

LEGAL DESCRIPTION:

PER TITLE COMMITMENT

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N, R.6W, OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2, THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2, THENCE S00°07'45"E ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2, THENCE S89°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N80°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED B (DEVELOPING BUSINESS DISTRICT).

PROJECT NARRATIVE:

THIS PROJECT NARRATIVE WILL ADDRESS THE ITEMS LISTED IN THE "SPECIAL REVIEW REVIEWABLE APPLICATION" (THE PARAGRAPH NUMBER BELOW MATCHES THAT ON THE APPLICATION FOR EASE OF REFERENCE AND REVIEW).

- A. AS SHOWN ON DRAWINGS L 1 AND L 2, AND AS QUANTIFIED ON DRAWING L 2, A SUBSTANTIAL AMOUNT OF LANDSCAPING, INCLUDING A VARIETY OF 10 SHADE TREES, 10 FLOWERING/ACCENT TREES, 58 EVERGREENS (A COMBINATION OF TREES AND SHRUBS), 328 SHRUBS, AND 237 PERENNIALS ARE PROPOSED. SEVERAL STREET TREES AND THICK GROUNDCOVER IS PLANNED ALONG THE W. EISENHOWER BOULEVARD FRONTRAGE. FURTHER, LANDSCAPING ALONG BOTH THE WESTERN AND EASTERN PROPERTY LINES IS BEING ENHANCED WITH ADDITIONAL LANDSCAPING AS WELL AS ADDITIONAL LANDSCAPING WITHIN THE PARKING ISLAND CENTRAL TO THE LAYOUT.
- B. THE QUANTITY, SIZE, AND HEIGHT OF THE EXISTING MONUMENT SIGNAGE ALONG W. EISENHOWER BOULEVARD WILL REMAIN AS CURRENTLY EXISTS. PROPOSED SIGNAGE WILL BE IN ACCORDANCE WITH A SEPARATE SIGNAGE PROGRAM SUBMITTAL.
- C. AS CURRENTLY EXISTS, THE NEW BUILDING INCLUDE A MCDONALD'S FAST FOOD RESTAURANT WITH A PLAYPLACE. THE NEW BUILDING WILL ENCOMPASS 4,717SF (COMPARED TO 4,183SF AS CURRENTLY EXISTS). THE LOCATION OF THE NEW BUILDING WILL BE PARALLEL TO THE WESTERN PROPERTY LINE AND 50' NORTH OF THE W. EISENHOWER BOULEVARD, APPROXIMATELY 35' EAST OF THE WEST PROPERTY LINE AND 50' NORTH OF THE W. EISENHOWER BOULEVARD, RIGHT-OF-WAY (COMPARED TO 53' WEST OF THE EASTERN PROPERTY LINE AND 15' NORTH OF THE W. EISENHOWER BOULEVARD RIGHT-OF-WAY). THE ROOF CAP (HIGHEST ELEMENT) OF THE BUILDING WILL BE APPROXIMATELY 23'-4" ABOVE GROUND LEVEL. THE FOUR-SIDED ARCHITECTURAL DESIGN OF THE BUILDING INCLUDES MATERIALS SUCH AS AZTEC BRICK STUCCO, EARTHLY RUSSET STUCCO, NATURAL STONE, METAL AWNINGS, ALUMINUM TRELLIS, AND METAL COPING.
- D. THE CONFIGURATION AND PLACEMENT OF THE VEHICULAR ACCESS AND CIRCULATION WAS DESIGN TO COMPLEMENT MCDONALD'S STATE-OF-THE-ART DUAL DRIVE-THRU SYSTEM. FULL MOVEMENT INGRESS/EGRESS (PRIMARY) FROM W. EISENHOWER BOULEVARD IS PROVIDED AT THE EASTERN MOST DRIVEWAY, WHILE LEFT/RIGHT-OUT ONLY EGRESS IS PROVIDED TO W. EISENHOWER BOULEVARD AT THE WESTERN MOST DRIVEWAY. FURTHER, FULL MOVEMENT (SECONDARY) INGRESS/EGRESS IS PROVIDED TO W. 15TH STREET AND CROSS-ACCESS IS PROVIDED TO THE COMMERCIAL USE TO THE WEST AT THE NORTHWEST CORNER. A NEW PEDESTRIAN SIDEWALK CONNECTION TO THE PLANNED DETACHED SIDEWALK ALONG W. EISENHOWER BOULEVARD WILL PROVIDE DIRECT PEDESTRIAN ACCESS TO THE FACILITY.
- E. ADEQUATE PARKING (50 SPACES, INCLUDING TWO HANDICAP ACCESSIBLE SPACES) IS PROVIDED IN FRONT (EAST) OF THE BUILDING IN A 90° CONFIGURATION. LONG ROWS OF PARKING (ROWS WITH >15 SPACES IN LINE) ARE "BROKEN UP" WITH THE PLACEMENT OF LANDSCAPE ISLANDS, WHERE APPROPRIATE.
- F. SITE LIGHTING WILL BE ATTAINED WITH THE INSTALLATION OF 15 NEW SINGLE-HEAD (FLAT LENS) LIGHT FIXTURES THAT WILL PROVIDE AN AVERAGE PAVED SURFACE ILLUMINATION OF 2.0FC (MAXIMUM 5.0FC, MINIMUM 0.5FC) AND AN AVERAGE ILLUMINATION OF 1.0FC ALONG THE PROPERTY LINE. PLEASE NOTE THAT COMMERCIAL PROPERTIES EXIST ALONG THE WESTERN PROPERTY LINE AND APPROXIMATELY TWO THIRDS OF THE EASTERN PROPERTY LINE AND AN ELEMENTARY SCHOOL IS IMMEDIATELY OPPOSITE THE SITE ON W. 15TH STREET (NORTH). THE AREA OF GREATEST CONCERN IS THE NORTHEAST CORNER OF THE PROPERTY, WHICH ABUTS A RESIDENTIAL USE. THE ILLUMINATION IN THIS AREA IS INTENTIONALLY SUBDUED AND ADDITIONAL LANDSCAPING IS PLANNED TO MINIMIZE THE LIGHT IMPACT TO THE NEIGHBOR.
- G. IT IS PLANNED THAT THIS FACILITY, AS IT DOES NOW, WILL OPERATE 24-7.
- H. THIS FACILITY WILL OPERATE AS IT DOES TODAY; HOWEVER, IT IS EXPECTED THAT THE EMISSIONS OF AIRBORNE POLLUTANTS MAY BE REDUCED DUE TO THE INHERIT EFFICIENCIES IN THE USE OF THE DUAL DRIVE-THRU SYSTEM (THE DUAL DRIVE-THRU SYSTEM IS APPROXIMATELY 65% MORE EFFICIENT IN GETTING PATRONS THROUGH THE ORDERING, PAYING, PICKUP PROCESS THAN THE SINGLE DRIVE-THRU CONFIGURATION CURRENTLY IN USE AT THIS SITE).

McDONALD'S RESTAURANT MAJOR MODIFICATION TO SPECIAL REVIEW #173

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO

LOCATED AT: 1809 WEST EISENHOWER BOULEVARD

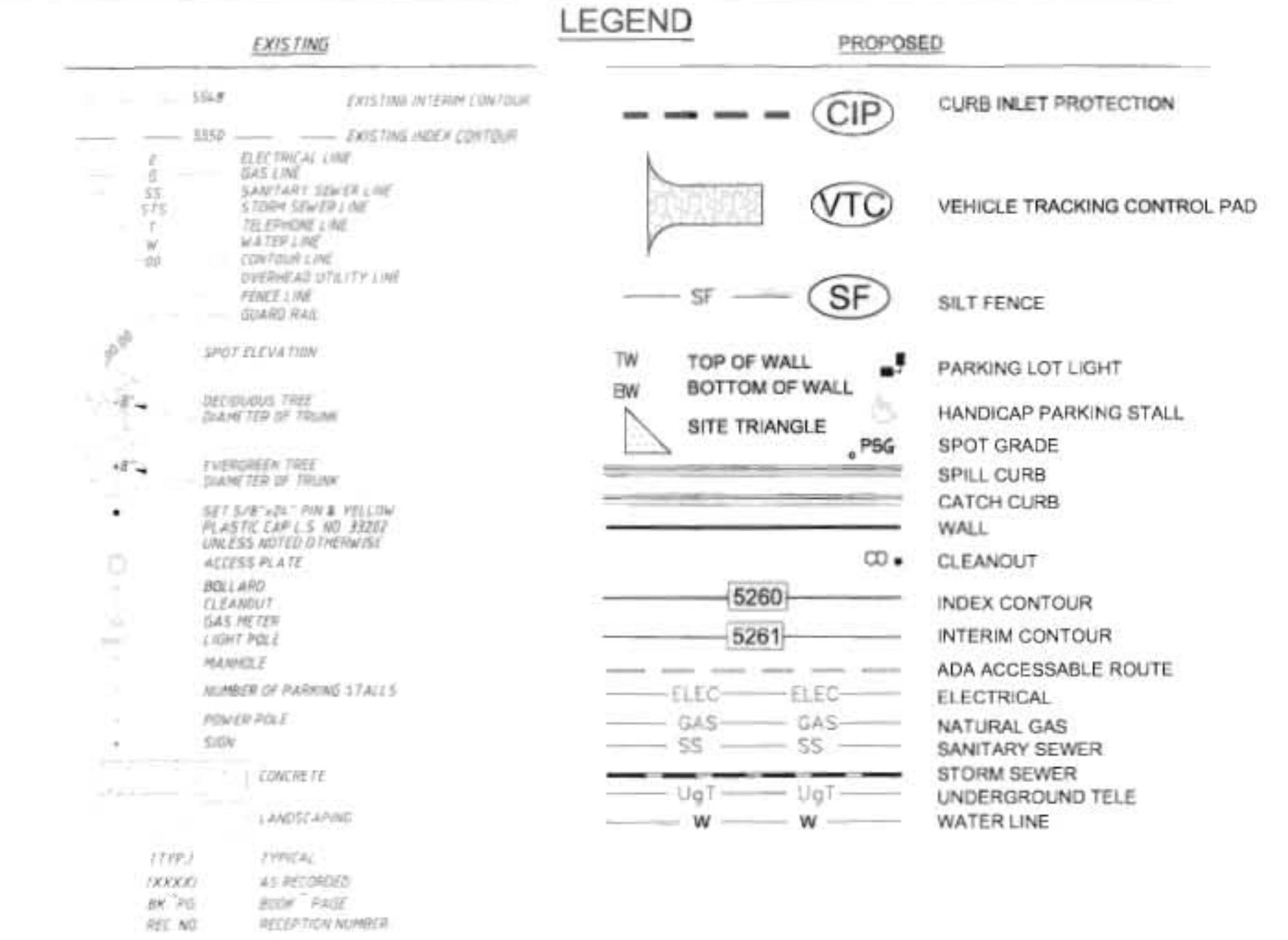


SITE LOCATION MAP



AERIAL SITE LOCATION MAP
STATISTICAL INFORMATION

ZONING	B - DEVELOPING BUSINESS (COMP PLAN DES CC-CORRIDOR COMMERCIAL)
USE	FAST FOOD RESTAURANT
SITE AREA	1.4193 AC (61,824 SF)
BUILDING AREA	4,838 SF (7.6%)
BUILDING HEIGHT	ROOF CAP ELEV. = 23'-4" (ABOVE FINISHED FLOOR)
STRUCTURE GROUND COVERAGE	4,838 SF (7.8%)
ASPHALT GROUND COVERAGE	31,162 SF (50.4%)
CONCRETE PAVEMENT GROUND	8,415 SF (13.6%)
LANDSCAPING	17,409 SF (28.2%)
PARKING COUNT	REQUIRED 50. PROVIDED: 50.
HANDICAP PARKING COUNT	2 (8' VAN ACCESSIBLE) SPACE REQUIRED / 2 SPACES PROVIDED



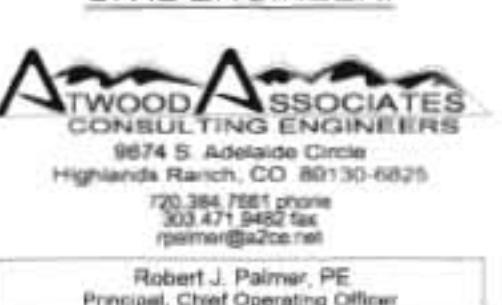
PROJECT CONTACTS

OWNER:



McDONALD'S USA, LLC.
Rocky Mountain Region
5251 DTC Pkwy Ste 300
Greenwood Village, CO 80111-2732
MR. BRENT STEADMAN
Area Construction Manager
Phone: (303) 262-3772 | Fax: (303) 773-6960 | email: brent.steadman@us.mcd.com

CIVIL ENGINEER:



A TWO ASSOCIATES
CONSULTING ENGINEERS
9874 S. Adelais Circle
Highlands Ranch, CO 80130-6825
720.384.7961 phone
303.471.9482 fax
e-mail: info@atwos.net
Robert J. Palmer, PE
Principal, Chief Operating Officer

LANDSCAPE ARCHITECT:



301 Whittier Street
Fort Collins, Colorado 80524
Office: 970-24-7927
e-mail: info@vestadesign.com
Landscape Architecture

SURVEYOR:



Engineering Service Company
1500 South Federal Street, Suite 126
Aurora, Colorado 80012
Phone: (303) 332-1987 Fax: (303) 332-7407
engineering-service.com
Robert J. Palmer, PE
Principal, Chief Operating Officer

LIGHTING ANALYSIS PREPARED BY:



RESTAURANT DEVELOPMENT
RESTAURANT DGN GRP, WESTERN DIV STUDIO
2111 MCDONALD'S DRIVE, PAV
OAK BROOK, IL 60523-1928

THE UNDERSIGNED AGREE THAT THE REAL PROPERTY DESCRIBED IN THE APPLICATION FOR SPECIAL REVIEW FILED HEREWITHE, AND AS SHOWN ON THE SITE PLAN, SHALL BE SUBJECT TO THE REQUIREMENTS OF CHAPTER 18.40 OF THE MUNICIPAL CODE OF THE CITY OF LOVELAND, COLORADO, AND ANY OTHER ORDINANCES OF THE CITY OF LOVELAND PERTAINING THERETO.

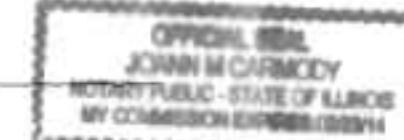
STATE OF COLORADO (Illinois))
COUNTY OF DuPage)
SS

THE FOREGOING AGREEMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF March, 2011

BY John M. Carmody

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES:



NOTARY PUBLIC

PROPERTY OWNER

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McDonald's Corporation, a DE corporation

M. Wells *AP*

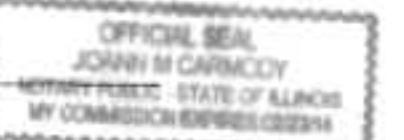
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SS

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BY John M. Carmody

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES:



NOTARY PUBLIC

CURRENT PLANNING MANAGER APPROVAL CERTIFICATE

THIS SPECIAL REVIEW IS APPROVED, SUBJECT TO ALL CONDITIONS SET FORTH HEREIN, BY THE CURRENT PLANNING MANAGER OF THE CITY OF LOVELAND, LARIMER COUNTY, COLORADO, THIS 21st DAY OF MARCH, 2011.

Bob Paulson
CURRENT PLANNING MANAGER

1809 WEST EISENHOWER BOULEVARD

CITY

LOVELAND

COUNTY

LARIMER

STREET ADDRESS

005-0045

OFFICE

02956

ADDRESS

005-0045

REGIONAL PERM

005-0000-54

PERM NO.

005-0000-54

PERM DATE

005-0000-54

PERM EXPIRE

005-0000-54

PERM APPROVAL

005-0000-54

PERM FILE

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LEGAL DESCRIPTION:

PER TITLE COMMITMENT
LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.89W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION; THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2; THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2; THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2; THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT).

BENCHMARK:

CITY OF LOVELAND BM NO. 41 N (LOVELAND'S 1995 LEVEL NET SURVEY). BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

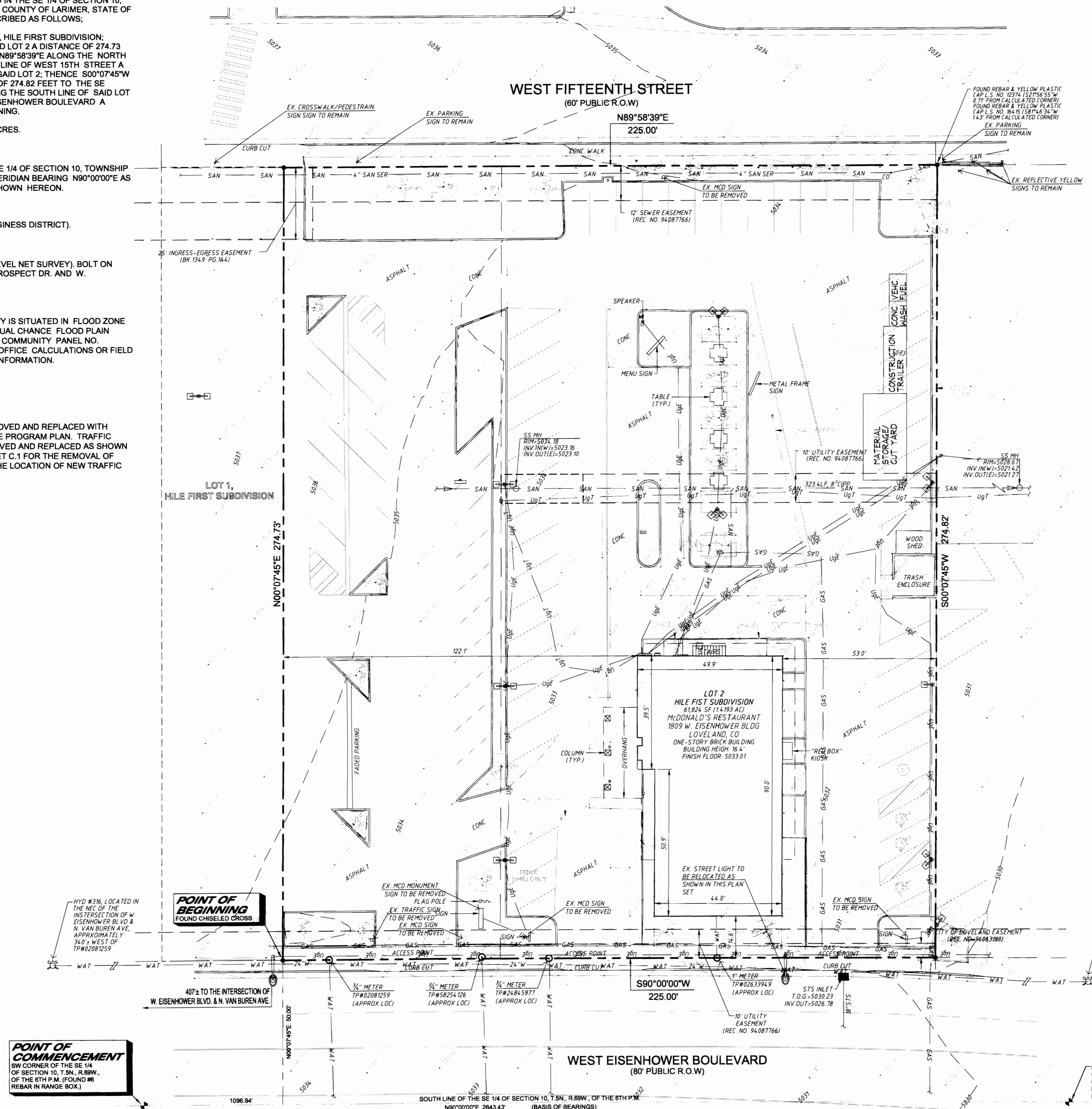
BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE IX. AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1186F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

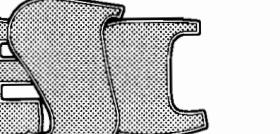
NOTE:

1. ALL ONSITE McDONALD'S SIGNAGE WILL BE REMOVED AND REPLACED WITH SIGNAGE AS SHOWN ON THE SEPERATE SIGNAGE PROGRAM PLAN. TRAFFIC SIGNS WITHIN THE RIGHT OF WAY WILL BE REMOVED AND REPLACED AS SHOWN ON THIS SET OF PLANS. PLEASE REFER TO SHEET C.1 FOR THE REMOVAL OF EXISTING TRAFFIC SIGNS, AND SHEET C.2 FOR THE LOCATION OF NEW TRAFFIC SIGNS.

