

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2, THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2, THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2, THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED B (DEVELOPING BUSINESS DISTRICT).

PROJECT NARRATIVE:

THIS PROJECT NARRATIVE WILL ADDRESS THE ITEMS LISTED IN THE "SPECIAL REVIEW REVIEWABLE APPLICATION" (THE PARAGRAPH NUMBER BELOW MATCHES THAT ON THE APPLICATION FOR EASE OF REFERENCE AND REVIEW).

- A. AS SHOWN ON DRAWINGS L 1 AND L 2, AND AS QUANTIFIED ON DRAWING L 2, A SUBSTANTIAL AMOUNT OF LANDSCAPING, INCLUDING A VARIETY OF 10 SHADE TREES, 10 FLOWERING/ACCENT TREES, 58 EVERGREENS (A COMBINATION OF TREES AND SHRUBS), 328 SHRUBS, AND 237 PERENNIALS ARE PROPOSED. SEVERAL STREET TREES AND THICK GROUND COVER IS PLANNED ALONG THE W. EISENHOWER BOULEVARD FRONTAGE. FURTHER, LANDSCAPING ALONG BOTH THE WESTERN AND EASTERN PROPERTY LINES IS BEING ENHANCED WITH ADDITIONAL LANDSCAPING AS WELL AS ADDITIONAL LANDSCAPING WITHIN THE PARKING ISLANDS CENTRAL TO THE LAYOUT.
- B. THE QUANTITY, SIZE, AND HEIGHT OF THE EXISTING MONUMENT SIGNAGE ALONG W. EISENHOWER BOULEVARD WILL REMAIN AS CURRENTLY EXISTS. PROPOSED SIGNAGE WILL BE IN ACCORDANCE WITH A SEPARATE SIGNAGE PROGRAM SUBMITTAL.
- C. AS CURRENTLY EXISTS, THE NEW BUILDING INCLUDE A MCDONALD'S FAST FOOD RESTAURANT WITH A PLAYPLACE. THE NEW BUILDING WILL ENCOMPASS 4,717SF (COMPARED TO 4,183SF AS CURRENTLY EXISTS). THE LOCATION OF THE NEW BUILDING WILL BE PARALLEL TO THE WESTERN PROPERTY LINE (PERPENDICULAR TO W. EISENHOWER BOULEVARD), APPROXIMATELY 35' EAST OF THE WEST PROPERTY LINE AND 55' NORTH OF THE W. EISENHOWER BOULEVARD RIGHT-OF-WAY (COMPARED TO 53' WEST OF THE EASTERN PROPERTY LINE AND 15' NORTH OF THE W. EISENHOWER BOULEVARD RIGHT-OF-WAY). THE ROOF CAP (HIGHEST ELEMENT) OF THE BUILDING WILL BE APPROXIMATELY 23'-4" ABOVE GROUND LEVEL. THE FOUR-SIDED ARCHITECTURAL DESIGN OF THE BUILDING INCLUDES MATERIALS SUCH AS: AZTEC BRICK STUCCO, EARTHLY RUSET STUCCO, NATURAL STONE, METAL AWNINGS, ALUMINUM TRELLIS, AND METAL COPING.
- D. THE CONFIGURATION AND PLACEMENT OF THE VEHICULAR ACCESS AND CIRCULATION WAS DESIGN TO COMPLEMENT MCDONALD'S STATE-OF-THE-ART DUAL DRIVETHRU SYSTEM. FULL MOVEMENT INGRESS/EGRESS (PRIMARY) FROM W. EISENHOWER BOULEVARD IS PROVIDED AT THE EASTERN MOST DRIVEWAY, WHILE LEFT/RIGHT-OUT ONLY EGRESS IS PROVIDED TO W. EISENHOWER BOULEVARD AT THE WESTERN MOST DRIVEWAY. FURTHER FULL MOVEMENT (SECONDARY) INGRESS/EGRESS IS PROVIDED TO W. 15TH STREET AND CROSS-ACCESS IS PROVIDED TO THE COMMERCIAL USE TO THE WEST AT THE NORTHWEST CORNER. A NEW PEDESTRIAN SIDEWALK CONNECTION TO THE PLANNED DETACHED SIDEWALK ALONG W. EISENHOWER BOULEVARD WILL PROVIDE DIRECT PEDESTRIAN ACCESS TO THE FACILITY.
- E. ADEQUATE PARKING (50 SPACES, INCLUDING TWO HANDICAP ACCESSIBLE SPACES) IS PROVIDED IN FRONT (EAST) OF THE BUILDING IN A 90° CONFIGURATION. LONG ROWS OF PARKING (ROWS WITH >15 SPACES IN LINE) ARE "BROKEN UP" WITH THE PLACEMENT OF LANDSCAPE ISLANDS, WHERE APPROPRIATE.
- F. SITE LIGHTING WILL BE ATTAINED WITH THE INSTALLATION OF 15 NEW SINGLE-HEAD (FLAT LENS) LIGHT FIXTURES THAT WILL PROVIDE AN AVERAGE PAVED SURFACE ILLUMINATION OF 2.0FC (MAXIMUM 5.0FC, MINIMUM 0.5FC) AND AN AVERAGE ILLUMINATION OF 1.0FC ALONG THE PROPERTY LINE. PLEASE NOTE THAT COMMERCIAL PROPERTIES EXIST ALONG THE WESTERN PROPERTY LINE AND APPROXIMATELY TWO THIRDS OF THE EASTERN PROPERTY LINE AND AN ELEMENTARY SCHOOL IS IMMEDIATELY OPPOSITE THE SITE ON W. 15TH STREET (NORTH). THE AREA OF GREATEST CONCERN IS THE NORTHEAST CORNER OF THE PROPERTY, WHICH ADJUTS A RESIDENTIAL USE. THE ILLUMINATION IN THIS AREA IS INTENTIONALLY SUBDUED AND ADDITIONAL LANDSCAPING IS PLANNED TO MINIMIZE THE LIGHT IMPACT TO THE NEIGHBOR.
- G. IT IS PLANNED THAT THIS FACILITY, AS IT DOES NOW, WILL OPERATE 24-7.
- H. THIS FACILITY WILL OPERATE AS IT DOES TODAY; HOWEVER, IT IS EXPECTED THAT THE EMISSIONS OF AIRBORNE POLLUTANTS MAY BE REDUCED DUE TO THE INHERIT EFFICIENCIES IN THE USE OF THE DUAL DRIVE-THRU SYSTEM (THE DUAL DRIVE-THRU SYSTEM IS APPROXIMATELY 65% MORE EFFICIENT IN GETTING PATRONS THROUGH THE ORDERING, PAYING, PICKUP PROCESS THAN THE SINGLE DRIVE-THRU CONFIGURATION CURRENTLY IN USE AT THIS SITE).

McDONALD'S RESTAURANT MAJOR MODIFICATION TO SPECIAL REVIEW #173

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



SITE LOCATION MAP



AERIAL SITE LOCATION MAP

STATISTICAL INFORMATION

ZONING	B - DEVELOPING BUSINESS (COMP PLAN DES: CC-CORRIDOR COMMERCIAL)
USE	FAST FOOD RESTAURANT
SITE AREA	1.4193 AC (61,824 SF)
BUILDING AREA	4,838 SF (7.6%)
BUILDING HEIGHT	ROOF CAP ELEV. = 23'-4" (ABOVE FINISHED FLOOR)
STRUCTURE GROUND COVERAGE	4,838 SF (7.8%)
ASPHALT GROUND COVERAGE	31,162 SF (50.4%)
CONCRETE PAVEMENT GROUND	8,415 SF (13.6%)
LANDSCAPING	17,409 SF (28.2%)
PARKING COUNT	REQUIRED: 50. PROVIDED: 50.
HANDICAP PARKING COUNT	2 (8' VAN ACCESSIBLE) SPACE REQUIRED / 2 SPACES PROVIDED

LEGEND

EXISTING	PROPOSED
SS&P	EXISTING INTERIM CONTOUR
SS&P	EXISTING INDEX CONTOUR
E	ELECTRICAL LINE
G	GAS LINE
S	SANITARY SEWER LINE
STS	STORM SEWER LINE
T	TELEPHONE LINE
W	WATER LINE
CO	CONTOUR LINE
UL	OVERHEAD UTILITY LINE
GR	GRASS
SP	SPOT ELEVATION
DT	DETACHED TREE
ET	EVERGREEN TREE
SET	SET 5/8" X 1/4" PIN & YELLOW PLASTIC CAP (S.D. 1020) UNLESS NOTED OTHERWISE
BO	BOLLARD
CL	CLEARCUT
GP	GAS METER
LP	LIGHT POLE
MA	MANHOLE
NP	NUMBER OF PARKING SPACES
PP	POWER POLE
SI	SIGN
CON	CONCRETE
LAND	LANDSCAPING
1TYP	TYPICAL
100000	AS RECORDED
BK "PD"	BOOK PAGE
REV NO	REVISION NUMBER
	CIP CURB INLET PROTECTION
	VTC VEHICLE TRACKING CONTROL PAD
	SF SILT FENCE
TW	TOP OF WALL
BW	BOTTOM OF WALL
ST	SITE TRIANGLE
PSG	PARKING LOT LIGHT
	SPOT GRADE
	SPILL CURB
	CATCH CURB
	WALL
	CLEANOUT
5260	INDEX CONTOUR
5261	INTERIM CONTOUR
ELEC	ELECTRICAL
GAS	NATURAL GAS
SS	SANITARY SEWER
UgT	UNDERGROUND TELE
W	WATER LINE

PROJECT CONTACTS

OWNER:

McDONALD'S USA, LLC.
Rocky Mountain Region
5251 DTC Pkwy Ste 300
Greenwood Village, CO 80111-2732
MR. BRENT STEADMAN
Area Construction Manager
Phone: (303) 262-3772 | Fax: (303) 773-6660 | email: bsteadman@us.mcd.com

CIVIL ENGINEER:

ATWOOD ASSOCIATES
CONSULTING ENGINEERS
9674 S. Adelaide Circle
Highlands Ranch, CO 80130-6825
720.384.1961 phone
720.471.9482 fax
atwood@atwood.com

LANDSCAPE ARCHITECT:

Vesta Design
101 Willow Street
Fort Collins, Colorado 80524
Office 970-224-7827
e-mail: larsen@vestadesign.com
Landscape Architecture

SURVEYOR:

Engineering Service Company
1500 South Palmetto Street, Suite 120
Aurora, Colorado 80012
Phone: (303) 337-1762 Fax: (303) 337-1767
escompany.com

PROJECT ARCHITECT:

RESTAURANT DEVELOPMENT
RESTAURANT DGN GRP. WESTERN DIV. STUDIO
2111 MCDONALD'S DRIVE, PAK
OAK BROOK, IL 60523-1926

LIGHTING ANALYSIS PREPARED BY:

PERMIT TO LIGHT
Performance Designed Lighting Products
1085 Johnson Dr., Buffalo Grove, Illinois 60089

THE UNDERSIGNED AGREE THAT THE REAL PROPERTY DESCRIBED IN THE APPLICATION FOR SPECIAL REVIEW FILED HERewith, AND AS SHOWN ON THE SITE PLAN, SHALL BE SUBJECT TO THE REQUIREMENTS OF CHAPTER 18.40 OF THE MUNICIPAL CODE OF THE CITY OF LOVELAND, COLORADO, AND ANY OTHER ORDINANCES OF THE CITY OF LOVELAND PERTAINING THERETO.

STATE OF COLORADO } ss.

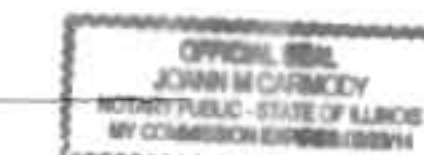
COUNTY OF DUPage }

THE FOREGOING AGREEMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF March, 2011

BY John M. Connolly

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES:



NOTARY PUBLIC

PROPERTY OWNER

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McDonald's Corporation, a DE corporation

BY M. Kelly

STATE OF COLORADO } ss.

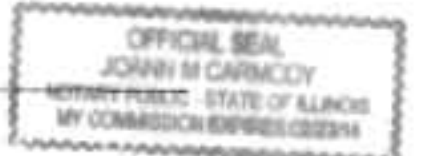
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MY COMMISSION EXPIRES:



NOTARY PUBLIC

CURRENT PLANNING MANAGER APPROVAL CERTIFICATE

THIS SPECIAL REVIEW IS APPROVED, SUBJECT TO ALL CONDITIONS SET FORTH HEREIN, BY THE CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, LARIMER COUNTY, COLORADO, THIS 21st DAY OF MARCH, 2011.

Bob Paulsen
CURRENT PLANNING MANAGER

INDEX OF DRAWING SHEETS

C.0	COVER SHEET
C.1	EXISTING CONDITIONS MAP (SURVEY)
C.2	SITE LAYOUT & STRIPING PLAN
C.3	GRADING & DRAINAGE PLAN
C.3S-1	SEDIMENT/EROSION CONTROL PLAN
C.3S-2	SEDIMENT/EROSION CONTROL NOTES
C.4	UTILITY SERVICES PLAN
C.5	SITE LIGHTING INTENSITIES PLAN
L.1	LANDSCAPING PLAN
L.2	LANDSCAPING PLAN ENLARGEMENTS
A2.0	BUILDING ELEVATIONS
A2.1	BUILDING ELEVATIONS

NO.		DATE		REVISION DESCRIPTION	
CIVIL ENGINEERING CONSULTANT					
ATWOOD ASSOCIATES CONSULTING ENGINEERS 9674 S. Adelaide Circle Highlands Ranch, CO 80130-6825 720.384.1961 phone 720.471.9482 fax atwood@atwood.com					
Robert J. Palmer, PE Principal, Chief Operating Officer					
McDonald's 1809 WEST EISENHOWER BOULEVARD LOVELAND, COLORADO 80501 OFFICE DENVER REGION 5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111 ADDRESS					
STREET ADDRESS		CITY		COUNTY	
1809 WEST EISENHOWER BOULEVARD		LOVELAND		LARIMER	
STATE		ZIP		FEDERAL AGENCY NO.	
COLORADO		80501		005-0045	
SECTION		SHEET		DRAWING #	
DEN-37		02956		000000	
SCALE: 1"=20'					
DATE: 12/15/2010					
DESIGNED BY: WAB					
DRAWN BY: AC					
CHECKED BY: RJP					
FILE NAME: CURRENT.DWG					
DATE: 12-15-2010					
COVER SHEET					
SHEET NO. C.0					

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT).

BENCHMARK:

CITY OF LOVELAND BM NO. 41 N (LOVELAND'S 1995 LEVEL NET SURVEY). BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

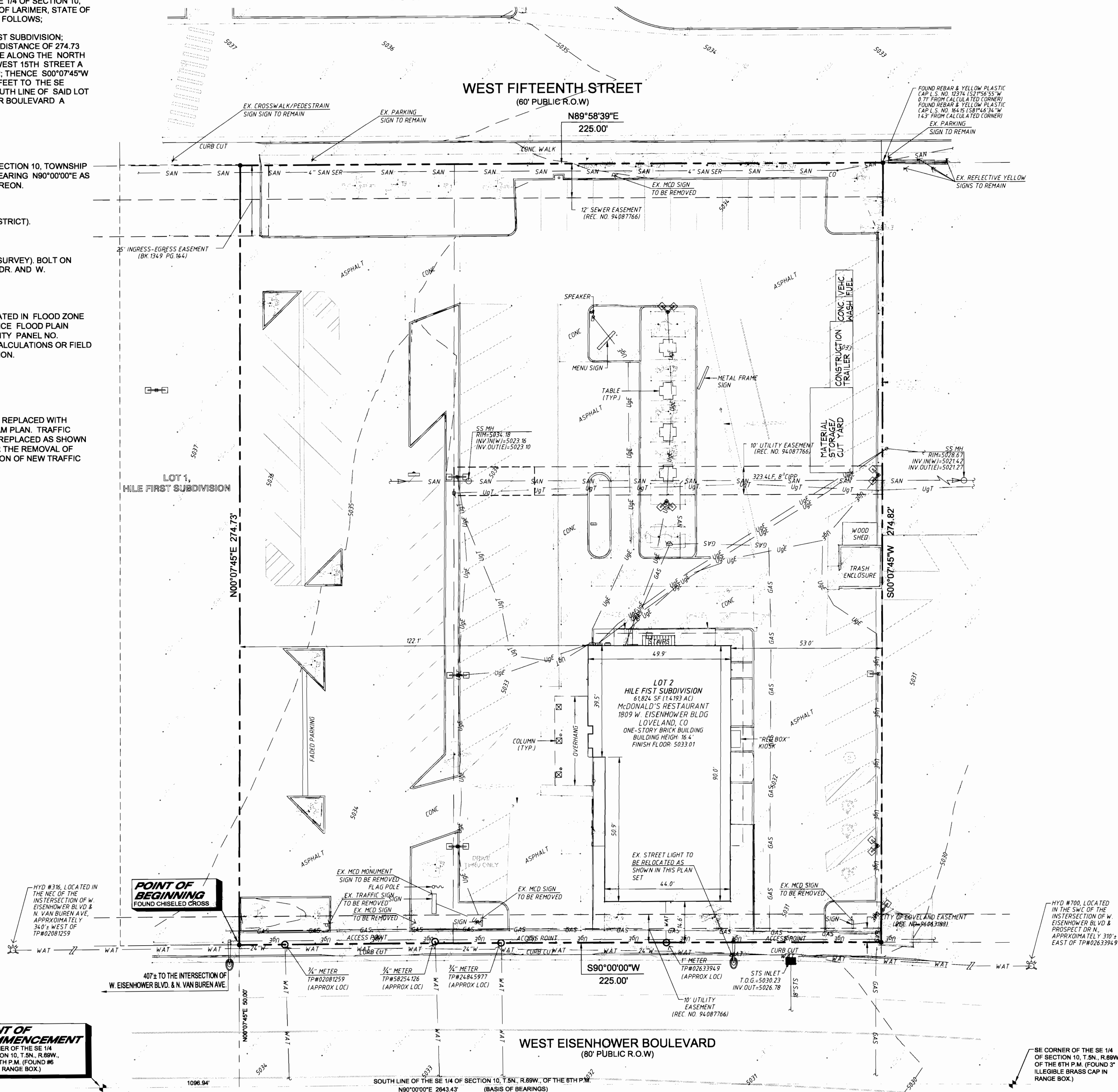
BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1188F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

NOTE:

- ALL ONSITE McDONALD'S SIGNAGE WILL BE REMOVED AND REPLACED WITH SIGNAGE AS SHOWN ON THE SEPARATE SIGNAGE PROGRAM PLAN. TRAFFIC SIGNS WITHIN THE RIGHT OF WAY WILL BE REMOVED AND REPLACED AS SHOWN ON THIS SET OF PLANS. PLEASE REFER TO SHEET C.1 FOR THE REMOVAL OF EXISTING TRAFFIC SIGNS, AND SHEET C.2 FOR THE LOCATION OF NEW TRAFFIC SIGNS.

McDONALD'S RESTAURANT

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CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



LEGEND

- E ELECTRICAL LINE
- FO FIBER-OPTIC LINE
- G GAS LINE
- SS SANITARY SEWER LINE
- STS STORM SEWER LINE
- T TELEPHONE LINE
- W WATER LINE
- CO CONTOUR LINE
- OVERHEAD UTILITY LINE
- FENCE LINE
- GUARD RAIL
- ACCESS PLATE
- BOLLARD
- CLEANOUT
- STORM DRAIN
- ELECTRICAL BOX
- ELECTRICAL METER
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- GAS METER
- IRRIGATION VALVE
- LIGHT POLE
- MANHOLE
- NUMBER OF PARKING STALLS
- POWER POLE
- SIGN
- STREET LIGHT
- TELEPHONE PEDESTAL
- WATER METER
- WATER VALVE
- SPOT ELEVATION
- DECIDUOUS TREE
DIAMETER OF TRUNK
- EVERGREEN TREE
DIAMETER OF TRUNK
- SET 5/8"x24" PIN & YELLOW PLASTIC CAP L.S. NO. 33202 UNLESS NOTED OTHERWISE
- CONC. CONCRETE
- (TYP.) TYPICAL
- (XXXX) AS RECORDED
- BK.-PG. BOOK - PAGE
- REC. NO. RECEPTION NUMBER
- CONCRETE
- BRICK PAVERS

NO. DATE REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT

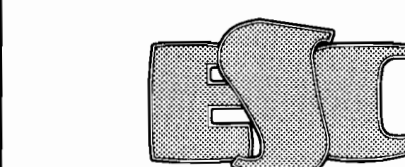
WOOD ASSOCIATES
CONSULTING ENGINEERS

9674 S. Adelaide Circle
Highlands Ranch, CO 80130-6825

720.384.7661 phone
303.471.9482 fax
enginfo@woda.net

Robert J. Palmer, PE
Principal, Chief Operating Officer

PROJECT SURVEYOR



Engineering Service Company

1300 South Potomac Street, Suite 126
Aurora, Colorado 80017
Phone: (303) 337-1393 Fax: (303) 337-7481
enginfo@esc.com

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

STREET ADDRESS

1809 WEST EISENHOWER BOULEVARD

STATE

COLORADO

COUNTY

LARIMER

RECORDING NO.

