



Planning Commission Staff Report

March 11, 2013

Agenda #: Regular Agenda - 1
Title: 541 N. Lincoln
Applicant: Brinkman Partners, LLC
Request: **Approval of a building containing more than 25,000 sq ft of gross floor area in the BE district**
Location: Southwest corner of the intersection of North Lincoln Avenue and East 6th Street
Existing Zoning: BE – Established Business
Proposed Use: Development of a mixed use building containing live-work and residential units
Staff Planner: Noreen Smyth

Staff Recommendation

Subject to additional evidence presented at the public hearing, City staff recommends the following motions:

Recommended Motion:

Move to make the findings listed in Section VI of the Planning Commission staff report dated March 11, 2013 and, based on those findings, approve the 541 N. Lincoln building, as amended on the record.

Summary of Analysis

This is a public hearing to consider a proposed building in the BE district. The proposed use, a 70-unit mixed-use building containing four live-work units and 66 residential apartments, is a use by right in the BE district. Structures associated with uses by right in the core area of the BE district requires approval by the Planning Commission at a public hearing in the event that the structure exceeds 25,000 sq ft. Because the building proposed for the subject property is 65,437 sq ft., a Planning Commission public hearing is needed. Staff has reviewed the proposed building for all zoning code requirements and found that it complies with the standards of the BE district.

The proposal requires the submittal of lot merger, site development plan, site work, building and encroachment permit applications, all of which are administrative (staff) approval processes. Staff has concluded its review of the lot merger application and found it complies with all code requirements. The site development plan has undergone two rounds of staff review and applicant revisions. Additional minor corrections will need to be made, but these should not impact the building under review at the public hearing. The other applications will be submitted for staff review after the site plan review is complete.

Staff believes that all key issues have been resolved based on city codes and standards.

I. ATTACHMENTS

- 1. Architectural elevations, Site plan, landscape plan and photometric plan
- 2. Table of unit types, floor plans
- 3. Streetscape plan
- 4. Lot merger plat
- 5. Chapter 18.24 (BE district) of the Municipal Code

II. SITE DATA

LOCATION	541 N. LINCOLN AVENUE
SUBDIVISION.....	LOVELAND ORIGINAL TOWN
ACREAGE OF PROPERTY-GROSS	0.64 AC
MASTER PLAN DESIGNATION.....	DOWNTOWN ACTIVITY CENTER
EXISTING ZONING.....	BE ESTABLISHED BUSINESS
EXISTING USE.....	MUSEUM
PROPOSED USE.....	MIXED USE BUILDING CONSISTING OF RENTAL RESIDENTIAL UNITS AND LIVE-WORK UNITS
NUMBER OF UNITS PROPOSED.....	70 TOTAL UNITS CONSISTING OF 66 RESIDENTIAL UNITS (26 TWO-BEDROOM, 36 ONE-BEDROOM & 4 STUDIO) AND 4 LIVE-WORK UNITS
EXIST ADJ ZONING & USE - NORTH.....	BE ESTABLISHED BUSINESS-OFFICE
EXIST ADJ ZONING & USE - SOUTH	BE ESTABLISHED BUSINESS-MUSEUM
EXIST ADJ ZONING & USE - WEST	BE ESTABLISHED BUSINESS-COMMERCIAL
EXIST ADJ ZONING & USE - EAST	BE ESTABLISHED BUSINESS –MIXED USE/MF RESIDENTIAL & COMMERCIAL
UTILITY SERVICE – WATER, SEWER & ELECTRIC.....	CITY OF LOVELAND

III. KEY ISSUES

City staff believes that all key issues have been addressed in the development proposal. No neighborhood meeting is required for this application type. Planning staff has received some general inquiries about the proposal. No written or verbal comments for or against the proposal have been submitted to the Planning office.

IV. STAFF, APPLICANT, AND PUBLIC INTERACTION

Notification: An affidavit was received from Kevin Brinkman with Brinkman Partners certifying that written notice was mailed to all property owners within 300 feet of the property on February 22, 2013 and notices were posted in prominent locations on the perimeter on February 21, 2013. In addition, a notice was published in the Reporter Herald on February 23, 2013. A small number of phone inquiries about the proposal have been fielded by staff. No written comments have been received.

V. SUMMARY/PROJECT OVERVIEW

Public Hearing

This is a public hearing to consider a proposed building in the BE district. The proposal is a mixed-use development containing two types of uses: live-work units intended for office/art gallery/studio uses and residential apartments. Multi-family residential, live-work art galleries/studios, and office uses are all uses by right in the BE District, and mixed-use developments consisting of a combination of uses allowed by right are also a use by right in the district. However, per Municipal Code Section 18.24.050, the structures associated with uses by right in the “core area” of the BE district requires approval by the Planning Commission at a public hearing if the structure exceeds 25,000 sq ft. Because the building proposed for the subject property is 65,437 sq ft., a Planning Commission public hearing is needed. The decision of the Planning Commission is final, and the building is not required to go before city council for review.

