (10%+/-), and in accordance with the procedures as described below. Densities may be increased or decreased through the transfer of density from one development area to another within the Kendall Brook PUD, involving a maximum increase or decrease of ten percent of the entire GDP, in accordance with the modification procedures outlined in #9 below.

8. Procedures

All proposed development of any type within the Planned Unit Development will be processed in accordance with the procedures contained in Chapter 18.41 of the Loveland Municipal Code, Section 18.41.40, Procedures for Approval of a Planned Unit Development, and shall require approval of Preliminary and Final Development Plans in accordance with the requirements thereof.

9. Modifications

This General Development Plan may be modified in a minor way, such as the reconfiguration of development areas, relocation or minor alignment of residential collector roadways, or other minor non-substantive modifications in accordance with the provisions set forth in Section 8.41.050(D)(11) of the Municipal Code.

10. Subdivision Procedures

All development within this PUD will comply with the City Codes and processes.

11. Drainage Statement

Drainage design will conform to the City of Loveland Master Drainage Basin Study (1986), as completed for the City of Loveland by WRC Engineering, Inc. The site lies in the Dry Creek Basin and is intersected by Dry Creek and the Louden Ditch. On-site grading and drainage patterns were designed to convey runoff away from the Louden Ditch and into Dry Creek. Dry Creek will need to be improved with a more defined channel graded into the existing bank. On-site detention of 14 ac-ft will be needed and provided in three ponds. Two ponds will be to the west of the Louden Ditch and will/may be piped under the Ditch to Dry Creek. A third pond will be in line with Dry Creek. A drainage swale along the east side of the property will also convey runoff to Dry Creek before it is piped under North Taft Avenue.

Any improvements or disturbance of Dry Creek will comply with all local, state and federal requirements, and documentation stating compliance will be submitted with each FDP application, prior to any grading or improvements that would affect Dry Creek.

12. Wind Erosion Control

Fugitive dust and wind erosion shall be minimized through the following means and methods: Pre-disturbance vegetation shall be protected and retained whenever possible. Removal or disturbance of existing vegetation shall be limited to the areas required for immediate construction operations, and for the shortest practical period of time. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until mulch, vegetation or other permanent erosion control is installed. No soils in areas outside of project street rights of way shall remain exposed by land disturbing activities for more than thirty (30) days before required temporary or permanent erosion control (e.g. seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Director of Current Planning.

13. Access/ Circulation

The street system proposed meets the operational criteria of the City of Loveland.

4. SUPPLEMENTARY REGULATIONS

A. Signs

1. Purpose

The purpose of these supplementary regulations is to encourage the effective use of signs in the development; to improve pedestrian and traffic safety; to minimize the potential for adverse impacts of signs on public and private property; and to encourage the creative use of signing and environmental graphics as a part of the overall development image.

2. Permitted Signs

Signs permitted within the Kendall Brook PUD shall include the following:

- a) Community Identification Signs - Up to two signs may be located at each main entry to the site. Each sign shall not exceed 35 square feet in sign face area.
- b) Neighborhood Identification Signs - One sign may be located at each of the entry points to specific residential neighborhoods or development areas. Each sign shall not exceed 24 square feet in sign face area.
- c) Directional and Regulatory Signs - Including street and traffic control signs.
- d) Parcels G and H Signs - Each tenant in the parcels G and H shall be permitted one building-mounted sign on each elevation facing North Taft Avenue and/or West 43rd Street, in addition to one building-mounted sign on a single elevation facing an internal parking area. Window signs shall be regulated by the Loveland Municipal Code. One ground-mounted sign shall be permitted at the corner of North Taft Avenue and West 43rd Street, compatible with the elevations illustrated in this plan.

3. Material

Sign materials may include, but are not limited to, brick, stone, architectural block, stucco or synthetic stucco, brass, or painted metals. Signs may be lighted from the back, ground, or other acceptable source as allowed by the sign code. See Sheet 4 for typical examples of signs.

4. Application

Signs shall require a separate sign permit and shall be installed in accordance with the Loveland Municipal Code with regard to size, location, and height, and other applicable standards. In addition, all signs shall comply with the design guidelines set forth in Section 6.2 of the Loveland Comprehensive Master Plan, which is The U.S. 34 Corridor Plan.

B. Outdoor Storage of Recreation Vehicles

No boat, camper, trailer, motor home, bus, machine or inoperative vehicle may be stored on the property, unless enclosed entirely in a garage; provided that the same may be temporarily parked upon the driveway or street for a period of time not to exceed 48 hours and subject to the City of Loveland Municipal Code.

C. Conditions, Covenants, and Restrictions (CC&R's)

CC&R's shall be submitted with subsequent PDP applications and executed with approval of the FDP.

D. Architectural Review Committee

The development of this PUD will establish an Architectural Review Committee(s), to review and approve all buildings to be constructed within the development. No building or other structure shall be erected, placed, or altered on any lot until plans have been submitted and approved by the Committee. The committee will utilize this PUD plan and guidelines adopted in the form of covenants as the basis for reviewing plans. A letter of approval of plans from the appropriate architectural control committee shall accompany each design submitted for a building permit.