005-0045

STATE STORE #

005-0045

NATIONAL #

02956

DEN-37

SCALE: 1"=20'

DATE: 12/15/2010

DESIGNED BY: CB

DRAWN BY: CB

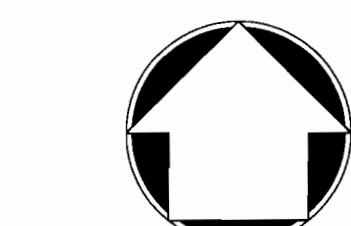
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DRAWING TITLE:

EXISTING CONDITIONS MAP (SURVEY)

SHEET NO.

C.1



PLAN SCALE: 1" = 20'



IF YOU DIG COLORADO - CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL 2 BUSINESS DAYS PRIOR TO EXCAVATION FOR UTILITY LOCATIONS

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FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1186F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

SITE PLAN NOTES

- ALL DIMENSIONS AND RADII ARE TO THE FACE (FOR 6" REVEAL CURB) OR FLOWLINE (FOR CURB & GUTTER) UNLESS OTHERWISE NOTED.
- PARKING SPACE STRIPING TO BE WHITE, 4' WIDE, UNLESS OTHERWISE NOTED.
- LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
- CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER TO BE REMOVED (IF APPLICABLE) SHALL BE SAWCUT. CONTRACTOR SHALL REMOVE TO NEXT JOINT IF SAWCUT IS WITHIN 5 FEET OF A JOINT.
- THE PARKING AREAS AND ACCESS DRIVES SHALL CONSIST OF A FLEXIBLE COMPOSITE PAVEMENT SECTION OF SIX-INCHES OF ASPHALT OVER FOUR-INCHES OF AGGREGATE BASE COURSE (REFERENCE SOILS REPORT). AT A MINIMUM, THE PAVEMENT SHALL BE DESIGNED TO SUPPORT THE WEIGHT IMPOSED BY FIRE APPARATUS (24 TON, 2 AXLES, 34 TON, 3 AXLES).
- THE DRIVE THRU LOADING AREA, AND TRASH DUMPSTER AREA SHALL CONSIST OF A PORTLAND CEMENT CONCRETE PAVEMENT WITH A MINIMUM THICKNESS OF EIGHT (8) INCHES (UNLESS OTHERWISE NOTED) WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, REINFORCED WITH #3 BARS, 16" O.C.B.W. IN CENTER OF SLAB. USE 3/4" CHAIRS AT 48" O.C.B.W.
- ALL HANDICAP RAMPS TO INCLUDE DETECTABLE WARNING PANELS.

McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION

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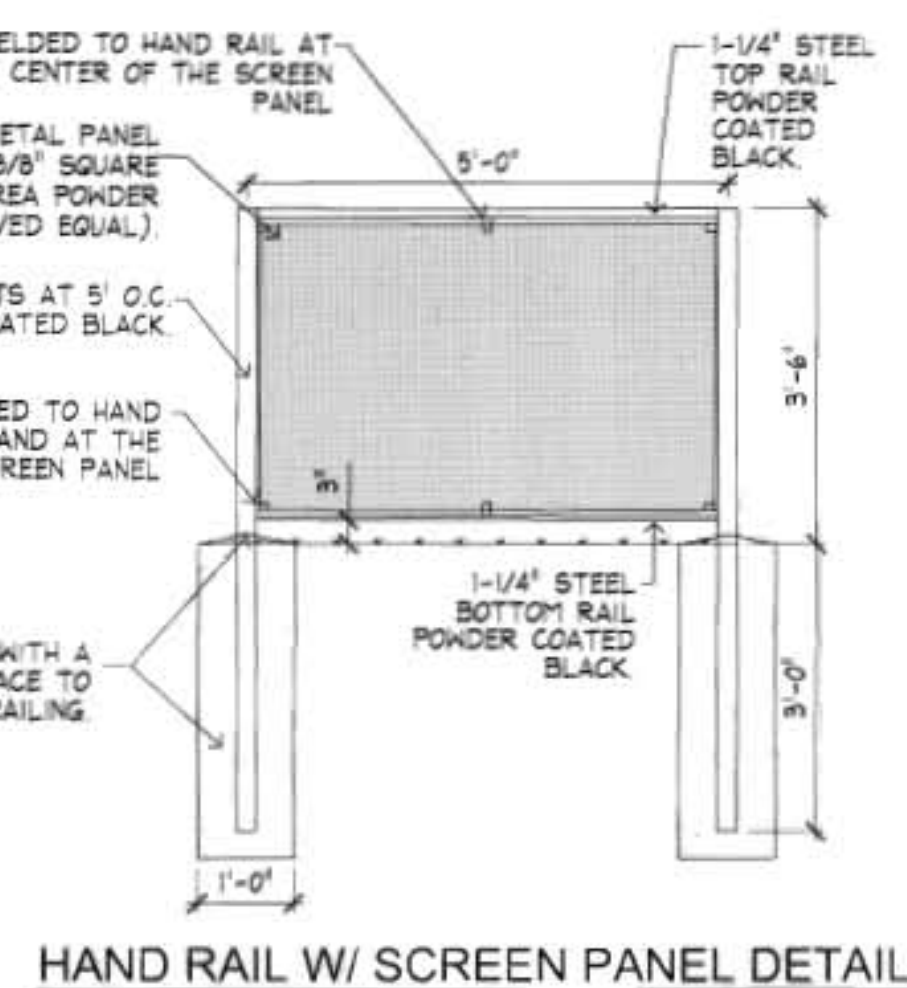
SITE PLAN LEGEND

- SITE PROPERTY LINE (WITH METES & BOUNDS NOTED)
- ADJACENT PARCEL PROPERTY LINE
- EXISTING CURBLINE
- PROPOSED 6" CURBLINE
- PROPOSED 6" CURBLINE W/1' CATCH PAN GUTTER, UNLESS OTHERWISE NOTED
- PROPOSED 6" CURBLINE W/1' SPILL PAN GUTTER, UNLESS OTHERWISE NOTED
- PROPOSED CONCRETE PAVEMENT
- PROPOSED OVERHEAD ROOF/CANOPY LINE
- PROPOSED BUILDING LINE

ON-SITE PARKING DATA

BUILDING AREA	4,717 SF
PATIO AREA	200 SF
PARKING RATIO	1 SP / 100 SF (BLDG & PATIO)
PARKING REQUIRED	50 SPACES
PARKING PROVIDED	50 SPACES (TOTAL)
HANDICAP ACCESSIBLE	2 SPACES
BICYCLE PARKING RATIO	2 / 25 MOTOR VEHICLE SPACES
BICYCLE PARKING REQUIRED	4 SPACES
BICYCLE PARKING PROVIDED	4 SPACES (RACK)

- PROPOSED LANDSCAPING
- PROPOSED CONCRETE



HAND RAIL W/ SCREEN PANEL DETAIL



PLAN SCALE: 1" = 20'



IF YOU DIG COLORADO - CALL US FIRST
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL & REPORT ANY PROSPECT FOR UTILITY LOCATIONS

NO. DATE REVISION DESCRIPTION

CON. ENGINEERING CONSULTANT

Atwood Associates
CONSULTING ENGINEERS
9874 E. Adelaide Circle
Highlands Ranch, CO 80130-6825
720.344.7881 phone
303.471.3465 fax
raimier@atwood.net
Robert J. Palmer, PE
Principal, Chief Operating Officer

McDonald's®
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DENVER REGION
5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111

1809 WEST EISENHOWER BOULEVARD
CITY LOVELAND
COUNTY LARIMER

005-0045
02956

DEN-37

SCALE: 1"=20'

DATE: 12/15/2010
DESIGNED BY: WAB
DRAWN BY: AC
CHECKED BY: RJP

M.D. RE: BS
FILE NAME: CURRENT.DWG
DATE: 12-15-2010

SITE LAYOUT & STRIPING PLAN

SHEET NO. C.2

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION; THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2; THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2; THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2; THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT).

BENCHMARK:

CITY OF LOVELAND BM NO. 41 (LOVELAND'S 1995 LEVEL NET SURVEY) N. BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

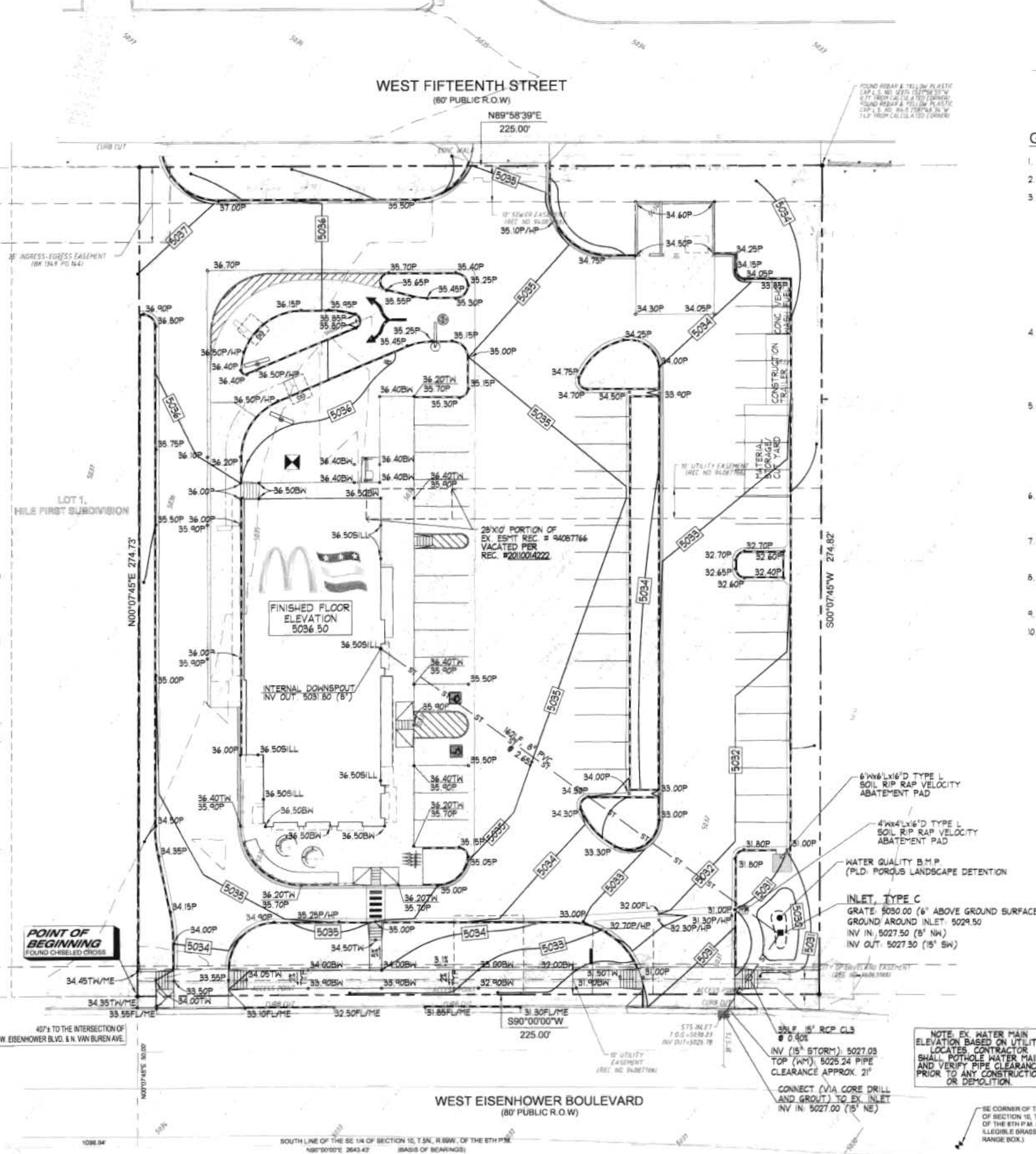
BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1186F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

STANDARD NOTES FOR WATER QUALITY/NPDES

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MULCH, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATE IN, THE FLOWLINES AND PUBLIC RIGHTS-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- A LAYER OF SUITABLE MULCH SHALL BE APPLIED TO ALL DISTURBED PORTIONS OF THE SITE WITHIN 14 DAYS OF THE COMPLETION OF OVERLOT GRADING. SAID MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE AND SHALL BE TACKED OR FASTENED BY AN APPROVED METHOD SUITABLE FOR THE TYPE OF MULCH USED. ROUGH-CUT STREETS SHALL BE MULCHED UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN THE 14-DAY PERIOD AFTER COMPLETION OF OVERLOT GRADING.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED CONSTRUCTION ACTIVITIES STORMWATER MANAGEMENT PLAN.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS-OF-WAY.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES; OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE, IS PROHIBITED. THE USE OF OSHA APPROVED COLORED WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURES IS NOT ACCEPTABLE.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATIONS, CHEMICAL SOIL STABILIZER APPLICATION, OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
- WATER USED IN THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE IS TO BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PREDEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES. THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.
- THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED.
- PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.

McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



GRADING & DRAINAGE LEGEND

- EXISTING CONTOUR (1' INTERVAL)
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE - PAVEMENT
- PROPOSED SPOT GRADE - TOP OF WALK
- PROPOSED SPOT GRADE - GROUND
- PROPOSED SPOT GRADE - MATCH EXISTING
- APPROXIMATE DIRECTION OF OVERLAND FLOW
- EXISTING STORM DRAIN WITH PIPE SIZE & TYPE NOTED
- EXISTING STORM INLET
- EXISTING STORM MANHOLE

GRADING & DRAINAGE NOTES

- REFER TO SITE LAYOUT PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
- LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. USE WHATEVER MEANS NECESSARY INCLUDING BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILT FENCES. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE BY THE OWNER AND/OR THE CITY OF LOVELAND. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR CITY OF LOVELAND MAY AT THEIR OWN OPTION DIRECT THE CONTRACTOR IN THESE METHODS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT, STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF LOVELAND AT THE EXPENSE OF THE CONTRACTOR.
- ALL CURB AND GUTTER ELEVATIONS ARE FLOWLINE UNLESS NOTED OTHERWISE. ALL CURB AND GUTTER IS CATCH UNLESS NOTED OTHERWISE. FINISHED WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE. NOTED PROPOSED ELEVATIONS ARE SHOWN TO FINISHED PAVEMENT OR GRADE. LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF WALKS AND CURBS. FINISH GRADING IS BY THE GENERAL CONTRACTOR.
- ALL FILL AREAS SHALL BE SCARIFIED EIGHT-INCHES AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT $\pm 2\%$ FROM OPTIMUM, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. THE LOOSE THICKNESS OF EACH LAYER OF FILL MATERIAL SHALL NOT EXCEED EIGHT-INCHES. AREAS TO BE PAVED SHALL BE SCARIFIED AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT $\pm 2\%$ FROM OPTIMUM, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL EMPLOY THE ORIGINAL SOILS ENGINEER TO TEST ALL EARTHWORK TO INSURE COMPLIANCE WITH SOILS REPORT.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LOVELAND ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR ONE (1) YEAR FROM THE DATE OF CITY ACCEPTANCE. AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LOVELAND.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER / OWNER'S REPRESENTATIVE OF ANY PROBLEM(S) IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- CURB (HANDICAP ACCESSIBLE) RAMPS ARE TO BE PROVIDED AT INTERSECTIONS, AS SHOWN.
- ALL HANDICAP RAMPS SHALL CONFORM TO THE CITY OF LOVELAND STANDARD DETAILS. 5 FOOT BY 5 FOOT LANDINGS WITH A MAXIMUM GRADE OF 2 PERCENT SHALL BE LOCATED AT THE TOP OF ALL HANDICAP RAMPS.

NO. DATE REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT

ATWOOD ASSOCIATES
CONSULTING ENGINEERS
9874 S. Adair Street
Highlands Ranch, CO 80130-6825
703.344.7661 phone
703.475.5448 fax
raimund@atwood.net

Robert J. Palmer, PE
Principal, Chief Operating Officer

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF ATWOOD ASSOCIATES AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: DENVER REGION
ADDRESS: 5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111

1809 WEST EISENHOWER BOULEVARD
STATE: COLORADO
COUNTY: LARIMER
CITY: LOVELAND

PERMIT NO.: 005-0045
DATE: 12/15/2010
SCALE: 1"=20'

DEN-37

SCALE: 1"=20'

DATE: 12/15/2010

DESIGNED BY: WAB

DRAWN BY: AC

CHECKED BY: RJP

FILE NAME: CURRENT.DWG

DATE: 12/15/2010

GRADING & DRAINAGE PLAN

1-800-922-1987

C.3

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION; THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2; THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2; THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2; THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT).