Role of the Planning Commission

Structures associated with uses by right in the core area of the BE district requires approval by the Planning Commission at a public hearing in the event that the structure exceeds 25,000 sq ft. The building proposed for the subject property is 65,437 sq ft. and thus a public hearing is needed. The Planning Commission is not reviewing the proposed use or site plan, but only the proposed structure. In evaluating BE district structures requiring a public hearing, the Planning Commissions shall make the following findings:

1. The proposed development complies with the standards of this chapter and any other applicable provisions of the Loveland Municipal Code.
2. The proposed development is consistent with the goals of the document, *Destination Downtown: Heart Improvement Project Downtown Strategic Plan and Implementation Strategy*.
3. The proposed development is compatible with surrounding properties while considering its location in an urban environment characterized by a diversity of uses and building types.

Staff analysis of these findings is provided below in Section IV.

Subject Property

The 0.64-acre subject property is located at the southwest corner of Lincoln Avenue and 6th Street. The rectangular property, with its longer side on 6th and its shorter side on Lincoln, borders public alleys to both the south and the west. It currently contains one building housing the City of Loveland museum annex with associated parking. The one-story building had formerly housed a bank before it was purchased by the city as part of the city’s downtown redevelopment efforts. With the city museum located immediately to the south, the building on the subject property has been utilized by the museum for certain displays while it awaits redevelopment. The existing building will be demolished as part of the redevelopment. There are three existing street trees along both Lincoln and 6th. While all of the trees are within the street right-of-way rather than on the subject property, all are proposed to be removed due to grading that will occur in and around the trees as part of the site work for the proposed development.



Public-Private Partnership

The development of the subject property is a collaboration between the city and private entities. The city identified the property’s potential for a strategic catalyst project for the improvement of economic conditions downtown. It purchased the property with the goal of influencing the redevelopment of a prominent property in the core area. The city then sought a private developer to pursue the city’s vision for the downtown as generally described in the *Destination Downtown* plan. The applicant, Brinkman Partners, was then chosen from a number of candidates.

Proposed Building

One five-story, L-shaped structure is proposed for the subject property. The first floor (ground or street level) consists of four rental live-work units on the Lincoln Avenue side and parking on the 6th Street side. A wall, integrated into the overall building design, shields the parking from view of 6th Street. A total of 65 parking spaces are in the ground floor parking area. Twenty-five spaces are covered as they are situated under the 2nd floor of the building, and the rest of the parking lot is open air. A combination of (26) two-bedroom, (36) one-bedroom and (4) studio rental residential units are on floors two to five. The building will also include a fifth floor community balcony with a barbeque facility, a fitness room and both covered and uncovered bicycle parking. The trash enclosure is in the covered portion of the parking lot. The first floor live/work units will have front doors on Lincoln. The upper floor units have front doors on interior hallways. Access to the upper floor units will be through a lobby elevator off of Lincoln, through a stairwell off of 6th Street, and through a stairwell off of the alley to the south. All of the units

along the Lincoln and 6th Street facades will include a balcony except for the corner units. The rear units facing the parking area will not include balconies.

The BE district has specific architectural standards for both building design and materials. These are described in detail in the *Findings and Analysis* section of this report. The design requirements relate to matters such as roof articulation, façade articulation, front entrance treatment, and use of features to increase visual interest and variety. The materials requirements relate to limiting the use of lower quality materials and including materials suitable for an urban setting. The proposed building meets the design and materials standards of the district.

Public Area

The building will be situated at the lot line along 6th Street, but set back from the Lincoln Avenue lot line by approximately 6.5 feet to the pilasters and an additional 3 feet to the building wall. This open space area of the lot will be immediately adjacent to the existing Lincoln Avenue public sidewalk. The open space will be cement paved and include a public access easement between the lot line and the pilasters. By situating the open space adjacent to the public sidewalk and including a public access easement, the open space on the subject property can function as an extension of the public sidewalk. The public access easement area, which will be elevated approximately 1.5 feet above the public sidewalk, is accessible through two sets of stairs near the southeast corner and a set of stairs and an ADA-accessible ramp near the northeast corner. It will include tables and chairs for public use and planter beds straddling the property line that will include the four Lincoln Avenue street trees. Benches and small planters will also be included between the pilasters, although these will be situated outside the public access easement and are intended for visitors to and residents of the live-work units.

The 6th Street frontage will also include benches and planters, although these will be situated within the 6th Street right-of-way for which encroachment permits will be obtained from the city. There will also be bicycle racks along 6th Street aimed at visitor use. The five street trees along 6th will be situated in the public sidewalk area adjacent to the curb.

Applications

The proposal required the submittal of a lot merger application and a site development plan (SDP) application. The lot merger plat and site development plan are both attached for the Planning Commission's reference. It should be noted that per the municipal code, the proposed use is allowed and both the lot merger and SDP application are approved administratively (by staff), and do not require Planning Commission review at a public hearing. Only the building, because it exceeds 25,000 sq ft, requires review and findings by the Planning Commission.

Staff has concluded its review of the lot merger and found it complies with all code requirements, with only minor technical corrections remaining. The site development plan has undergone two rounds of staff review and applicant revisions. Minor additional corrections will need to be made, but the necessary corrections to the site plan should not impact the building under review at the hearing.

Upon completion of the Planning Commission review of the building and staff review of the lot merger and SDP applications, the encroachment permit, site work permit, and building permit applications can be submitted.