McDONALD'S RESTAURANT

SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



NO.	DATE	REVISION DESCRIPTION																
CIVIL ENGINEERING CONSULTANT:																		
 Atwood Associates Consulting Engineers 9875 E. 119th Avenue Highlands Ranch, CO 80130-6825 720.384.7681 phone 303.471.9482 fax info@atwoodassociates.com Robert J. Palmer, PE Principal, Chief Operating Officer																		
PROJECT SURVEYOR:																		
 Engineering Service Company 1300 South Potomac Street, Suite 126 Aurora, Colorado 80012 Phone: (303) 337-1381 Fax: (303) 337-7481 engineering-surveyors.com																		
<p>McDonald's These plans and specifications are the property of McDonald's Corporation and shall not be reproduced without their written permission</p> <table border="1"> <tr> <td>STREET ADDRESS</td> <td>1809 WEST EISENHOWER BOULEVARD</td> </tr> <tr> <td>CITY</td> <td>LOVELAND</td> </tr> <tr> <td>STATE/PROV.</td> <td>COLORADO</td> </tr> <tr> <td>COUNTY</td> <td>LARIMER</td> </tr> <tr> <td>REGIONAL DMIC. NO.</td> <td>02956</td> </tr> <tr> <td>NATIONAL DMIC. NO.</td> <td>005-0045</td> </tr> <tr> <td>OFFICE</td> <td>DENVER REGION</td> </tr> <tr> <td>ADDRESS</td> <td>5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111</td> </tr> </table> <p>SCALE: 1"=20'</p> <p>DATE: 12/15/2010</p> <p>DESIGNED BY: CB</p> <p>DRAWN BY: CB</p> <p>FILE NAME: CURRENT.DWG</p> <p>CHECKED BY: CB</p> <p>DRAWING TITLE: A20E IN 10-0002-54</p>			STREET ADDRESS	1809 WEST EISENHOWER BOULEVARD	CITY	LOVELAND	STATE/PROV.	COLORADO	COUNTY	LARIMER	REGIONAL DMIC. NO.	02956	NATIONAL DMIC. NO.	005-0045	OFFICE	DENVER REGION	ADDRESS	5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111
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BENCHMARK:

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FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08089C1186F LAST REVISED DECEMBER 19, 2006. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

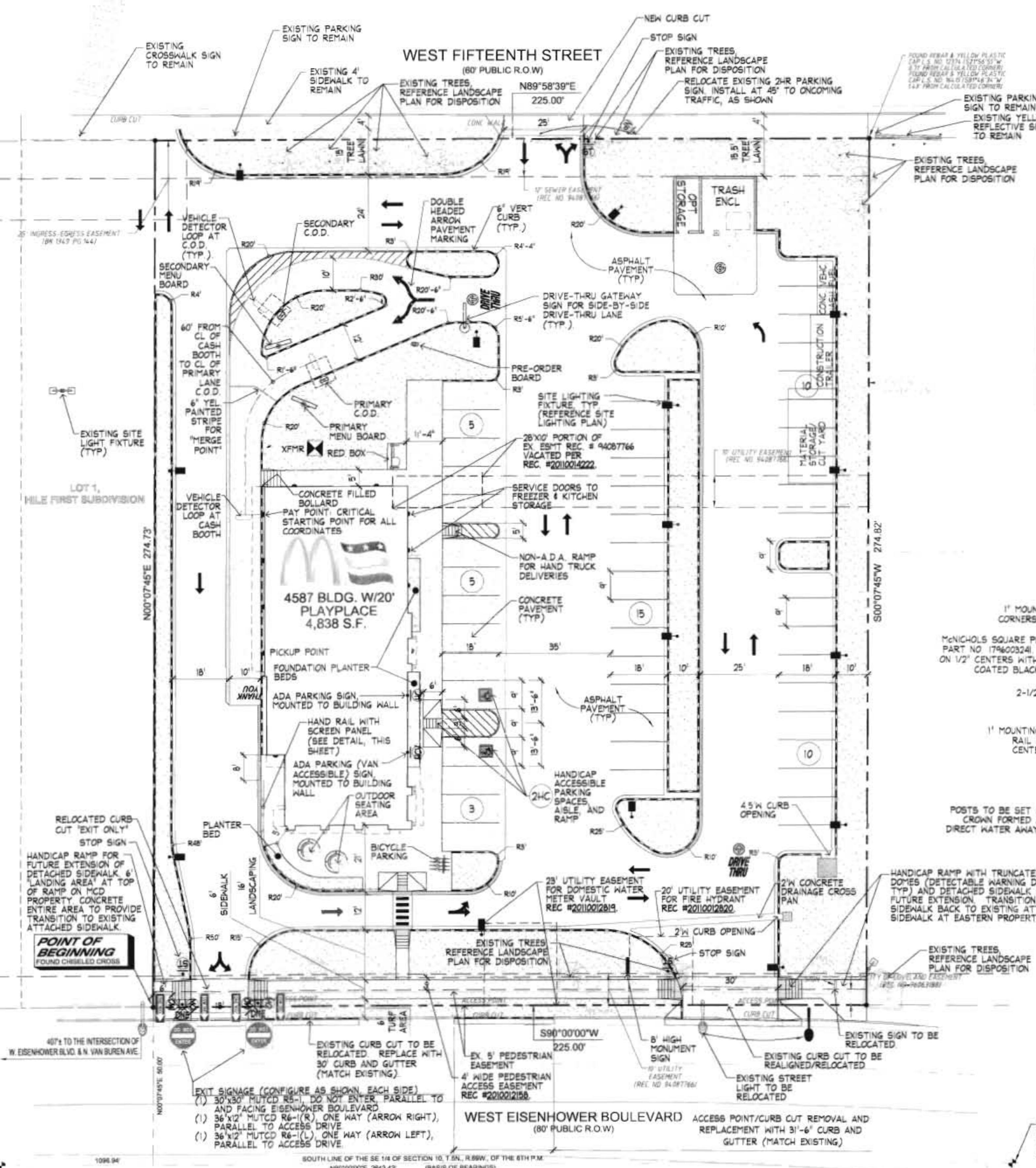
SITE PLAN NOTES

1. ALL DIMENSIONS AND RADII ARE TO THE FACE (FOR 6" REVEAL CURB OR FLOWLINE (FOR CURB & GUTTER) UNLESS OTHERWISE NOTED)
2. PARKING SPACE STRIPING TO BE WHITE, 4" WIDE, UNLESS OTHERWISE NOTED
3. LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
4. CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER TO BE REMOVED (IF APPLICABLE) SHALL BE SAWCUT, CONTRACTOR SHALL REMOVE TO NEXT JOINT IF SAWCUT IS WITHIN 5 FOOT OF A JOINT
5. THE PARKING AREAS AND ACCESS DRIVES SHALL CONSIST OF A FLEXIBLE COMPOSITE PAVEMENT SECTION OF SIX-INCHES OF ASPHALT OVER FOUR-INCHES OF AGGREGATE BASE COURSE (REFERENCE: SOILS REPORT). AT A MINIMUM, THE PAVEMENT SHALL BE DESIGNED TO SUPPORT THE WEIGHT IMPOSED BY FIRE APPARATUS (24 TON, 2 AXLES, 34 TON, 3 AXLES)
6. THE DRIVE THRU, LOADING AREA, AND TRASH DUMPSTER AREA SHALL CONSIST OF A PORTLAND CEMENT CONCRETE PAVEMENT WITH A MINIMUM THICKNESS OF EIGHT (8) INCHES (UNLESS OTHERWISE NOTED) WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, REINFORCED WITH #4 BARS, 16" O.C.B.M. IN CENTER OF SLAB, USE 3/8" CHAIRS AT 48"
7. ALL HANDICAP RAMPS TO INCLUDE DETECTABLE WARNING PANELS.

McDONALD'S RESTAURANT

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LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



SITE PLAN LEGEND

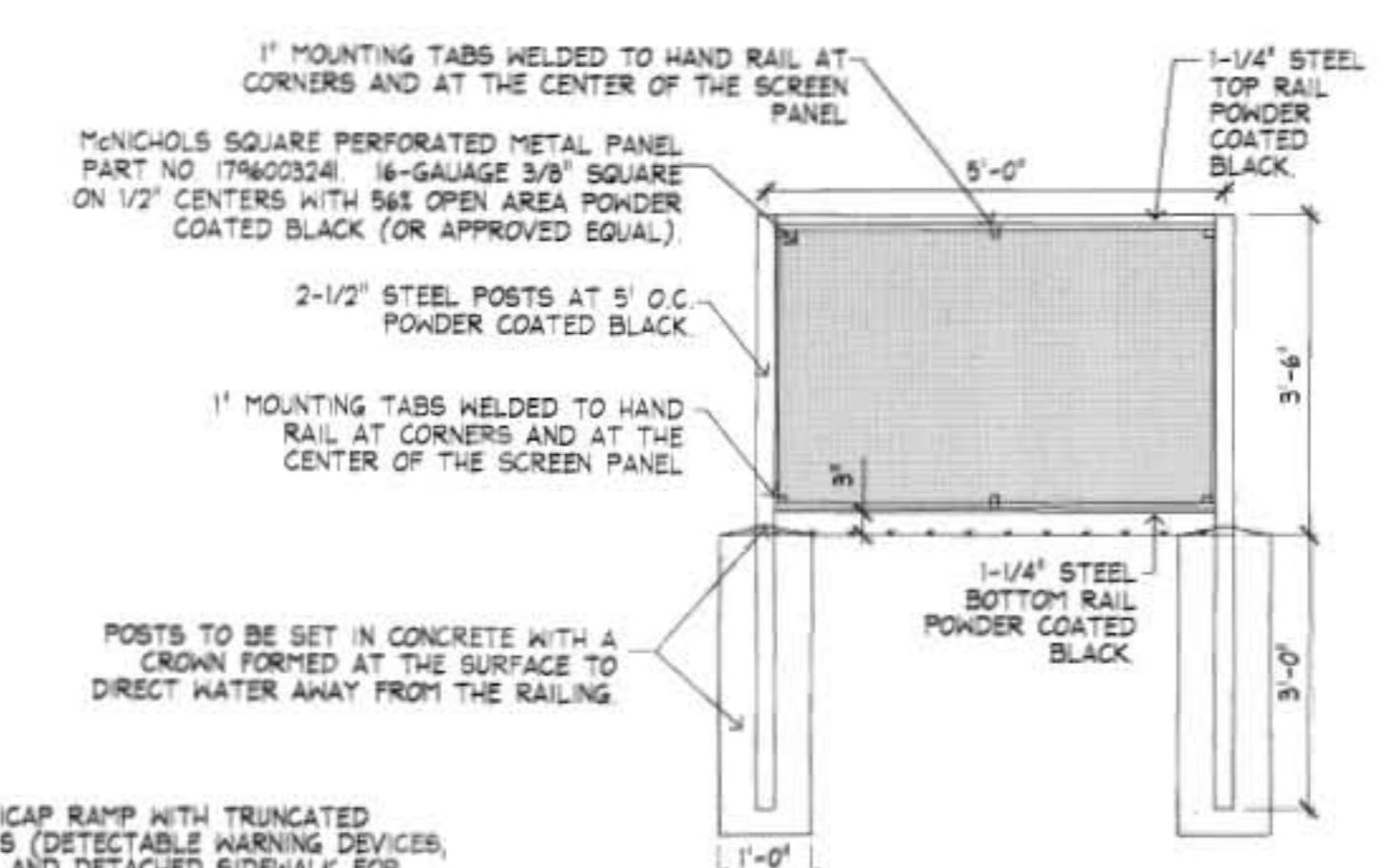
- SITE PROPERTY LINE (WITH METES & BOUNDS NOTED)
- ADJACENT PARCEL PROPERTY LINE
- EXISTING CURBLINE
- PROPOSED 6' CURBLINE W/1' CATCH PAN GUTTER, UNLESS OTHERWISE NOTED
- PROPOSED 6' CURBLINE W/1' SPILL PAN GUTTER, UNLESS OTHERWISE NOTED
- PROPOSED CONCRETE PAVEMENT
- PROPOSED OVERHEAD ROOF/CANOPY LINE
- PROPOSED BUILDING LINE

NO.	DATE	REVISION DESCRIPTION
CIVIL ENGINEERING CONSULTANT		
Amwood Associates Consulting Engineers 9674 S. Adelaine Circle Highlands Ranch, CO 80130-6825 720.384.7800 fax 720.384.7805 robert.j.palmer@amwood.net		
Robert J. Palmer, PE Principal, Chief Operating Officer		

ON-SITE PARKING DATA

BUILDING AREA	4,717 SF
PATIO AREA	200 SF
PARKING RATIO	1 SP / 100 SF (BLDG & PATIO)
PARKING REQUIRED	50 SPACES
PARKING PROVIDED	50 SPACES (TOTAL)
HANDICAP ACCESSIBLE	2 SPACES
BICYCLE PARKING RATIO	2 / 25 MOTOR VEHICLE SPACES
BICYCLE PARKING REQUIRED	4 SPACES
BICYCLE PARKING PROVIDED	4 SPACES (RACK)

PROPOSED LANDSCAPING
PROPOSED CONCRETE



HAND RAIL W/ SCREEN PANEL DETAIL

STREET ADDRESS	1809 WEST EISENHOWER BOULEVARD
CITY	LOVELAND
STATE	COLORADO
ZIP CODE	80545
OFFICE ADDRESS	5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111
FILE NAME	CURRENT.DWG
DESIGNER	WAB
DRAWN BY	AC
CHECKED BY	RJP
CREATING DATE	12/15/2010
SCALE	1"=20'
FILE NO.	MD-0045
DATE	12/15/2010
DESIGNED BY	WAB
DRAWN BY	AC
CHECKED BY	RJP
CREATING DATE	12/15/2010
SCALE	1"=20'
FILE NO.	MD-0045
DATE	12/15/2010
DESIGNED BY	WAB
DRAWN BY	AC
CHECKED BY	RJP
CREATING DATE	12/15/2010
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DRAWN BY	AC
CHECKED BY	RJP
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SCALE	1"=20'
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CREATING DATE	12/15/2010
SCALE	1"=20'
FILE NO.</	

LEGAL DESCRIPTION:

PER TITLE COMMITMENT
LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N., R.68W. OF THE 6TH P.M. CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, THENCE N00°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2, THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2, THENCE S00°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2, THENCE S89°00'00"E ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 68 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT).