BENCHMARK:

CITY OF LOVELAND BM NO. 41 N (LOVELAND'S 1995 LEVEL NET SURVEY), BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

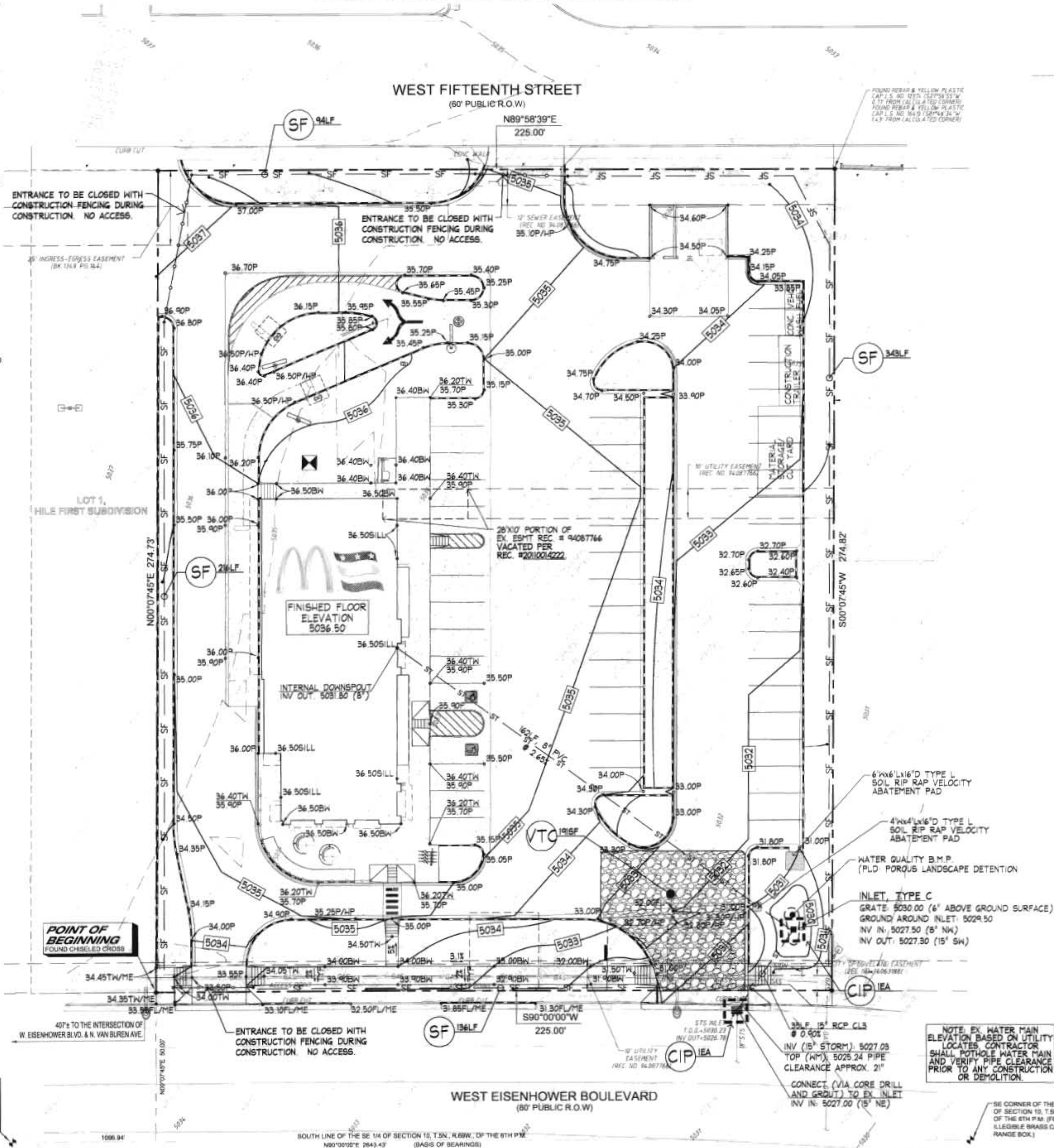
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McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD

SEDIMENT/EROSION CONTROL LEGEND

- 5811 EXISTING CONTOUR (1' INTERVAL)
5805 PROPOSED CONTOUR
+5808 50P PROPOSED SPOT GRADE - PAVEMENT
+5808 50TW PROPOSED SPOT GRADE - TOP OF WALK
+5808 5G PROPOSED SPOT GRADE - GROUND
+5808 50ME PROPOSED SPOT GRADE - MATCH EXISTING
→ APPROXIMATE DIRECTION OF OVERLAND FLOW
24" RCP EXISTING STORM DRAIN WITH PIPE SIZE & TYPE NOTED
□ EXISTING STORM INLET
○ EXISTING STORM MANHOLE
○ CIP CURB INLET PROTECTION
○ SF SILT FENCE
○ VTC VEHICLE TRACKING CONTROL



McDonald's
1809 WEST EISENHOWER BOULEVARD
LOVELAND, COLORADO 80111

1809 WEST EISENHOWER BOULEVARD
LOVELAND, COLORADO
LARIMER
DEN-37
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SCALE: 1"=20'
DATE: 12/15/2010
DESIGNED BY: WAB
DRAWN BY: AC
CHECKED BY: RJP
FILE NAME: CURRENT.DWG
DRAWING TITLE: SEDIMENT/EROSION CONTROL PLAN
SHEET NO: C.3S-1



McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION

SITUATED IN THE SOUTHEAST ¼ OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

LOCATED AT: 1809 WEST EISENHOWER BOULEVARD

SEDIMENT/EROSION CONTROL GENERAL NOTES - CITY OF LOVELAND

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
- THE DEVELOPER IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED. IF APPLICABLE, THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY, OR CONSTRUCTION OF ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER'S ABSENCE. HOWEVER, THE LOCAL ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE CITY OF FORT COLLINS, AS BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE CITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE CITY AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
- ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION FOR THE PURPOSES OF THESE STANDARDS. ANY WORK EXCEPT C/G ABOVE THE SUBGRADE IS CONSIDERED FINAL SERVICE LINES. THE ENGINEER'S FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE ENGINEERING DIVISION APPROVES THE FINAL REPORT.
- THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATION, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM UNTIL THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK AT THE DISRUPTION OF THE WATER UTILITY PROVIDER. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNDERGROUND UTILITY LOCATIONS.
- WHEN APPLICABLE, THE DEVELOPER SHALL HAVE ON-SITE AT ALL TIMES, EACH OF THE FOLLOWING:
 - THE NOTICE OF INTENT (NOI)
 - BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
 - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ALL PERMITS AND EXTENSIONS AWARDED FOR THE JOB
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO: EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
- DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS. THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM, SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY ENGINEER.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. PERTINENT DIMENSIONS ARE NOT SHOWN. CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE, THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON- OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING. TO MITIGATE EROSION, THE DEVELOPER SHALL USE STANDARD EROSION CONTROL TECHNIQUES DESCRIBED IN THE URBAN STORM DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCO).
- THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.

- THE DESIGNER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARK FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE INFORMATION SHALL BE AS FOLLOWS:
 - BENCHMARK--LOVELAND'S 1995 LEVEL NET SURVEY.
 - B.M. NUMBER 41, ELEV. = 5020.16
 - DESCRIPTION: N. BOLT ON CROWN OF F.H. @ NWC OF PROSPECT DR & EISENHOWER BLVD.
- UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
- EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- OVERLAP GRADING CONSTRUCTION MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PHONE (303) 692-3500.
- A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR BEFORE WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
- THE DEVELOPER IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.
- AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.
- THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
- PAVING SHALL NOT START UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE LOCAL ENTITY ENGINEER AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY THE LOCAL ENTITY ENGINEER.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE. IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S), REGARDLESS OF THE OPTION USED. ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE ENGINEERING DIVISION APPROVES THE FINAL REPORT.
- ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
- PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOODPLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.
- STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.
- ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS: NOT APPLICABLE.
- APPROVED VARIANCES ARE LISTED AS FOLLOWS: NONE SOUGHT.

SEDIMENT/EROSION CONTROL CONSTRUCTION NOTES - CITY OF LOVELAND

- THE EROSION CONTROL INSPECTOR MUST BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION ON THIS SITE.
- THERE SHALL BE NO EARTH-DISTURBING ACTIVITY OUTSIDE THE LIMITS DESIGNATED ON THE ACCEPTED PLANS.
- ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND EROSION CONTROL REPORT.
- AT ALL TIMES DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION INCLUDING KEEPING THE PROPERTY SUFFICIENTLY WATERED SO AS TO MINIMIZE WIND BLOWN SEDIMENT. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
- PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPPING, GRADING, UTILITY INSTALLATIONS, STOCKPILING, FILLING, ETC.) SHALL BE KEPT IN A ROUGHENED CONDITION BY STRIPING OR DISKING ALONG LAND DISTURBED AREAS. MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL BMPs ARE INSTALLED ON SOILS IN AREAS OUTSIDE PROJECT STREET RIGHTS-OF-WAY SHALL REMAIN EXPOSED BY LAND DISTURBING ACTIVITY FOR MORE THAN THIRTY (30) DAYS BEFORE REQUIRED TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED/MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE LOCAL ENTITY.
- IN ORDER TO MINIMIZE EROSION POTENTIAL, ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES SHALL:
 - A. BE INSPECTED AT A MINIMUM OF ONCE EVERY TWO (2) WEEKS AND AFTER EACH SIGNIFICANT STORM EVENT AND REPAIRED OR RECONSTRUCTED AS NECESSARY IN ORDER TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
 - B. REMAIN IN PLACE UNTIL SUCH TIME AS ALL THE SURROUNDING DISTURBED AREAS ARE SUFFICIENTLY STABILIZED, AS DETERMINED BY THE EROSION CONTROL INSPECTOR.
 - C. BE REMOVED AFTER THE SITE HAS BEEN SUFFICIENTLY STABILIZED AS DETERMINED BY THE EROSION CONTROL INSPECTOR.
- WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
- THE CONTRACTOR SHALL CLEAN UP ANY INADVERTENT DEPOSITED MATERIAL IMMEDIATELY AND MAKE SURE STREETS ARE FREE OF ALL MATERIALS BY THE END OF EACH WORKING DAY.
- ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
- NO SOIL STOCKPILE SHALL EXCEED TEN (10) FEET IN HEIGHT. ALL SOIL STOCKPILES SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY SURFACE ROUGHENING, WATERING, AND PERIMETER SILT FENCING. ANY SOIL STOCKPILE REMAINING AFTER THIRTY (30) DAYS SHALL BE SEEDDED AND MULCHED.
- THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT AND BEFORE TURNING THE MAINTENANCE OVER TO THE LOCAL ENTITY OR HOMEOWNERS ASSOCIATION (HOA).
- CITY ORDINANCE AND COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. THE DEVELOPER SHALL AT ALL TIMES TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- A DESIGNATED AREA SHALL BE PROVIDED ON SITE FOR CONCRETE TRUCK CHUTE WASHOUT. THE AREA SHALL BE CONSTRUCTED SO AS TO CONTAIN WASHOUT MATERIAL AND LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY WATERWAY DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ACTIVITIES THE CONCRETE WASHOUT MATERIAL WILL BE REMOVED AND PROPERLY DISPOSED OF PRIOR TO THE AREA BEING RESTORED.
- TO ENSURE THAT SEDIMENT DOES NOT MOVE OFF OF INDIVIDUAL LOTS ONE OR MORE OF THE FOLLOWING SEDIMENT/EROSION CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED UNTIL THE LOTS ARE SUFFICIENTLY STABILIZED, AS DETERMINED BY THE EROSION CONTROL INSPECTOR, (WITHIN LOVELAND GMA AND CITY LIMITS ONLY):
 - A. BELOW ALL GUTTER DOWNSPOUTS.
 - B. OUT TO DRAINAGE SWALES.
 - C. ALONG LOT PERIMETER.
 - D. OTHER LOCATIONS, IF NEEDED.
- CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE DEVELOPER SHALL IMPLEMENT WHATEVER MEASURES ARE DETERMINED NECESSARY, AS DIRECTED BY THE CITY/COUNTY.
- A VEHICLE TRACKING CONTROL PAD SHALL BE INSTALLED WHEN NEEDED FOR CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO PERSONAL VEHICLES EXITING EXISTING ROADWAYS. NO EARTHEN MATERIALS, I.E. STONE, DIRT, ETC. SHALL BE PLACED IN THE CURB & GUTTER OR ROADWAY AS A RAMP TO ACCESS TEMPORARY STOCKPILES, STAGING AREAS, CONSTRUCTION MATERIALS, CONCRETE WASHOUT AREAS, AND/OR BUILDING SITES.

CITY OF LOVELAND STORMWATER QUALITY ENFORCEMENT POLICY

MARCH 3, 2004
REVISED: SEPTEMBER 3, 2008

INSPECTIONS

SITE INSPECTIONS ARE TO BE PERFORMED BY THE DEVELOPER'S DESIGNATED STORMWATER MANAGEMENT PLAN (SWMP) ADMINISTRATOR HEREINAFTER REFERRED TO AS THE "SWMP ADMINISTRATOR" AT A MINIMUM OF ONCE EVERY FOURTEEN (14) CALENDAR DAYS ON ACTIVE CONSTRUCTION SITES, AFTER A SIGNIFICANT STORM EVENT, AND MONTHLY TO MONITOR REVEGETATION. THESE INSPECTIONS DO NOT NEED TO BE CALLED IN FOR SCHEDULING, AS WITH BUILDING INSPECTIONS.

IT IS REQUIRED THAT THE SWMP ADMINISTRATOR ALSO PERFORMS ROUTINE INSPECTIONS TO EFFECTIVELY ADDRESS MAINTENANCE AND REPAIR OF BEST MANAGEMENT PRACTICES (BMPs). AS PART OF THE SITE INSPECTIONS THE SWMP ADMINISTRATOR WILL FILL OUT AN EROSION AND SEDIMENT CONTROL INSPECTION LIST (ESCIL) AND SUBMIT IT TO THE CITY OF LOVELAND.

TO ENABLE EFFECTIVE COMMUNICATION AND QUICK RESPONSE TO ANY STORMWATER QUALITY CONTROL DEFICIENCIES, THE CITY ENCOURAGES THE SWMP ADMINISTRATOR TO PARTICIPATE IN INSPECTIONS WITH THE CITY'S INSPECTOR WHENEVER THE CITY INSPECTOR PERFORMS AN INSPECTION OF THE DEVELOPMENT SITE.

COMPLIANCE

ANY MAINTENANCE, REPAIR OR INSTALLATIONS OF BMPs THAT ARE NOTED DURING THE INSPECTIONS BY THE SWMP ADMINISTRATOR AND/OR CITY INSPECTOR MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS FROM THE DATE OF THE INSPECTION. THE FOLLOWING ARE SEVEN TYPES OF NON-COMPLIANCE ISSUES AND POSSIBLE ENFORCEMENT ACTIONS. FOR MORE DETAILED INFORMATION, PLEASE REFER TO MUNICIPAL CODE CHAPTER 13.20.

NON-COMPLIANCE ISSUES

- FAILURE TO OBTAIN A STATE STORMWATER DISCHARGE PERMIT (SDP) FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT (CDPHE) WATER QUALITY CONTROL DIVISION IF THE PROJECT IS GREATER THAN OR EQUAL TO ONE (1) ACRE (OR IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL DISTURB AT LEAST ONE (1) ACRE).
- FAILURE TO OBTAIN A STATE FUGITIVE DUST CONTROL PERMIT IF THE PROJECT IS GREATER THAN OR EQUAL TO TWENTY FIVE (25) ACRES OR TAKES MORE THAN SIX (6) MONTHS TO COMPLETE.
- FAILURE TO OBTAIN A STATE FUGITIVE DUST CONTROL PERMIT IF REQUIRED BY THE STATE FOR A PROJECT THAT IS LESS THAN TWENTY FIVE (25) ACRES, AND LESS THAN SIX (6) MONTHS IN DURATION BUT MORE THAN ONE (1) ACRE IN NON-ATTAINMENT AREAS OR MORE THAN FIVE (5) ACRES IN ATTAINMENT AREAS.
- FAILURE TO OBTAIN A STATE ARMY CORPS OF ENGINEERS (COE) 401/404 PERMIT IF REQUIRED.
- FAILURE TO OBTAIN A STATE CONSTRUCTION DEWATERING INDUSTRIAL WASTEWATER DISCHARGE PERMIT IF REQUIRED.
- FAILURE TO ABIDE BY THE CONDITIONS OF THE CITY OF LOVELAND STORMWATER QUALITY, CDPHE FUGITIVE DUST, COE 401/404, CDPHE DEWATERING OR CDPHE STORMWATER DISCHARGE PERMITS.
- FAILURE TO PROPERLY INSTALL, MAINTAIN, AND/OR REPLACE TEMPORARY BMPs WITHIN SEVEN (7) CALENDAR DAYS OF SUCH ITEMS BEING NOTED DURING AN INSPECTION.
- FAILURE TO REMOVE TEMPORARY BMPs WITHIN FOURTEEN (14) CALENDAR DAYS OF SUCH ITEMS BEING NOTED DURING AN INSPECTION.
- FAILURE TO IMPLEMENT THE CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN (CSSMP).
- FAILURE TO MODIFY THE CSSMP TO REFLECT FIELD CHANGES.
- DIRECT DISCHARGE OF POLLUTANT(S) INTO A WATERWAY, JURISDICTIONAL WETLAND OR A STORM SEWER SYSTEM.
- WORK BEYOND LIMIT(S) OF PERMIT AREA.

ENFORCEMENT ACTIONS

IF SITE CONDITIONS ARE FOUND TO BE IN VIOLATION OF THE STORMWATER QUALITY PERMIT OR ANY OTHER REQUIREMENTS SET FORTH IN CHAPTER 13.20 OF THE MUNICIPAL CODE DURING AN INSPECTION BY THE CITY INSPECTOR, ONE OR ALL OF THE FOLLOWING ACTIONS MAY BE TAKEN:

- VERBAL WARNING.
- WRITTEN COMPLIANCE ORDER.
- REVOCACTION OF PERMIT(S).
- DENIAL OF FURTHER REVIEW OR FUTURE INSPECTIONS AND/OR PERMITS.
- STOP WORK ORDER.
- HIRING A PRIVATE CONTRACTOR AND/OR CITY CREW TO PERFORM WORK. COST OF WORK WILL BE DEDUCTED FROM THE PERFORMANCE SECURITY COLLECTED AT PERMIT ISSUANCE.

PRIORITY VIOLATIONS

THIS INCLUDES WORKING WITHOUT A PERMIT, WORKING BEYOND THE LIMITS OF THE PERMITTED AREA, THE DISCHARGE OF CONTAMINATED WATER INTO THE STORM SEWER SYSTEM, THE DISCHARGE OF CONTAMINATED WATER INTO A WATERWAY, THE WASHING OF A ROADWAY INTO A STORM DRAIN INLET, THE WASHING OF CONCRETE TRUCKS IN UNAPPROVED LOCATIONS, AND, THE FAILURE TO CORRECT ROUTINE VIOLATIONS.

THE FAILURE TO MEET THE COMPLIANCE DEADLINE ISSUED FOR PRIORITY VIOLATIONS WILL RESULT IN A WRITTEN NOTICE DETAILING NON-COMPLIANT ITEMS AND A COMPLIANCE DATE PROVIDED TO THE OWNER. THE REVOCATION OF PERMIT(S), THE DENIAL OF FURTHER REVIEW OR FUTURE BUILDING INSPECTIONS AND/OR PERMITS, THE ISSUANCE OF A STOP WORK ORDER, OR, THE HIRING OF A PRIVATE CONTRACTOR AND/OR CITY CREW TO PERFORM THE WORK.

ROUTINE VIOLATIONS

MAY INCLUDE: THE FAILURE TO ABIDE BY THE CONDITIONS OF THE STORMWATER QUALITY PERMIT, THE FAILURE TO PROPERLY INSTALL, MAINTAIN AND/OR REPLACE TEMPORARY SEDIMENT/EROSION CONTROL BMPs, AND, THE FAILURE TO REMOVE AND PROPERLY DISPOSE OF TEMPORARY SEDIMENT/EROSION CONTROL BMPs WHEN THEY ARE NO LONGER NEEDED.

THE FAILURE TO MEET THE COMPLIANCE DEADLINE ISSUED FOR ROUTINE VIOLATIONS WILL RESULT IN A WRITTEN NOTICE DETAILING NON-COMPLIANT ITEMS AND A COMPLIANCE DATE PROVIDED TO THE OWNER. THE REVOCATION OF PERMITS, THE DENIAL OF FURTHER REVIEW OR FUTURE BUILDING INSPECTIONS AND/OR PERMITS, THE ISSUANCE OF A STOP WORK ORDER, OR, THE HIRING OF A PRIVATE CONTRACTOR AND/OR CITY CREW TO PERFORM THE WORK.

RIGHT OF ENTRY

THE CITY INSPECTOR MAY, WHERE REASONABLE CAUSE EXISTS, WITH OR WITHOUT A WARRANT ISSUED BY A COURT OF COMPETENT JURISDICTION AND WHERE THE CITY HAS GIVEN VERBAL NOTICE TO THE LANDOWNER(S), OR SUCH OWNER'S AGENT(S) OR REPRESENTATIVE(S) IS/ARE IMMEDIATELY ACCESSIBLE, ENTER UPON ANY PROPERTY OR SITE FOR EXAMINATION OF THE SAME TO ASCERTAIN WHETHER A VIOLATION OF THE REQUIREMENTS OF THIS CHAPTER EXISTS, AND SHALL BE EXEMPT FROM ANY LEGAL ACTION OR LIABILITY ON ACCOUNT THEREOF. THE CITY WILL VERBALLY COMMUNICATE A FINDINGS SUMMARY OF SUCH INSPECTION AT THE CONCLUSION OF THE INSPECTION TO THE SWMP ADMINISTRATOR AND/OR OPERATOR. THE CITY WILL PROVIDE WRITTEN COMMUNICATION OF A FINDINGS SUMMARY OF SUCH INSPECTION WITHIN THIRTY (30) DAYS OF SUCH INSPECTION TO THE LEGAL ADDRESS OF THE NON-COMPLIANT SITE.

IN ADDITION TO THE ABOVE MENTIONED PENALTIES, THE PENALTIES SET FORTH IN SECTION 13.210 OF THE MUNICIPAL CODE SHALL APPLY.



IF YOU DIG COLORADO - CALL US FIRST!
UTILITIES NOTIFICATION CENTER

1-800-922-1987

CALL 2 BUSINESS DAYS PRIOR TO
EXCAVATION FOR UTILITY LOCATIONS

NO. DATE REVISION DESCRIPTION	
CIVIL ENGINEERING CONSULTANT	
Atwood Associates CONSULTING ENGINEERS 9674 S. Adelaide Court Highlands Ranch, CO 80130-6825 760.944.7661 phone 760.471.3488 fax raimer@atwood.net	
Robert J. Palmer, PE Principal, Chief Operating Officer	
McDonald's® THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION. THESE PLANS AND SPECIFICATIONS MAY BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	
1809 WEST EISENHOWER BOULEVARD CITY LOVELAND	STATE COLORADO COUNTY LARIMER
REGIONAL (RNG #) DEN-37	SHEET NUMBER 005-0045 029566
SCALE: 1"=20'	MAP REF: BS
DATE: 12/15/2010	DESIGNED BY: WAB
DRAWN BY: AC	CHECKED BY: RJP
FILE NAME: CURRENT.DWG	DATE: 12-10-2002-14
DRAWING TITLE	
SEDIMENT/EROSION CONTROL NOTES	
SHEET NO.	
C.3S-2	

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION; THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2; THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2; THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2; THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT).