VI. FINDINGS AND ANALYSIS

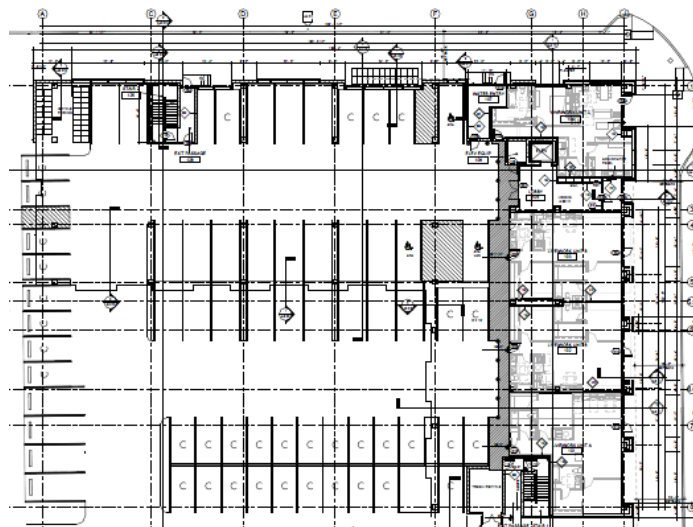
Loveland Municipal Code Section 18.24.050, Proposals requiring approval by the Planning Commission, states that three findings are required of the Planning Commission when evaluating BE district buildings at a public hearing. The findings are indicated by italic font.

Finding 1. The proposed project complies with all standards of this chapter (Chapter 18.24 BE district) and any other applicable provisions of the Loveland Municipal Code.

Staff believes that this finding can be met. Planning staff has determined that the project meets the standards applying to the BE district, as listed in Section 18.24.060 with regards to the items described below. Compliance with all other provision of the Municipal Code will be confirmed through the lot merger, site development plan, site work, building permit application and staff review processes. Because of the significant amount of staff review that has occurred thus far through the SDP and lot merger applications, it is anticipated that the proposal will be able meet all Code requirements.

A. Building Height: The proposed building measures approximately 55 feet in height to the parapet and approximately 59 feet to the highest point of the roof (at the northeast corner). This is below the 70-foot maximum height allowed in the subject property's C height district, as indicated in Figure 16.24.060-1 of Section 18.24.060.

B. Off Street Parking: The proposed project is located within an approved General Improvement District (GID), which was established to develop and maintain public parking within the downtown core area. No off-street parking is required for mixed uses projects within the GID. However, the project does provide 65 ground floor (street level) parking spaces on the subject property, which is a ratio of slightly under 1 space per residential unit or 0.93 spaces per overall units (residential and live-work).



First Floor Plan-Parking and Live/Work Units

C. Parking garages: Of the 65 at-grade ground floor parking spaces proposed for the site, 25 will be situated underneath a portion of the second floor of the building. The remainder are open air surface spaces. The open air and covered parking are immediately next to each other and share driving aisles, and will function as one parking area.

D. Signs: As this project is located within the downtown core area, all signage will be required to comply with Section 18.50.110 of the City of Loveland Municipal Code. Section 18.50.110 establishes the signage standards for sign regulations for structures with minimal building setback along a street right-of-way or in the area of the downtown. No signs are proposed for the project at this time. All signs will be evaluated with separate sign permits to determine compliance with the downtown sign regulations.

E. Illumination: A photometric plan has been submitted with the Site Development Plan application as required by Section 3.09 of the *City of Loveland Site Development Performance Standards*. The ground floor parking area, which will be shielded from both adjacent public streets by the building, will be visible from the adjacent alleys. The uncovered parking area will be illuminated by four sconce lights mounted to the building and one pole mounted light. Wall sconce lights will be located above each of the Lincoln Avenue and 6th Street building entrances, with an additional sconce on each of the four pilasters along the Lincoln façade. The off-site illumination levels resulting from the sconces are acceptable, and all adjacent areas are already illuminated by street or alley lighting fixtures.

F. Outdoor Eating Areas: The BE district encourages the establishment of restaurants with outdoor eating areas within the downtown core area. No restaurant uses are proposed for the development. There are, however, outdoor seating areas proposed for the live/work units fronting Lincoln Avenue. The applicant has included details of the outdoor seating area and the proposed furniture in their submittal.

G. Outdoor Storage: Outdoor storage is not proposed with this development and therefore this finding is not applicable.

H. Outdoor Display: Outdoor display of merchandise for retail sale is not proposed with this project and therefore this finding is not applicable.

I. Alley Level of Service Standard: A variance to the alley level of service (LOS) has been requested. The request, which is supported by the city engineer, will be considered by City Council after the Planning Commission public hearing on the building.

J. Civic Structures: This development is not a civic structure and therefore this finding is not applicable.

Planning staff has determined that the project meets the standards applying to the core character area of the BE district, as listed in Section 18.24.080 with regards to the following:

C. Primary Pedestrian Streets: Lincoln Avenue is a primary pedestrian route as indicated in Figure 18.24.080-1 of the code. Primary pedestrian routes are to:

- i. *Remain inviting to pedestrians.* A paved open space area is included on the Lincoln Avenue side of the subject property adjacent to the existing public sidewalk. A pedestrian access easement will be established on this area. The intent is that this area will supplement the existing public sidewalk and that pedestrians will feel welcome on it. This area will have landscape planters and tables with chairs to further invite the public into the space.
- ii. *Maintain the established commercial architectural character within the downtown.* The first floor units along Lincoln Avenue are designated “live-work” units aimed at office or gallery uses. The first floor façade along Lincoln is of a commercial style with glass walls. The upper floors will contain residential units, and the architecture of those floors is of a residential style.
- iii. *Maximize commercial activity by not separating commercial areas with large areas of non-commercial facades.* As referenced above, the first floor of the building along Lincoln Avenue will be a commercial-style façade with office or gallery uses. This will be in keeping with the existing established commercial structures and activity along that street.
- iv. *Facilitate comfortable pedestrian circulation between destinations.* The development will encourage pedestrian movement between it and other downtown destinations for both the residents of the building and nonresident visitors through the emphasis on the pedestrian space along Lincoln, the placement of the parking lot behind the building with alley access, the limited building setback along the adjacent streets, and the proximity of the subject property to other downtown destinations.
- v. *Facilitate pedestrian circulation between parking areas and destinations to support “parking once” and walking to multiple destinations.* Residents of the building can utilize the on-site parking lot for their own vehicle and can quickly and conveniently walk to all other properties within the core area. Visitors to this building can utilize the adjacent on-street parking and can also then walk to all other properties within the core area.

D. Primary and Secondary Elevations and Lot Frontage: For a building on a corner lot where one of the adjacent streets is designated as a primary pedestrian street, the elevation and lot frontage facing this street shall be the primary elevation and lot frontage. The proposed development treats its Lincoln Avenue side as the primary elevation and lot frontage and provides more pedestrian orientation at that street through the inclusion of a publicly inviting open space area adjacent to the public sidewalk, the placement of ground-floor live-work units with commercial-style architecture, the placement of the main building entrance, and greater architectural detail.

E. Dimensional Standards: The development meets all dimensional standards in this section except for the face of curb setback. Per Section 18.24.080 E(1), Footnote 3, structures 50 feet in height or taller shall be set back a minimum of 15 feet from the face of curb. As indicated on the site plan, both the Lincoln Avenue and 6th Street facades of the proposed building are 14 feet from the face of curb. This regulation seeks to prevent a sense of looming buildings that can result from particularly tall buildings situated next to relatively narrow sidewalks. The code allows the granting of an administrative (staff approved) variation to this standard provided an adequate “alternative compliance” with the intent of the regulation is present. The applicant proposes that the intent of this regulation is met even with the setback being one foot short of the requirement because the building to the north (an office building), has green space (lawn) between it and the 6th Street right-of-way, and

the building to the east (the Lincoln Place mixed use development) has a pedestrian open space area between the building and the Lincoln Avenue right-of-way (similar to that proposed for the subject property). With both of the buildings across from the subject building having open space between the building and the lot line, a sense of looming buildings should not result from the proposed building being situated one foot closer to the curb than would normally be allowed. Staff is supportive of the requested face of curb setback variation.

F. Architectural Features: This subsection lists architectural features that are required or encouraged in buildings in the core area. Refer to the attached elevations for more information on the building appearance. The proposed development includes the following referenced features:

1. Pilasters, balconies and porches
2. Capstone finish, projecting eaves and roof features providing definition and articulation to the upper edges of the building
3. Greater attention to detail and materials on the ground floor elevation allowing it to be clearly distinct from upper floors
4. Greater attention to detail on the primary pedestrian street (Lincoln Avenue) elevation
5. Inclusion of a corner treatment on the portion of the building nearest the major street intersection, allowing for added visual interest through the use of a contrasting color on the top floor an angled capstone roof finish
6. Rooftop mechanical equipment situated out of view of the public rights-of-way
7. A primary entrance on Lincoln Avenue that is framed by a canopy
8. Windows and doors that total a minimum percentage of the facades
9. No wall extending more than 20 feet on the ground floor without a window or other opening
10. Recesses and projections along the façade that provide wall articulation, preventing long stretches of flat surface
11. Use of quality materials, including at least 30% of the facade consisting of brick or stone and limited use of wood and metal
12. Avoidance of monotone color palettes
13. Compatibility with the commercial building style prevalent in the downtown
14. Compatibility in scale, rhythm, materials, and mass with historic buildings in the core area.



The materials utilized in the building are as follows:

- A light colored beige masonry as a base treatment for the building
- A medium colored beige masonry along portions of the first floor
- A beige brick veneer for floors two to four at the Lincoln Avenue/6th Street intersection
- Grey cement panel siding and light tan stucco for portions of floors two to four
- Grey metal panel and red/brown cement lap siding on the fifth floor and as accent materials on lower floors
- Off-white vinyl window frames for the residential units
- Aluminum storefront window frames
- Wood slat and ivy covered metal landscape grid (“green wall”) parking lot openings along 6th Street

G. Open Space: While there is limited space available on the lot, common open space is provided on the east side of the lot between the building and the public sidewalk along Lincoln Avenue. This space provides a focal point for activity through the provision of seating and planters and through its adjacency to the public sidewalk, allowing the open area to feel more spacious.

H. Parking: Vehicular access to the parking lot is from the alley to the south of the property. That alley can be accessed from the other adjacent alley to the west of the property. Neither parking spaces nor driving aisles are located between the building and either the Lincoln Avenue or 6th Street public rights-of-way. The parking lot will not be visible from either Lincoln Avenue or 6th Street because of the placement of the (L-shaped) building between it and the streets. The parking lot will be visible from both adjacent alleys. Screening of parking lots is not required adjacent to alleys.