E. Lighting

A commercial lighting plan shall be submitted with the PDP for commercial areas parcels G & H.



urban design associates  
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303.534.3884 (FAX)  
nuszpatz@aol.com

Owner:  
Chateau Development Company  
8101 E. Prentice Ave  
Suite 815  
Greenwood Village, CO 80111  
303.771.8854 (Voice)  
303.694.3332 (FAX)

KENDALL BROOK GDP NARRATIVE

Loveland, Colorado

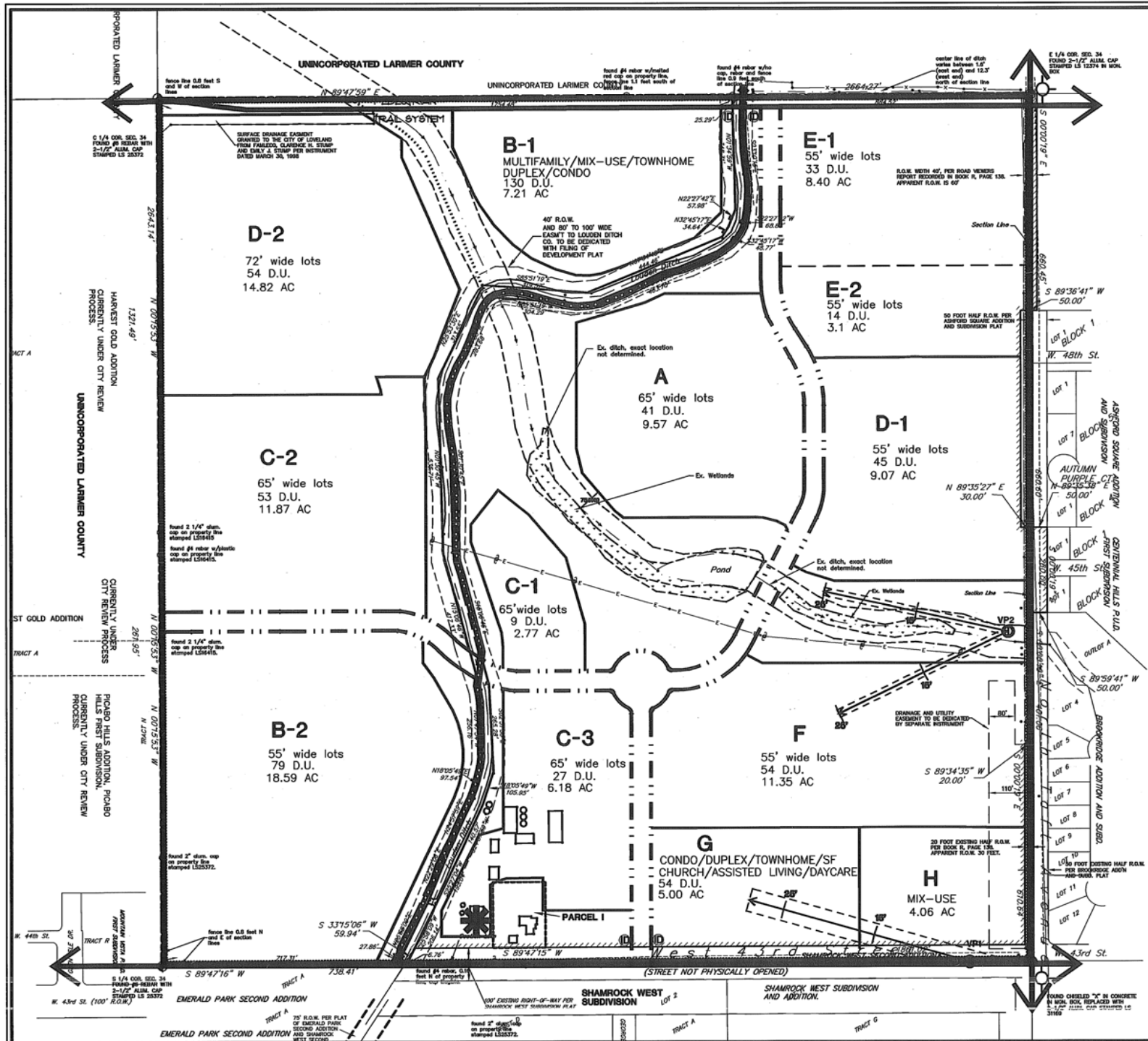
Chateau Development Company

|             |          |
|-------------|----------|
| PROJECT:    | 931014   |
| DRAWN BY:   |          |
| CHECK BY:   |          |
| ISSUE DATE: | 06/22/98 |
| REVISIONS:  |          |
|             | 01/22/99 |
|             | 02/12/99 |
|             | 04/23/99 |
|             | 09/10/99 |
|             | 11/02/99 |
|             | 12/15/99 |
| Draft       | 03/11/00 |
|             | 08/04/00 |
|             | 08/14/00 |

SHEET TITLE  
**G.D.P.  
NARRATIVE  
SHEET**  
SHEET NUMBER



U:\Kendall11 Brook\SUBMITTALS\GDP\GDP-071600-3.dwg kva Sep 18 15:16:04 2000 Copyright 2000: Nuszer Kopatz, Inc.