BENCHMARK:

CITY OF LOVELAND BM NO. 41 N (LOVELAND'S 1995 LEVEL NET SURVEY). BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1186F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION

SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN

CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

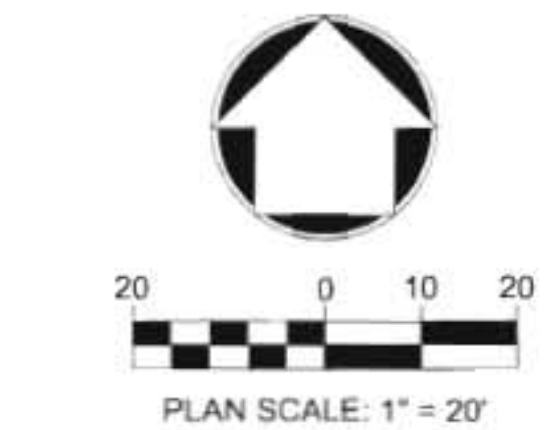
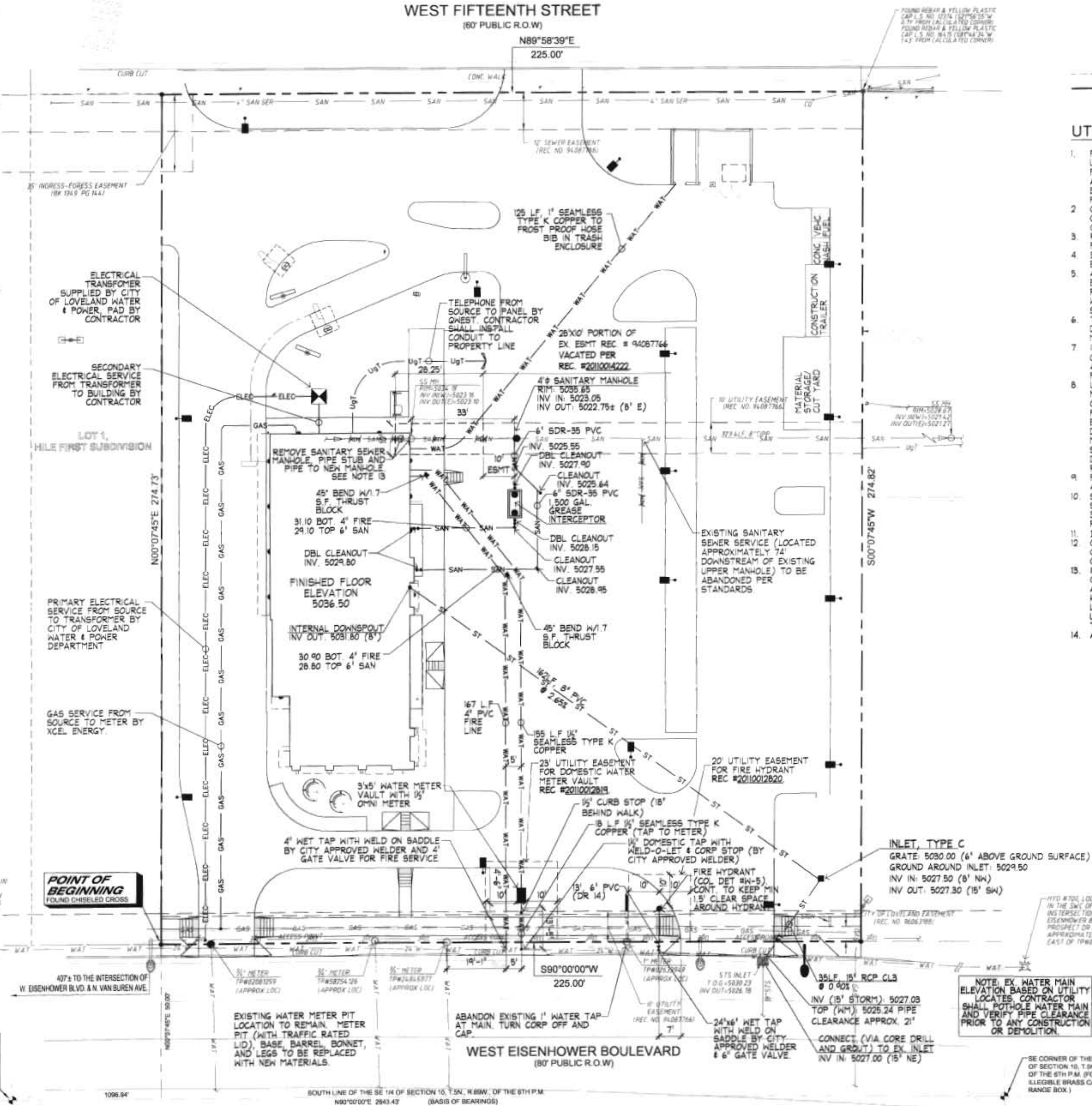
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD

UTILITY PLAN LEGEND

- SITE PROPERTY LINE (WITH METES & BOUNDS NOTED)
- ADJACENT PARCEL PROPERTY LINE
- 8" PVC SAN EXISTING SANITARY SEWER W/SIZE & TYPE NOTED
- 12" PVC SAN EXISTING WATER MAIN W/SIZE & TYPE NOTED
- 6" PVC SDR-35 @ 1.50% PROPOSED SEWER SERVICE W/SIZE, TYPE & SLOPE NOTED
- 1" TYPE "K" COPPER WAT PROPOSED WATER SERVICE W/SIZE & TYPE NOTED
- ELEC PROPOSED ELECTRIC SERVICE
- GAS PROPOSED GAS SERVICE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED GREASE TRAP
- PROPOSED SANITARY SERVICE CLEANOUT
- PROPOSED OVERHEAD ROOF/CANOPY LINE
- PROPOSED BUILDING LINE

UTILITY NOTES:

- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK. PROTECT UTILITIES FROM DAMAGE DURING CONSTRUCTION.
- OWNER WILL OBTAIN ALL PERMITS FOR UTILITY HOOKUPS. CONTRACTOR WILL COORDINATE ACTUAL HOOKUPS WITH UTILITY COMPANIES IMPACTED.
- REFER TO SITE LAYOUT PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
- EXISTING UTILITY INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LOVELAND INSPECTORS. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF LOVELAND ENGINEERING DIVISION INSPECTION SECTION, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER / OWNER'S REPRESENTATIVE OF ANY PROBLEM(S) IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS. PIPE ZONE (BEDDING) COMPACTION SHALL BE 90% STANDARD PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY. TRENCH ZONE COMPACTION SHALL BE 95% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY INSIDE STREET RIGHTS-OF-WAY, AND 90% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY OUTSIDE STREET RIGHTS-OF-WAY UNLESS SPECIFIED OTHERWISE.
- PRIVATE STORM SEWERS WILL BE RCP CLASS III, OR OTHER MATERIAL APPROVED BY THE CITY OF LOVELAND ENGINEERING DEPARTMENT.
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE SHALL CONFORM TO ASTM D-3034 TYPE BSM WITH A MINIMUM SDR OF 35. JOINTS SHALL BE ELASTOMETRIC GASKET TYPE MEETING THE REQUIREMENTS OF ASTM D-3212.
- DOMESTIC WATER SERVICE LINES SHALL BE TYPE "K" COPPER.
- COORDINATE LOCATION OF ELECTRIC METER AND TRANSFORMER, AND GAS METER WITH MECHANICAL DRAWINGS. CONTRACTOR TO COORDINATE SERVICE CONNECTIONS WITH CITY.
- IN RE SANITARY SEWER, NOTE THAT SINCE THIS WILL BE A CIPP CONNECTION POINT, WHEN THE PIPE IS CUT TO LENGTH IF THERE IS ANY ANNULAR SPACE BETWEEN THE CIPP AND THE HOST PIPE, A HYDROPHILIC TYPE GROUT WILL BE REQUIRED IF THERE IS ANY LEAKAGE OCCURRING. IF NOT, A CEMENTITIOUS TYPE GROUT CAN BE USED TO FILL THE SPACE. THE TYPE OF GROUT WILL BE DECIDED BY THE WATER & POWER INSPECTOR AFTER THE PIPE HAS BEEN CUT.
- AFTER MAKING ANY NEW TAP AND AFTER ABANDONING ANY EXISTING



IF YOU DIG COLORADO - CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL 3 BUSINESS DAYS PRIOR TO EXCAVATION FOR UTILITY LOCATIONS

NO. DATE REVISION DESCRIPTION	
CIVIL ENGINEERING CONSULTANT	
Amwood Associates CONSULTING ENGINEERS 9674 S. Adelaide Circle Highlands Ranch, CO 80130-6825 720.384.7661 phone 303.471.9442 fax amwood@aol.com	
Robert J. Palmer, PE Principal, Chief Operating Officer	
McDonald's THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	
1809 WEST EISENHOWER BOULEVARD LOVELAND COLORADO	DEN-37
LARIMER	005-0045
02956	02956
SCALE: 1"=20'	BS
DATE: 12/15/2010	WAB
DESIGNED BY: WAB	FILE NAME: CURRENT.DWG
DRAWN BY: AC	ADOC: 10-0002-54
CHECKED BY: RJP	
UTILITY SERVICES PLAN	
C.4	

FILED (000)-McDONALD'S-54-1809WESTEISENHOWERBLVD.,LOVELAND)Dwg:\current.dwg 3/7/2001 9:07:04 AM WET

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2, THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2, THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2, THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT)

BENCHMARK:

CITY OF LOVELAND BM NO. 41 N (LOVELAND'S 1995 LEVEL NET SURVEY) BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1186F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

SQUARE STRAIGHT STEEL POLES

Specifications

SSP SERIES

- Square straight steel shaft
- One piece construction
- 2" O.D. square, or factory-milled
- Galvanized
- Grounding standard (2") 16
- Steel base plate

- Two-piece base cover
- One piece fully galvanized
- Anchor bolts with nuts and washers
- Finished in weatherproof power-coat paint
- Gasketed hand hole standard

ORDERING INFORMATION

Pole Catalog Number	Height (ft)	Ground E.P.A.	Wind Load Rating 100mph E.P.A.	120 mph E.P.A.	Pole Size	Base Square	Anchor Bolt Size	Suggested Bolt Circle	Bolt Circle Range	Root Projection	Pole Weight (lbs)
11 GAUGE											
SSP-4118-XXX-XX	18	11.5	6	3	4"	10.25"	1/2"	10.5"	8"	4"	147
SSP-4215-XXX-XX	25	5	15	-	4"	10.25"	1/2"	10.5"	8"	4"	236
SSP-5125-XXX-XX	25	10.5	4	-	5"	12"	1"	10.5"	13.5"	4"	231
7 GAUGE											
SSP-4725-XXX-XX	25	10	4.50	14	4"	11"	1/2"	10.5"	12"	4"	266
SSP-5722-XXX-XX	22	20	11	6	5"	12"	1"	10.5"	13.5"	4"	263
SSP-5726-XXX-XX	28	15.4	7.4	35	-	12"	1"	10.5"	13.5"	4"	340
SSP-5730-XXX-XX	30	12	4.5	-	5"	12"	1"	10.5"	13.5"	4"	398

CATALOG LOGIC

SAMPLE CATALOG NUMBER

SSP X XX X X

Series Height Gauge Base Plate

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HIRAF LINEAR LED FACADE FIXTURE

Specifications

ORDERING INFORMATION

HIRAF LED XX XX XXX PS

Series Height Gauge Base Plate

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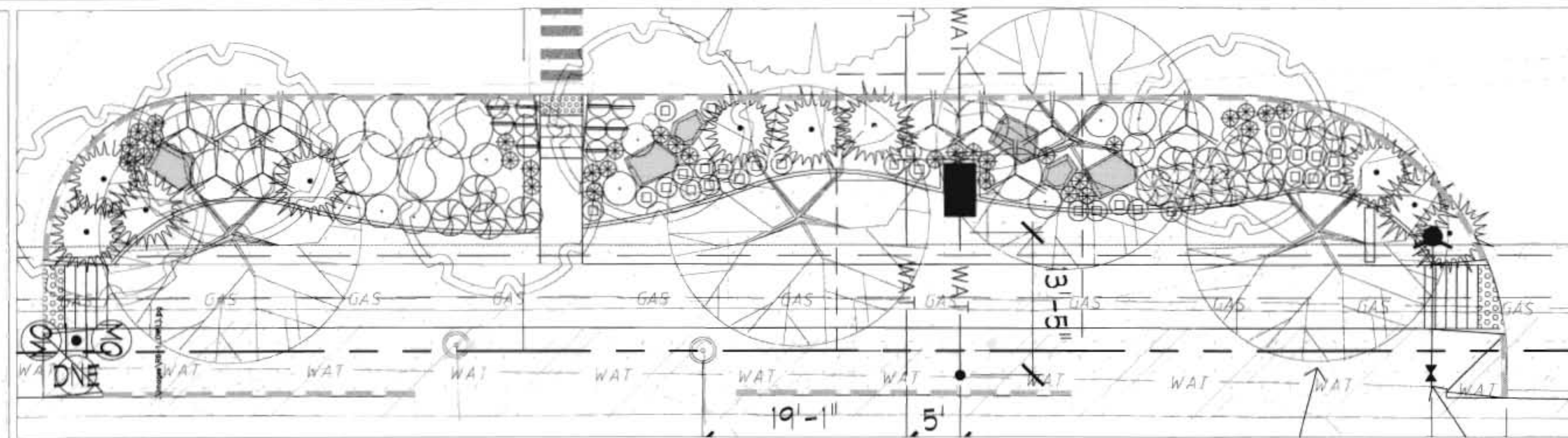
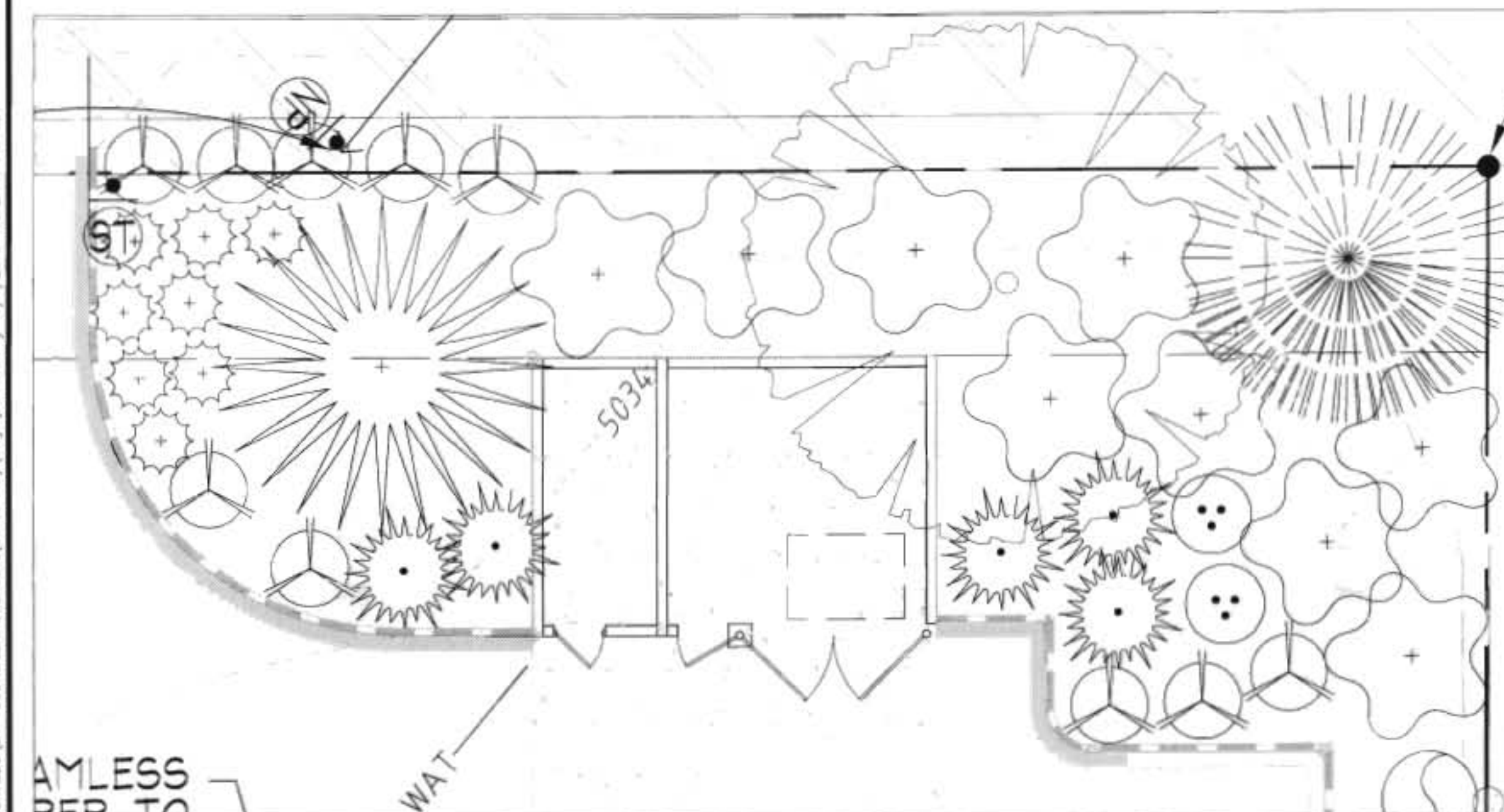
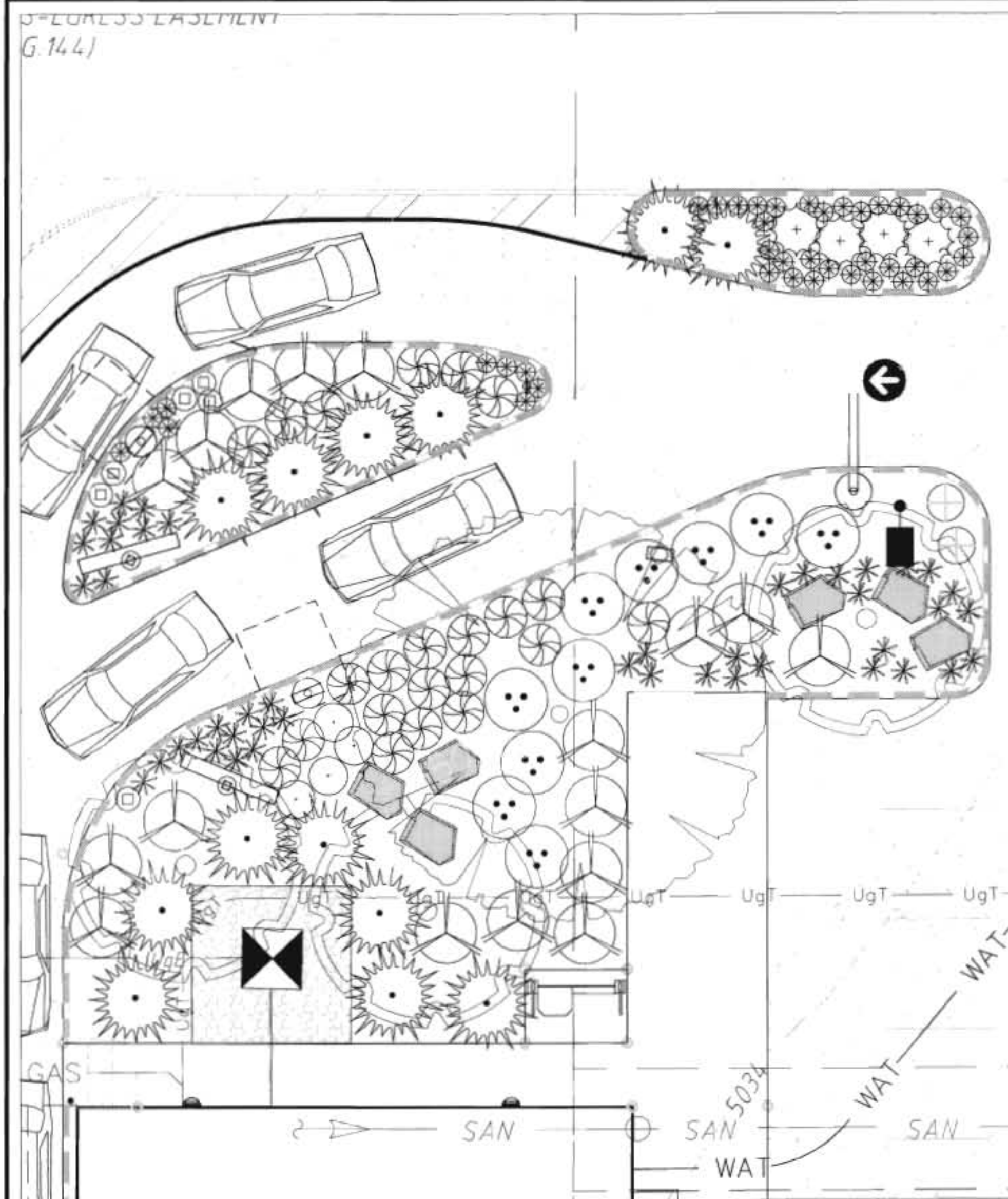
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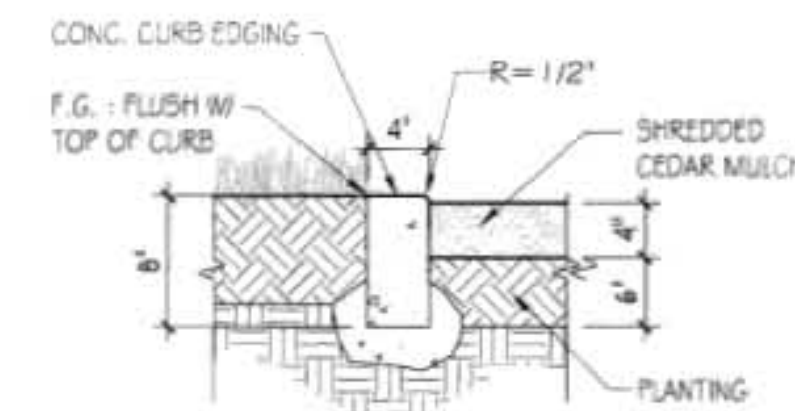
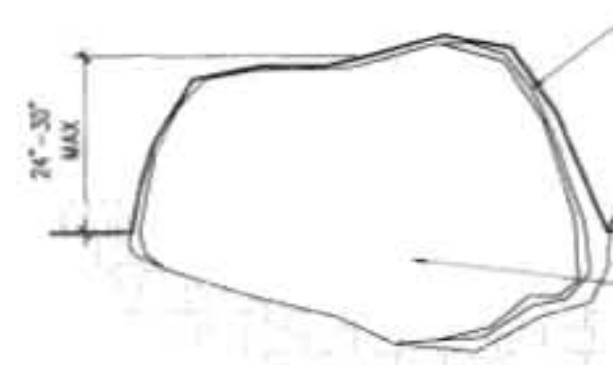
220 4.2' 11 ga