BENCHMARK:

CITY OF LOVELAND BM NO. 41 (LOVELAND'S 1995 LEVEL NET SURVEY) N. BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

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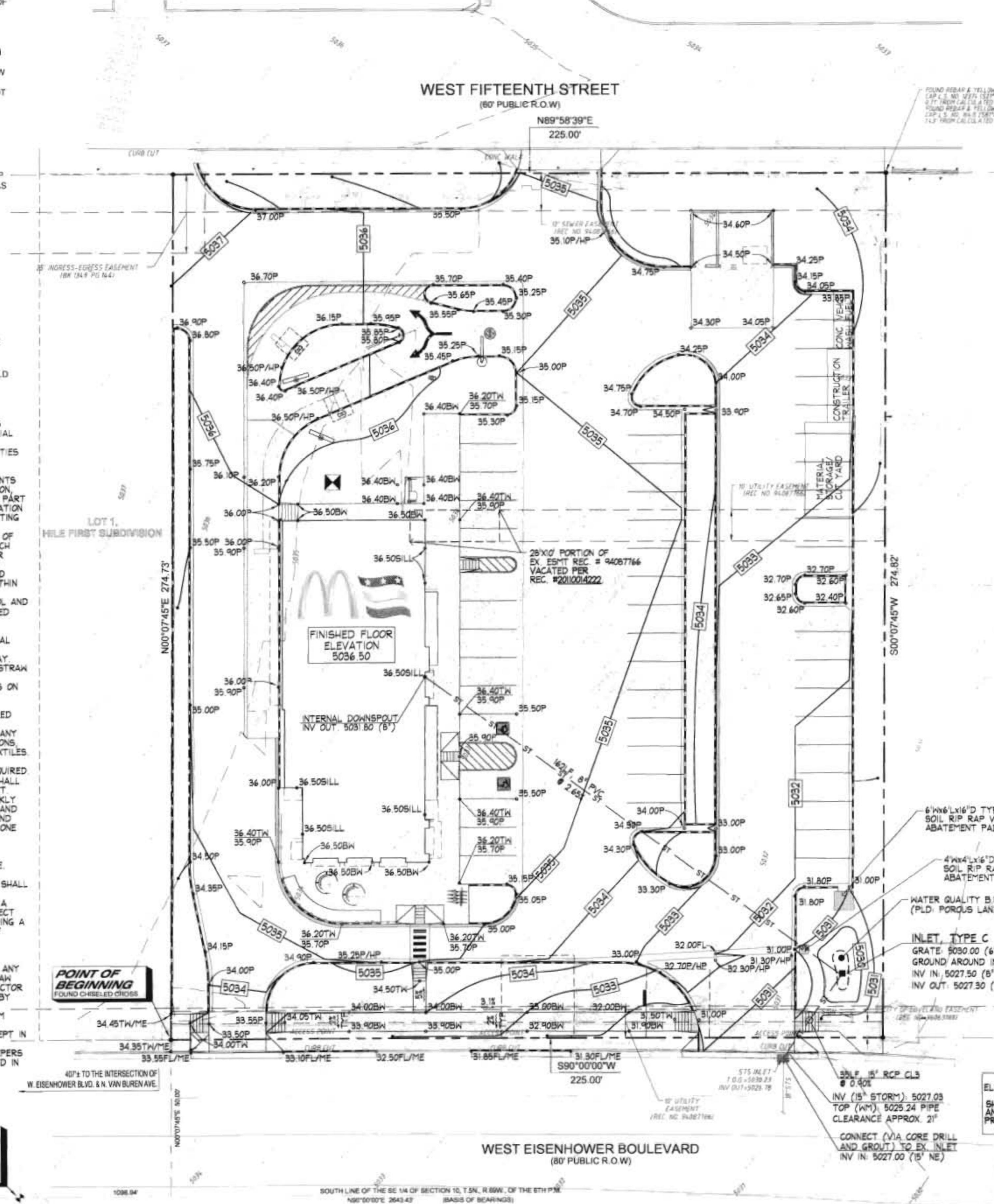
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STANDARD NOTES FOR WATER QUALITY/NPDES

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATED IN THE FLOWLINES AND PUBLIC RIGHTS-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL PREVENT SEDIMENT DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, DREDGING, OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO NEARBY WATERWAYS, WETLANDS, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- A LAYER OF SUITABLE MULCH SHALL BE APPLIED TO ALL DISTURBED PORTIONS OF THE SITE WITHIN 14 DAYS OF THE COMPLETION OF OVERLOT GRADING. SAID MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE AND SHALL BE TACKED OR FASTENED BY AN APPROVED METHOD SUITABLE FOR THE TYPE OF MULCH USED. ROUGH-CUT STREETS SHALL BE MULCHED UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN THE 14-DAY PERIOD AFTER COMPLETION OF OVERLOT GRADING.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY 'BEST MANAGEMENT PRACTICES' AS INDICATED IN THE APPROVED CONSTRUCTION ACTIVITIES STORMWATER MANAGEMENT PLAN.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS-OF-WAY.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW BALES, OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED. THE USE OF OSHA APPROVED COLORED WARNING CAPS ON REBAR OR FENCE POSTS USED WITH EROSION CONTROL MEASURES IS NOT ACCEPTABLE.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATIONS, CHEMICAL SOIL STABILIZER APPLICATION, OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL 'BEST MANAGEMENT PRACTICES' SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMP'S WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BIN WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BIN, OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES.
- WATER USED IN THE CLEANING OF CEMENT TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE IS TO BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PREDEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES. THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED.
- THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE STORM SEWER SYSTEM IS PROHIBITED.
- PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACED OR DISCHARGED ON TO THEM. EITHER SHEEPING BY HAND OR USE OF STREET SHEEPERS IS ACCEPTABLE. STREET SHEEPERS USING WATER WHILE SHEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.

McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 68 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD

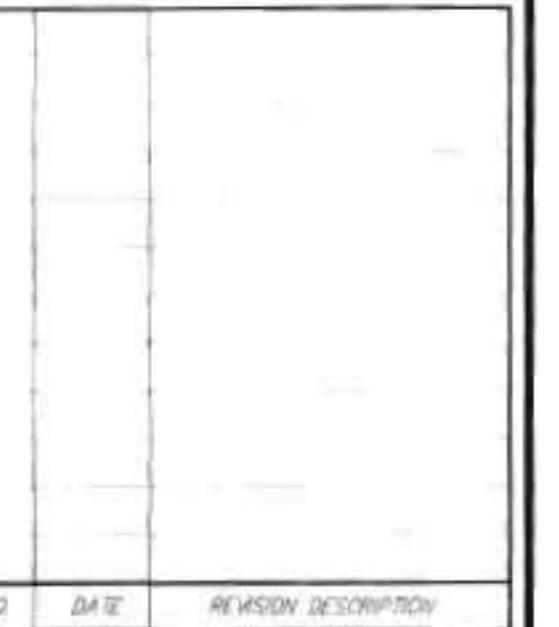


GRADING & DRAINAGE LEGEND

5811	EXISTING CONTOUR (1' INTERVAL)
5803	PROPOSED CONTOUR
+5808 50P	PROPOSED SPOT GRADE - PAVEMENT
+5808 50TW	PROPOSED SPOT GRADE - TOP OF WALK
+5808 5G	PROPOSED SPOT GRADE - GROUND
+5808 50ME	PROPOSED SPOT GRADE - MATCH EXISTING
→	APPROXIMATE DIRECTION OF OVERLAND FLOW
24° ADP	EXISTING STORM DRAIN WITH PIPE SIZE & TYPE NOTED
57	EXISTING STORM INLET
□	EXISTING STORM MANHOLE

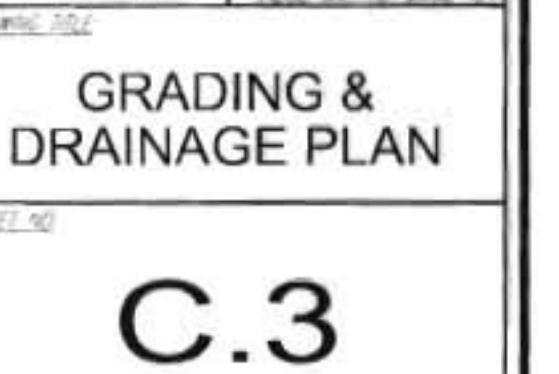
GRADING & DRAINAGE NOTES

- REFER TO SITE LAYOUT PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
- LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. USE WHATEVER MEANS NECESSARY INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILT FENCES. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE BY THE OWNER AND/OR THE CITY OF LOVELAND. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSING OF SEDIMENT ON THE OWNER AND THE CITY OF LOVELAND MAY AT THEIR OWN OPTION DIRECT THE CONTRACTOR IN THESE METHODS. ANY DEPOSING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT, STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN. STORM AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF LOVELAND AT THE EXPENSE OF THE CONTRACTOR.
- ALL CURB AND GUTTER ELEVATIONS ARE FLOWLINE UNLESS NOTED OTHERWISE. ALL CURB AND GUTTER IS CATCH UNLESS NOTED OTHERWISE. FINISHED WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE. PROPOSED ELEVATIONS ARE SHOWN TO FINISHED PAVEMENT OR GRADE LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF WALKS AND CURBS. FINISH GRADING IS BY THE GENERAL CONTRACTOR.
- ALL FILL AREAS SHALL BE SCARIFIED EIGHT-INCHES AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. THE LOOSE THICKNESS OF EACH LAYER OF FILL MATERIAL SHALL NOT EXCEED EIGHT-INCHES. AREAS TO BE PAVED SHALL BE SCARIFIED AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM, UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONCRETE SLAB EARTHWORK IS TO BE GRADED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM. CONCRETE SLAB EARTHWORK IS TO TEST ALL EARTHWORK TO INSURE COMPLIANCE WITH SOILS REPORT.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LOVELAND ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR ONE (1) YEAR FROM THE DATE OF CITY ACCEPTANCE. AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LOVELAND.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER / OWNER'S REPRESENTATIVE OF ANY PROBLEM(S) IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
- CURB (HANDICAP ACCESSIBLE) RAMPS ARE TO BE PROVIDED AT INTERSECTIONS, AS SHOWN.
- ALL HANDICAP RAMPS SHALL CONFORM TO THE CITY OF LOVELAND STANDARD DETAILS. 5 FOOT BY 5 FOOT LANDINGS WITH A MAXIMUM GRADE OF 2 PERCENT SHALL BE LOCATED AT THE TOP OF ALL HANDICAP RAMPS.



5811 ADP	5803	005-0045
5803 ADP	02956	02956
5803 ADP	LARIMER	LARIMER
5803 ADP	LOVELAND	LOVELAND
5803 ADP	1809 WEST EISENHOWER BOULEVARD	DEN-37

SCALE: 1"=20'	1"=20'
DATE: 12/15/2010	12/15/2010
DESIGNED BY: WAB	WAB
DRAWN BY: AC	AC
CHECKED BY: RJP	RJP



LEGAL DESCRIPTION:

PER TITLE COMMITMENT
LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS

LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.5N, R.69W., OF THE 6TH P.M., CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES.

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

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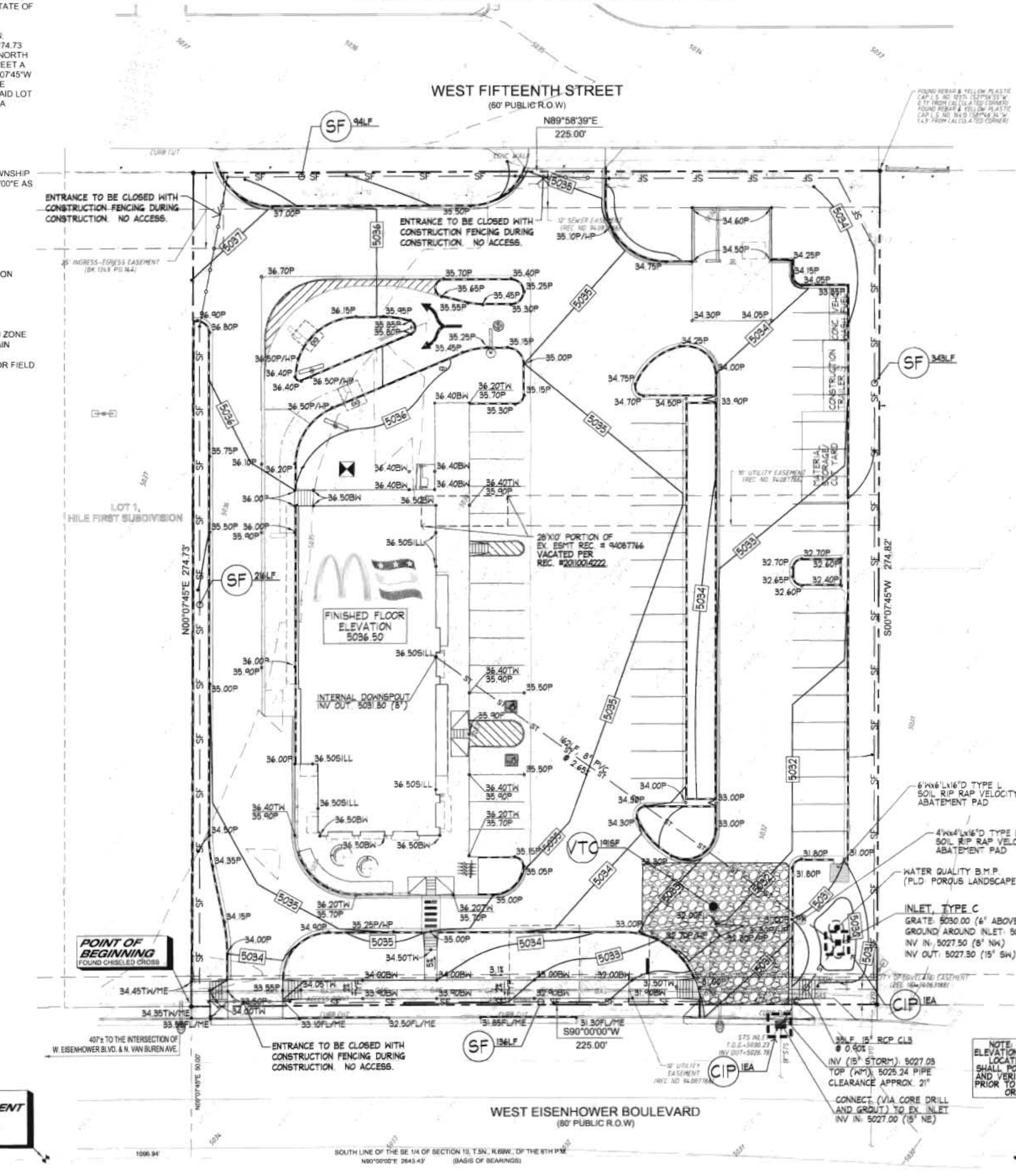
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CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



SEDIMENT/EROSION CONTROL LEGEND

5011	EXISTING CONTOUR (1' INTERVAL)
5003	PROPOSED CONTOUR
+5808 50P	PROPOSED SPOT GRADE - PAVEMENT
+5808 50TW	PROPOSED SPOT GRADE - TOP OF WALK
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→	APPROXIMATE DIRECTION OF OVERLAND FLOW
IN' ADP	EXISTING STORM DRAIN WITH PIPE SIZE & TYPE NOTED
□	EXISTING STORM INLET
○	EXISTING STORM MANHOLE
CIP	CURB INLET PROTECTION
SF	SILT FENCE
VTC	VEHICLE TRACKING CONTROL

NO.	DATE	REVISION DESCRIPTION	
CIV. ENGINEERING CONSULTANT			
Amwood Associates Consulting Engineers 9874 1st Avenue, Suite 200 Highlands Ranch, CO 80126-6825 720.388.7651 phone 303.471.8482 fax amwood@cox.net			
Robert J. Palmer, PE Principal, Chief Operating Officer			
			
McDonald's [®] THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED, MIMICED, OR ANNIHILATED.			
STREET ADDRESS	5251 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111	OFFICE ADDRESS	
CITY	LOVELAND	COUNTY	
MUNICIPALITY	LARIMER	MUNICIPALITY	
STREET ADDRESS	1809 WEST EISENHOWER BOULEVARD	STREET ADDRESS	
CITY	LOVELAND	CITY	
MUNICIPALITY	LARIMER	MUNICIPALITY	
STREET ADDRESS	02956	STREET ADDRESS	
CITY	COLORADO	CITY	
MUNICIPALITY	LARIMER	MUNICIPALITY	
SCALE	1"=20'	SCALE	1"=20'
DATE	12/15/2010	DATE	12/15/2010
DESIGNED BY	WAB	DESIGNED BY	WAB
DRAWN BY	AC	DRAWN BY	AC
CHECKED BY	RJP	CHECKED BY	RJP
FILE NAME	CURRENT.DWG	FILE NAME	CURRENT.DWG
DRAWING TITLE	1809 WEST EISENHOWER BOULEVARD	DRAWING TITLE	1809 WEST EISENHOWER BOULEVARD
NOTE	1"=20'	NOTE	1"=20'
PLAN SCALE	1"=20'	PLAN SCALE	1"=20'
SHEET NO.	005-0045	SHEET NO.	005-0045
SEDIMENT/EROSION CONTROL PLAN			
C.3S-1			



PLAN SCALE: 1" = 20'
IF YOU DIG COLORADO - CALL 1-800-922-1987
CAL J BUSINESS DAY 8:00 AM TO 4:00 PM
EXCAVATOR FOR UTILITY LOCATIONS

1-800-922-1987
CAL J BUSINESS DAY 8:00 AM TO 4:00 PM
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PER TITLE COMMITMENT

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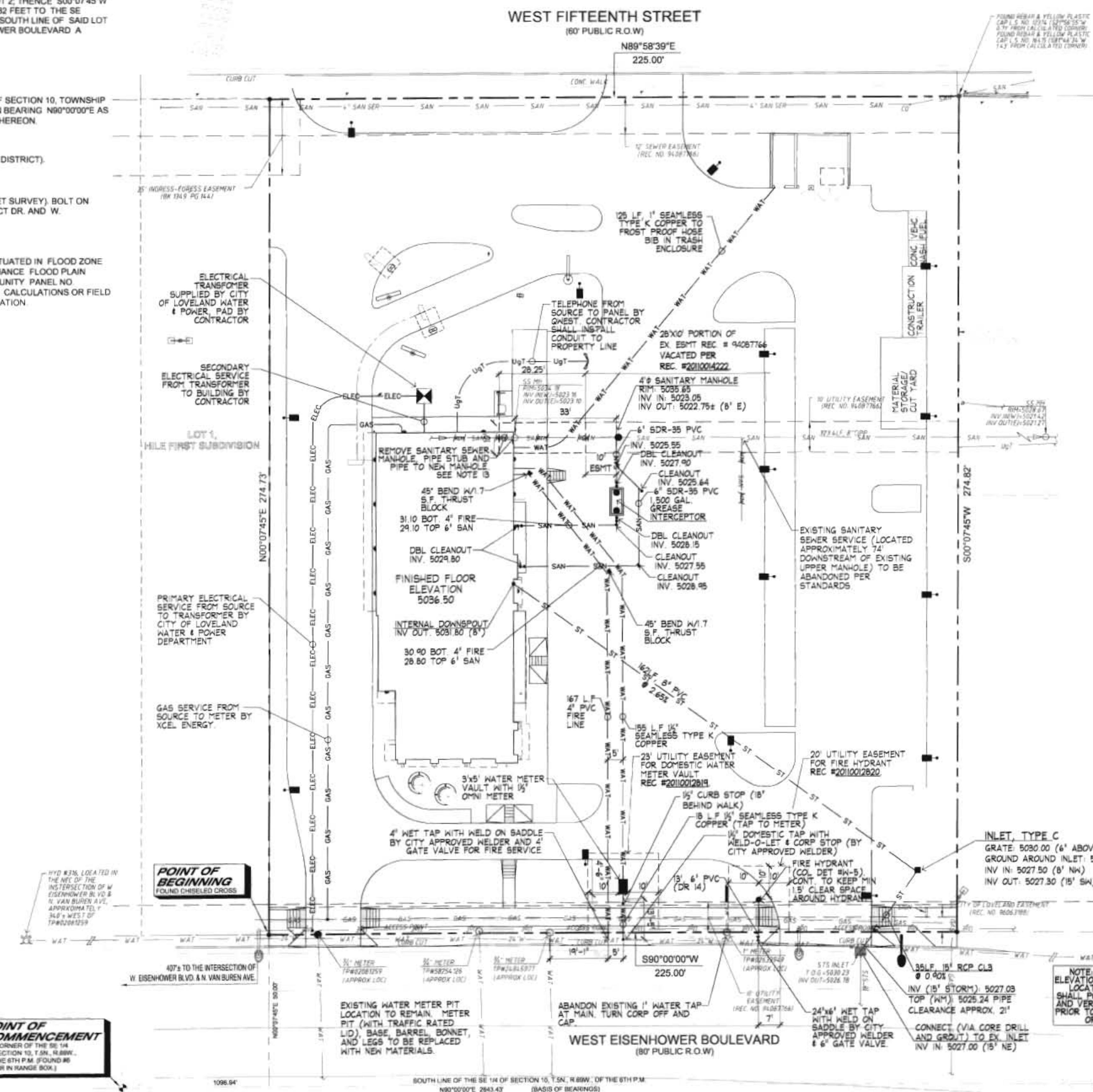
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McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



LEGAL DESCRIPTION:

PER TITLE COMMITMENT
LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, COUNTY OF LARIMER, STATE OF COLORADO.