#### PROPERTY DESCRIPTION

ALL TRACTS OF THE KENDALL BROOK ADDITION:  
A TRACT OR PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE SIXTH PRINCIPLE MERIDIAN, COUNTY OF LARIMER, STATE OF COLORADO; BEING A PORTION OF THE LANDS CONVEYED BY DEED RECORDED IN THE OFFICE OF THE LARIMER COUNTY CLERK AND RECORDER ON NOVEMBER 1, 1978 AT 9:28 A.M. IN BOOK 1903, PAGE 233; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 69 WEST OF THE 6TH P.M.;

LESS AND EXCEPT THAT PORTION CONVEYED TO THE LOUDON CANAL COMPANY BY DEED RECORDED IN BOOK 1, PAGE 378 ON JANUARY 22, 1884, SAID PORTION BEING DESCRIBED AS A STRIP OF LAND FORTY FEET IN WIDTH, THROUGH THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP NUMBER SIX (6) NORTH OF RANGE SIXTY-NINE (69) WEST. WHERE THE CANAL OF THE ABOVE NAMED COMPANY IS NOW LOCATED, OR SO MUCH OF THE FORTY FEET IN WIDTH AS MAY BE REQUIRED FOR THE CANAL AND ALL NECESSARY EMBANKMENTS. SAID DESCRIBED LAND CONTAINS 158.82 ACRES AND IS SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD OR AS NOW EXIST ON THE GROUND.

BASIS OF BEARING STATEMENT  
CONSIDERING THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 34, T6N, R69W AS BEARING N00°00'19"W AS SHOWN ON THE PLAT OF BROOKRIDGE ADDITION AND SUBDIVISION RECORDED AT RECEPTION NO. 94034077, AND WITH TERMINI OF SAID LINE MARKED AS SHOWN ON THIS PLAT, WITH ALL OTHER BEARINGS RELATIVE THERETO.

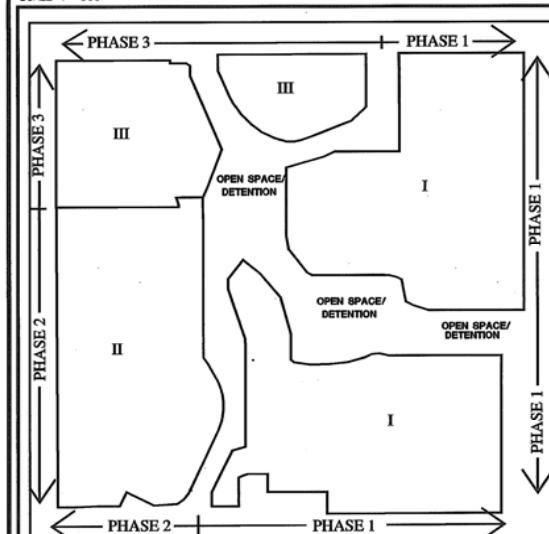
#### LAND USE BREAKDOWN

| PARCEL  | LANDUSE                        | PERMITTED USES ** | APPROX. NO. UNITS | APPROX. ACRES | DENSITY*    | PERCENT OF ALL UNITS | PERCENT OF SINGLE FAMILY |
|---|--------------------------------|-------------------|-------------------|---------------|-------------|----------------------|--------------------------|
| A   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 41 DU             | 9.57 AC       | 4.28 DU/AC  | 7.6%                 | 10.0%                    |
| B-1   | MULTIFAMILY                    | RESIDENTIAL AREA  | 130 DU            | 7.21 AC       | 18.10 DU/AC | 20.7%                | NA                       |
| B-2   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 79 DU             | 18.59 AC      | 4.25 DU/AC  | 13.0%                | 19.3%                    |
| C-1   | SINGLE FAMILY/DUPLEX/CONDO     | RESIDENTIAL AREA  | 9 DU              | 2.77 AC       | 3.25 DU/AC  | 2.4%                 | 2.2%                     |
| C-2   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 53 DU             | 11.87 AC      | 4.47 DU/AC  | 9.1%                 | 12.9%                    |
| C-3   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 27 DU             | 6.18 AC       | 4.37 DU/AC  | 6.0%                 | 6.6%                     |
| D-1   | SINGLE FAMILY/DUPLEX/CONDO     | RESIDENTIAL AREA  | 45 DU             | 9.07 AC       | 4.96 DU/AC  | 7.2%                 | 11.0%                    |
| D-2   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 54 DU             | 14.82 AC      | 3.64 DU/AC  | 8.7%                 | 13.2%                    |
| E-1   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 33 DU             | 8.40 AC       | 3.92 DU/AC  | 5.2%                 | 8.0%                     |
| E-2   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 14 DU             | 3.10 AC       | 4.52 DU/AC  | 2.2%                 | 3.4%                     |
| F   | SINGLE FAMILY                  | RESIDENTIAL AREA  | 54 DU             | 11.35 AC      | 4.76 DU/AC  | 9.1%                 | 13.2%                    |
| G   | MIXED-USE ***                  | MIXED-USE ***     | 54 DU             | 5.00 AC       | 10.80 DU/AC | 8.6%                 | NA                       |
| H   | MIXED-USE                      | MIXED-USE ***     | NA                | 4.06 AC       | NA          | NA                   | NA                       |
| PARCEL I  | SINGLE FAMILY                  | RESIDENTIAL AREA  | 1                 | 0.997 AC      | 1.00 DU/AC  | 0.2%                 | 0.2%                     |
| NA  | OPEN SPACE                     | OPEN SPACE        | NA                | 31.06 AC      | NA          | NA                   | NA                       |
| NA  | INTERIOR MINOR R.O.W.          | R.O.W.            | NA                | 14.77 AC      | NA          | NA                   | NA                       |
| NA  | EXTERIOR R.O.W. (N. TAFT, ETC) | R.O.W.            | NA                | 14.77 AC      | NA          | NA                   | NA                       |
| TOTAL   |                                |                   | 594 DU            | 158.82 AC     | 3.74 DU/AC  | 100%                 | 100%                     |
| TOTAL FOR SINGLE FAMILY PARCELS (includes parcels A, B-2, C's, D's, E's, F) |                                |                   | 410 DU            | 146.61 AC     | 2.79 DU/AC  | 69%                  | 100%                     |
| TOTAL FOR MULTI-FAMILY ? MIX-USE RESIDENTIAL (includes parcels B-1, G, H)   |                                |                   | 184 DU            | 12.21 AC      | 15.07 DU/AC | 31%                  | NA                       |