BLUE GRASS SOD SEE SPEC.
FOR DETAILS



WASHED RIVER ROCK MULCH:
2" MINUS, 3" DEEP OVER WEED
BARRIER FABRIC

LANDSCAPE BOULDERS (23): MIN. SIZE 4 FEET LONG X 3 FEET WIDE X 2½ FEET HIGH, SUNRISE BROWNSTONE, STONE WHOLESALE, 4717 WEST LAKEVIEW DR., FORT COLLINS, CO. 80526, 970-221-0057, SEE DETAIL 4/L2 FOR CORRECT PLACEMENT.

PLANT LIST

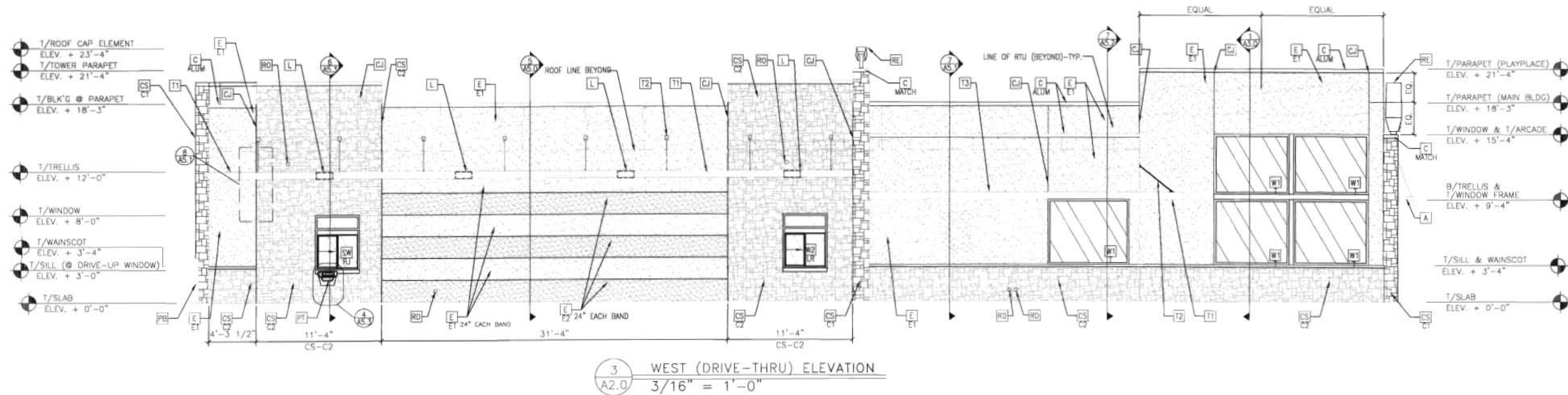
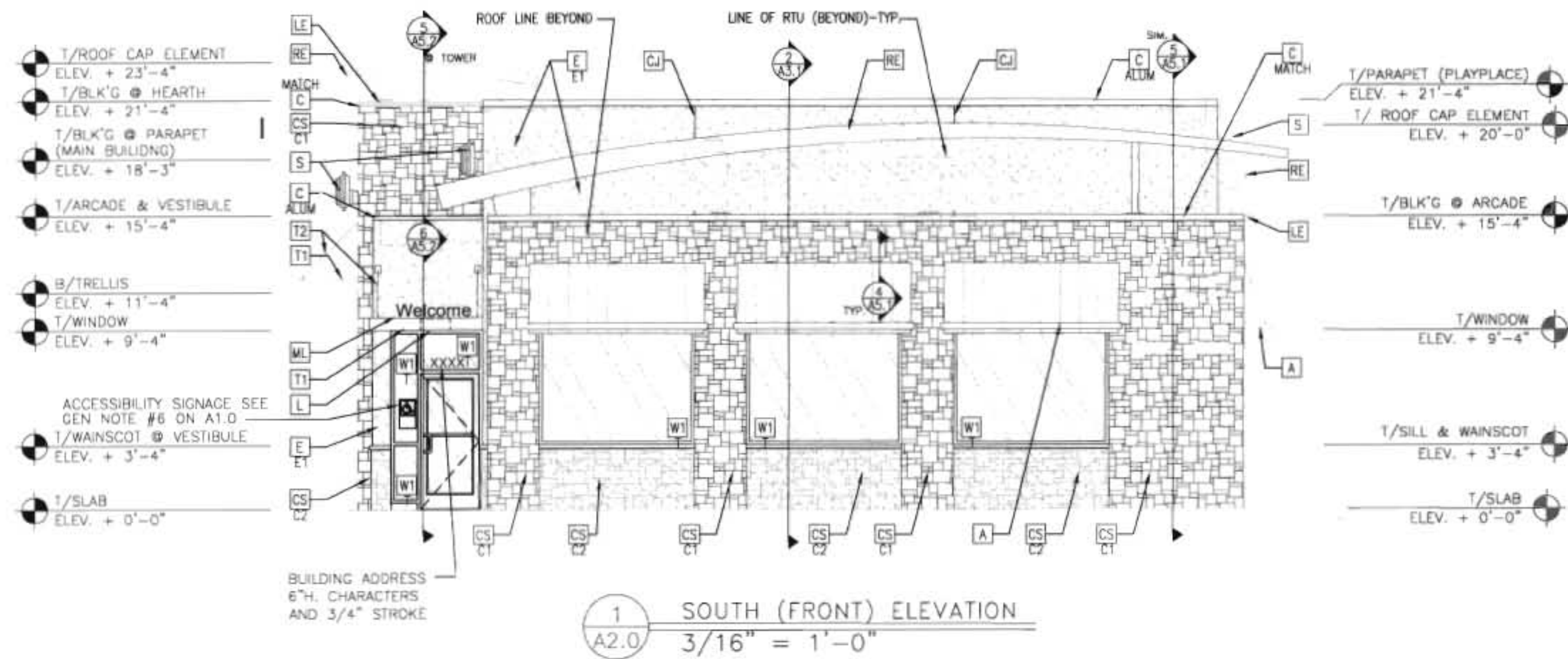
SYM.	ABBR.	QTY.	COMMON NAME SHADE TREES	SIZE/REMARKS
	SHL	11	SHADEMASTER MONEY LOCUST <i>Gleditsia triacanthos intermedia</i> Shademaster®	3 1/2" CAL. (U.N.O.), WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
	SSL	4	STERLING SILVER LINDEN <i>Tilia tomentosa</i> 'Sterling'	3 1/2" CAL. (U.N.O.), WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
FLOWERING/ACCENT TREES				
	BC	5	BRANDYWINE CARABELLE <i>Malus 'Brandywine'</i>	10-12" SINGLE STEM FULL & WELL BRANCHED
EVERGREENS				
	AP	2	AUSTRIAN PINE <i>Pinus nigra</i>	12-14" HT., B&B FULL & WELL BRANCHED
	SMP	34	SLOWMOUND MUGO PINE <i>Pinus mugo</i> 'Slowmound'	18-24" HT., 3-5 GAL. CONT., FULL & WELL BRANCHED
	WBJ	30	WICHITA BLUE JUNIPER <i>Juniperus scopulorum</i> 'Wichita Blue'	2-3 HT., 3-5 GAL. CONT., FULL & WELL BRANCHED
	TBJ	10	TABLE TOP BLUE JUNIPER <i>Juniperus scopulorum</i> 'Table Top Blue'	4-6 HT., #10 GAL. CONT., FULL & WELL BRANCHED
SHRUBS				
	SMO	48	SNOWBELLE MOCK ORANGE <i>Philadelphus</i> 'Snowbelle'	24-36" HT., 3-5 GAL. CONT., FULL & WELL BRANCHED
	PBWS	60	PAWNEE BUTTES W. SANDCHERRY <i>Prunus besseyi</i> 'Pawnee Buttes'	9-12", 5 GAL. CONT., FULL & WELL BRANCHED
	MBM	54	MOCK Highberry MANZANITA <i>Arctostaphylos</i> x <i>coloradoensis</i> 'Mock Highberry'	9-12", 5 GAL. CONT., FULL & WELL BRANCHED
	CWR	10	CAREFREE WONDER ROSE <i>Rosa</i> 'Carefree Wonder'	2-3", 5 GAL. CONT., FULL & WELL BRANCHED
	CC	50	CRANBERRY COTONEASTER <i>Cotoneaster apiculatus</i>	12-18" HT., 3-5 GAL. CONT., FULL & WELL BRANCHED
	CP	48	CHEYENNE PRIVET <i>Ligustrum vulgare</i> 'Cheyenne'	18-24" HT., 3-5 GAL. CONT., FULL & WELL BRANCHED
PERENNIALS				
	VFRG	46	DWARF FOUNTAIN GRASS <i>Pennisetum alopecuroides 'flame'</i>	8"-12" HT., 1 GAL. CONT. FULL & WELL BRANCHED
	BOG	102	BLUE OAT GRASS <i>Helichrochyon sempervirens</i>	8"-12" HT., 1 GAL. CONT. FULL & WELL BRANCHED
	PG	11	PLUME GRASS <i>Saccharum ravennae</i>	8"-12" HT., 1 GAL. CONT. FULL & WELL BRANCHED
	MS	14	MOHAVE SAGE <i>Salvia psychophylla</i> 'Epling ex Munz'	8"-12" HT., 1 GAL. CONT. FULL & WELL BRANCHED
	BES	49	BLACK-EYED SUSAN <i>Rudbeckia fulgida</i> 'Goldstrum'	8"-12" HT., 1 GAL. CONT. FULL & WELL BRANCHED

EXISTING TREE TO REMAIN:
PROTECT ALL (E) TREES AS
DIRECTED IN DETAIL 4/L.1

1		02/04		General Revision per City Permit Review Comments	
NO.	DATE	REVISION DESCRIPTION			
PROJECT: LANDSCAPE ARCHITECT:					
		Vesta Design 111 Wadsworth Street Fort Collins, Colorado 80524 Office: 970-214-7827 e-mail: tamw@vestadesign.com Landscape Architecture			
 McDonald's® THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.					
STREET ADDRESS 1809 WEST EISENHOWER BOULEVARD COLORADO LOVELAND		COUNTY LARIMER		SCALE: 1"=20' DATE: 12/15/2010 DESIGNED BY: T.W. DRAWN BY: T.W. CHECKED BY: T.W.	
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McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



KEY NOTES:

- [A] METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- [C] METAL COPING - COLOR = ALUMINUM
- [C] METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- [C] CONTROL JOINT, SEE DETAIL 7/A4.1

CS .B

- C1 = "CORDOVA CREAM" BY TEXAS QUARRIES OR EQUAL
- C2 = "TUSCAN" BY TEXAS QUARRIES OR EQUAL
- [D] HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

[FB] CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)

- [FB] OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- [LE] UP & DOWN LED LIGHTING - SEE ELECTRICAL
- [LE] DOWN LED LIGHTING ONLY - SEE ELECTRICAL

[L] LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL

- [ML] METAL LETTERING - BY OTHERS
- [PB] PIPE BOLLARD - PAINTED YELLOW
- [PT] (RMHC) COIN COLLECTOR

[RE] ROOF CAP ELEMENT BY OTHERS

- [RO] ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- [S] McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

[E] E.I.F.S. FINISH

- COLOR:
- E1 = MATCH BM 2173-10 "EARTHLY RUSSSET" BY BEN. MOORE
- E2 = MATCH BM 2175-10 "AZTEC BRICK" BY BEN. MOORE
- [T1] ALUMINUM TRELLIS
- [T2] TRELLIS TIE-BACK
- [T3] 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A5.1

[W1] EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0

- GLAZING REQUIREMENTS:
- STOREFRONT WINDOW-U VALUE = 0.45 SHGC = 0.4
- ENTRYDOOR WINDOW-U VALUE = 0.8 SHGC = 0.4
- MODEL, OPTIONS, AND SIZE WITH MCD AREA
- CONSTRUCTION MANAGER
- OPTIONS INCLUDE: TRANSOM (SHOWN)
- SLIDE DIRECTION:
- RL = RIGHT TO LEFT
- LR = LEFT TO RIGHT

McDonald's®
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

1809 WEST EISENHOWER BOULEVARD
LOVELAND, COLORADO 80111

CITY: LOVELAND
COUNTY: LARIMER
STATE: COLORADO

005-0045
02956

DEN-37

SCALE: 3/16" = 1'

DATE: 12/15/2010

DESIGNED BY: MCD

DRAWN BY: MCD

CHECKED BY: MCD

MODIFY: BS

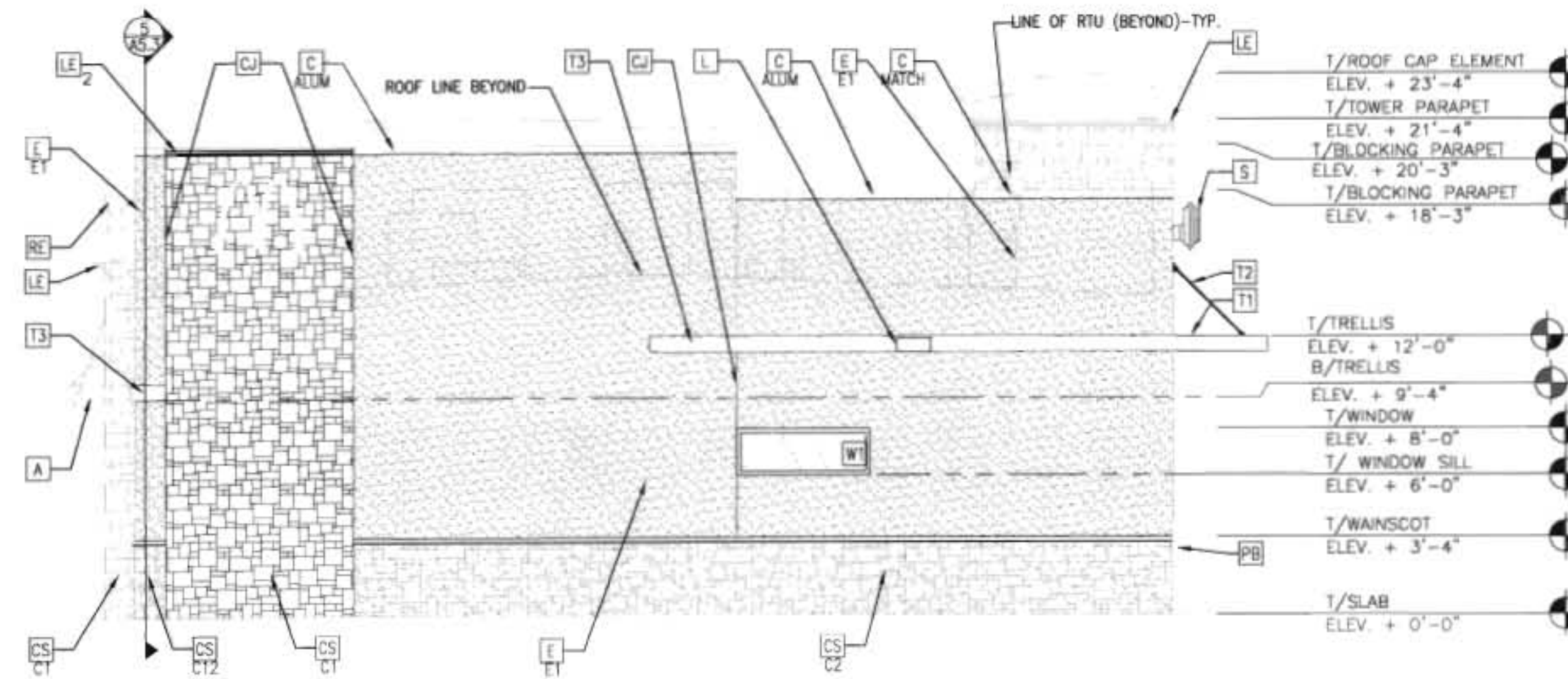
FILE NAME: MCD-005-0045

DRAWING TITLE: BUILDING ELEVATIONS

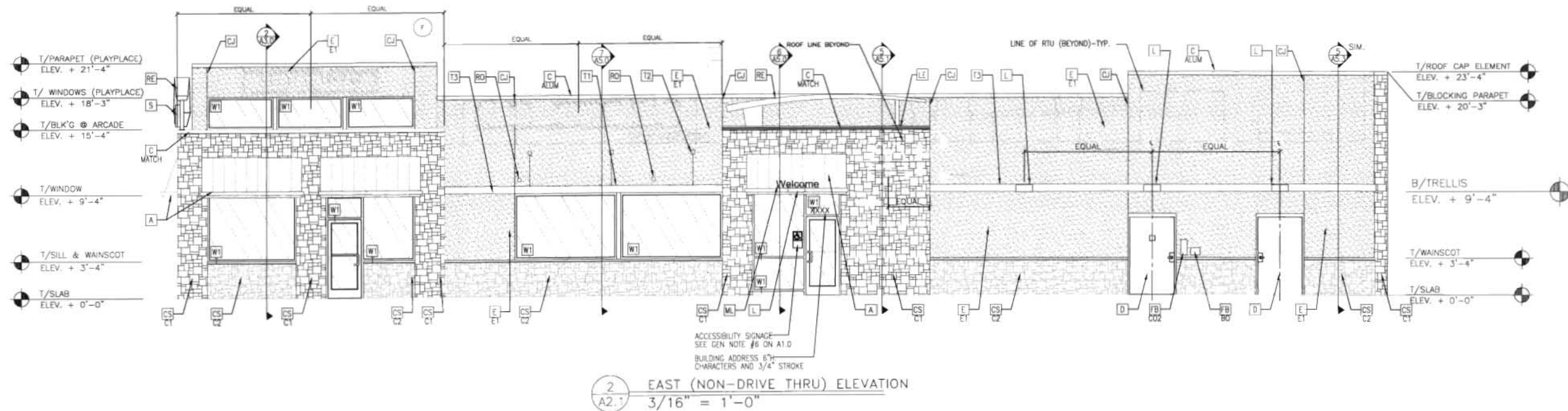
SHEET NO: A2.0

McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST ¼ OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