METES AND BOUNDS
LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, SITUATED IN THE SE 1/4 OF SECTION 10, T.S.N. R.69W., OF THE 6TH PRINCIPAL MERIDIAN, CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 2, BLOCK 1, HILE FIRST SUBDIVISION, THENCE N0°07'45"E ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 274.73 FEET TO THE NW CORNER OF SAID LOT 2, THENCE N89°58'39"E ALONG THE NORTH LINE OF SAID LOT 2 AND ALONG THE SOUTH R.O.W. LINE OF WEST 15TH STREET A DISTANCE OF 225.00 FEET TO THE NE CORNER OF SAID LOT 2, THENCE S0°07'45"W ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 274.82 FEET TO THE SE CORNER OF SAID LOT 2, THENCE S90°00'00"W ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE NORTH R.O.W. LINE OF WEST EISENHOWER BOULEVARD A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS (61,824 SQUARE FEET) 1.4193 ACRES

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N90°00'00"E AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

ZONING INFORMATION:

THIS SITE IS CURRENTLY ZONED: B (DEVELOPING BUSINESS DISTRICT)

BENCHMARK:

CITY OF LOVELAND BM NO. 41 N (LOVELAND'S 1995 LEVEL NET SURVEY) BOLT ON CROWN OF FIRE HYDRANT AT THE NW CORNER OF PROSPECT DR. AND W. EISENHOWER BLVD. ELEVATION: 5029.16 FEET

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08069C1186F LAST REVISED DECEMBER 19, 2008. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

SQUARE STRAIGHT STEEL POLES

Specifications

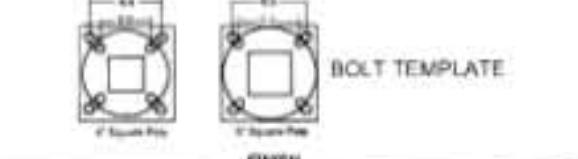
SSP SERIES
• Square straight steel shaft
• One piece construction
• 2x3 O.D. square, or factory-rolled
• 1/2" thick wall
• Ground lag standard (5/8" 16
• Steel base plate

ORDERING INFORMATION

Pole Catalog Number	Height (ft)	Blowoff Rating	Wind Loading (lb/ft)	Blowoff Rating	Blowoff Rating	Base Square	Anchor Bolt Size	Suggested Bolt Circle	Base Circle Range	Non Projection	Pole Weight (lbs)
11 GAUGE											
SSP-4119-XXX-XX	16	11.5	6	3	4"	10.25"	1/2"	10.5"	8"	4"	147
SSP-4215-XXX-XX	25	5	15	4"	10.25"	10.5"	1/2"	10.5"	8"	4"	238
SSP-5125-XXX-XX	25	10.5	4	5"	12"	11"	1/2"	10.5"	13.5"	4"	231
7 GAUGE											
SSP-4725-XXX-XX	25	10	4.50	14	4"	11"	1/2"	10.5"	12"	4"	266
SSP-5722-XXX-XX	22	20	11	6	5"	12"	1"	10.5"	13.5"	4"	263
SSP-5728-XXX-XX	28	15.4	7.4	35	5"	12"	1"	10.5"	13.5"	4"	340
SSP-5730-XXX-XX	30	12	4.5	5"	12"	11"	1/2"	10.5"	13.5"	4"	398

CATALOG LOGIC

SAMPLE CATALOG NUMBER	SSP X XX X X X X
SSP-26-#45P	SSP-26-#45P



POLE TYPE

SSP

Square Straight Steel

SHFT SIZE SQUARE

4"

5.5"

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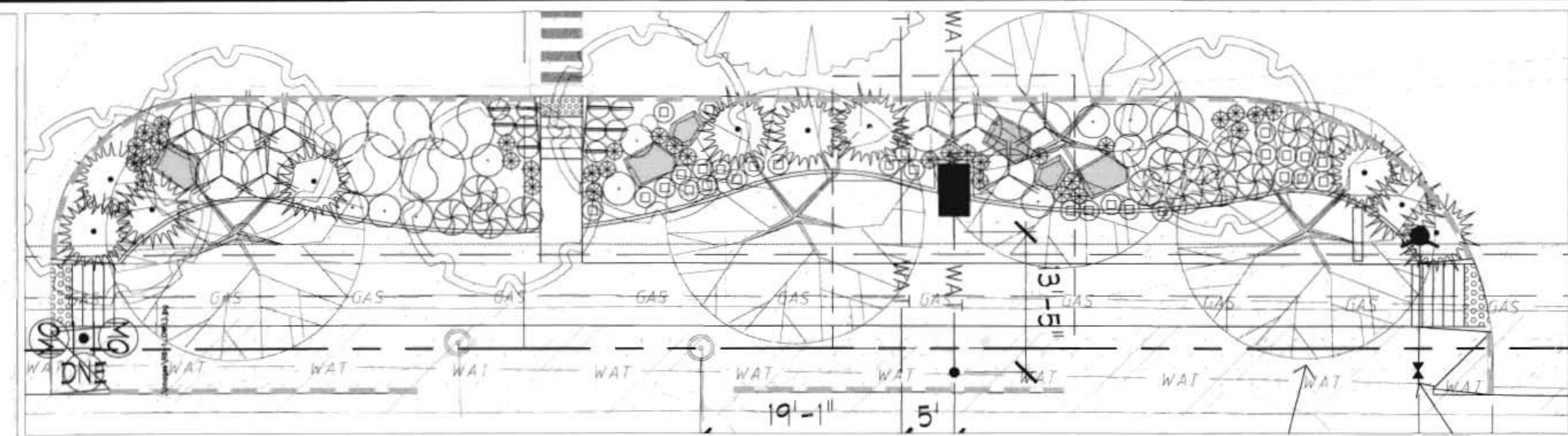
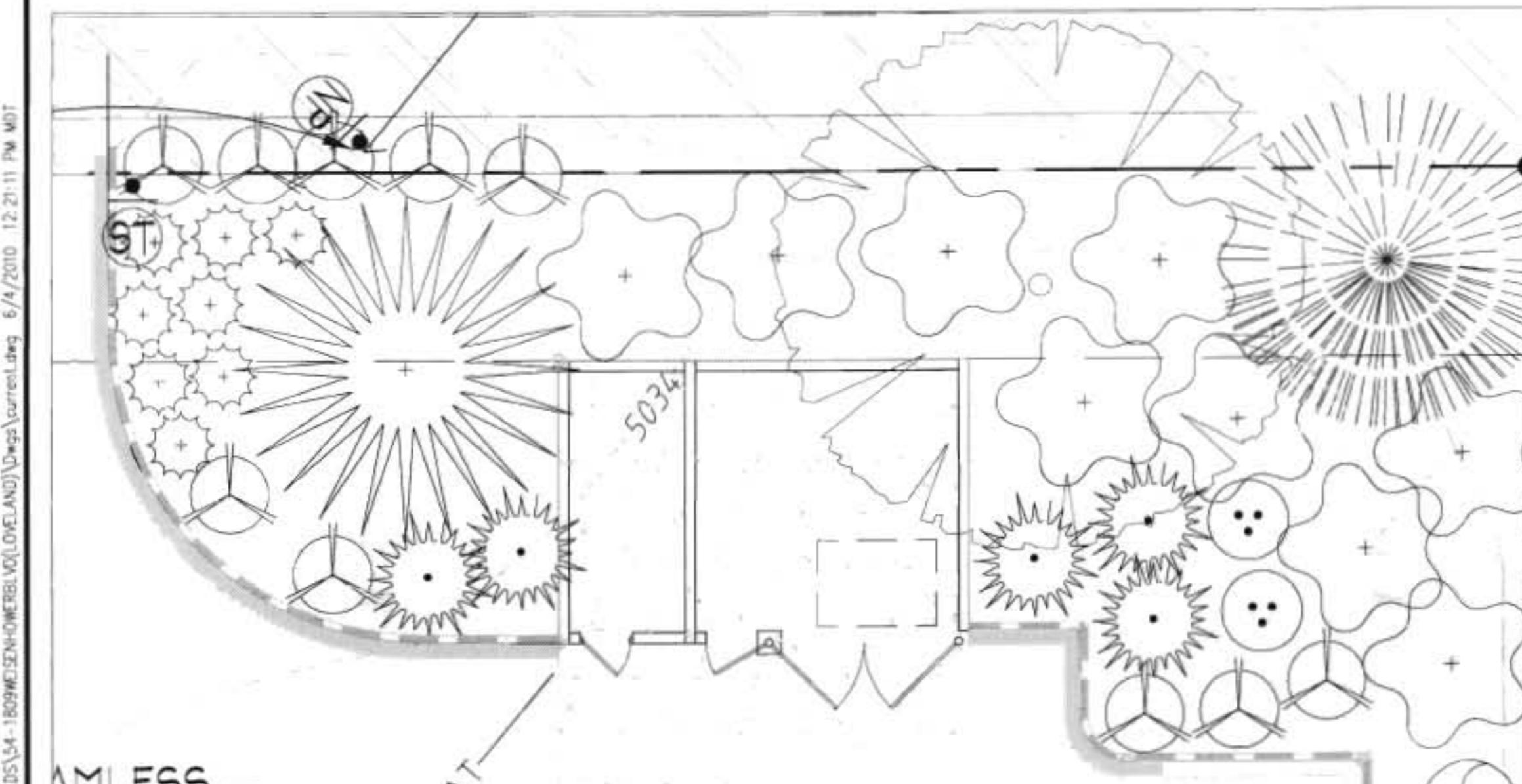
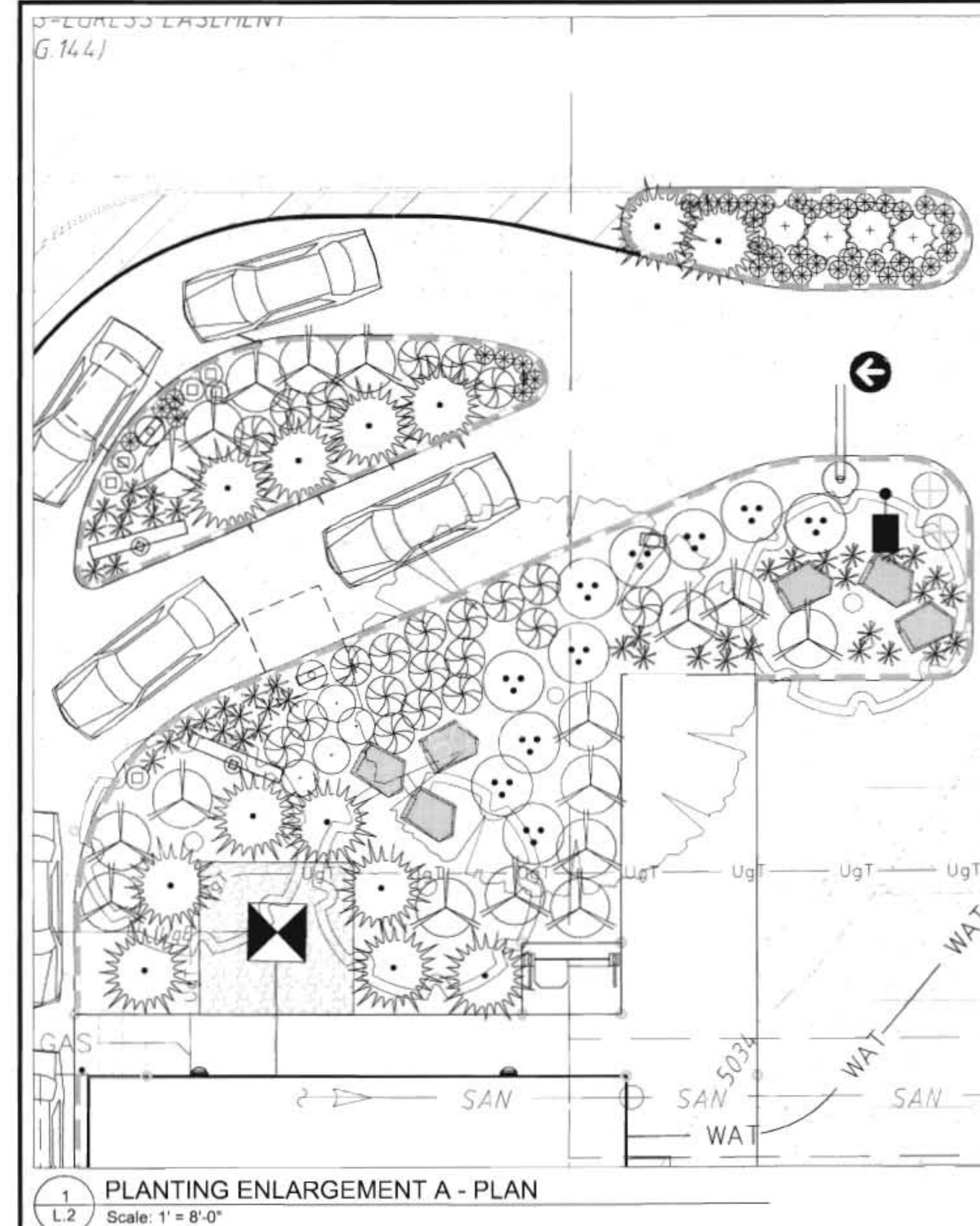
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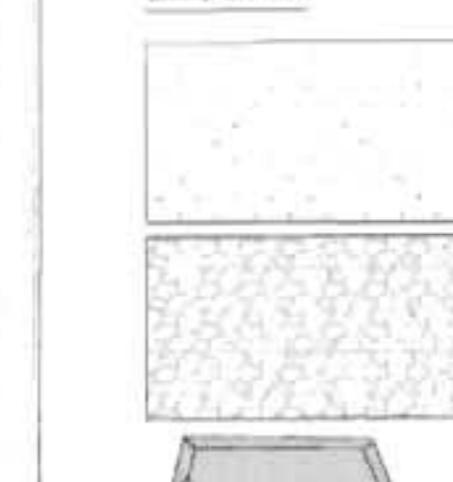
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PLANTING ENLARGEMENT B - PLAN

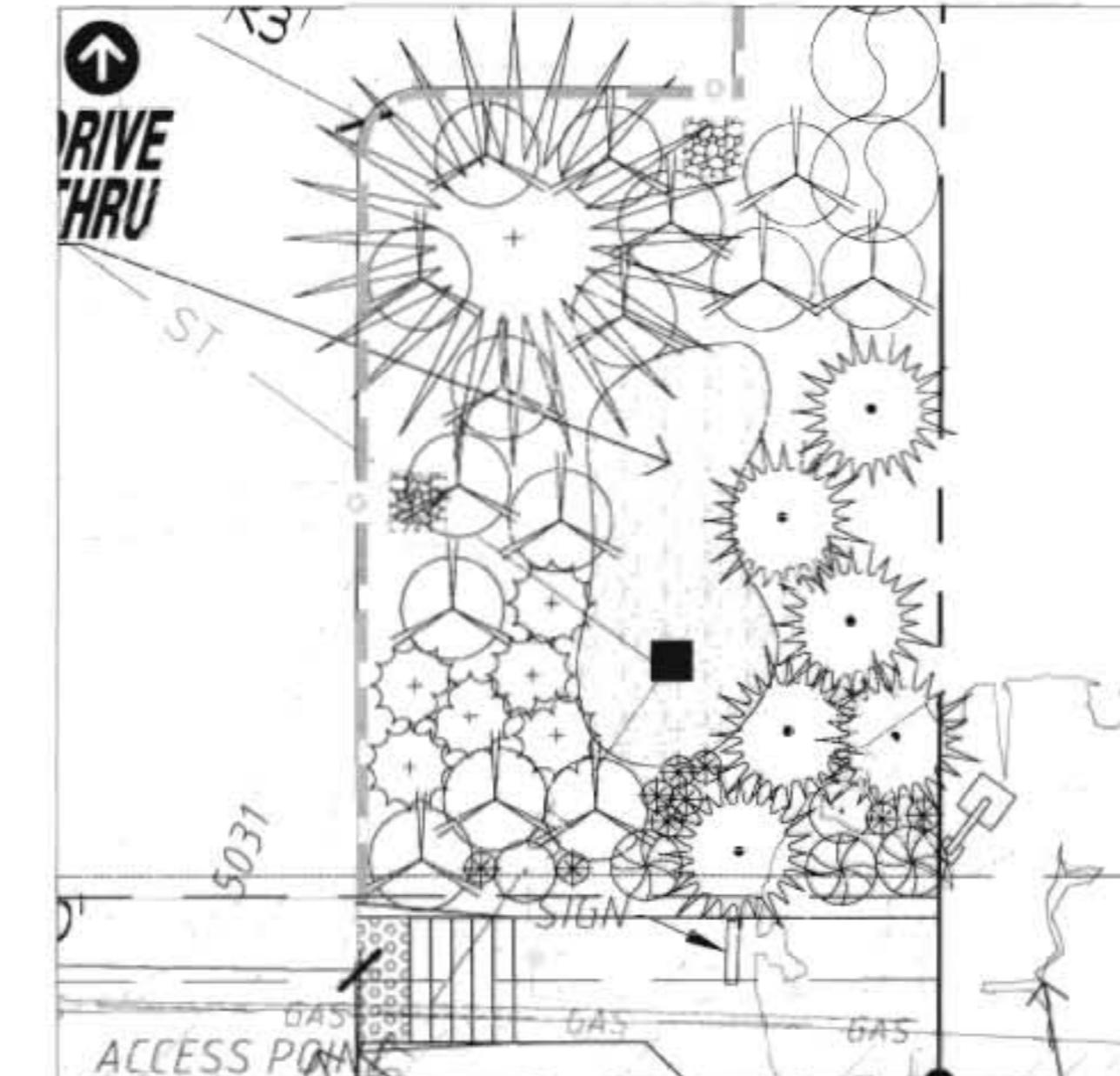
LEGEND



BLUE GRASS SOD SEE SPEC.
FOR DETAILS

WASHED RIVER ROCK MULCH:
2" MINUS, 3" DEEP OVER WEED
BARRIER FABRIC

LANDSCAPE BOULDERS (23): MIN. SIZE 4 FEET LONG X 3
FEET WIDE X 2 1/2 FEET HIGH, SUNRISE BROWNSTONE,
STONE WHOLESALE, 4717 WEST LAKEVIEW DR., PORT
COLLINS, CO, 80526, 970-221-0057, SEE DETAIL
A/L.2 FOR CORRECT PLACEMENT.