- \* DENSITY ON EACH P.D.P. MAY VARY TO INCLUDE DENSITIES AND TOTAL NUMBER OF UNITS WITHIN 10% (GREATER OR LOWER) OF THE MAXIMUM APPROVED DENSITY AND TOTAL NUMBER OF UNITS SHOWN ON THE G.D.P.
- \*\* TOTAL OPEN SPACE TO BE 20% MINIMUM (SEE GENERAL NOTE #4)
- \*\*\* SEE SECTION 3A(1) GDP NARRATIVE SHEET RESIDENTIAL AREA AND MIXED-USE (COMMERCIAL, COMMUNITY, & RESIDENTIAL USES)
- \*\*\*\* MIXED-USE IN PARCELS G AND H HAVE LIMITED USES. PER SECTION 3A(1).

#### ANTICIPATED PHASING PLAN

SCALE 1"=500'



THE DEVELOPMENT IS ANTICIPATED TO COMMENCE WITH THE RESIDENTIAL SECTIONS IN THE SOUTH EAST OF THE PROPERTY, & WILL PROGRESS WITH LOGICAL EXTENSIONS OF CITY SERVICES. MORE THAN ONE PHASE MAY BE DEVELOPED CONCURRENTLY IN ORDER TO PROVIDE FOR A MIX OF HOUSING TYPES.

CONSTRUCTION PHASING SHALL PROGRESS IN SUCH A MANNER AS TO ENSURE THE PROVISION OF NECESSARY EMERGENCY VEHICLE ACCESS (MINIMUM OF 2) AND SUFFICIENT WATER SUPPLY AND PRESSURE.

THIS PHASING PLAN IS ONLY GENERAL IN NATURE, AND IS SUBJECT TO CHANGE BASED UPON MARKET CONDITIONS. IT IS SUBJECT TO SUBSEQUENT REVISIONS AND APPROVAL AT TIME OF PRELIMINARY AND FINAL DEVELOPMENT PLANS.



SCALE 1"=200'

#### LEGEND

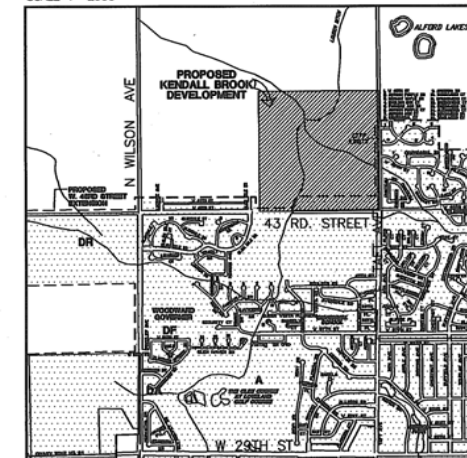
- MAJOR TRAFFIC CIRCULATION
- ENTRY IDENTIFICATION FEATURE
- TRAFFIC CIRCLE
- VIEW CORRIDOR