3 NORTH (REAR) ELEVATION
A2.1 3/16" = 1'-0"



2 EAST (NON-DRIVE THRU) ELEVATION
A2.1 3/16" = 1'-0"

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
C METAL COPING -
ALUM COLOR = ALUMINUM
C METAL COPING -
MATCH COLOR TO MATCH SURROUNDING MATERIAL
C CONTROL JOINT, SEE DETAIL 7/A4.1

- CS 18
C1 COLOR:
C1 = "CORDOVA CREAM"
BY TEXAS QUARRIES OR EQUAL
C2 = "TUSCANY"
BY TEXAS QUARRIES OR EQUAL
WITH MATCHING WAINSCOT/SILL
D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- FB CO2 CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
FB OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.1B) - CONFIRM USE WITH MCD PROJECT MANAGER
LE UP & DOWN LED LIGHTING - SEE ELECTRICAL
LE DOWN LED LIGHTING ONLY - SEE ELECTRICAL

- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
ML METAL LETTERING - BY OTHERS
PB PIPE BOLLARD - PAINTED YELLOW
PT (RMHC) COIN COLLECTOR

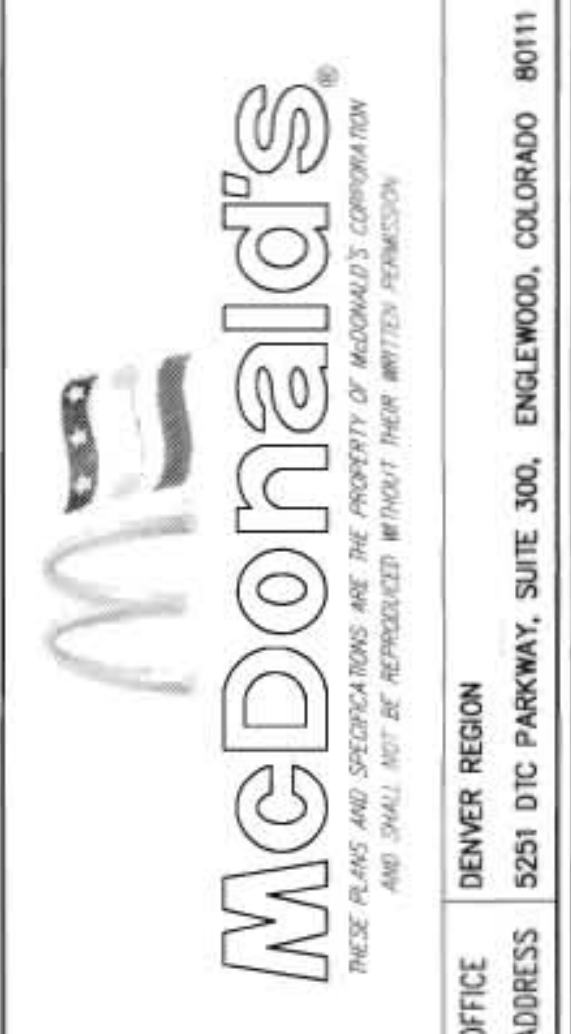
- RE ROOF CAP ELEMENT BY OTHERS
RO ROOF DRAIN OVERFLOW PIPE
PAINT TO MATCH SURROUNDING MATERIAL
S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- E E.I.F.S. FINISH
E1 COLOR:
E1 = MATCH BM 2173-10 "EARTHLY RUSSSET" BY BEN. MOORE
E2 = MATCH BM 2175-10 "AZTEC BRICK" BY BEN. MOORE
T1 ALUMINUM TRELLIS
T2 TRELLIS TIE-BACK
T3 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A2.1

- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
T = TEMPERED GLASS

- GLAZING REQUIREMENTS:
STOREFRONT WINDOW-U VALUE = 0.45 SHGC = 0.4
ENTRANCE WINDOW-U VALUE = 0.8 SHGC = 0.4

- W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER
OPTIONS INCLUDE: TRANSOM (SHOWN)
SLIDE DIRECTION:
RL = RIGHT TO LEFT
LR = LEFT TO RIGHT



1809 WEST EISENHOWER BOULEVARD
LOVELAND, COLORADO 80111
LARIMER
005-0045
02956
DEN-37

SCALE: 3/16"=1'
DATE: 12/15/2010
DESIGNED BY: MCD
DRAWN BY: MCD
CHECKED BY: MCD

BUILDING ELEVATIONS

A2.1

MINOR MODIFICATION TO SPECIAL REVIEW #173

LEGAL DESCRIPTION: LOT 2, HILE FIRST SUBDIVISION, BEING A REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION AND LOTS 1, 2 & 3 OF THE REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION, ALL SITUATE IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST OF THE 6th P.M., CITY OF LOVELAND, COUNTY OF LARIMER, COLORADO.

EXISTING LANDSCAPING (E)

KEY	QTY.	COMMON NAME
HL	5	HONEYLOCUST
TJ	12	TAMMY JUNIFER
PP	1	PINYON PINE

NOTE: THE ABOVE TABLE QUANTIFIES EXISTING LANDSCAPING LOCATED ON THE NEW 15X275' LOT WEST OF THE EXISTING McDONALD'S PROPERTY. EXISTING LANDSCAPING ON THE ORIGINAL 150X275' McDONALD'S PROPERTY IS SHOWN GRAPHICALLY ON THE SITE PLAN, BUT IS NOT INCLUDED IN THE ABOVE TABLE.

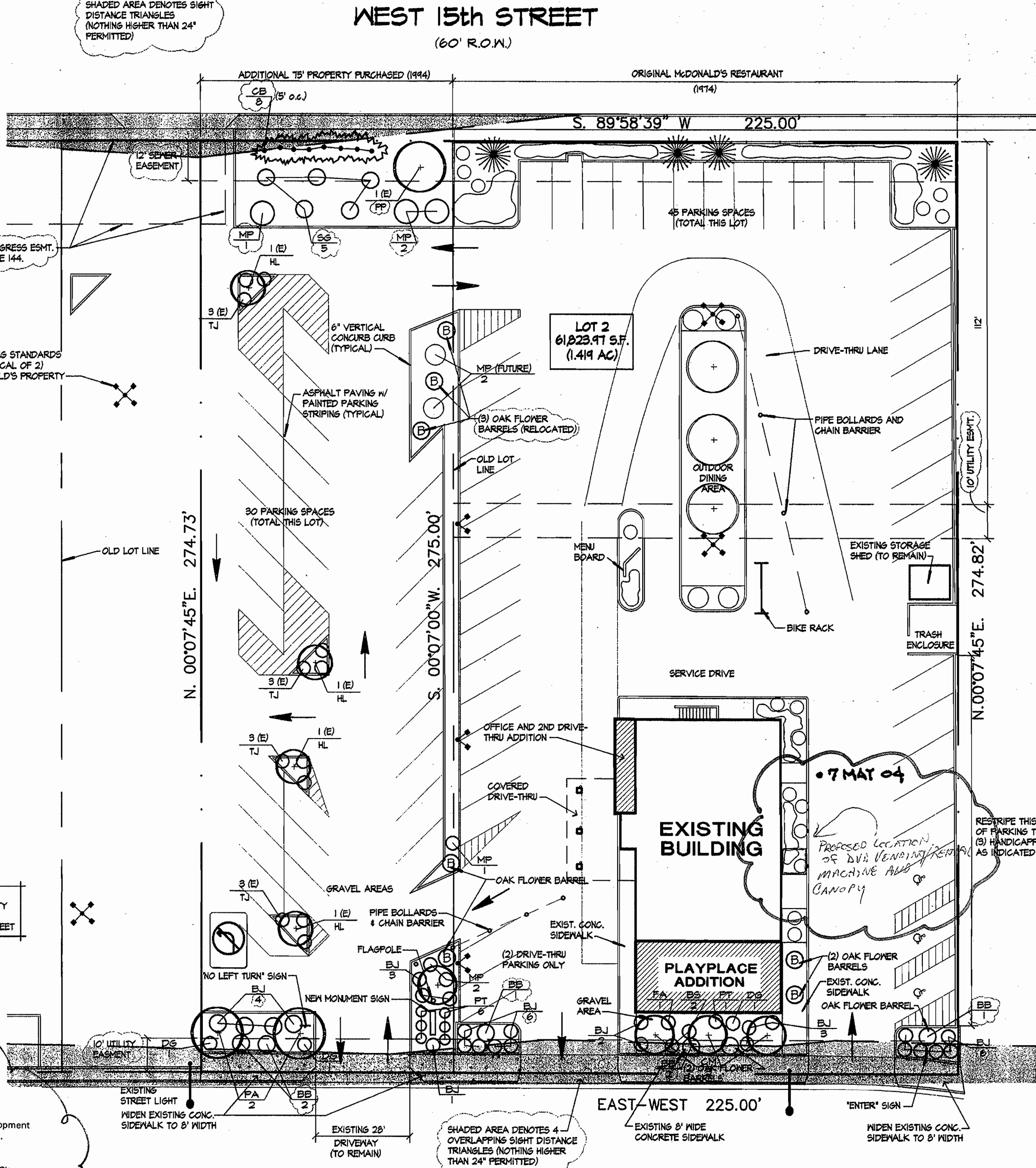
NEW LANDSCAPING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONT.
HL	1	HONEYLOCUST, SHADEMASTER	GLIEDITIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" CAL.	B4B
PA	2	PATMORE ASH	FRAXINUS PENNSYLVANICA 'PATMORE'	2" CAL.	B4B
CM	5	NORWAY COLUMNAR MAPLE	ACER PLATANOIDES 'COLUMNARE'	2" CAL.	B4B
BJ	25	BUFFALO JUNIFER	JUNIPERUS SABINA 'BUFFALO'	5 GAL.	CONT.
MP	5	MUGO PINE	PIRUS MUGO MUGUS	5 GAL.	CONT.
DG	5	COMPACT IVORY HALO DOGWOOD	CORNUS SERICEA 'IVORY HALO'	5 GAL.	CONT.
PT	7	GOLD DROP POTENTILLA	POTENTILLA FRUTICOSA FARRER 'GOLD DROP'	5 GAL.	CONT.
FA	1	PINK FLOWERING ALMOND	PRUNUS GLANDULOSA ROSEA	5 GAL.	CONT.
BB	2	BLUE HILT SPIREA IVORY HALO DOGWOOD	CARYOPTERIS X CLANDONENSIS	5 GAL.	CONT.
BB	6	BURNING BUSH	EVONYMUS ALATUS	5 GAL.	CONT.
GG	5	SEA GREEN JUNIFER	JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL.	CONT.
CB	5	COLUMNAR BLACKTHORN	SPRANUS FRANGULA COLUMNARIS	5 GAL.	CONT.

NOTE: ALL LANDSCAPED AREAS ARE INFILLED WITH 4" DEPTH OF 1 1/2" WASHED RIVER ROCK OVER FILTER FABRIC NEED BARRIER. PLANTINGS IN THESE AREAS ARE DESIGNED OR SELECTED TO PROVIDE FOR A MINIMUM 10% COVERAGE RATE AT 3 YEAR MATURITY.

CITY OF LOVELAND - CURRENT PLANNING DIVISION
BY: *[Signature]* DATE: 5/14/04
MANAGER
The City of Loveland review constitutes compliance with the City's Development Standards. Review by the City does not constitute approval of the design.
This review does not constitute review / approval of any private onsite improvements, which may be shown. These plans are intended to be for City review of public improvements adjacent to the property. Construction of on-site private improvements cannot commence until all required traffic study(s), final development plan(s), special review(s), and building permit(s) are complete, approved and on file with the City of Loveland.

The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland pertaining thereto.
EDWARD D. SCHORN
STATE OF COLORADO
ARAPAHOE, SS.
COUNTY OF LARIMER
The foregoing agreement was acknowledged before me this 12th day of May, 2004, by
[Signature]
Witness my hand and official seal.
My commission expires 09.12.07
Notary Public *[Signature]*



EISENHOWER BLVD. (U.S. HWY. 34)
(100' R.O.W.)

SITE PLAN
SCALE: 1"=20'

The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto.
STATE OF COLORADO)
COUNTY OF LARIMER)
The foregoing agreement was acknowledged before me this 12th day of May, 1995, by Robert Torson
Witness my hand and official seal.
My commission expires *[Signature]*
Notary Public

McDonald's Family Restaurant
1809 W. Eisenhower Blvd.
MINOR MODIFICATION TO SPECIAL REVIEW #173

ARCHITECTURE ONE
ARCHITECTS/PLANNERS, P.C.
303.669.9060
PALMER GARDENS, SUITE 200
150 EAST 29th STREET LOVELAND, COLORADO 80538

PROJECT NO.	PLAN	1/2/05	REVISED	1/2/05
1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

MINOR MODIFICATION TO
SPECIAL REVIEW #173

LEGAL DESCRIPTION: LOT 2, HILE FIRST SUBDIVISION, BEING A REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION AND LOTS 12 & 13 OF THE REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION, ALL SITUATE IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 64 WEST OF THE 6th P.M., CITY OF LOVELAND, COUNTY OF LARIMER, COLORADO.

EXISTING LANDSCAPING (E)

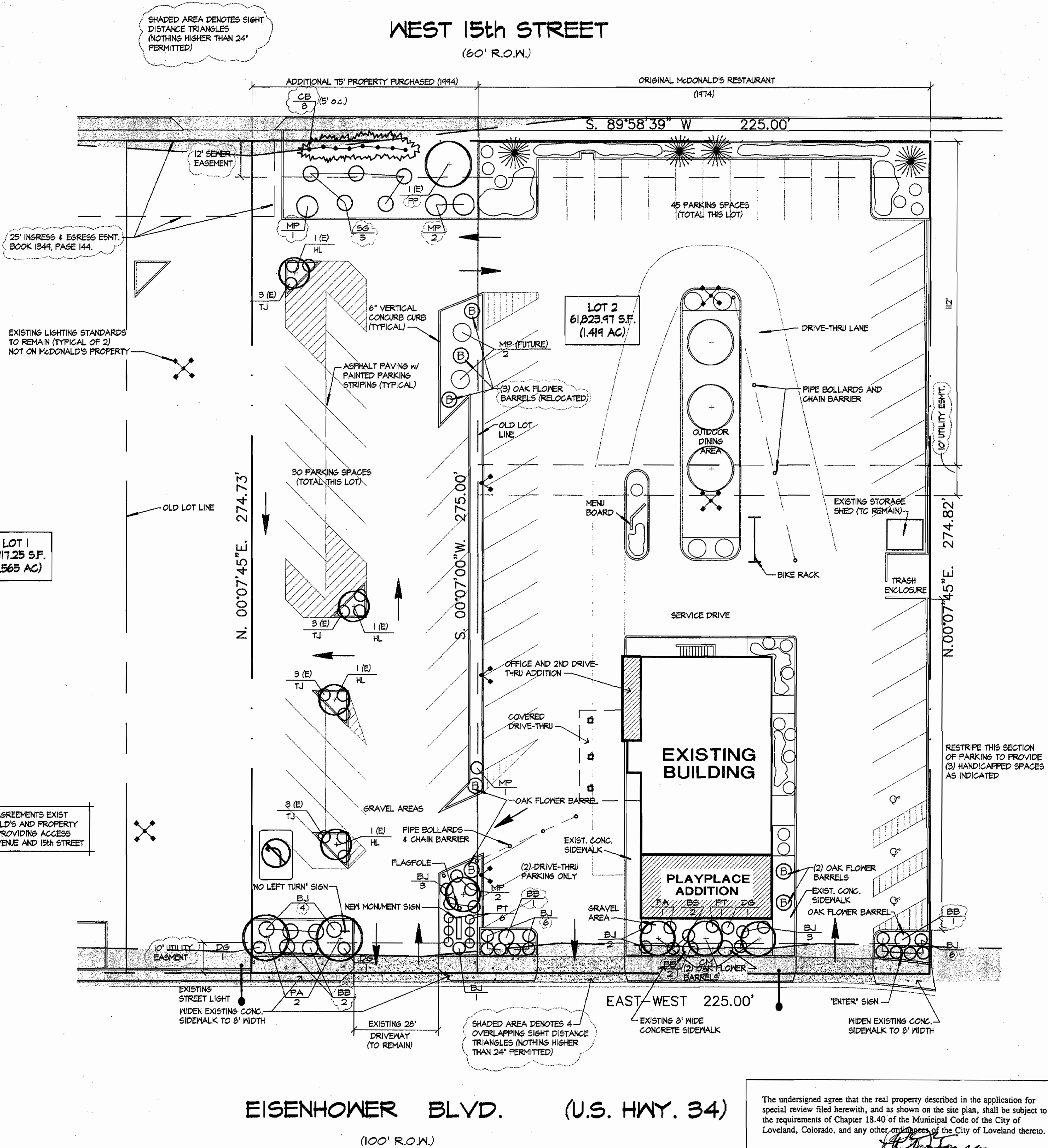
	KEY	QTY.	COMMON NAME
TREES	HL	5	HONEYLOCUST
SHRUBS	TJ	12	TAMMY JUNIPER
	PP	1	PINTON PINE

NOTE: THE ABOVE TABLE QUANTIFIES EXISTING LANDSCAPING LOCATED ON THE NEW 75'X275' LOT WEST OF THE EXISTING McDONALD'S PROPERTY. EXISTING LANDSCAPING ON THE ORIGINAL 150'X275' McDONALD'S PROPERTY IS SHOWN GRAPHICALLY ON THE SITE PLAN, BUT IS NOT INCLUDED IN THE ABOVE TABLE.

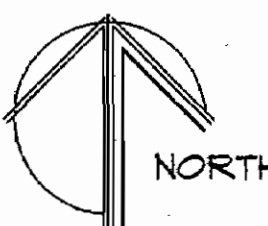
NEW LANDSCAPING SCHEDULE

	KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONT.
TREES	HL	1	HONEYLOCUST, SHADEMASTER	GLEADITIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" CAL.	B4B
	PA	2	PATMORE ASH	FRAXINUS PENNSYLVANICA 'PATMORE'	2" CAL.	B4B
	Q1	3	NORWAY COLUMNAR MAPLE	ACER PLATANOIDES 'COLUMNARE'	2" CAL.	B4B
SHRUBS	BU	25	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL.	CONT.
	MP	8	MUGO PINE	PIRUS MUGO MUGUS	5 GAL.	CONT.
	DG	5	COMPACT IVORY HALO DOGWOOD	CORNUS SERICEA 'IVORY HALO'	5 GAL.	CONT.
	PT	7	GOLD DROP POTENTILLA	POTENTILLA FRUTICOSA FARRER 'GOLD DROP'	5 GAL.	CONT.
	FA	1	PINK FLOWERING ALMOND	PRUNUS GLANDULOSA ROSEA	5 GAL.	CONT.
	BS	2	BLUE MIST SPIREA IVORY HALO DOGWOOD	CARYOPTERIS X CLANDONENSIS	5 GAL.	CONT.
	BB	6	BURNING BUSH	EUCONYMUS ALATUS	5 GAL.	CONT.
	SG	5	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL.	CONT.
	CB	8	COLUMNAR BLACKTHORN	RHAMNUS FRANGULA COLUMNARIS	5 GAL.	CONT.

NOTE: ALL LANDSCAPED AREAS ARE INFILLED WITH 4" DEPTH OF 1/2" WASHED RIVER ROCK OVER FILTER FABRIC NEED BARRIER. PLANTINGS IN THESE AREAS ARE DESIGNED OR SELECTED TO PROVIDE FOR A MINIMUM 10% COVERAGE RATE AT 3 YEAR MATURITY.



EISENHOWER BLVD. (U.S. HWY. 34)
(100' R.O.W.)



SITE PLAN
SCALE: 1"=20'



The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto.

STATE OF COLORADO }
COUNTY OF LARIMER }

The foregoing agreement was acknowledged before me this 1st day of August, 1995, by Robert Torson

Witness my hand and official seal.