I. Pedestrian Facilities: The ground floor units along Lincoln Avenue are connected to the public sidewalk by an adjacent sidewalk area on the subject property. Along 6th Street, the building is situated at the property line immediately adjacent to the existing public sidewalk. There is no other pedestrian sidewalk needed within the subject property.

J. Other Site Amenities: Other site amenities include the provision of a public pedestrian access easement along Lincoln Avenue between the building and the public sidewalk, which will allow public use of the open space. Included in this area are seating and planters for public use and enjoyment.

K. Infill Streets and Drives: No interior streets or drives are proposed with this development and therefore this finding is not applicable.

City staff has determined that the project meets the landscaping standards of the BE district, as listed in Section 18.24.110 with regards to the following:

C. Landscaping Requirements: Street trees are provided as described in D below. Landscape screening is not required for the parking lot because it front alleys instead of public streets. No interior parking lot landscaping or other on-site landscaping is required, but planters have been provided along both the Lincoln Avenue and 6th Street frontages.

D. Street Trees: There are three existing large and mature street trees in the right-of-way along the subject property's 6th Street frontage and three existing (though not particularly large) trees in the right-of-way along Lincoln Avenue. All of the existing trees are proposed to be removed due to the extensive grading that will occur at and near the trees during the construction process. Five linden trees will be planted along the 6th Street right-of-way in the sidewalk area near the curb. Three English oak trees will be planted along Lincoln Avenue situated roughly at the property line in planter beds between the on-site paved area and the public sidewalk.

Finding 2. *The proposed development is consistent with the goals of the document, Destination Downtown: Heart Improvement Project Downtown Strategic Plan and Implementation Strategy.*

Planning staff believes that this finding can be met. City staff has determined that the project meets the goals of the Destination Downtown (also known as "HIP Streets") plan with regards to the following:

A. Goal: Maintain and enhance the economic vitality of Downtown through private/public partnerships. The development of the subject property is a collaboration between private and public entities. The City of Loveland purchased the property for the purpose of influencing the redevelopment of a prominent property in the core area of downtown. The city issued an RFP (request for proposals) seeking a private developer to pursue the city's vision for the property as generally described in *Destination Downtown*. The applicant, Brinkman Partners, was chosen by the city from the RFP respondents.

B. Goal: Identify funding gaps to project development and structure tools to fill the gaps and achieve development. Through the city purchase of private property, the sale (transfer of ownership) of the property to the developer, and economic assistance approved by city council in conjunction with the transfer of ownership, the city has identified and filled gaps in the funding of the redevelopment of a prominent downtown property.

C. Goal: Identify strategic catalyst projects that will significantly improve the economic conditions in Downtown The subject property was identified as a strategic catalyst project for the improvement of economic conditions downtown in advance of its purchase by the city. Through the establishment of additional downtown residents in relatively high density developments, additional customers will be available to downtown businesses and new businesses will be encouraged to locate there.

D. Goal: Develop and maintain a living Strategic Infrastructure Master Plan for the downtown. This finding is not applicable to the proposed building. However, all necessary infrastructure is available for its development.

E. Goal: Proactively market the Downtown District. This finding is not applicable to the proposed building.

F. Goal: Work collaboratively with non-profits, the LDT Urban Renewal Authority and the city of Loveland to achieve the best long-term outcomes. This finding is not applicable to the proposed building.

Finding 3. The proposed development is compatible with surrounding properties while considering its location in an urban environment characterized by a diversity of uses and building types.

Planning staff believes that this finding can be met. Mixed use buildings like the proposed project provide a diversity of uses within an individual building. While the majority of the building will consist of multifamily residential, an increase of this use type, which is currently limited in number in the downtown, will increase the overall diversity of uses in the downtown. With the inclusion of office and gallery uses and a commercial architectural style on the first floor, proposed building is compatible with the immediately surrounding commercial uses in the downtown.

VII. RECOMMENDED CONDITIONS

All staff conditions on the project relate to the site development plan (SDP) application and will be attached to the staff approval of the SDP.