#### GENERAL NOTES

1. THE NUMBER OF UNITS SHOWN FOR EACH PHASE IS THE MAXIMUM (10%+/-) ANTICIPATED IN THAT PHASE.
2. AREAS SHOWN REPRESENT RESIDENTIAL AND MIXED-USE AREAS AND MAY CHANGE WITH THE PDP AND FDP.
3. LOT SIZES WILL BE DETERMINED WITH EACH PRELIMINARY AND FINAL SUBMITTAL.
4. ACREAGE EQUAL TO A MINIMUM OF 20% OF THE GROSS RESIDENTIAL SITE AREA SHALL BE DESIGNATED FOR OPEN SPACE WITHIN THE OVERALL G.D.P. THIS OPEN SPACE MAY INCLUDE DRAINAGE AREAS, DETENTION PONDS, GREENBELTS, BUFFERYARDS, RECREATIONAL FACILITIES, STREETSCAPE GREENBELTS, TRAIL CONNECTIONS, OR OTHER SIMILAR FEATURES.
5. FINAL CONFIGURATION OF PHASES AND OPEN SPACE AREAS MAY VARY FROM THAT SHOWN.
6. THE DEVELOPERS AND OWNERS OF KENDALL BROOK WILL WORK WITH ADJACENT PROPERTIES TO COORDINATE ACCESS AND CIRCULATION BETWEEN PROPERTIES.
7. DENSITY ON EACH PHASE MAY VARY TO INCLUDE DENSITIES AND TOTAL NUMBER OF UNITS WITHIN 10%+/- OF THE MAXIMUM APPROVED DENSITY AND TOTAL NUMBER OF UNITS SHOWN ON THE G.D.P. FOR EACH PARCEL.
8. PARCEL I SHALL REMAIN AS A 0.997 ACRE LOT FOR THE EXISTING SINGLE FAMILY HOME AND DETACHED GARAGE.
9. A 20' EASEMENT FOR A 10' CITY MULTI-USE TRAIL ALONG THE LOUDEN DITCH WILL BE DEDICATED TO THE CITY OF LOVELAND PARK AND RECREATION DISTRICT WITH THE FILING OF ADJACENT PLATS. THE TRAIL WILL BE BUILT BY AND TO THE CITY OF LOVELAND STANDARDS.
10. SIGNIFICANT VIEWS OF LONG'S PEAK AND THE MUMMY RANGE HAVE BEEN PROTECTED, USING THE FORMULAS SHOWN IN THE U.S. 34 CORRIDOR PLAN.
11. OPEN SPACE PLAYFIELDS SHALL BE DEVELOPED AT A RATE OF 1 ACRE PER 100 DWELLING UNITS.
12. NO PORTION OF ANY STRUCTURE WITHIN THE VIEW CORRIDOR AS SHOWN ON THIS PLAN MAY BE TALLER THAN THE HEIGHT AS INDICATED IN THE VIEW CORRIDOR ASSUMPTIONS AND CALCULATIONS.
13. A MINIMUM OF 8 ACRES SHALL BE ZONED FOR MULTI-FAMILY APARTMENT UNITS. SEE PARCEL B-1.

#### VICINITY MAP

SCALE 1"=2000'



#### VIEW CORRIDOR ASSUMPTIONS ? CALCULATIONS

##### VIEW POINTS

VIEWPOINT 1 - VEHICULAR  
5 SECONDS AT 40 MPH = 293 FEET  
VIEWPOINT 2 - PEDESTRIAN  
5 SECONDS AT 3 MPH = 293 FEET

##### HORIZONTAL VIEW ANGLES

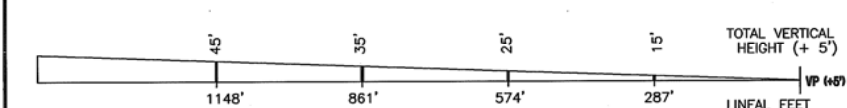
|     | LONGS PEAK        | COMANCHE PEAK | MT. CHOCUITA |
|-----|-------------------|---------------|--------------|
| VP1 | 24.3° SW-25.3° SW | 14° NW        | 0.8° NW      |
| VP2 | 25° SW-26° SW     | 13.5° NW      | 0°           |

##### VERTICAL VIEW ANGLES

VIEWPOINT ELEVATIONS 5000' (APPROX)  
FOREGROUND VIEW ELEVATIONS 8000'  
NET GAIN 2940'  
DISTANCE FROM VIEW POINTS TO 8000' FOREGROUND IS APPROXIMATELY 84,480 FT (16 MILES).

##### VIEW/HEIGHT RELATIONSHIP

(1':28.7") = 1 FOOT PER 28.7 LINEAL FEET  
AVERAGE VIEW HEIGHT = 5'



KENDALL BROOK

GENERAL DEVELOPMENT PLAN - SHEET 3 OF 4



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303.694.3332 (FAX)

KENDALL BROOK G.D.P.