PLANT LIST

SYM.	ABBR.	QTY.	COMMON NAME	SIZE/REMARKS
SHADE TREES				
	SML	11	SHADEMASTER HONEY LOCUST <i>Gleditsia triacanthos intermedia</i> Shademaster®	3 1/2" CAL (U.N.O.), WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
FLOWERING/ACCENT TREES				
	SSL	4	STERLING SILVER LINDEN <i>Tilia tomentosa</i> 'Sterling'	3 1/2" CAL (U.N.O.), WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
EVERGREENS				
	BC	5	BRANDYWINE CARBAPPLE <i>Malus 'Brandywine'</i>	10-12' SINGLE STEM FULL & WELL BRANCHED
SHRUBS				
	AP	2	AUSTRIAN PINE <i>Pinus nigra</i>	12-14' HT., B&B FULL & WELL BRANCHED
	SMP	34	SLOWWOUND MUGO PINE <i>Pinus mugo</i> 'Slowwound'	18-24" HT., 3-5 GAL CONT., FULL & WELL BRANCHED
	WBU	30	WICHITA BLUE JUNIPER <i>Juniperus scopulorum</i> 'Wichita Blue'	2-3 HT., 3-5 GAL CONT., FULL & WELL BRANCHED
	TBJ	10	TABLE TOP BLUE JUNIPER <i>Juniperus scopulorum</i> 'Table Top Blue'	4-6 HT., #10 GAL CONT., FULL & WELL BRANCHED
PERENNIALS				
	SMO	48	SNOWBELLE MOCK ORANGE <i>Philadelphus 'Snowbelle'</i>	24"-36" HT., 3-5 GAL CONT., FULL & WELL BRANCHED
	PBW5	60	PAWNEE BUTTER W. SANDCHERRY <i>Prunus besseyi</i> 'Pawnee Butter'	9-12", 5 GAL CONT., FULL & WELL BRANCHED
	MBM	54	MOCK BERRRY MANZANITA <i>Arctostaphylos</i> × <i>coloradoensis</i> Mock Berry	9-12", 5 GAL CONT., FULL & WELL BRANCHED
	CWR	10	CAREFREE WONDER ROSE <i>Rosa 'Carefree Wonder'</i>	2-3, 5 GAL CONT., FULL & WELL BRANCHED
	CC	50	CRANBERRY COTONEASTER <i>Cotoneaster apiculatus</i>	12"-18" HT., 3-5 GAL CONT., FULL & WELL BRANCHED
	CP	48	CHEYENNE PRIVET <i>Ligustrum vulgare</i> 'Cheyenne'	18"-24" HT., 3-5 GAL CONT., FULL & WELL BRANCHED
ANNUALS				
	VFRG	46	DWARF FOUNTAIN GRASS <i>Pennisetum alopecuroides</i> 'Hameln'	8"-12" HT., 1 GAL CONT., FULL & WELL BRANCHED
	BOG	102	BLUE OAT GRASS <i>Helictotrichon sempervirens</i>	8"-12" HT., 1 GAL CONT., FULL & WELL BRANCHED
	PG	7	PLUME GRASS <i>Saccharum ravennae</i>	8"-12" HT., 1 GAL CONT., FULL & WELL BRANCHED
	MS	14	MOJAVE SAGE <i>Salvia Epling ex Munz'</i>	8"-12" HT., 1 GAL CONT., FULL & WELL BRANCHED
	BES	49	BLACK-EYED SUSAN <i>Rudbeckia fulgida</i> 'Goldstrum'	8"-12" HT., 1 GAL CONT., FULL & WELL BRANCHED



1	02/04	General Revision per Bldg Permit Review Comments
NO.	DATE	REVISION DESCRIPTION
PROJECT LANDSCAPE ARCHITECT:		
Vesta Design		
311 Whistler Street Fort Collins, Colorado 80524 Office: 970-214-1827 e-mail: samvah@cyberbole.net Landscape Architecture		

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF NATIONAL'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION	
OFFICE	DENVER REGION
ADDRESS	5281 DTC PARKWAY, SUITE 300, ENGLEWOOD, COLORADO 80111

STREET ADDRESS	1809 WEST EISENHOWER BOULEVARD
OFF	LOVELAND
STATE/STATE OF	COLORADO
COUNTY	LARIMER
NEIGHBORHOOD/AC	DEN-37
SCALE	005-0045
02956	02956
DATE	12/15/2010
DESIGNED BY	T.W.
DRAWN BY	T.W.
CHECKED BY	T.W.
DRAWING TITLE	LANDSCAPING PLAN
SHEET NO.	L.2

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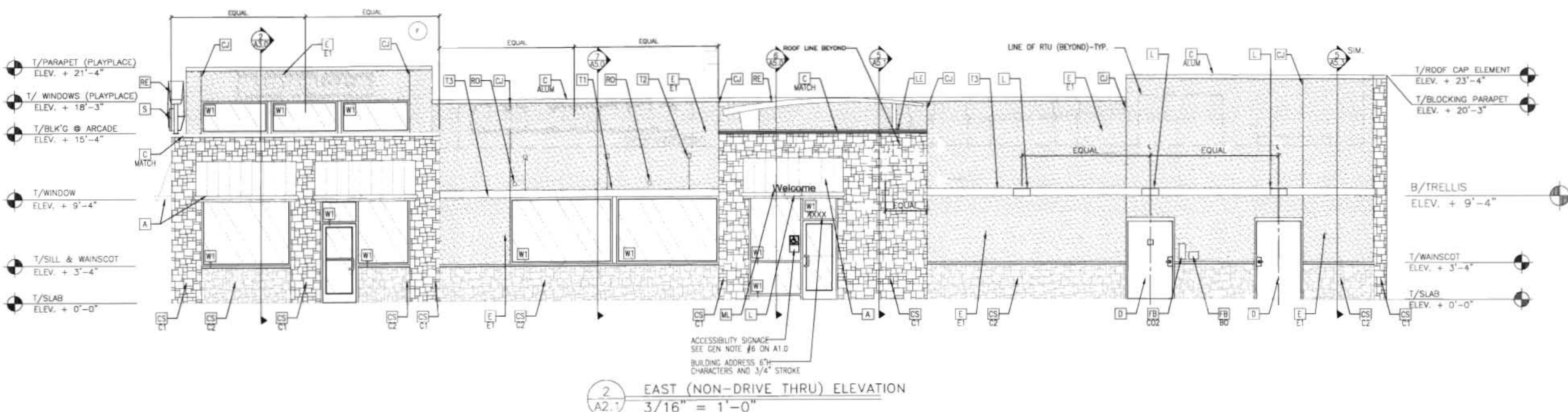
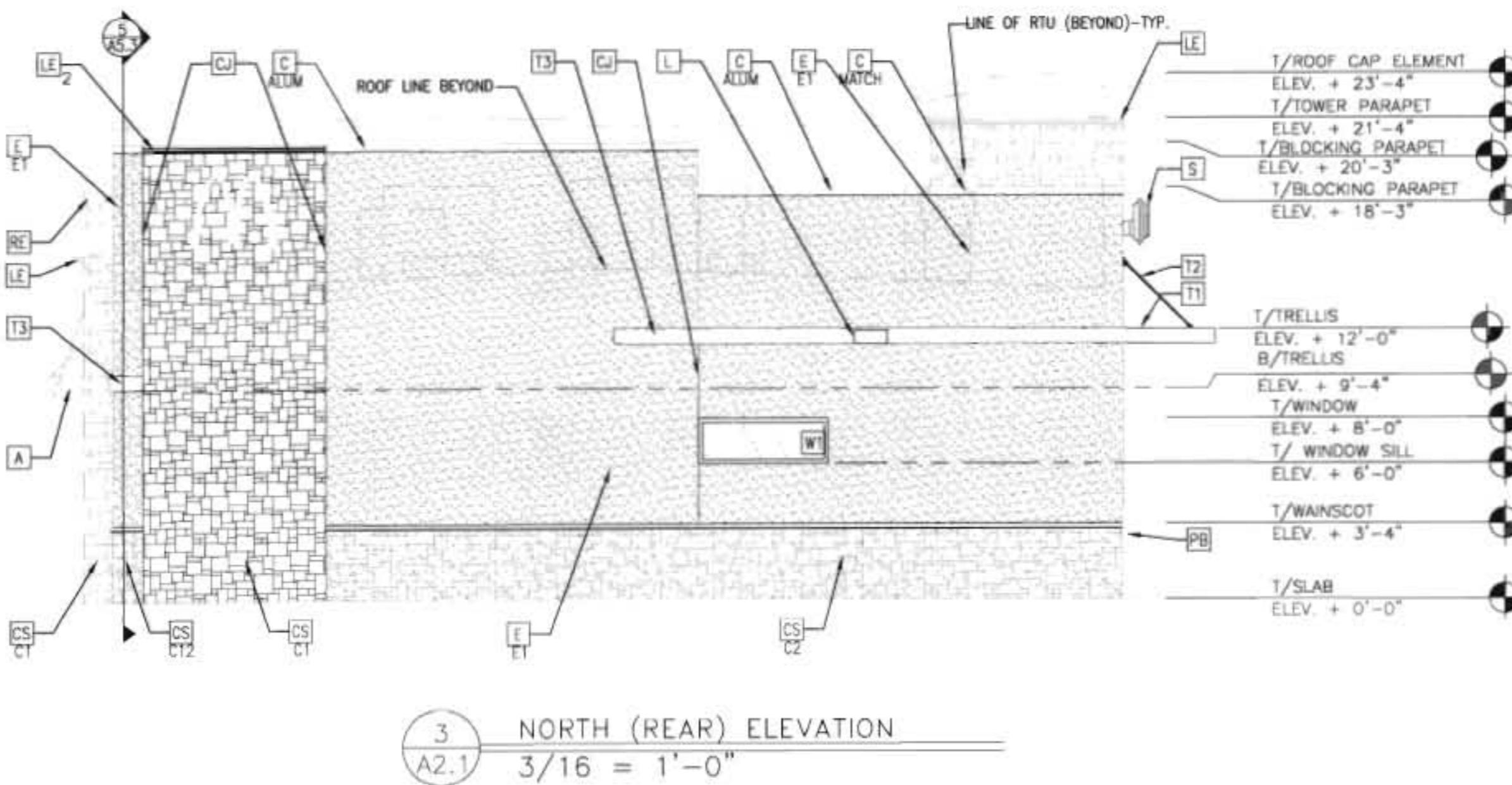
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McDONALD'S RESTAURANT

LOT 2, HILE FIRST SUBDIVISION
SITUATED IN THE SOUTHEAST $\frac{1}{4}$ OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO
LOCATED AT: 1809 WEST EISENHOWER BOULEVARD



KEY NOTES

- A METAL AWNING – UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- C METAL COPING –
ALUM COLOR = ALUMINUM
- C METAL COPING –
MATCH COLOR TO MATCH SURROUNDING MATERIAL
- CJ CONTROL JOINT, SEE DETAIL 7/A4.1

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- 8 -

"CORDOVA CREAM"

C2 = "TUSCANY"
BY TEXAS QUARRIES OR
WITH MATCHING MINTERIOR

WITH MATCHING WATERTABLE/SEAL
HOLLOW METAL DOOR - PAINT TO MATCH COLOR
SURROUNDING MATERIAL

- CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
CO2
- OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.1B) – CONFIRM USE WITH MCD PROJECT MANAGER.
BO
- UP & DOWN LED LIGHTING – SEE ELECTRICAL.
- DOWN LED LIGHTING ONLY – SEE ELECTRICAL.
2

- 1 LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- 1 METAL LETTERING - BY OTHERS
- 1 PIPE BOLLARD - PAINTED YELLOW
- 1 (RMHC) COIN COLLECTOR

- ROOF CAP ELEMENT BY OTHERS
- ROOF DRAIN OVERFLOW PIPE
PAINT TO MATCH SURROUNDING MATER
- S McDONALD'S SIGNAGE BY OTHERS -
UNDER SEPARATE PERMIT.

E E.L.F.S. FINISH
 ET COLOR:
 E1 = MATCH BM 2173-10 "EARTHLY RUSSET" BY BEN.
 MOORE
 E2 = MATCH BM 2175-10 "AZTEC BRICK" BY BEN. MOORE
 11 ALUMINUM TRELLIS
 12 TRELLIS TIE-BACK
 13 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET
 A5.1

W1 EXTERIOR WINDOW ASSEMBLY - SEE
ASSEMBLY NOTES ON SHEET A5.0
T = TEMPERED GLASS

GLAZING REQUIREMENTS:
STOREFRONT WINDOW=U VALUE = 0.45 SHGC = 0.4
ENTRYDOOR WINDOW=U VALUE = 0.8 SHGC = 0.4

W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM
MODEL, OPTIONS, AND SIZE WITH MCD AREA

• MODEL, UP TO 100', AND SIZE WITH MC2 AREA CONSTRUCTION MANAGER
OPTIONS INCLUDE: TRANSMON (SHOWN)

OPTIONS INCLUDE: TRANSOM (SHOWN)
SLIDE DIRECTION:
R/L = RIGHT TO LEFT

BUILDING ELEVATIONS

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A2 1

MINOR MODIFICATION TO SPECIAL REVIEW #173

LEGAL DESCRIPTION: LOT 2, HILE FIRST SUBDIVISION. BEING A REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION AND LOTS 12 & 3 OF THE REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION, ALL SITUATE IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST OF THE 6th P.M. CITY OF LOVELAND, COUNTY OF LARIMER, COLORADO.

EXISTING LANDSCAPING (E)

KEY	QTY.	COMMON NAME
HL	5	HONEYLOCUST
TJ	12	TAMMY JUNIPER
PP	1	PINYON PINE

NOTE: THE ABOVE TABLE QUANTIFIES EXISTING LANDSCAPING LOCATED ON THE NEW 15'x215' LOT WEST OF THE EXISTING MCDONALD'S PROPERTY. EXISTING LANDSCAPING ON THE ORIGINAL 150'x215' MCDONALD'S PROPERTY IS SHOWN GRAPHICALLY ON THE SITE PLAN, BUT IS NOT INCLUDED IN THE ABOVE TABLE.

NEW LANDSCAPING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONT.
HL	1	HONEYLOCUST, SHADEMASTER	GLEIDITISIA TRIACANTHOS INERMIS 'SHADEMASTER'	2" CAL	B1B
PA	2	PATMORE ASH	FRAXINUS PENNSYLVANICA 'PATMORE'	2" CAL	B1B
CM	5	NORWAY COLUMNAR MAPLE	ACER PLATANOIDES 'COLUMNARE'	2" CAL	B1B
BJ	25	BUFFALO JUNIPER	JUNIPERUS BABA 'BUFFALO'	5 GAL.	CONT.
MP	8	HUGO PINE	PINUS MUGO MUGUS	5 GAL.	CONT.
DG	5	COMPACT IVORY HALO DOGWOOD	CORNUS SERICEA 'IVORY HALO'	5 GAL.	CONT.
PT	7	GOLD DROP POTENTILLA	POTENTILLA FRUTICOSA 'FARRERI' 'GOLD DROP'	5 GAL.	CONT.
FA	1	PINK FLOWERING ALMOND	PRUNUS GLANDULOSA 'ROSEA'	5 GAL.	CONT.
BG	2	BLUE MIST SPIREA IVORY HALO DOGWOOD	CARTOPTERIS X CLANDONENSIS	5 GAL.	CONT.
BB	6	BURNING BUSH	EUONYMUS ALATUS	5 GAL.	CONT.
SG	5	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL.	CONT.
CB	8	COLUMNAR BLACKTHORN	RHAMNUS FRANGULA 'COLUMNARIS'	5 GAL.	CONT.

NOTE: ALL LANDSCAPED AREAS ARE INFILLED WITH 4" DEPTH OF 1/2" WASHED RIVER ROCK OVER FILTER FABRIC NEED BARRIER. PLANTINGS IN THESE AREAS ARE DESIGNED OR SELECTED TO PROVIDE FOR A MINIMUM 10% COVERAGE RATE AT 3 YEAR MATURITY.

The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland pertaining thereto.