6TH & LINCOLN HOUSING

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phone 303.449.8900

**6TH & LINCOLN
LOVELAND, CO**

CONDITIONS

- Notwithstanding any information presented in the approved Site Development Plan set or accompanying construction plan documents (text or graphical depictions), all public improvements shall conform to the Larimer County Urban Area Street Standards (LCUASS) as amended, unless specific variances are requested and approved in writing.
- City signed Site Development Plans (including the associated civil Public Improvement Construction Plans) do not allow any construction within public street or alley rights-of-way. A separate City Street right-of-way (ROW) Work Permit must be obtained at the City Project Engineering office (and approved by Project Engineering) prior to any repair or construction of sidewalk, curb and gutter, driveway accesses, or any other construction in City street or alley rights-of-way (this includes all items proposed in rights-of-way such as utility street cuts, sidewalk ramps, construction staging proposed in street, landscaping, traffic control, etc.). (Call 962-2510 to discuss details to obtain a ROW Work Permit).
- Prior to the commencement of any construction activities within the State Highway Right-of-Way US 287 (such as N Lincoln Avenue), in addition to a City Right-of-way Work Permit as noted above, the Applicant is required to obtain appropriate permitting from the Colorado Department of Transportation (CDOT). CDOT permitting can be obtained through the CDOT Region 4 Permit Supervisor (970-350-2148).
- Prior to the commencement of any construction activity that will involve any existing or proposed street signs or traffic control devices within the public street right-of-way (ROW), the contractor shall contact the City Traffic Division at (970) 962-2535 to coordinate the removal, relocation, installation, and/or proper storing of the sign(s) or traffic control device(s) and obtain a ROW work permit from the City Public Works Engineering Division to do such work. However, if the contractor removes or relocates any existing street sign(s) or traffic control device(s) within the public ROW without first obtaining a ROW work permit from the City Public Works Division, then the contractor will be charged for the labor, materials, and equipment to reinstall the sign(s) or traffic control device(s) as deemed necessary by the City. The contractor will also be charged to replace any existing street signs or traffic control devices that were damaged or blemished during any construction activity as deemed necessary by the City. The contractor may also be subject to additional fines as per the Loveland Municipal Code.
- An encroachment permit must be obtained from the City Project Engineering office by the applicant prior to approval or construction of any private improvement(s) within street or alley rights-of-way (such as planters, steps, benches, tree grates, planter storm sewer under drains, etc). (Call 962-2510 to discuss details to obtain an encroachment permit).
- Prior to any construction activity within a street or alley Right-of-Way, the Applicant and/or Contractor shall contact the Public Works Street Inspector (970-962-2606 or 970-962-2527) to discuss the proposed work and schedule necessary inspections.
- All public street improvements adjacent to this property (such as proposed or existing street sidewalk, curb and gutter, access(s), pavement striping, and street signing or traffic control devices), must be found complete and in good repair acceptable to the Public Works Street Inspector prior to issuance of a certificate of occupancy, letter of completion, or final inspection for the building.
- City standard stop signs must be installed and be found satisfactory to the Public Works Street Inspector, one at each end of the east-west alley (at Lincoln and Cleveland Avenues), and one at the alley access (from the parking lot) onto the east west alley, prior to issuance of a certificate of occupancy, letter of completion, or final inspection of the proposed building.
- Prior to the issuance of a letter of completion, final inspection, or use of the proposed parking lots, all trees, shrubs, and other plant materials located within clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of the Larimer County Urban Area Street Standards (LCUASS). Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet and shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity. Trees are also required to be kept limbed up a minimum of 8' above all street sidewalks.
- It is the Applicant's responsibility to ensure that dirt and/or other construction debris are not tracked or otherwise deposited to the public street/alley system. In the event of said occurrence, the Applicant shall be responsible for its immediate removal, to the satisfaction of the Public Works Street Inspector.

SIGNATURE BLOCK

Property Owner

The undersigned agree that the real property described in the application for Site Development Plan filed herewith, and as shown on the site plan, shall be subject to the requirements of Chapter 18.46 of the Municipal Code of the City of Loveland, Colorado, and any other ordinances of the City of Loveland thereto. The undersigned also understands that if construction of all improvements is not completed and if the Site Development Plan uses are not established within three years of the date of approval, or other completions date or dates established in a development agreement approved by the City, the City may take an action to declare the Site Development Plan abandoned and null and void.

(Owner's Signature)

(Title)

STATE OF COLORADO)
) ss.
COUNTY OF LARIMER)

The foregoing agreement was acknowledged before me this ____ day of _____, 20____, by _____.

Witness my hand and official seal.

My commission expires: _____
Notary Public

Approved this ____ day of _____, 20____, by the Current
Planning Manager of the City of Loveland, Colorado.

Current Planning Manager
ATTACHMENT 1

SITE DATA TABLE

ZONING	CC (COMMUNITY COMMERCIAL)
SITE ACREAGE	0.64 ACRES
LAND USE	MIXED-USE DWELLINGS
SQUARE FOOTAGE	LEVEL 1: 5,566 SF LEVEL 2: 15,353 SF LEVEL 3: 15,353 SF LEVEL 4: 15,353 SF LEVEL 5: 13,812 SF TOTAL: 65,437 SF
BUILDING OCCUPANCY	R-2 (RESIDENTIAL, APARTMENT) & S-2 (PARKING)
TYPE OF CONSTRUCTION	1-A (LEVEL 1) & V-B (LEVELS 2-5)
PARKING SPACES	STANDARD: 26 (40.0%) COMPACT: 36 (55.4%) ACCESSIBLE: 3 (4.6%) TOTAL: 65
LANDSCAPING	217 SF (0.7%)
OPEN SPACE	1139 SF (4.1%)
FEMA FLOODPLAIN	NO PORTION OF SITE IS LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN

OWNER/DEVELOPER
BRINKMAN PARTNERS
3003 E. HARMONY RD.
FT. COLLINS, CO 80528
TEL: 970-267-0954

STRUCTURAL
KL&A, INC.
421 E. FOURTH ST.
LOVELAND, CO 80537
TEL: 970-667-2426

ARCHITECT
OZ ARCHITECTURE
1805 29TH STREET
SUITE 2054
BOULDER, CO 80301
TEL: 303.449.8900

MECHANICAL
GIVEN & ASSOCIATES, INC
735 S. XENON CT. #201
LAKEWOOD, CO 80228
TEL: 303-716-1270

CIVIL
INTERWEST CONSULTING
GROUP
1218 W. ASH ST.
SUITE C
WINDSOR, CO 80550
TEL: 970-674-3300

ELECTRICAL
GIVEN & ASSOCIATES, INC
735 S. XENON CT. #201
LAKEWOOD, CO 80228
TEL: 303-716-1270

LANDSCAPE
TB GROUP
444 MOUNTAIN AVE.
BERTHOUD, CO 80513
TEL: 970-532-5891

LEGAL DESCRIPTION

LOT 1, AMENDED PLAT OF LOTS 1 THROUGH 8,
BLOCK 12 OF THE ORIGINAL PLAT OF LOVELAND,
CITY OF LOVELAND, LARIMER COUNTY, STATE OF
COLORADO.