Loveland, Colorado

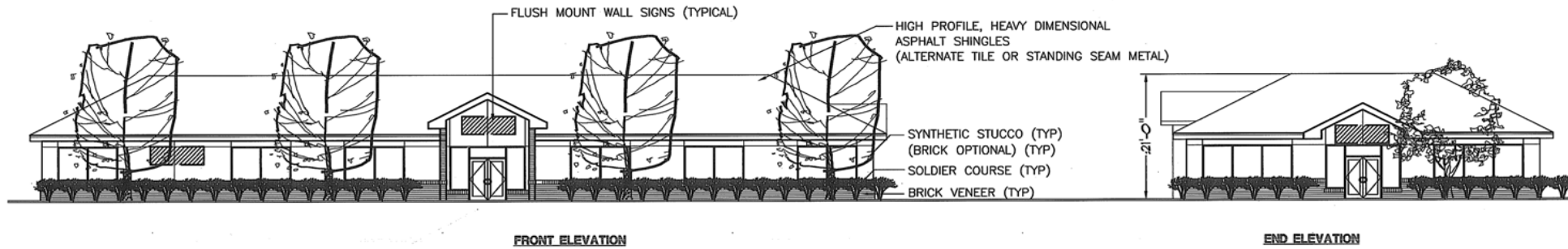
Chateau Development Company

PROJECT: 991014  
DRAWN BY:  
CHECK BY:  
ISSUE DATE: 06/12/99  
APPROVED: 01/01/99  
02/12/99  
04/23/99  
09/10/99  
11/12/99  
12/15/99  
Draft 03/11/00  
05/04/00  
06/14/00

SHEET TITLE  
GENERAL DEVELOPMENT PLAN

SHEET NUMBER

30F4



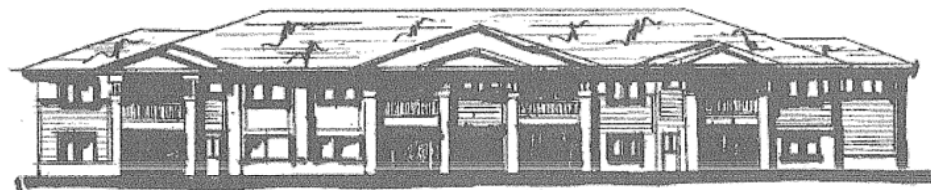
CONCEPTUAL PARCELS G & H ELEVATIONS - NON-RESIDENTIAL

NOT TO SCALE



CONCEPTUAL CONDOMINIUM ELEVATIONS

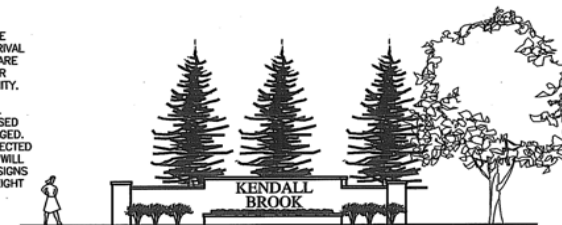
NOT TO SCALE



CONCEPTUAL APARTMENT ELEVATIONS

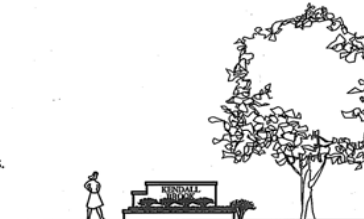
NOT TO SCALE

COMMUNITY ENTRY SIGNS ARE INTENDED TO ANNOUNCE ARRIVAL TO THE COMMUNITY. THEY ARE TYPICALLY LOCATED AT MAJOR ENTRANCES TO THE COMMUNITY. A VARIETY OF HEIGHTS ARE ENCOURAGED TO ADD VISUAL INTEREST. THE USE OF RAISED PLANTERS IS ALSO ENCOURAGED. MATERIALS AND COLORS SELECTED FOR THE COMMUNITY SIGNS WILL SET THE TONE FOR OTHER SIGNS WITHIN THE COMMUNITY. HEIGHT LIMIT IS SIX FEET.



TYPICAL MIXED USE COMMUNITY ENTRY SIGN

NEIGHBORHOOD ENTRY SIGNS ARE INTENDED TO IDENTIFY VARIOUS PARCELS WITHIN THE KENDALL BROOK COMMUNITY, AND ARE TYPICALLY LOCATED ALONG COLLECTOR AND ARTERIAL STREETS. THESE SIGNS ARE SMALLER IN SCALE THAN THE COMMUNITY ENTRY SIGNS, BUT USE SIMILAR MATERIALS AND COLORS. FREESTANDING SIGNS ARE LIMITED TO FIVE FEET IN HEIGHT. SIGNS BUILT AS PART OF A FENCE ARE LIMITED TO SIX FEET IN HEIGHT.



TYPICAL NEIGHBORHOOD IDENTITY SIGN

THESE SIGN ELEVATIONS ARE INTENDED TO ILLUSTRATE CONCEPTS AND IDEAS ONLY. FINAL DESIGN OF ALL SIGNS MAY VARY FROM THAT SHOWN. ADDITIONAL SIGNAGE DESIGN INFORMATION IS TO BE PROVIDED WITH PRELIMINARY AND FINAL SUBMITTALS. ALL SIGNS ARE TO COMPLY WITH THE SIGN CODE AND RECEIVE SEPARATE SIGN PERMITS UNLESS SPECIFIC VARIANCES ARE GRANTED, AND SHALL HAVE A HORIZONTAL PRESENTATION.