EDWARD D. SCHOEN

STATE OF COLORADO

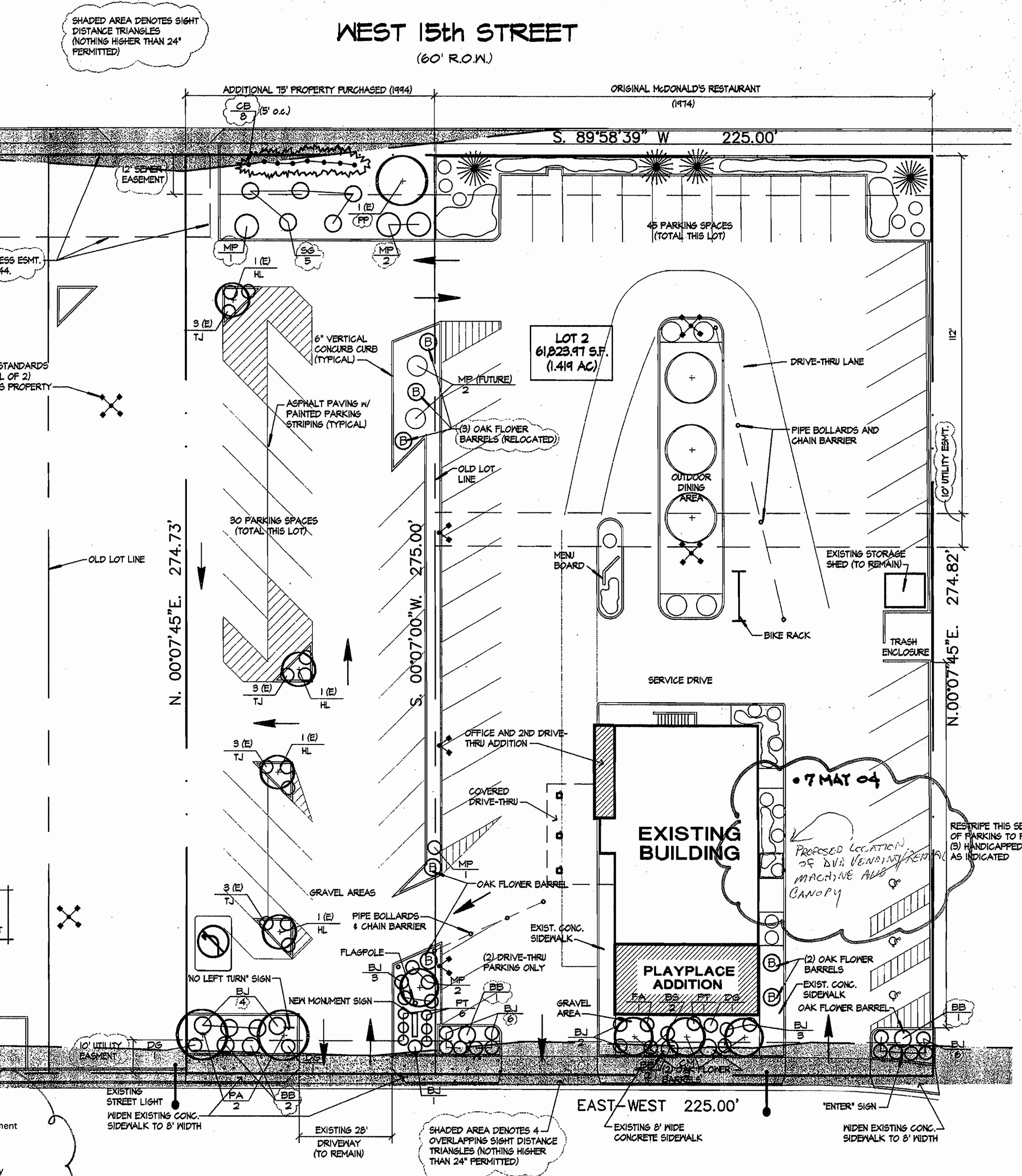
AKAPAHOE, SS.

The foregoing agreement was acknowledged before me this 15th day of May, 2004, by

Genesee Mitchell

Witness my hand and official seal.
My commission expires 09-10-07

Notary Public Genesee Mitchell

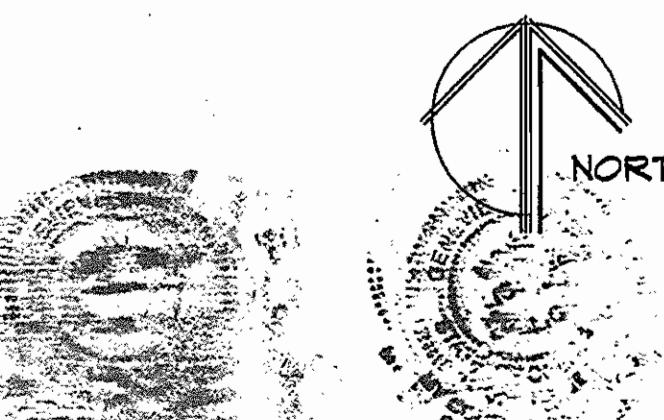


EISENHOWER BLVD. (U.S. HWY. 34)

(100' R.O.W.)

SITE PLAN

SCALE: 1"=20'



The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto.

STATE OF COLORADO

SS

COUNTY OF LARIMER

The foregoing agreement was acknowledged before me this 1st day of August, 1991, by Robert Toyson

Witness my hand and official seal.

My commission expires 10-10-07

Penny Brown

PROJECT NO.	100-0000	SP2B	1/21/95
REVISIONS	1	SP2B	6/7/95
APPROVED FOR LANDSCAPE	SP2B	7/21/95	ISSUE DATE
APPROVED FOR CONSTRUCTION	SP2B	7/21/95	ISSUE DATE
MINOR MODIFICATION TO SPECIAL REVIEW #173			
McDonald's Family Restaurant			
1809 W. Eisenhower Blvd.			
PALMER GARDENS, SUITE 200			
150 EAST 29th STREET, LOVELAND, COLORADO 80538			

ARCHITECTURE
ONE

303-669-9060

ARCHITECTS/PLANNERS, PC

150 EAST 29th STREET, LOVELAND, COLORADO 80538

MINOR MODIFICATION
TO SPECIAL REVIEW #173

1809 W. Eisenhower Blvd.

McDonald's Family Restaurant

1809 W. Eisenhower Blvd.

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OF

MINOR MODIFICATION TO SPECIAL REVIEW #173

LEGAL DESCRIPTION: LOT 2, HILE FIRST SUBDIVISION. BEING A REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION AND LOTS 1,2 & 3 OF THE REPLAT OF A PORTION OF TRACT 2, HILE FIRST ADDITION, ALL SITUATE IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 69 WEST OF THE 6th P.M., CITY OF LOVELAND, COUNTY OF LARIMER, COLORADO.

EXISTING LANDSCAPING (E)

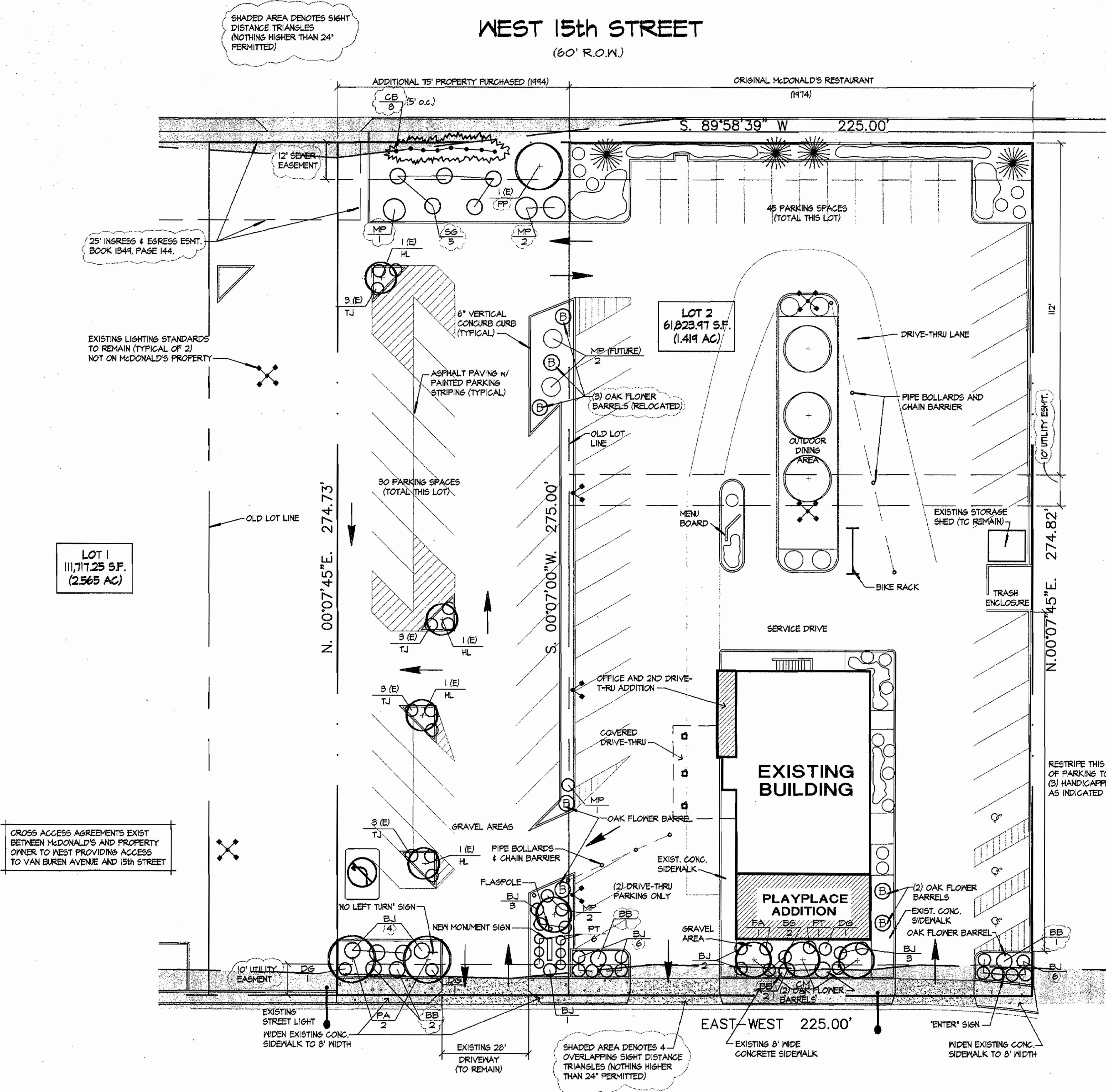
	KEY	QTY.	COMMON NAME
TREES	HL	5	HONEYLOCUST
SHRUBS	TJ	12	TAMMY JUNIPER
	PP	1	PINYON PINE

NOTE: THE ABOVE TABLE QUANTIFIES EXISTING LANDSCAPING LOCATED ON THE NEW 75'x275' LOT WEST OF THE EXISTING McDONALD'S PROPERTY. EXISTING LANDSCAPING ON THE ORIGINAL 150'x275' McDONALD'S PROPERTY IS SHOWN GRAPHICALLY ON THE SITE PLAN, BUT IS NOT INCLUDED IN THE ABOVE TABLE.

NEW LANDSCAPING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONT.
TREES	HL	1	HONEYLOCUST, SHADEMASTER	2" CAL.	B4B
	PA	2	PATMORE ASH	2" CAL.	B4B
	CM	3	NORWAY COLUMNAR MAPLE	2" CAL.	B4B
SHRUBS	BJ	25	BUFFALO JUNIPER	5 GAL.	CONT.
	MP	8	MUGO PINE	5 GAL.	CONT.
	DG	5	COMPACT IVORY HALO DOGWOOD	5 GAL.	CONT.
	PT	7	GOLD DROP POTENTILLA	5 GAL.	CONT.
	FA	1	PINK FLOWERING ALMOND	5 GAL.	CONT.
	BS	2	BLUE MIST SPIREA IVORY HALO DOGWOOD	5 GAL.	CONT.
	BB	6	BURNING BUSH	5 GAL.	CONT.
	SG	5	SEA GREEN JUNIPER	5 GAL.	CONT.
	CB	8	COLUMNAR BLACKTHORN	5 GAL.	CONT.

NOTE:
ALL LANDSCAPED AREAS ARE INFILLED WITH 4" DEPTH OF 1½"Ø WASHED RIVER ROCK
OVER FILTER FABRIC WEED BARRIER. PLANTINGS IN THESE AREAS ARE DESIGNED OR
SELECTED TO PROVIDE FOR A MINIMUM 70% COVERAGE RATE AT 3 YEAR MATURITY.



EISENHOWER BLVD. (U.S. HWY. 34)

(100' ROW)

A compass rose icon with the word "NORTH" written below it.

SITE PLAN

The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto.

H. Peterson

STATE OF COLORADO)
) ss
COUNTY OF LARIMER)

The foregoing agreement was acknowledged before me this 1st day of August, 1995, by Robert Torsen

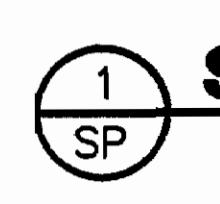
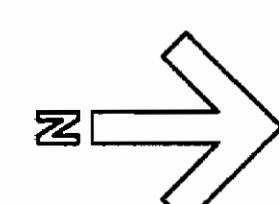
Witness my hand and o

Dancy Hause
Notary Public

PROJECT NO.		
DRAWN	BDB	1/12/95
CHECKED	ALH	
REVISIONS		
ADDED NEW LANDSCAPING	BDB	6/9/95
REVISED PER STAFF REPORT	BDB	7/27/95

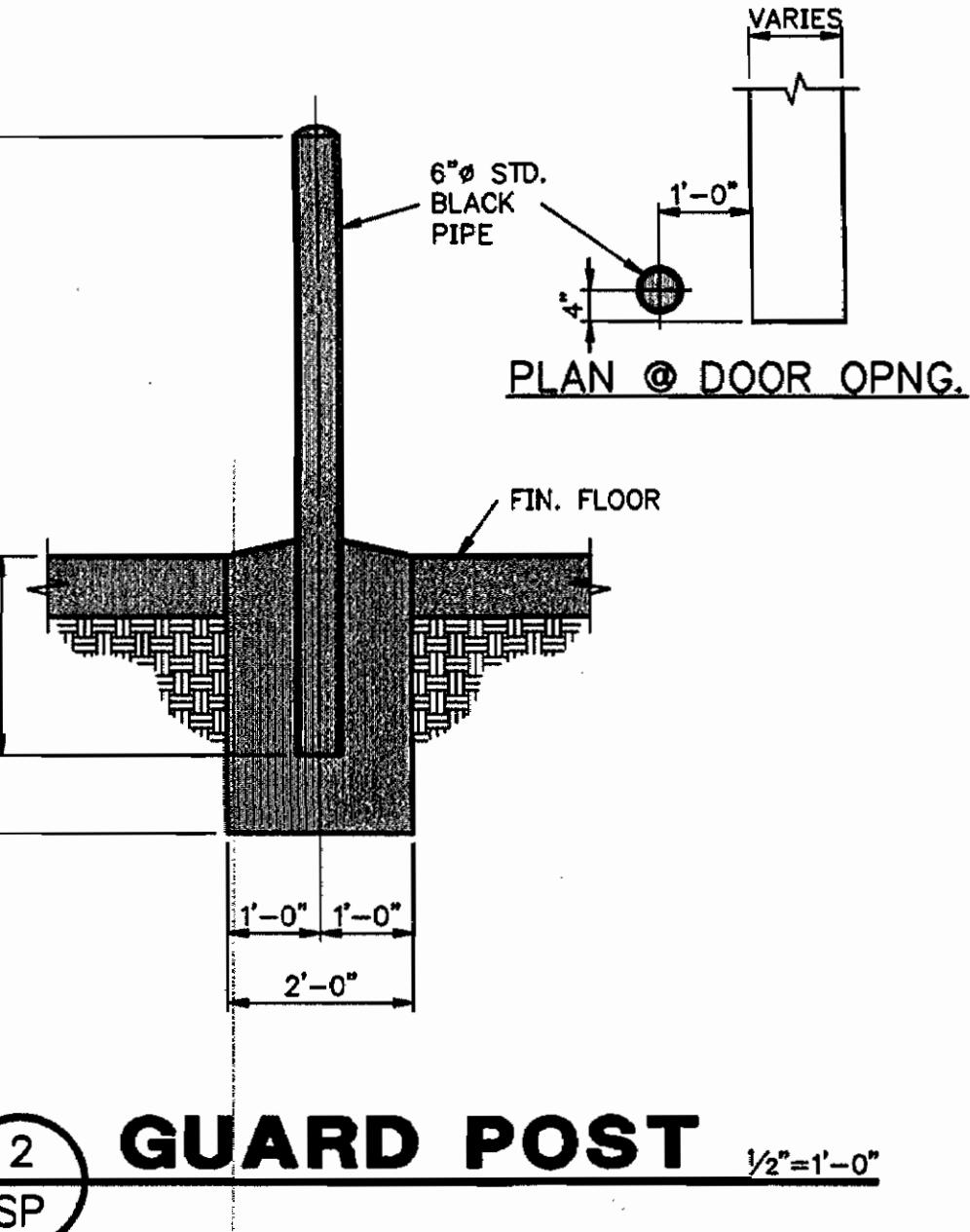
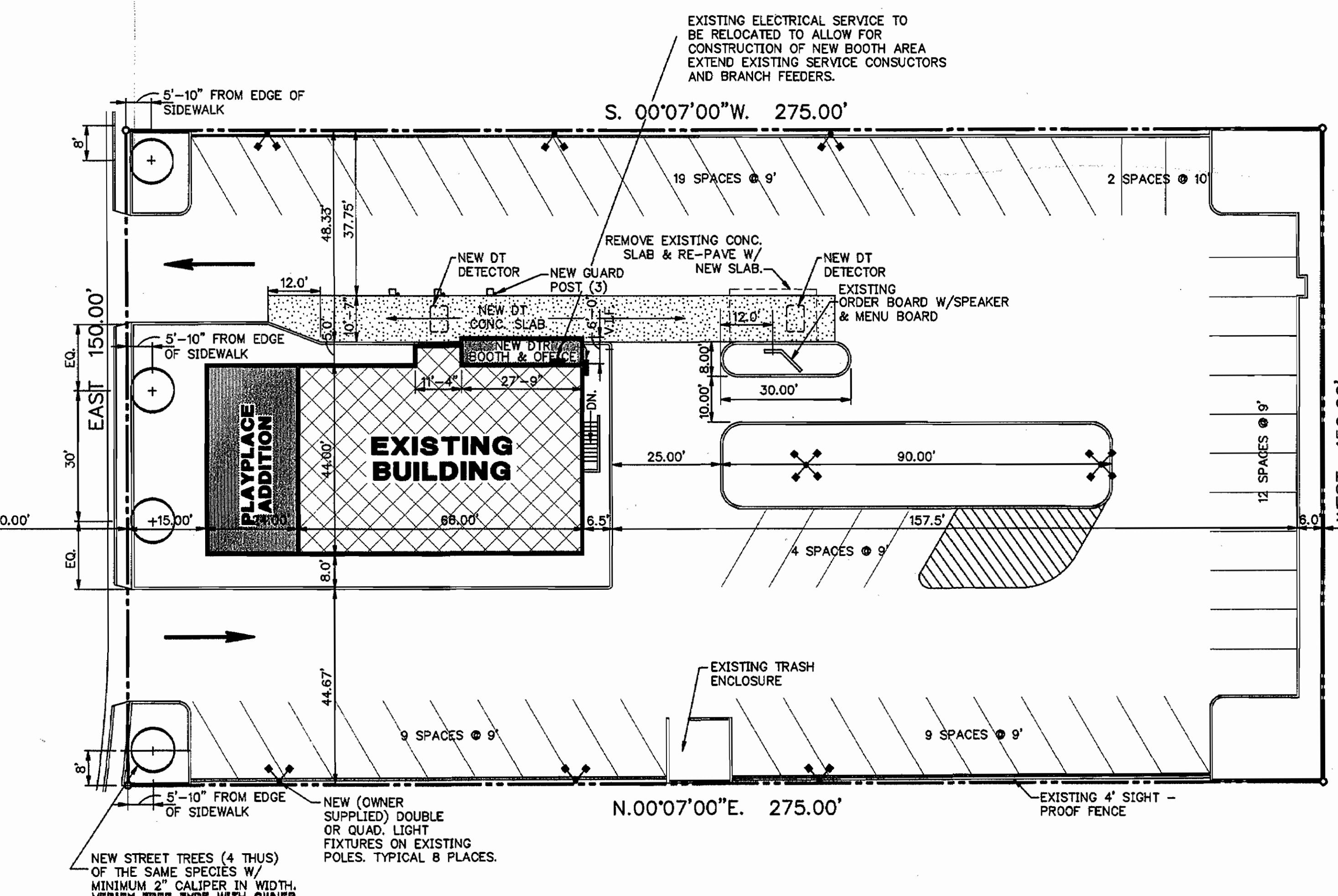
MINOR MODIFICATION TO SPECIAL REVIEW #173

E OF U.S. HIGHWAY 34 & W. EISENHOWER BLVD.