SHEET INDEX

Sheet Number	Sheet Name
SDP 1	SHEET INDEX, SITE DATA, PROJECT TEAM, LEGAL DESC. & SIGNATURE BLOCK
SDP 2	SITE PLAN
SDP 3	LANDSCAPE PLAN
SDP 5	WEST & SOUTH ELEVATIONS
SDP 6	VIEWS FROM STREET
SDP 7	PHOTOMETRIC PLAN
SDP 8	PHOTOMETRIC DETAILS

PROJ. NO. 112045.00

DRAWN: OZ

CHECKED: PLS

APPROVED: PLS

DATE: 11/27/2012

REVISIONS 2/6/2013

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ISSUED FOR:
SITE DEVELOPMENT PLAN

SHEET TITLE:
SHEET INDEX, SITE DATA,
PROJECT TEAM, LEGAL
DESC. & SIGNATURE BLOCK

SCALE: 12" = 1'-0"
SHEET NUMBER

SDP 1



OZ ARCHITECTURE
 1805 29th Street
 Suite 2054
 Boulder, Colorado 80301
 phone 303.449.8900

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 LOVELAND, CO

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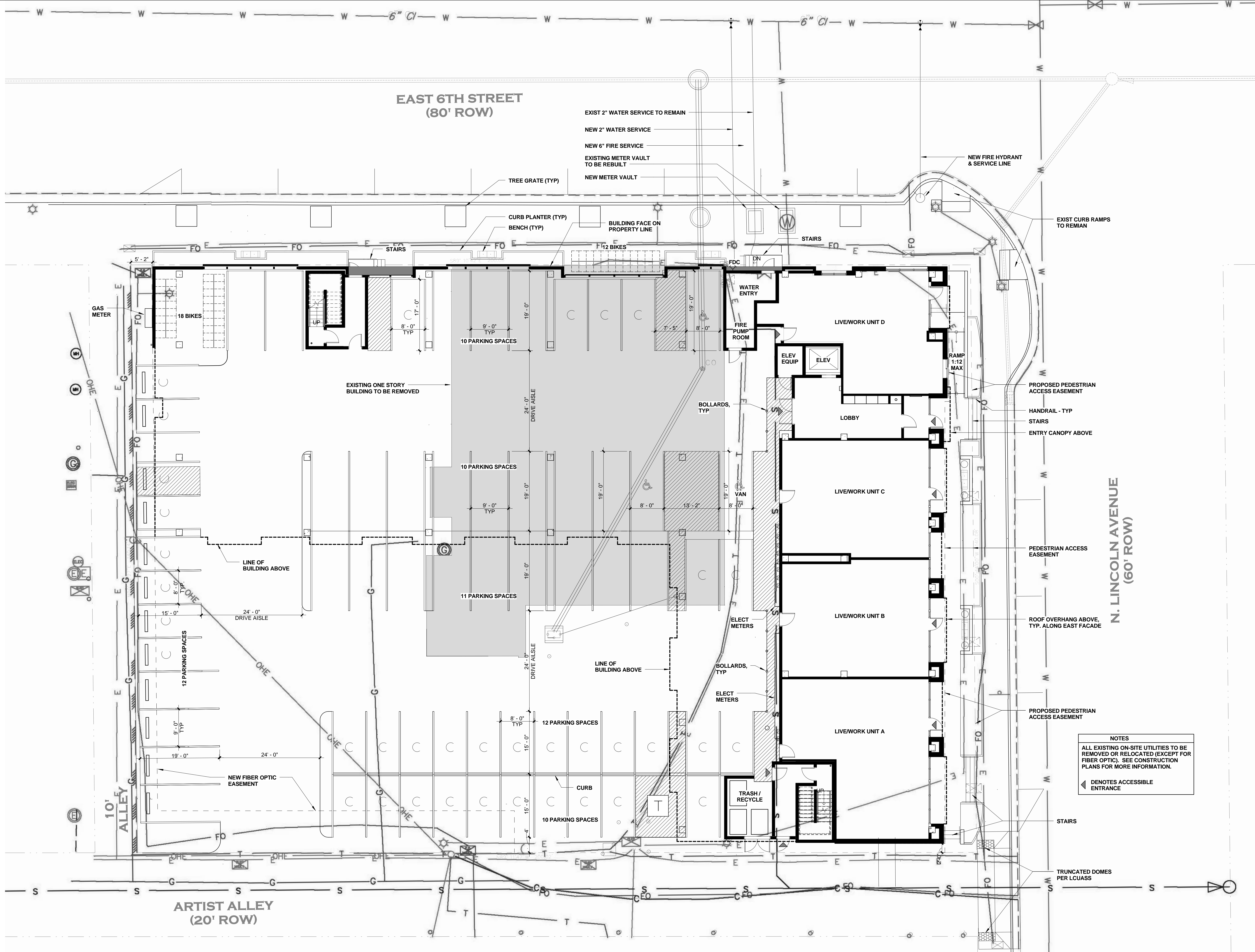
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6TH & LINCOLN
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 SITE DEVELOPMENT PLAN