#### CONCEPTUAL SIGN ELEVATIONS

FINAL ELEVATIONS MAY VARY

NOT TO SCALE

#### GENERAL NOTES

1. ALL LAYOUTS ILLUSTRATED HERE ARE INTENDED TO SHOW BASIC CONCEPTS AND DESIGN IDEAS, NOT FINAL DESIGNS.
2. DESIGNS AND LAYOUTS PROPOSED ON THE PRELIMINARY AND FINAL SITE PLANS MAY VARY FROM THOSE CONCEPTS SHOWN HERE.
3. ALL PRELIMINARY AND FINAL PLANS MUST BE APPROVED BY THE CITY OF LOVELAND.



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## Kendall Brook GDP Details/Elevations

Loveland, Colorado  
Chateau Development Company

|             |          |
|-------------|----------|
| PROJECT:    | 99/014   |
| DRAWN BY:   |          |
| CHECK BY:   |          |
| ISSUE DATE: | 06/22/99 |
| REVISIONS:  | 01/12/99 |
|             | 04/23/99 |
|             | 09/10/99 |
|             | 12/15/99 |
| Draft       | 03/17/00 |
|             | 05/04/00 |
|             | 06/14/00 |

SHEET TITLE

GDP  
DETAILS &  
ELEVATIONS

SHEET NUMBER

## I. PROJECT DESCRIPTION

### 1. Overall Summary of the PUD

The following development standards and project descriptions pertain to a replat of Outlot A, Kendall Brook First Subdivision located in the Kendall Brook PUD. The Kendall Brook project area is 7.21 acres in size and is being developed on vacant land within the approved Kendall Brook General Development Plan (GDP). The Kendall Brook GDP approved this parcel for a total of 130 units. After initial meetings with the neighborhood residents, density was a large concern for them. This new project takes those concerns into account and is proposed to be 87 units. The town homes will be for sale units with a total of 16 buildings.

#### Key elements:

- Front elevations facing out from the property or inward toward the proposed pocket park
- Front porches and private front yards on all units
- Each unit has a 2-car garage with 2 additional tandem surface parking spaces
- 34 additional guest parking spaces located throughout
- Units are comprised of 2 and 3 bedroom plans. All end units have a main floor master bedroom
- All units have full basements
- Gas and Electrical meter banks will be screened.

The project provides a complimentary product type to the existing neighborhood. The combination of floor plans appeals to a wide variety of homebuyers – from first time buyers to empty nesters.

- A. To provide for necessary commercial, recreational, and educational facilities conveniently located to housing:

- *As part of the Kendall Brook PUD, this project is centrally located in an area that has a variety of commercial businesses schools and recreational opportunities within close proximity.*

- B. To provide for well-located, clean, safe and pleasant industrial sites involving a minimum of strain on transportation facilities.

- *The Kendall Brook community is a multi-family development, however there are industrial sites nearby that may possibly provide employment to residents. Therefore, making it more convenient for residents to get to work and limiting the strain on transportation facilities.*



- C. To encourage that the provisions of the zoning laws which direct uniform treatment of dwelling type, bulk density, and open space within each zoning district will not be applied to the development of multi-family projects.
- The Kendall Brook project is a master planned Town Home community that utilizes efficient and smart growth planning principles to create attractive and much needed housing for the City of Loveland. The roadway and pedestrian circulation is situated to take advantage of scenic views, and connectivity to existing streets, recreational trails and businesses within close proximity.*
- D. To encourage innovation in residential, commercial, and industrial development and renewal so that the growing demands of the population may be met by greater variety in type, design, and layout of buildings and by the conservation and more efficient use of open space ancillary to said buildings.
- The Kendall Brook architecture proposes attractive and interesting building types that will blend into the surrounding area. A variety of different exterior finishes and materials are proposed with the building design to create a timeless architecture, reflective of the Colorado vernacular. The palette of colors will be appropriate to the Kendall Brook PUD and the immediate neighborhood, using earth tones and complimentary accent colors. Surrounding landscaping will complement the architecture with a variety of ornamental grasses, shrubs, and trees adapted to Colorado's climate.*

**The overall architectural concept will emphasize the following elements:**

- Building form and character shall be of an appropriate scale. Design considerations shall include the mass, bulk and proportion of the structure including roofs, walls and openings.*
- Building colors for primary and accessory structures shall be low-reflective, subtle, neutral or earth tone colors with the intent of promoting a harmonious appearance of the structure.*
- All elevations of structures are detailed to provide visual interest and avoid unattractive views.*
- Roofing materials, windows, building materials and finish will be coordinated to achieve a cohesive appearance.*
- Primary building entrances shall be clearly defined and recessed or framed by sheltering elements such as an awning, arcade or portico in order to provide shelter in inclement weather.*
- All heating air-conditioning refrigeration, ventilation or other mechanical equipment located on the exterior of any building or structure shall be screened from view of abutting public street and residential properties.*
- Site Lighting shall be in accordance with the point by point illumination plan included with this application.*