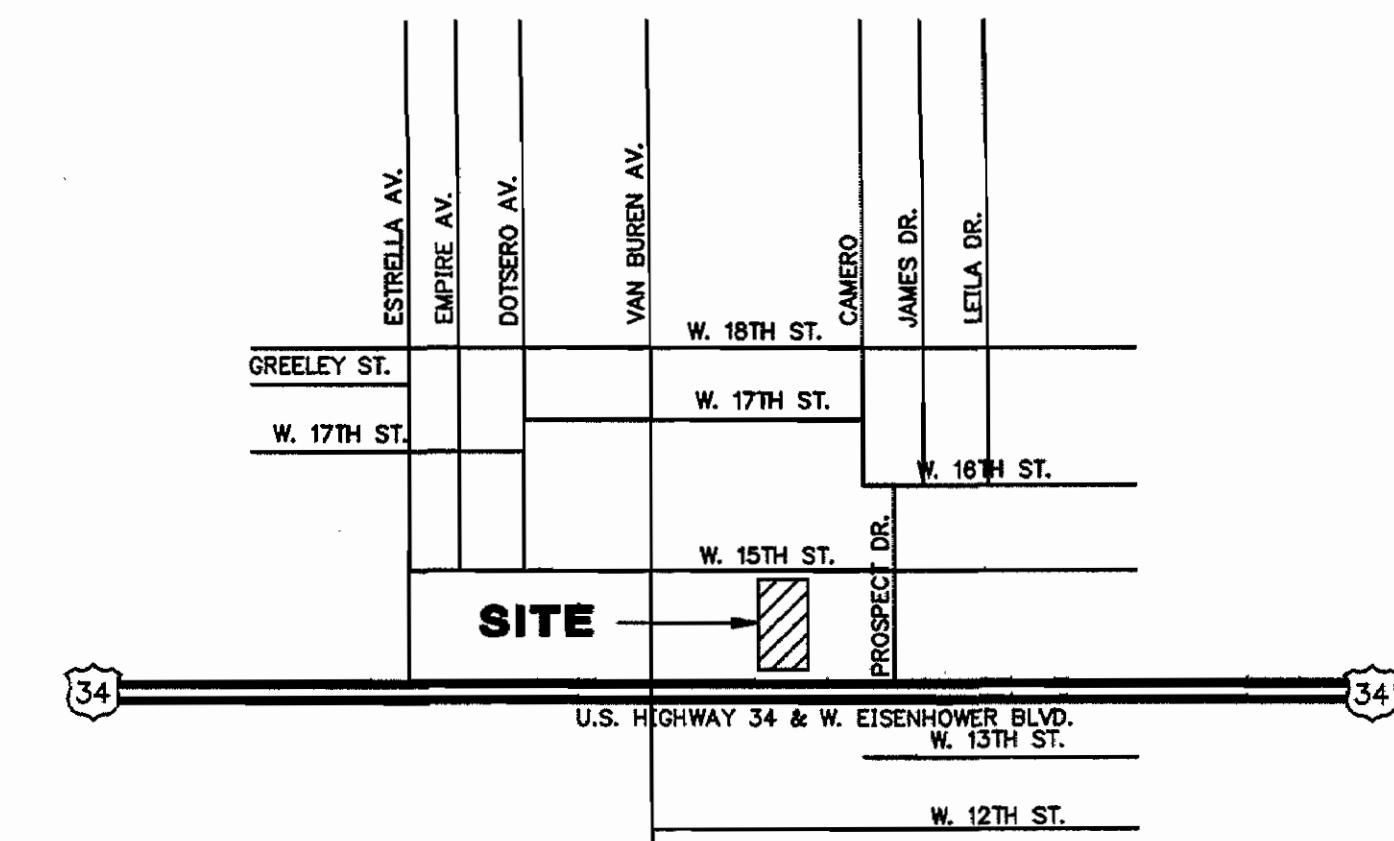


SITE PLAN

1"=20'



2 SP GUARD POST 1/2"-1'-0"



VICINITY MAP

PROJECT DATA.

McDONALD'S RESTAURANT PLAYPLACE ADDITION
1809 W. EISENHOWER BLVD.
LOVELAND, COLORADO

PROJECT SCOPE:
PLAYPLACE ADDITION TO EXISTING McDONALD'S RESTAURANT
& DRIVE-THRU EXTENTION

APPLICABLE CODES: 1991 UNIFORM BUILDING CODE
1991 UNIFORM PLUMBING & MECHANICAL CODE
1990 NATIONAL ELECTRICAL CODE
1990 AMERICAN DISABILITIES ACT

DESIGN CRITERIA: SEISMIC ZONE NO. 1
100 MPH WIND LOAD, EXPOSURE B
30 LBS/SF SNOW LOAD
30" FROST DEPTH

TYPE OF CONSTRUCTION: VN
OCCUPANCY CLASSIFICATION: A-3/B-2
NUMBER OF STORIES: 1
ADDITIONAL SQUARE FEET: 1,825 SF
OCCUPANT LOAD: 30 ADDITIONAL SEATS
PLUMBING FIXTURES:
MEN 1 W.C. 1 LAV.
WOMEN 1 W.C. 1 LAV.
PARKING SPACES: (53) 19' x 9' STALLS &
(2) 19' x 10' STALLS

CONTENTS.

- SP SITE PLAN
- D1 DEMO PLAN
- A1 FLOOR PLAN
- A2 EXTERIOR ELEVATIONS
- A3 BLDG. SECTIONS/DETAILS
- A4 " "
- A5 DRIVE THRU SECTION AND DETAILS
- S1 FOUNDATION PLAN
- S2 FRAMING PLAN
- M1 HVAC PLAN
- M2 ROOF PLAN
- M3 NOTES & SCHEDULES
- M4 DETAILS
- M5 HVAC DETAILS
- E1 ELECT. FLOOR PLAN
- E2 RISER DIAGRAM & SCHEDULES

HANDICAPPED PARKING:
CONTRACTOR TO FIELD VERIFY & NOTIFY THE
ARCHITECT OF POSSIBLE HANDICAPPED
SPACES NOT INDICATED ON THIS DRAWING.
IF HANDICAPPED SPACES EXIST, EXISTING STRIP-
PING WILL HAVE TO BE REVISED FOR TWO HANDI-
CAPPED STALLS PER ADA REQUIREMENTS.

PLAYPLACE ADDITION
TO
McDONALDS

1809 W. EISENHOWER BLVD.

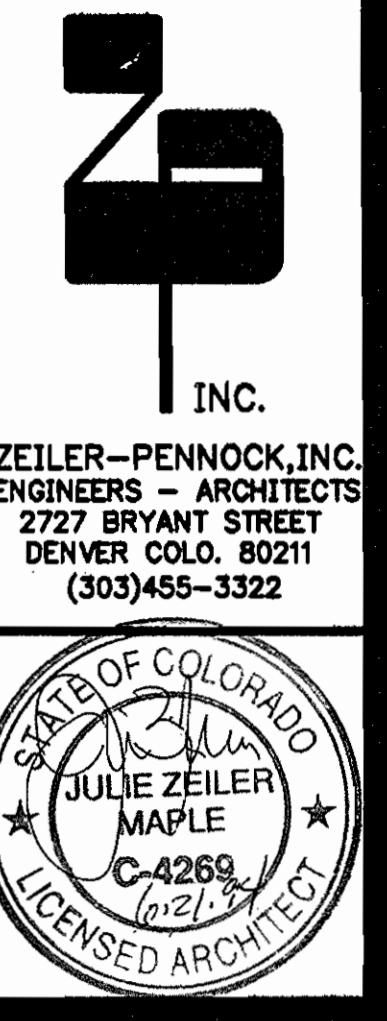
REVISION

SPECIAL REVIEW SET
DATE 6-13-94

SHEET

SP

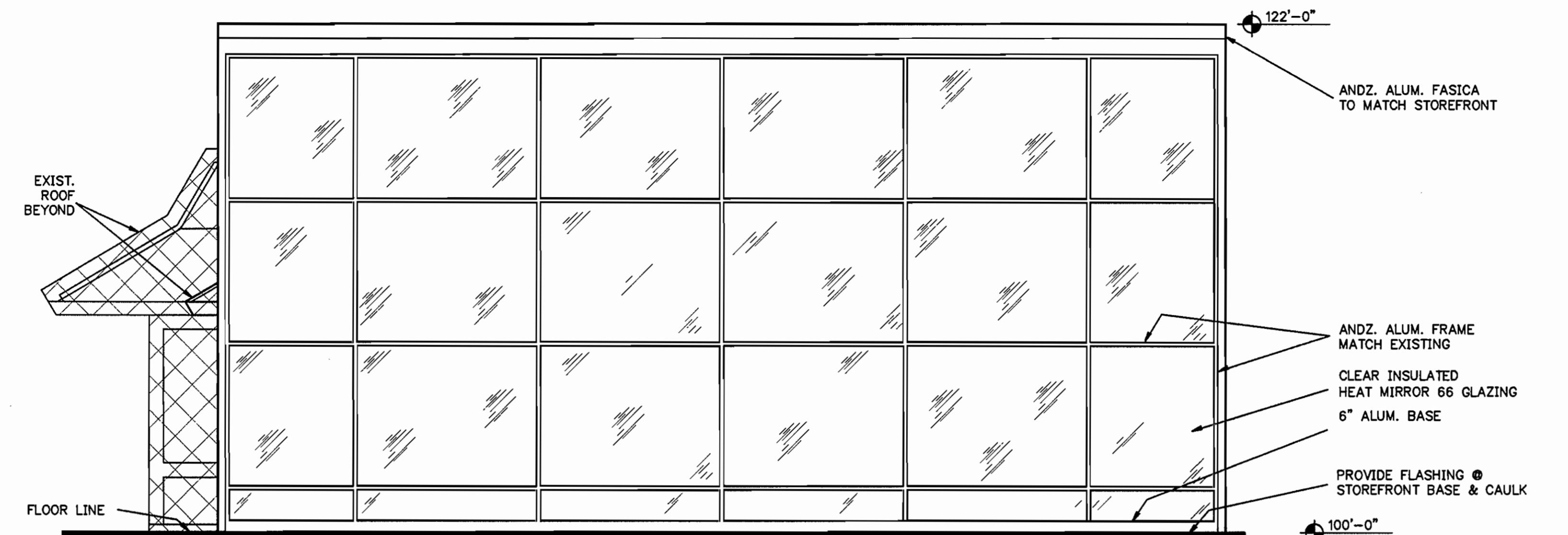




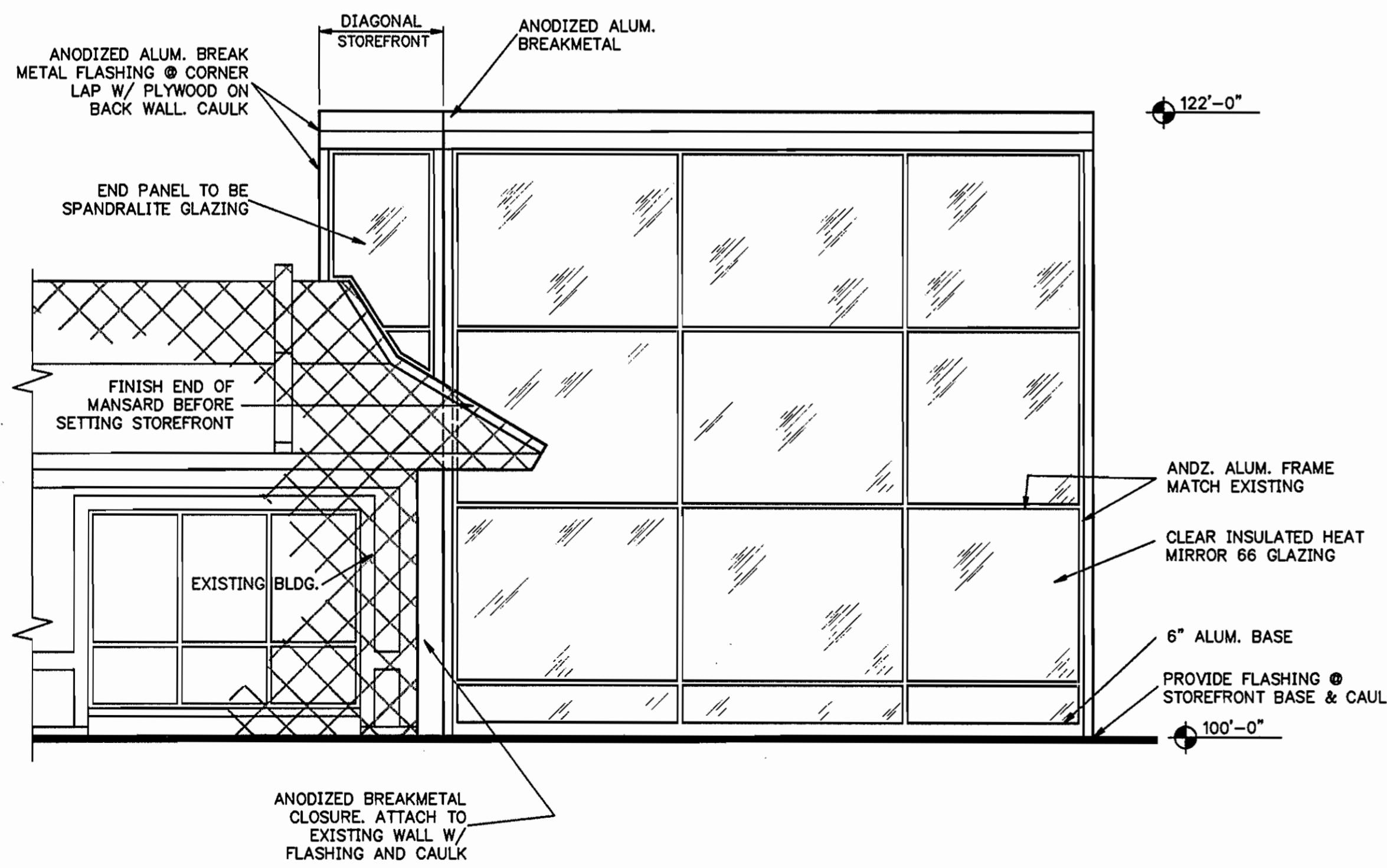
PLAYPLACE ADDITION TO McDONALD'S

LOVELAND, CO.

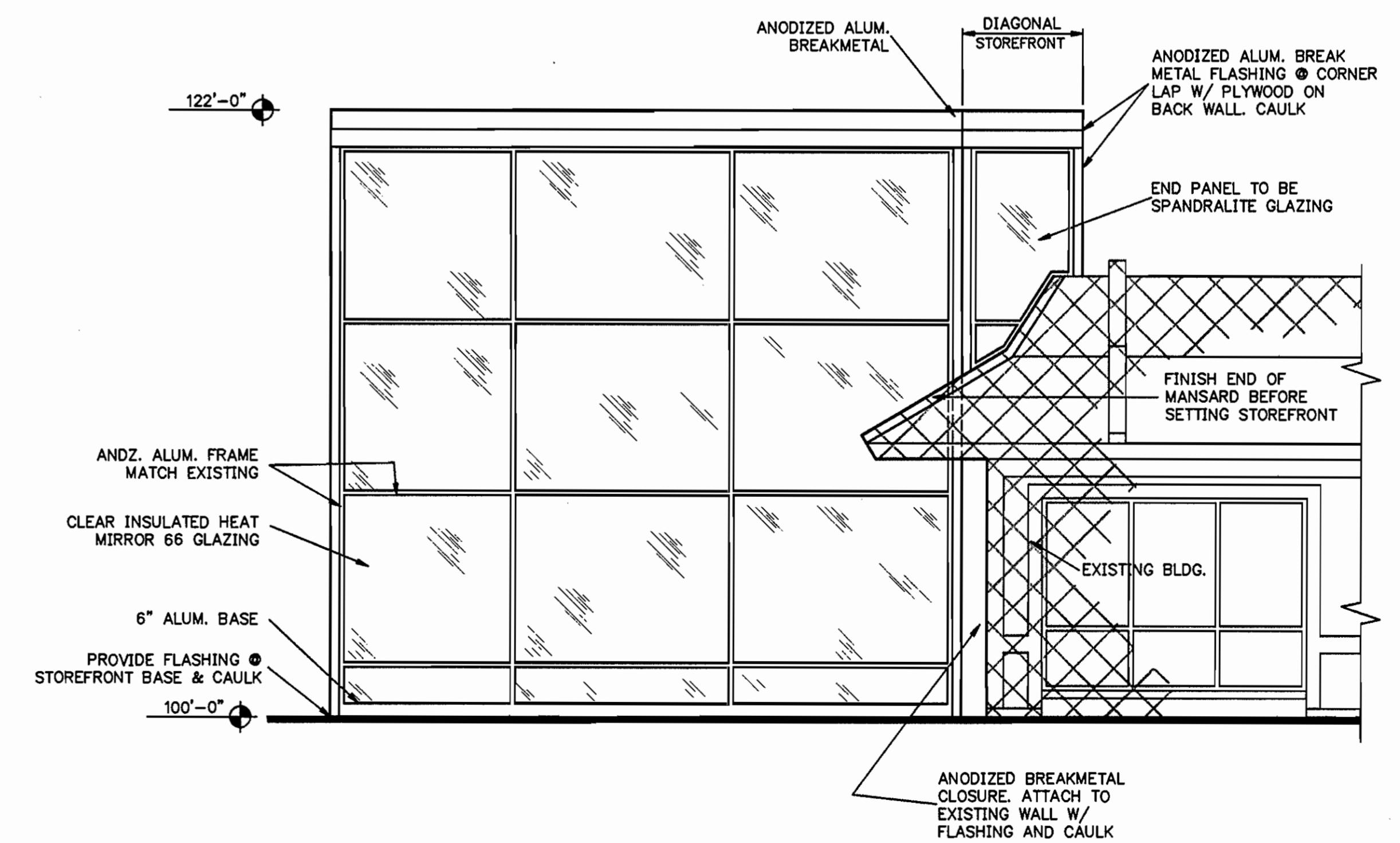
1809 W. EISENHOWER BLVD.