My commission expires Nancy Hauer Notary Public

ARCHITECTURE
ONE
ARCHITECTS/PLANNERS, P.C.
PALMER GARDENS, SUITE 200
150 EAST 29th STREET LOVELAND, COLORADO 80538
303/669-9060

McDonald's Family Restaurant
1809 W. Eisenhower Blvd.
MINOR MODIFICATION
TO SPECIAL REVIEW #173

PROJECT NO.	1/2/95	BOB	ALH
DRAWN	CHECKED	BOB	ALH
REVISIONS	ADDED NEW LANDSCAPING	BOB	6/9/95
	REVISED PER STATE REPORT	BOB	7/27/95

4'-6"

3'-0"

2'-2"

1'-0"

1'-0"

2'-0"

6" Ø STD. BLACK PIPE

1'-0"

1/2"

VARIES

PLAN @ DOOR OPNG.

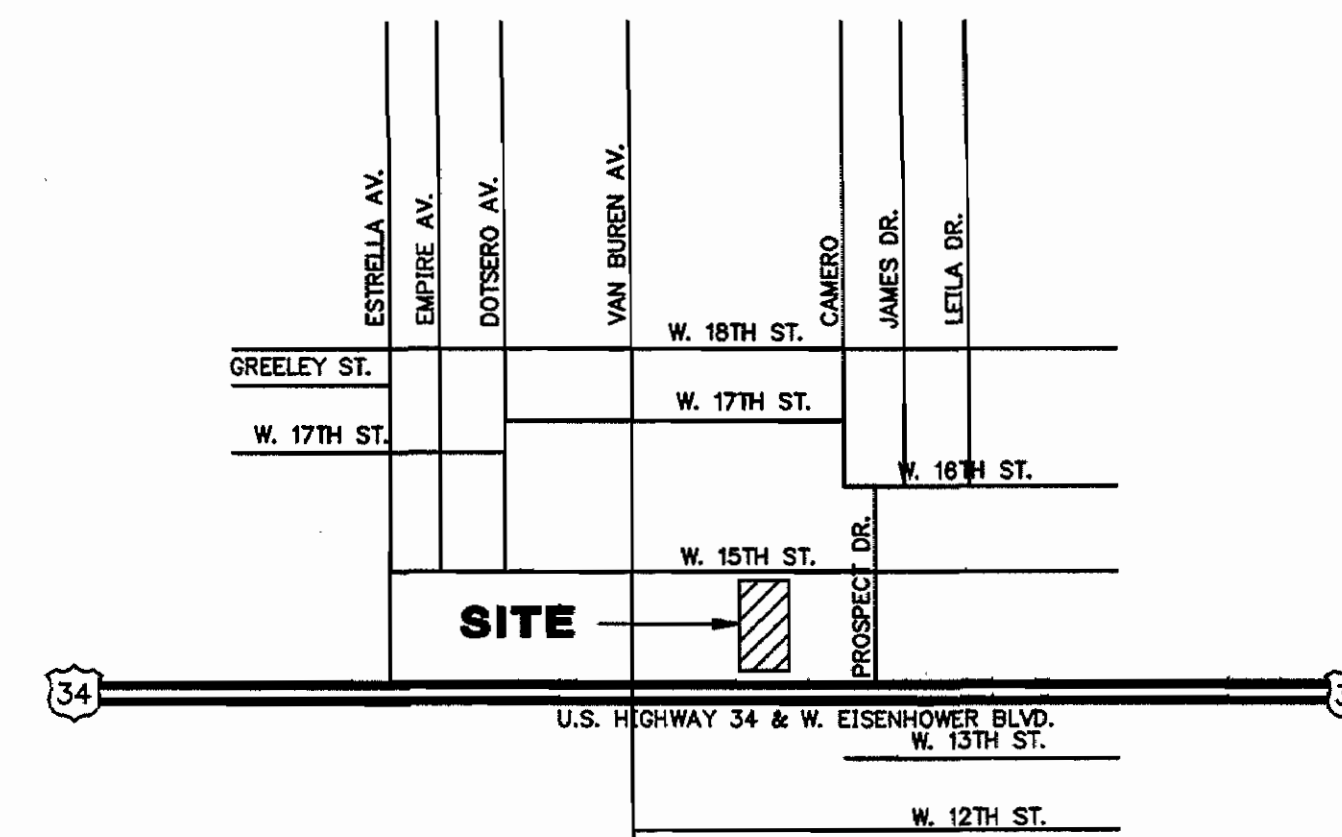
FIN. FLOOR

2

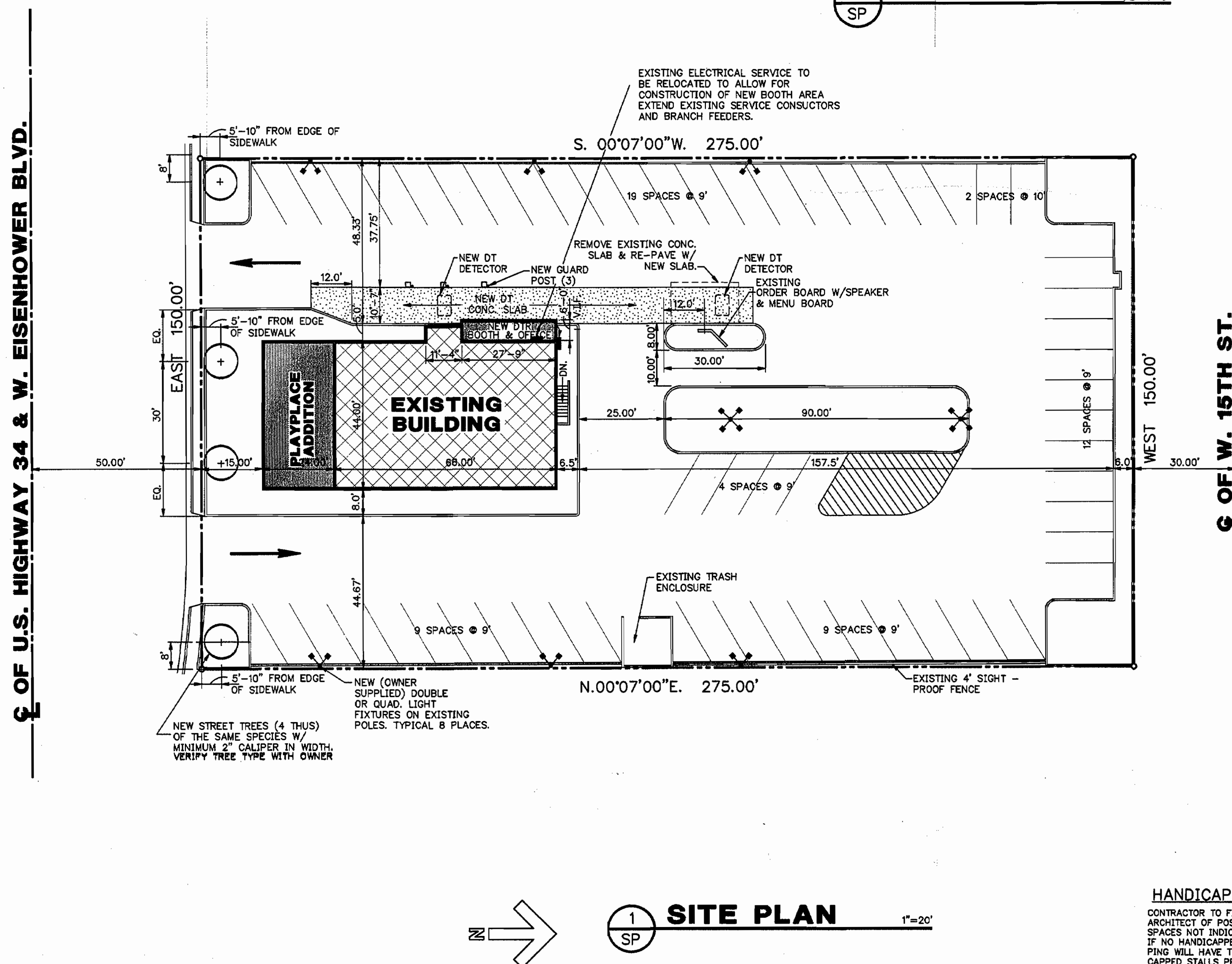
SP

GUARD POST

1/2" = 1'-0"



VICINITY MAP



CONTRACTOR TO FIELD VERIFY & NOTIFY. THE ARCHITECT OF POSSIBLE HANDICAPPED SPACES NOT INDICATED ON THIS DRAWING. IF NO HANDICAPPED SPACES EXIST, EXISTING STRIP-PING WILL HAVE TO BE REVISED FOR TWO HANDICAPPED STALLS PER ADA REQUIREMENTS.

McDONALD'S RESTAURANT PLAYPLACE ADDITION
1809 W. EISENHOWER BLVD.
LOVELAND, COLORADO

PROJECT SCOPE:
PLAYPLACE ADDITION TO EXISTING McDONALD'S RESTAURANT
& DRIVE-THRU EXTENSION

APPLICABLE CODES: 1991 UNIFORM BUILDING CODE
1991 UNIFORM PLUMBING & MECHANICAL CODE
1990 NATIONAL ELECTRICAL CODE
1990 AMERICAN DISABILITIES ACT

DESIGN CRITERIA: SEISMIC ZONE NO. 1
100 MPH WIND LOAD, EXPOSURE B
30 LBS/SF SNOW LOAD
30" FROST DEPTH

TYPE OF CONSTRUCTION: VN
OCCUPANCY CLASSIFICATION: A-3/B-2
NUMBER OF STORIES: 1
ADDITIONAL SQUARE FEET: 1,825 GSF
OCCUPANT LOAD: 30 ADDITIONAL SEATS
PLUMBING FIXTURES:
MEN 1 W.C. 1 LAV.
WOMEN 1 W.C. 1 LAV.
PARKING SPACES: (53) 19' x 9' STALLS &
(2) 19' x 10' STALLS

SP SITE PLAN
D1 DEMO PLAN
A1 FLOOR PLAN
A2 EXTERIOR ELEVATIONS
A3 BLDG. SECTIONS/DETAILS
A4
A5 DRIVE THRU SECTION AND DETAILS

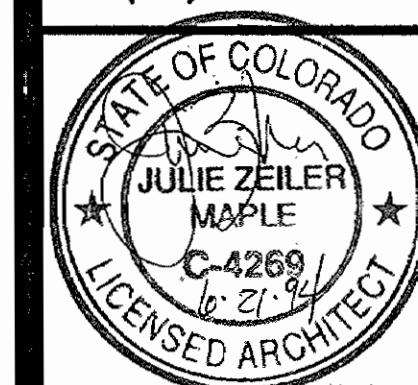
S1 FOUNDATION PLAN
S2 FRAMING PLAN

M1 HVAC PLAN
M2 ROOF PLAN
M3 NOTES & SCHEDULES
M4 DETAILS
M5 HVAC DETAILS

E1 ELECT. FLOOR PLAN
E2 RISER DIAGRAM & SCHEDULES



ZEILER-PENNOCK, INC.
ENGINEERS - ARCHITECTS
2727 BRYANT STREET
DENVER COLO. 80211
(303)455-3322



PLAYPLACE ADDITION
to
McDONALDS

DAVID BERKOWITZ, MD

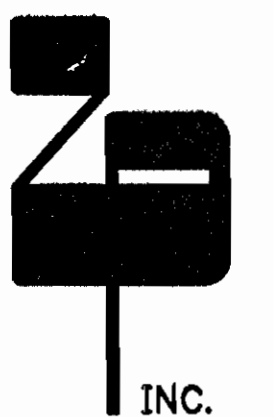
REVISION

SPECIAL REVIEW SET

DATE 6-13-94

SHEET

SP



INC.
ZELLER-PENNOCK, INC.
ENGINEERS - ARCHITECTS
2727 BRYANT STREET
DENVER COLO. 80211
(303)455-3322



PLAYPLACE^{TO} ADDITION
McDONALD'S

LOVELAND, CO.