- E. To encourage a more efficient use of land and public services or private services in lieu thereof, and to reflect changes in the technology of land development so that resulting economies may inure to the benefit of those who need homes.
- *This project will provide important much needed housing to the City of Loveland. The efficient layout of roadways and buildings create a well-planned attractive and compact development that will add economic benefit to the City and the residents that reside there.*
- F. To lessen the burden of traffic on streets and highways.
- *The close proximity of this community to nearby businesses and commercial areas will enable residents to utilize alternate forms of transportation and shorter vehicular trips. Additionally, existing recreational trails and proposed pedestrian connectivity will provide safe access to nearby destinations.*
- G. To encourage the building of new development incorporating the best features of modern design.
- *The Kendall Brook community will incorporate attractive architecture, landscaping and the best features of modern design to create a sense of place and aesthetically pleasing addition to the City of Loveland.*
- H. To conserve the value of the land.
- *The site layout of buildings and structures proposed for the Kendall Brook community are efficiently laid out to provide a compact development that creates an attractive community for its residents. Landscaping will also provide an openness and connectivity to the surrounding area.*
- I. To provide a procedure which can relate the type, design, and layout of residential, commercial, and industrial development to the particular site, thereby encouraging preservation of the sites' natural characteristics.
- *The design, type and layout for the Kendall Brook site will utilize architectural design and landscaping standards that reflect the natural characteristics of Colorado and will be integrated to its surroundings.*
- J. To encourage to planning in order to achieve the above purposes; and
- *The planning practices incorporated into the Kendall Brook community seek to achieve the aforementioned purposes and guidelines.*
- K. To encourage a land use pattern that supports the cost effective delivery of services and facilities.
- *The land use pattern and roadway layout for Kendall Brook provides cost effective location and delivery to existing utilities. Sufficient utility capacity exists in the area and will be easily connected to this development.*

## I. FINDINGS STATEMENT

- A. The PDP conforms to the General Development Plan (GDP) on file with the City where the property is being developed.
- The Kendall Brook Preliminary Development Plan meets the requirements of the Kendall Brook (GDP).*
- B. The PDP meets the intent and objectives of Chapter 18.41 of the LMC (PUD chapter), to the City's master plans and to any applicable area plan.
- The Kendall Brook Development Plan meets the intent and objectives of the City's comprehensive plan & municipal development code. Additionally, the standards guidelines of the Kendall Brook GDP have been addressed.*
- C. The proposed development will not negatively impact traffic in the area, city utilities, or otherwise have a detrimental impact on property that is in sufficient proximity to the proposed development to be affected by it.
- The Kendall Brook community should not have a negative impact on traffic in the area. Its general location and close proximity to nearby businesses and commercial areas will enable residents to utilize alternate forms of transportation and therefore account for shorter vehicular trips. Additionally, existing recreational trails and proposed pedestrian connectivity will provide safe access to nearby destinations.*
  - Existing utilities are located nearby, making it efficient and cost effective to tie into proposed utility connections. The design and layout of the development has been designed to provide efficient and cost effective utility services.*
- D. The PDP complies with the applicable land use and development regulations in effect as of the date the GDP was approved except that the PDP can be required to comply with regulations adopted after approval of the GDP if the Planning Division and the Planning Commission expressly find that such compliance is necessary to protect public health, safety and welfare. If no GDP was required, then the PDP must comply with applicable land use and development regulations in effect at the time the plan is approved or conditionally approved by Planning Commission.
- The Kendall Brook PDP complies with the applicable land use, Kendall Brook GDP, City of Loveland municipal code and will adhere to regulations in effect and the time the plan is approved by the Planning Commission.*

## XI. CONCLUSIONS

Based on the analyses, investigations, and findings documented in earlier sections of this report, the following can be concluded.

- Current operating conditions in the area of the Kendall Brook Condominiums site are acceptable.
- At build out, Kendall Brook Condominiums is expected to add 38 morning peak hour trips, 45 afternoon highway peak hour trips and 505 trips per day to the area street system. These trips are considered manageable.
- No roadway improvements except for minor striping changes on 50<sup>th</sup> Street at the site driveways are needed to serve short term total traffic which includes Kendall Brook Condominiums traffic.
- Pedestrian and bicycle facilities are readily available to serve the needs of site residents and visitors. A review of the existing trail crossing on 50<sup>th</sup> Street did not reveal any deficiencies.
- The accident review conducted as part of this study did not indicate any accident history and therefore, there are no identifiable safety concerns.
- With Kendall Brook Condominiums fully built, all intersection levels of service and street traffic volumes will satisfy Loveland criteria
- Loveland's ACF criteria will be satisfied with this development fully built. Accordingly, the improvements needed to maintain acceptable conditions as defined in the City's Adequate Community Facilities ordinance are presently available and will continue to be available in the future.
- Kendall Brook Condominiums is viable from a traffic engineering perspective.
- Access to Centennial Elementary School and Lucille Erwin Middle School is currently available using the existing sidewalk, trail, and bicycle networks.

- Table 5 presents a summary of area improvements and the responsibility for each improvement. These improvements will facilitate acceptable conditions.

In summary, traffic generated by the Kendall Brook Condominiums development can be easily absorbed and accommodated by the existing street system. This street system will facilitate acceptable operating conditions for the foreseeable future.