1
A2
SOUTH ELEVATION $1/4''=1'-0''$



2
A2
EAST ELEVATION $1/4''=1'-0''$



3
A2
WEST ELEVATION $1/4''=1'-0''$

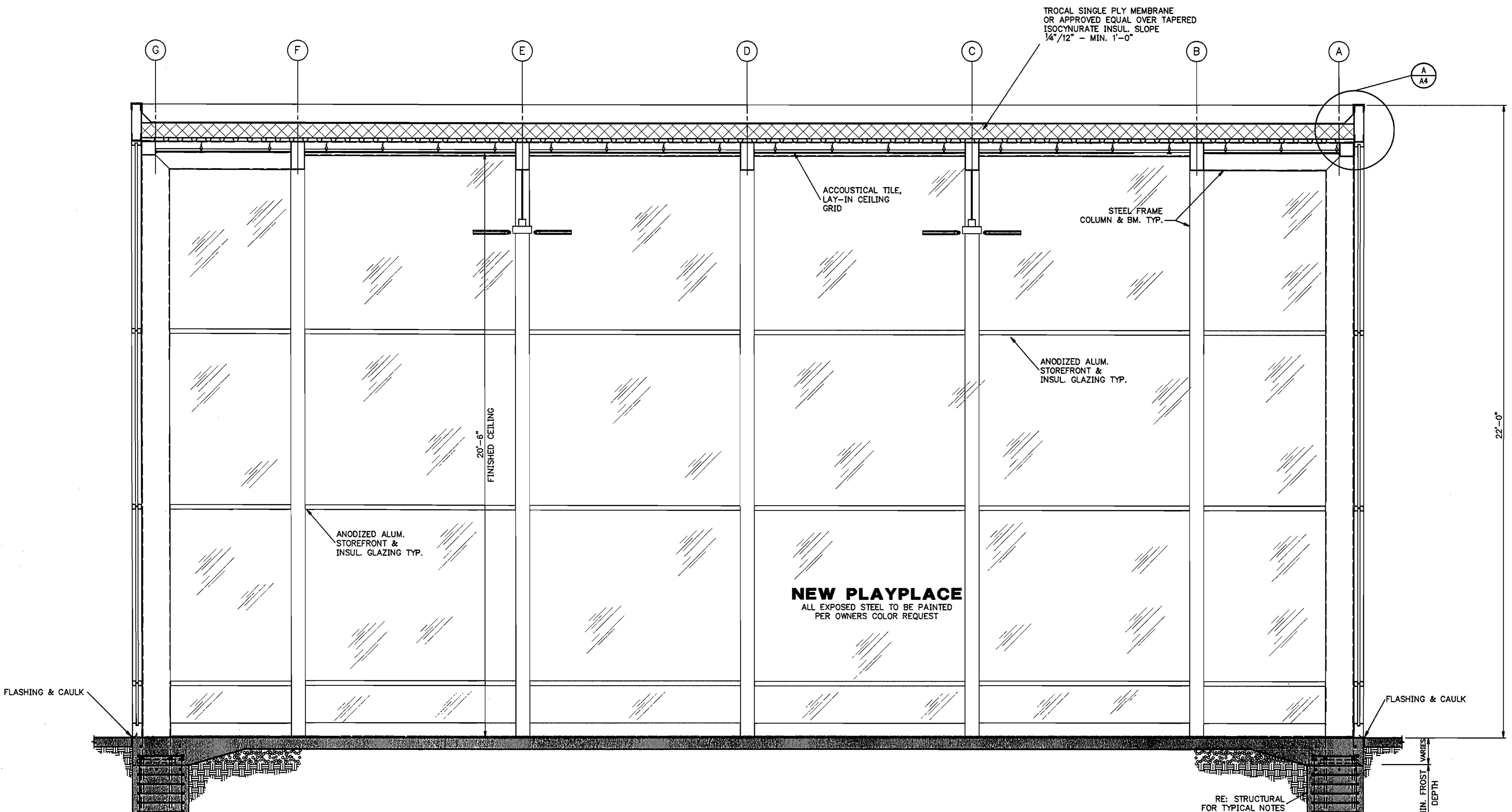
REVISION

SPECIAL REVIEW SET

DATE 6-13-94

SHEET

A2



1
A3

BUILDING SECTION

1/2"=1'-0"



PLAYPLACE ADDITION
TO
McDONALD'S

LOVELAND, COLORADO

1809 W. EISENHOWER BLVD.

REVISION

SPECIAL REVIEW SET

DATE 6-13-94

SHEET

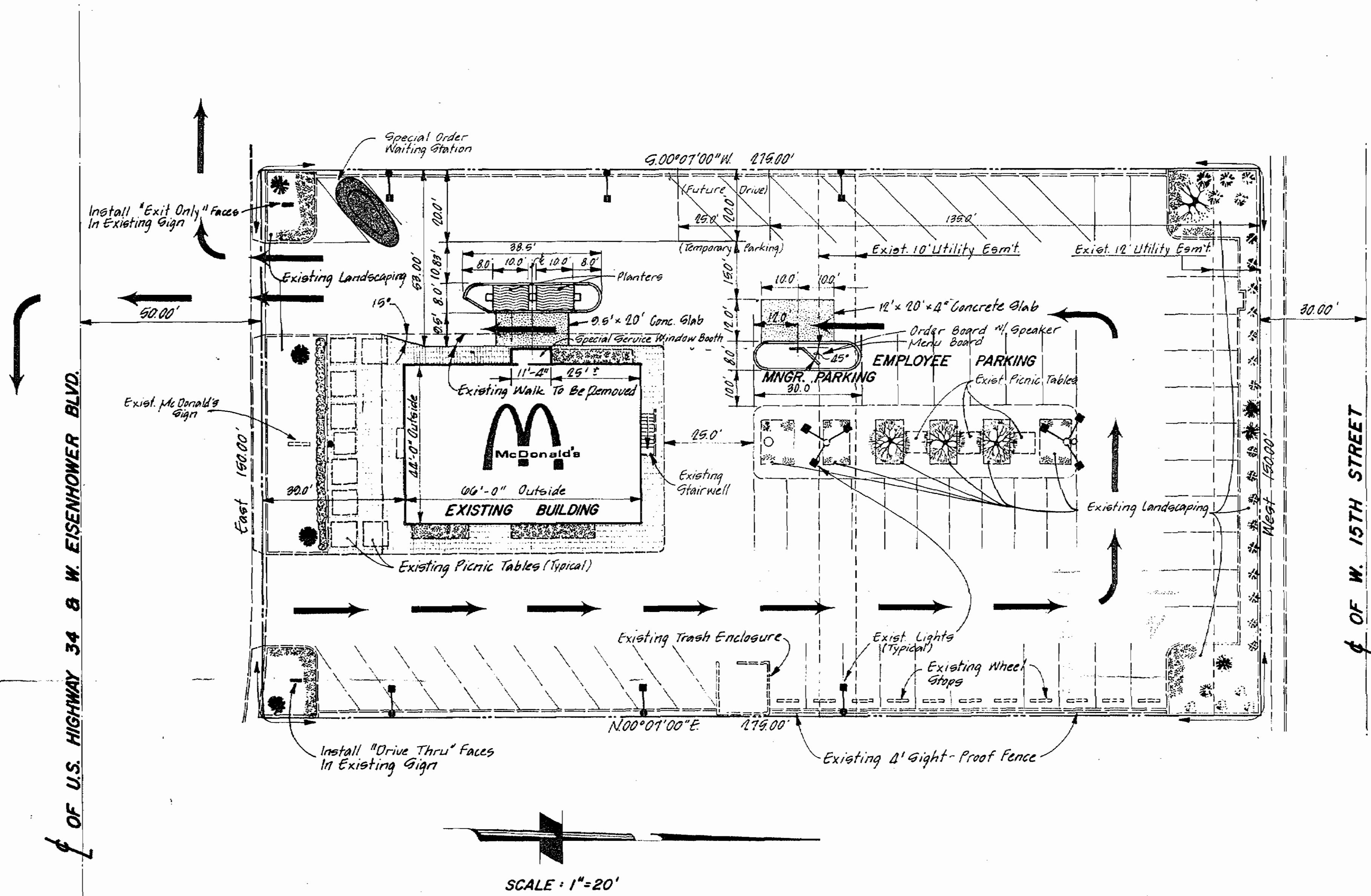
A3

AMENDED SPECIAL REVIEW PLAN

**McDONALD'S FAMILY RESTAURANT
1809 W. EISENHOWER BOULEVARD
LOVELAND, COLORADO**

Filed in City Clerks Office
OCT 25 1976

Date 10-30-10
Amount \$ 110.00
Receipt No. 1850



Existing Zoning: DE, Developing Business Zoning District

Proposed Special Review Use: Restaurant and other eating and drinking places, outdoors

The undersigned agree that the real property described in the application for special review filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.40 of the Municipal Code of the City of Loveland, Colorado and any other ordinances of the City of Loveland pertaining thereto.

McDonald's Corporation

Leucorrhoea

Seymour Greenman, Vice Presid

STATE OF ILLINOIS)

COUNTY OF DE PAGE) SS

The foregoing agreement was acknowledged before me this 18th day of October, 1976, by Seymour Greenman, as Vice President for McDonald's Corporation, a Delaware Corporation.

Witness my hand and official seal.

My commission expires March 1st, 1863 Feb 1867

Delaware Corporation.

Legal Description:

Lot 3 of the "Replat of a portion of Tract 2, Hile First Addition" to the City of Loveland, Colorado.

Dale D. Olhausen
Colo. R.F. # 1 S. 5003

General Notes:

1. indicates direction of vehicular traffic flow.
2. Landscaping shall be a minimum of that which presently exists on the site.
3. Site development to be completed within six (6) months of approval of this site plan.

J. B. Buckley

<u>REVISIONS</u>		Date: <u>9-29-76</u>	Drawn <u>G.D.O.</u>	HOGAN / OLHAUSEN P.C.		MAIN OFFICE 2300 WEST EISENHOWER LOVELAND, COLORADO 80537	CLIENT: <u>RICHARD E. POWER</u> <u>160 FAIRWAY LANE</u> <u>RESTAURANT, 1809 W. EISENHOWER BOULEVARD</u> <u>FORT COLLINS, COLORADO 80521</u>	TITLE: <u>AMENDED SPECIAL REVIEW PLAN FOR MCDONALD'S FAMILY</u>	Project No: <u>579-1-5</u>	No. of Sheets: <u>1</u>	Sheet No: <u>1</u>
By _____	Date _____	Description _____	Checked <u>D.R.M.</u>	Engineers - Architects - Planners Photogrammetrists - Surveyors		BRANCH OFFICE 103 18TH STREET GREELEY, COLORADO 80831					
By _____	Date _____	Description _____	Approved <u>D.B.S.</u>								
By _____	Date _____	Description _____									

SPECIAL REVIEW PLAN

FOR THE EAST 180.00 FEET OF TRACT 2, HILE 1st ADDITION,
TO THE CITY OF LOVELAND, COLORADO.
EXCEPT THE EAST 30 FEET THEREOF.

Filed in City Clerks Office
Date AUG 15 1974
By SH

EXISTING ZONING: DE, DEVELOPING BUSINESS DISTRICT
SPECIAL REVIEW USE: RESTAURANTS and other EATING and DRINKING
PLACES, OUTDOOR.

THE UNDERSIGNED AGREE THAT THE REAL PROPERTY DESCRIBED IN THE APPLICATION FOR SPECIAL REVIEW FILED HEREWITH, AND AS SHOWN ON THE SITE PLAN, SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 12 OF ORDINANCE NO. 1004 OF THE ORDINANCES OF THE CITY OF LOVELAND, COLORADO, AND ANY OTHER ORDINANCES OF THE CITY OF LOVELAND PERTAINING THERETO. JAMES P. JOHNSON, TRUSTEE

STATE OF COLORADO
COUNTY OF LARIMER }S

THE FOREGOING AGREEMENT WAS ACKNOWLEDGED BEFORE ME THIS 26TH DAY OF JULY, 19
BY JACK H. WILLIAMS AS ATTORNEY IN FACT FOR JAMES P. JOHNSON, TRUSTEE;
BY JACK H. WILLIAMS AS ATTORNEY IN FACT FOR JAMES P. JOHNSON, INDIVIDUALLY; JACK H.
WILLIAMS, INDIVIDUALLY; TOM GLEASON; AND A.E. ROUSE

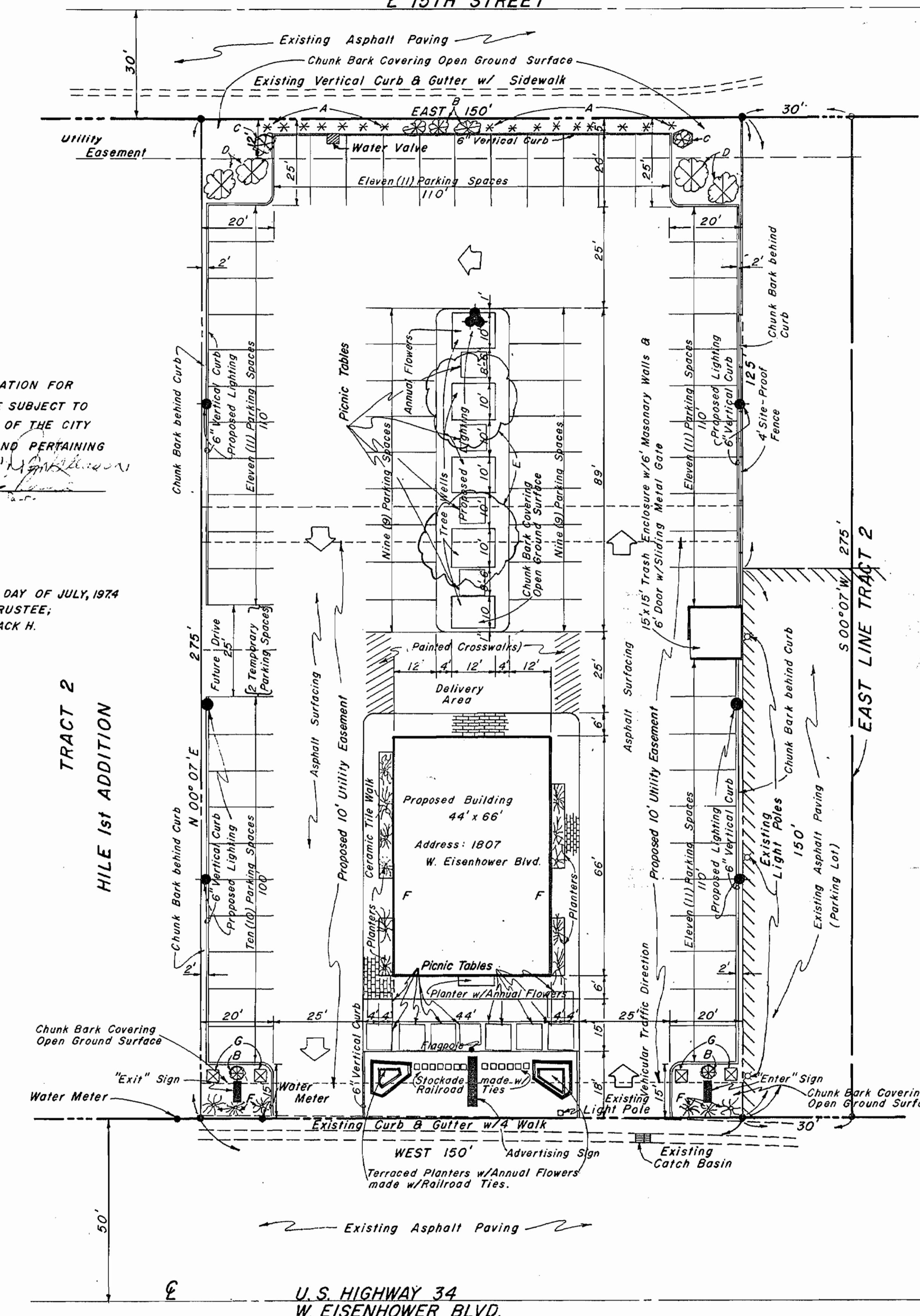
MY COMMISSION EXPIRES FEBRUARY

FEBRUARY 8, 1977

LEGAL DESCRIPTION
THE EAST 180.00 FEET OF TRACT 2, HILE FIRST ADDITION TO THE CITY OF LOVELAND, COLORADO. RECORDED IN BOOK 9, PAGE 109 IN THE OFFICE OF THE CLERK AND RECORDER, LARIMER COUNTY, COLORADO.
EXCEPT THE EAST 30.00 FEET THEREOF.

892

RACI



Note: "Enter" & "Exit" signs to be 3'x5' placed at ground surface.
Advertising sign to be 13'x15' elevated on poles. Top of sign
to be a maximum of 35 feet above ground surface.

RONNIE E. HOGAN
RONNIE E. HOGAN
COLOR P.E.B.I.S. 4845

REVISIONS

BY _____ DATE _____ DESCRIPTION _____
BY _____ DATE _____ DESCRIPTION _____
BY _____ DATE _____ DESCRIPTION _____

DATE MARCH 1974 DRAWN DBP
1"-30' CHECKED DRM RE

HOGAN AND OLHAUSEN P.C.
CONSULTING ENGINEERS

CLIENT: *Richard E. Power*
160 Fairway Lane
Fort Collins, Colorado 80521

TITLE: SPECIAL REVIEW PLAN FOR THE EAST 180 FEET OF
TRACT 2, HILE 1st ADDITION TO THE CITY OF LOVELAND,
COLORADO, ENCLURE FOR THE EAST 70 FEET THEREOF

JOB NO. <u>579-1-1</u>	NO. OF SHEETS	SHEET NO.
FILE NO. _____	1	1