1809 W. EISENHOWER BLVD.

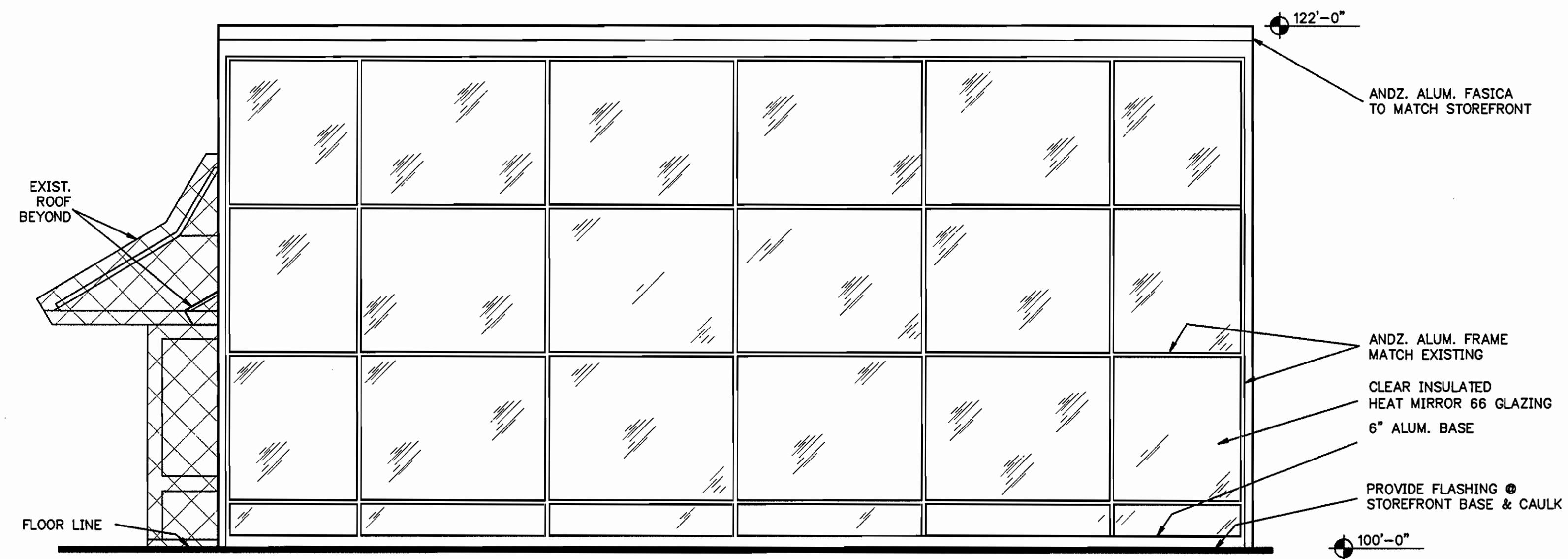
REVISION

SPECIAL REVIEW SET

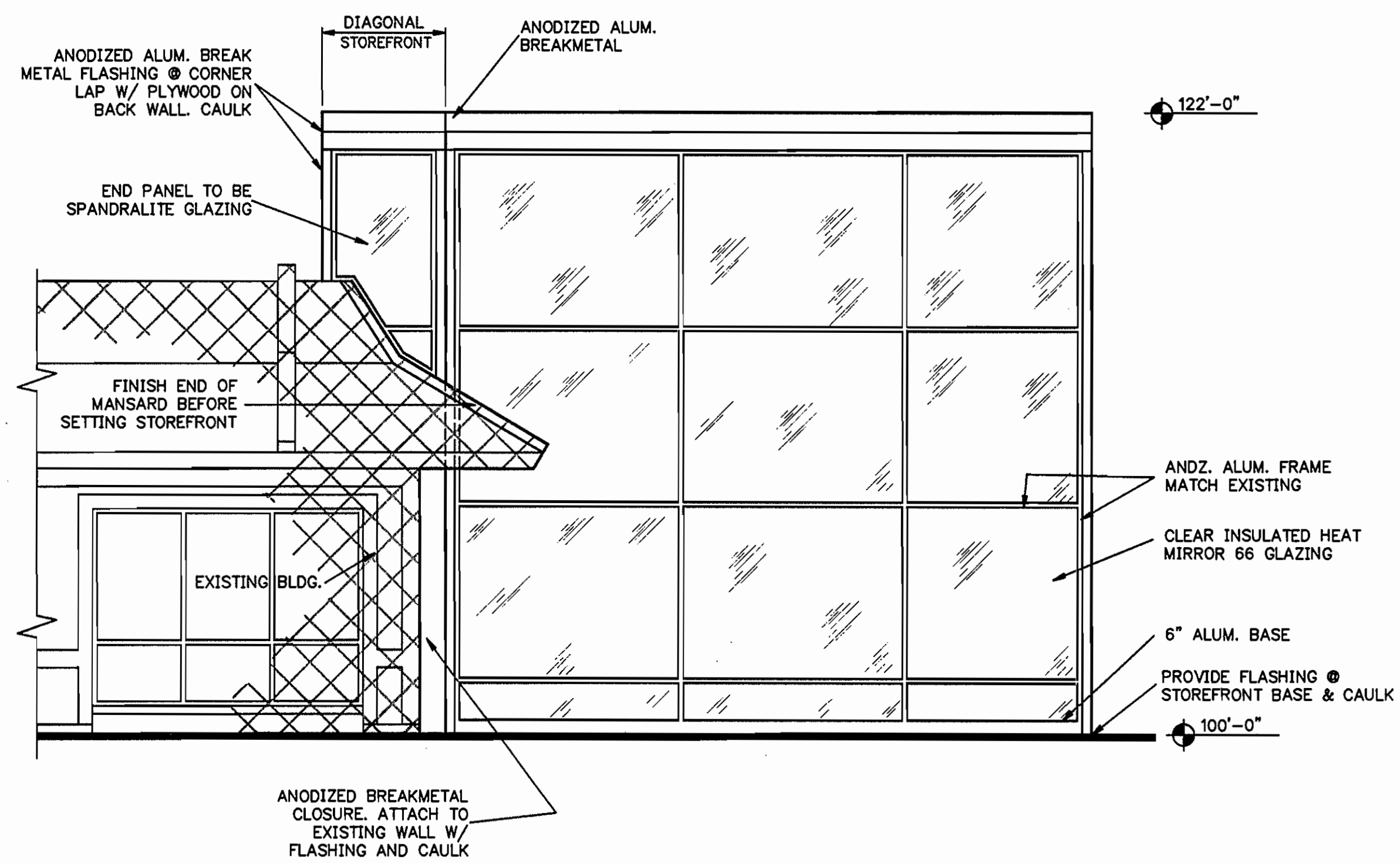
DATE 6-13-94

SHEET

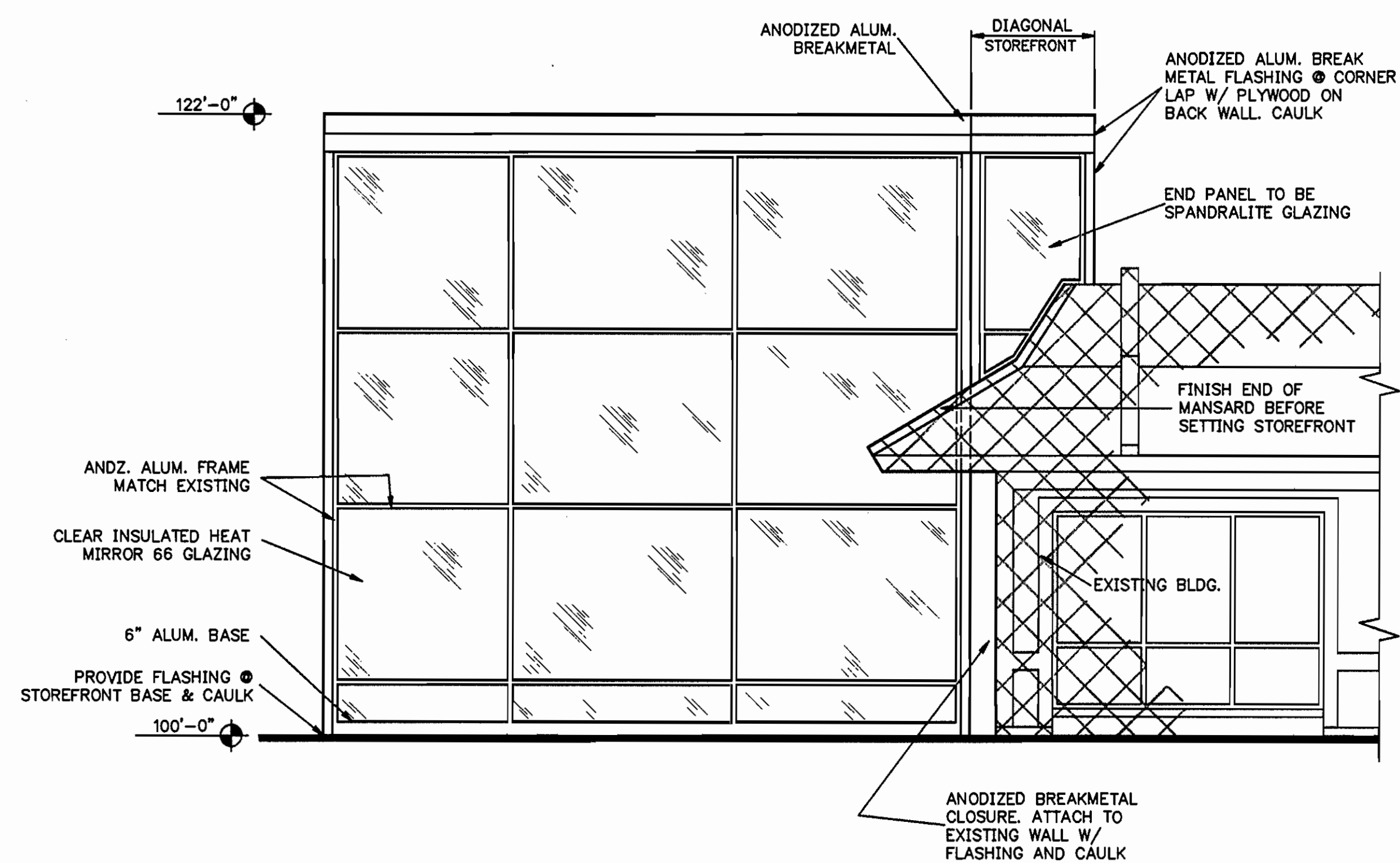
A2



1 SOUTH ELEVATION 1/4"=1'-0"

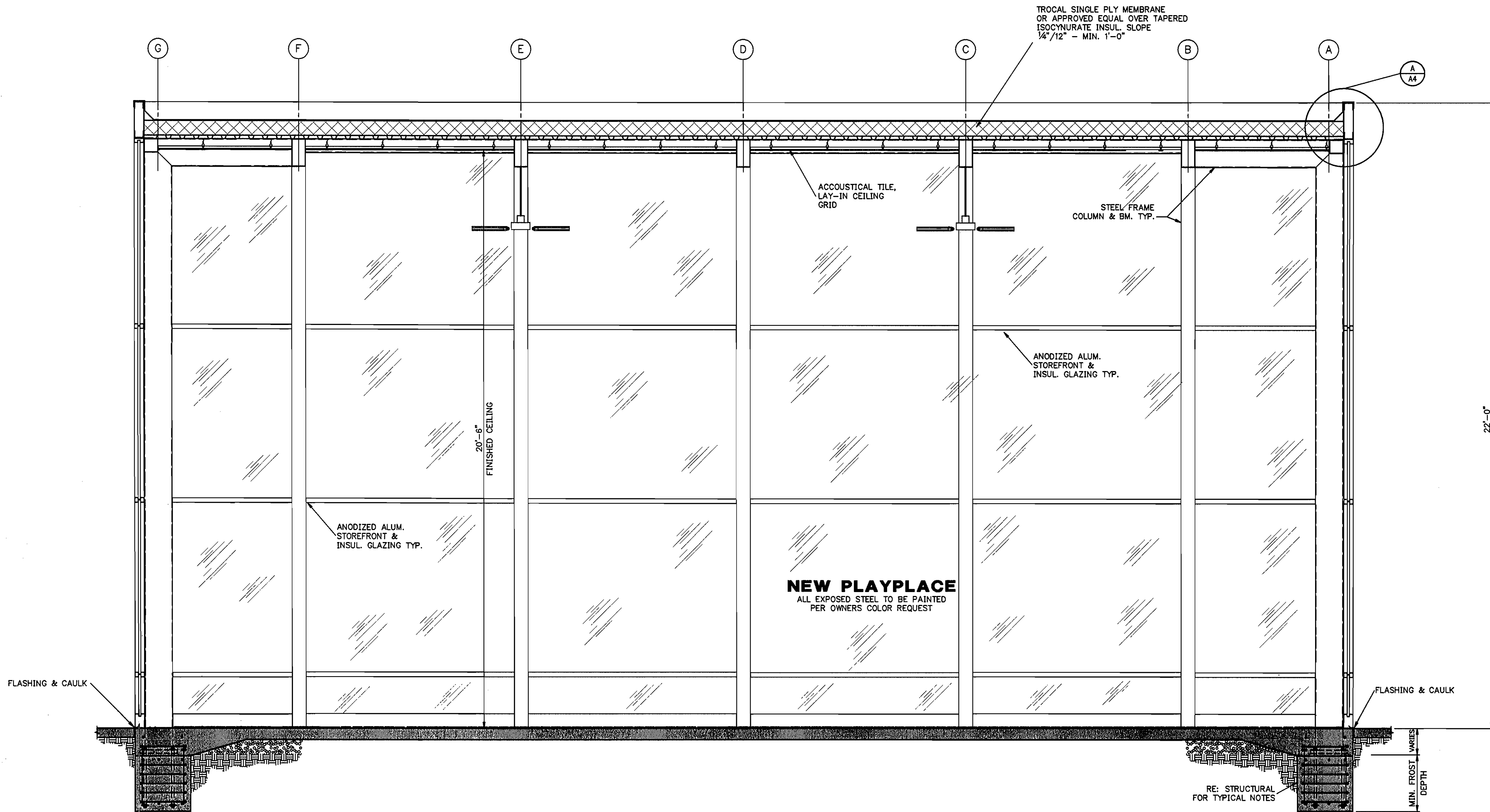


2 EAST ELEVATION 1/4"=1'-0"



3 WEST ELEVATION 1/4"=1'-0"

DWG. NO. 9441A3
DATE 24 x 36
DWG. SIZE 1/2" = 1'



1
A3
BUILDING SECTION 1/2"=1'-0"

ZEILER-PENNOCK, INC.
ENGINEERS - ARCHITECTS
2727 BRYANT STREET
DENVER COLO. 80211
(303)455-3322

STATE OF COLORADO
JULIE ZEILER
MAPLE
C-4269
6-21-92
LICENSED ARCHITECT

PLAYPLACE ADDITION
TO
McDONALD'S
LOVELAND, COLORADO
1809 W. EISENHOWER BLVD.

REVISION	
SPECIAL REVIEW SET	
DATE	6-13-94
SHEET	A3

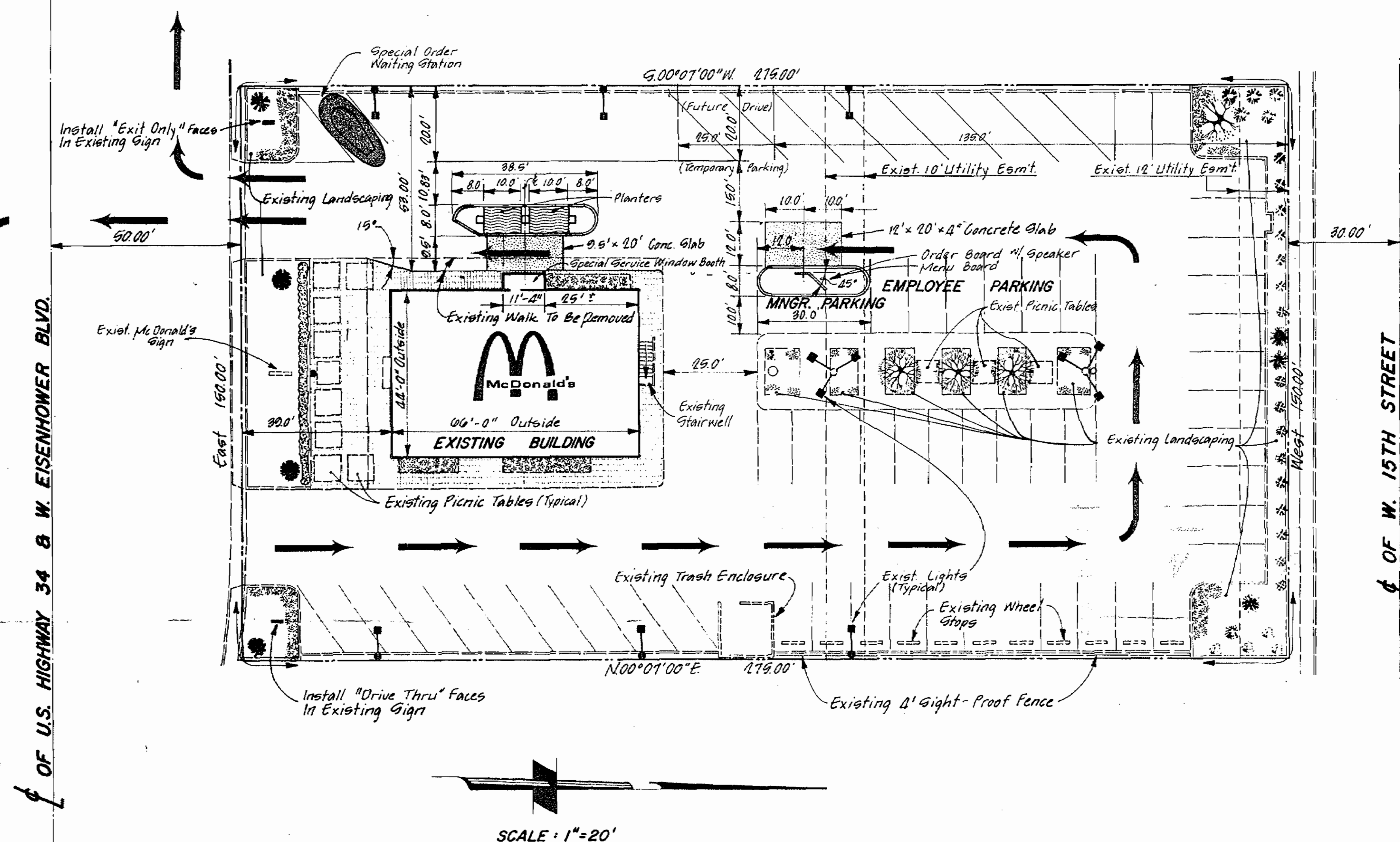
AMENDED SPECIAL REVIEW PLAN

McDONALD'S FAMILY RESTAURANT
1809 W. EISENHOWER BOULEVARD
LOVELAND, COLORADO

Filed in City Clerks Office
Date OCT 25 1976

By SH

Date 10-26-74
Amount \$ 116.⁰⁰
Receipt No. 1856



Existing Zoning: DE, Developing Business Zoning District

Proposed Special Review Use: Restaurant and other eating and drinking places, outdoors

The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado and any other ordinances of the City of Loveland pertaining thereto.

McDonald's Corporation

Seymour Greenman, Vice President

STATE OF ILLINOIS)
COUNTY OF DE PAGE) SS

The foregoing agreement was acknowledged before me this 18th day of October, 1976, by Seymour Greenman, as Vice President for McDonald's Corporation, a Delaware Corporation.

Witness my hand and official seal.

My commission expires 12/31/77 12/31/77 12/31/77


M. Virginia Brown
Notary Public

Legal Description:


Lot 3 of the "Replat of a portion of Tract 2, Hile First Addition" to the City of Loveland, Colorado.

Dale D. Olhausen
Dale D. Olhausen
Colo. P.E. & L.S. 5007

General Notes:

1.  indicates direction of vehicular traffic flow.
2. Landscaping shall be a minimum of that which presently exists on the site.
3. Site development to be completed within six (6) months of approval of this site plan.

Franklin

REVISIONS By _____ Date _____ Description _____ By _____ Date _____ Description _____ By _____ Date _____ Description _____			Date: <u>9-29-76</u> Drawn: <u>G.D.O.</u> Checked: <u>D.R.M.</u> Scale: <u>NOTED</u> Approved: <u>D.B.S.</u>		HOGAN / OLHAUSEN P.C. Engineers - Architects - Planners Photogrammetrists - Surveyors				MAIN OFFICE 2300 WEST EISENHOWER LOVELAND, COLORADO 80537 BRANCH OFFICE 101 18TH STREET GREELEY, COLORADO 80631		CLIENT: <u>RICHARD E. POWER</u> <u>160 FAIRWAY LANE</u> <u>FORT COLLINS, COLORADO 80521</u>		TITLE: <u>AMENDED SPECIAL REVIEW PLAN FOR McDONALD'S FAMILY</u> <u>RESTAURANT, 1809 W. EISENHOWER BOULEVARD</u> <u>LOVELAND, COLORADO</u>		Project No: <u>579-1-5</u>		NO. OF SHEETS <u>1</u>		SHEET NO. <u>1</u>	
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SPECIAL REVIEW PLAN

FOR THE EAST 180.00 FEET OF TRACT 2, HILE 1st ADDITION,
TO THE CITY OF LOVELAND, COLORADO.
EXCEPT THE EAST 30 FEET THEREOF.

REVISED Date AUG 15 1974
By SH

EXISTING ZONING: DE, DEVELOPING BUSINESS DISTRICT
SPECIAL REVIEW USE: RESTAURANTS and other EATING and DRINKING
PLACES, OUTDOOR.

THE UNDERSIGNED AGREE THAT THE REAL PROPERTY DESCRIBED IN THE APPLICATION FOR
SPECIAL REVIEW FILED HERewith, AND AS SHOWN ON THE SITE PLAN, SHALL BE SUBJECT TO
THE REQUIREMENTS OF SECTION 12 OF ORDINANCE No. 1004 OF THE ORDINANCES OF THE CITY
OF LOVELAND, COLORADO, AND ANY OTHER ORDINANCES OF THE CITY OF LOVELAND PERTAINING
THERETO.

STATE OF COLORADO } SS
COUNTY OF LARIMER }

THE FOREGOING AGREEMENT WAS ACKNOWLEDGED BEFORE ME THIS 26TH DAY OF JULY, 1974
BY JACK H. WILLIAMS AS ATTORNEY IN FACT FOR JAMES P. JOHNSON, TRUSTEE;
BY JACK H. WILLIAMS AS ATTORNEY IN FACT FOR JAMES P. JOHNSON, INDIVIDUALLY; JACK H.
WILLIAMS, INDIVIDUALLY; TOM GLEASON; AND A.E. ROUSE

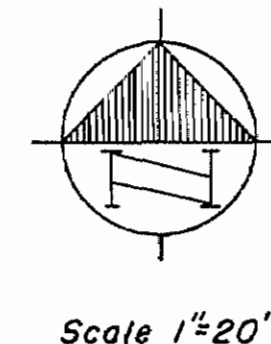
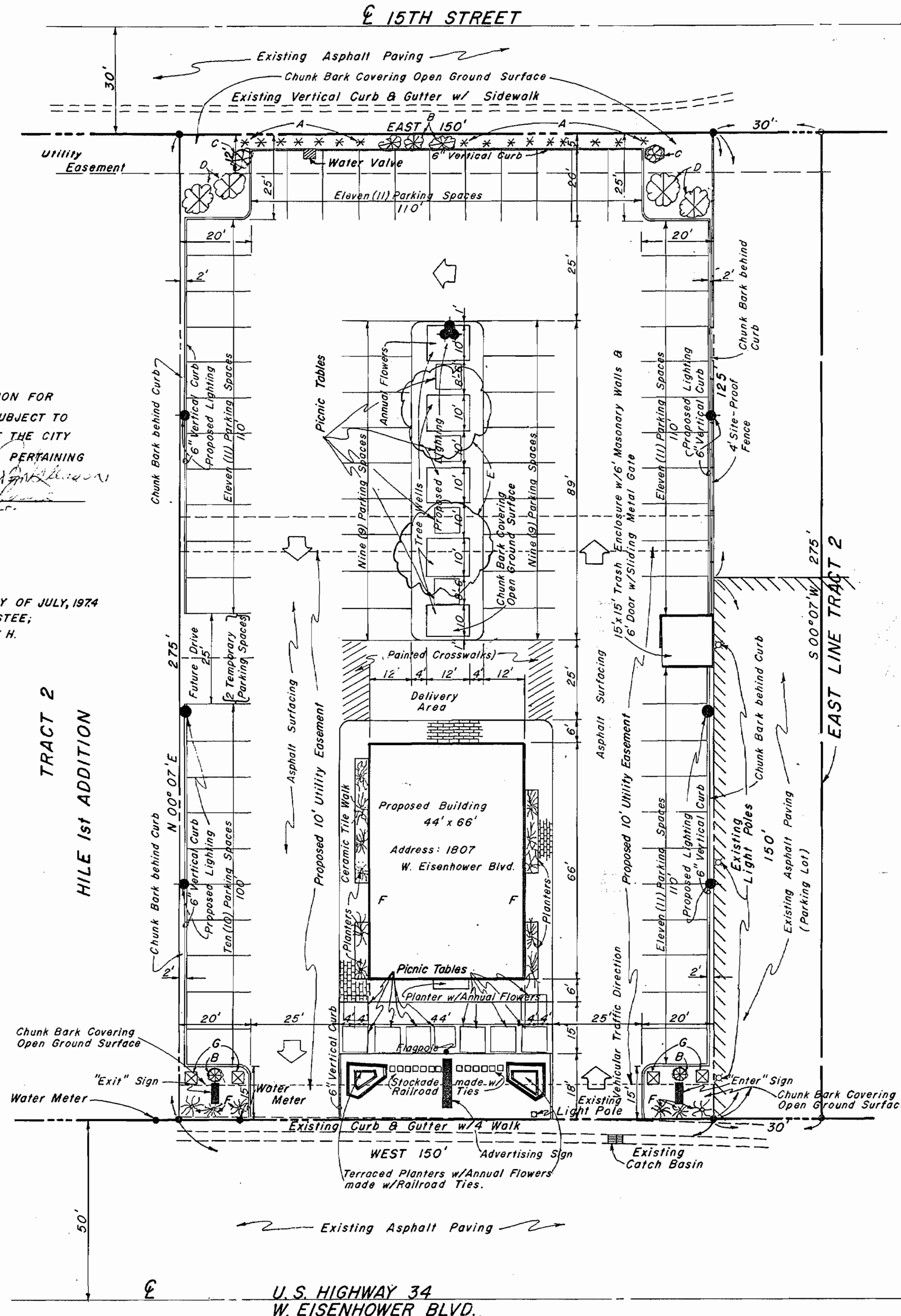
MY COMMISSION EXPIRES FEBRUARY 8, 1977

Notary Public
NOTARY PUBLIC

LEGAL DESCRIPTION

THE EAST 180.00 FEET OF TRACT 2, HILE FIRST ADDITION TO THE CITY
OF LOVELAND, COLORADO. RECORDED IN BOOK 9, PAGE 109 IN THE OFFICE
OF THE CLERK AND RECORDER, LARIMER COUNTY, COLORADO.

EXCEPT THE EAST 30.00 FEET THEREOF.



MINIMUM LANDSCAPING LEGEND

- A* - Buckhorn Tall Hedge
- B⊗ - Pinon Pine
- C⊗ - Tamy Juniper
- D⊗ - Colorado Spruce
- E⊗ - Skyline Locust
- F⊗ - Wiltoni, Marshall Creeper or Buffalo
- G⊗ - Old Gold Juniper
- - Picnic Tables

Note: "Enter" & "Exit" signs to be 3'x5' placed at ground surface.
Advertising sign to be 13'x15' elevated on poles. Top of sign
to be a maximum of 35 feet above ground surface.

Total Development to be Completed by Aug. 1, 1975

Ronnie E. Hogan
RONNIE E. HOGAN
COLO. P.E. & L.S. 4845

REVISIONS			DATE		DRAWN		HOGAN AND OLHAUSEN P.C.		CLIENT:		TITLE:		JOB NO.		NO. OF SHEETS		SHEET NO.	
BY	DATE	DESCRIPTION	DATE	MARCH 1974	DATE	DBP	DATE	MARCH 1974	DATE	Richard E. Power	DATE	SPECIAL REVIEW PLAN FOR THE EAST 180 FEET OF	DATE	579-1-1	DATE	1	DATE	1
BY	DATE	DESCRIPTION	DATE		DATE	DRM	DATE		DATE	160 Fairway Lane	DATE	TRACT 2, HILE 1st ADDITION TO THE CITY OF LOVELAND,	DATE		DATE		DATE	
BY	DATE	DESCRIPTION	DATE		DATE	REH	DATE		DATE	Fort Collins, Colorado 80521	DATE	COLORADO, EXCEPT FOR THE EAST 30 FEET THEREOF.	DATE		DATE		DATE	