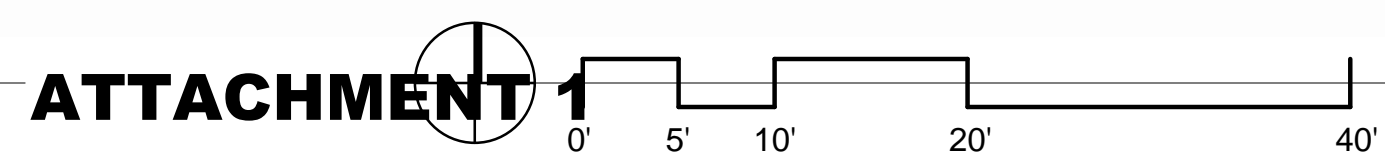
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 SITE PLAN

SCALE: 1" = 10'-0"
 SHEET NUMBER

SDP 2

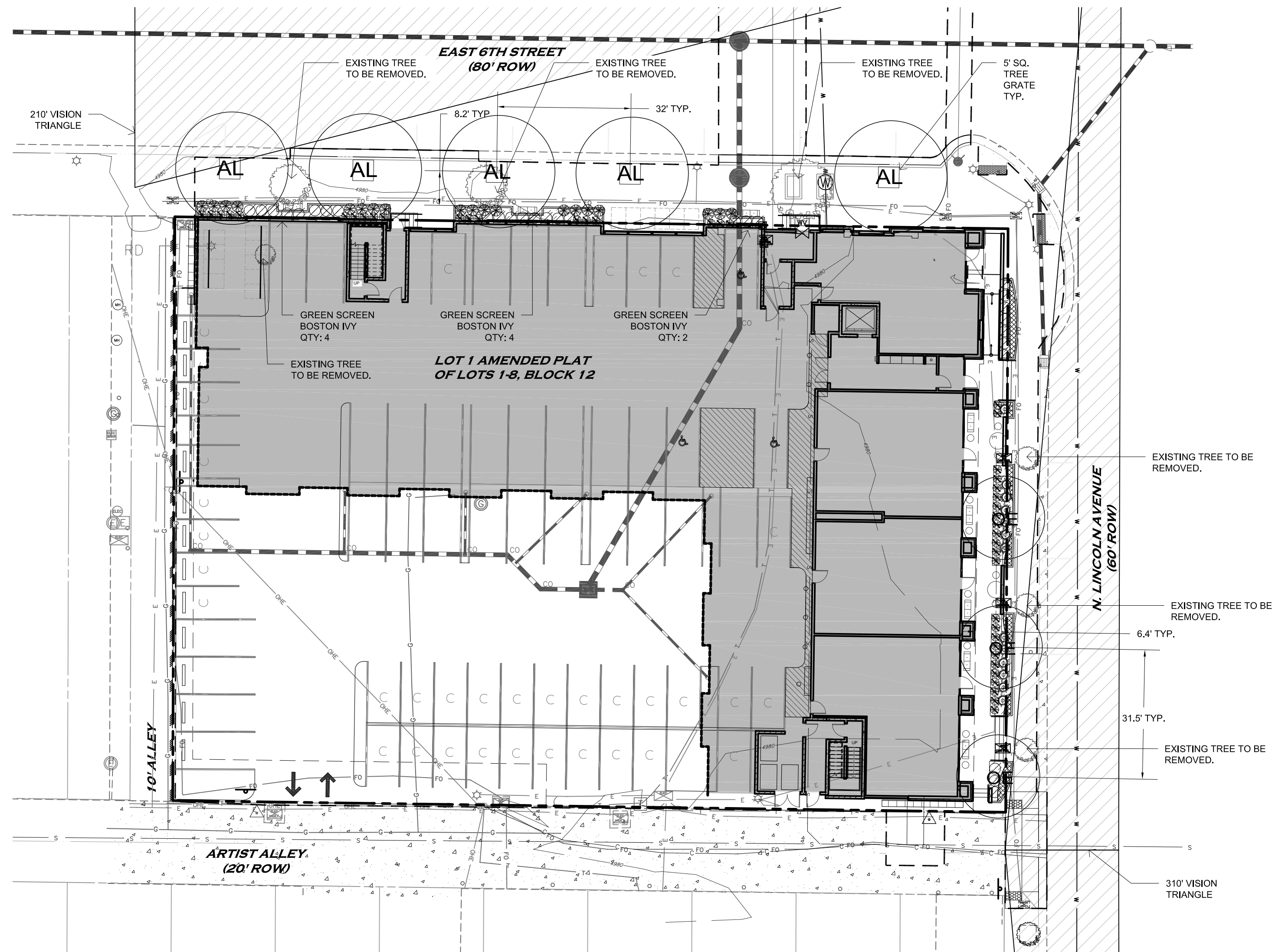


1 SDP SITE PLAN
 1" = 10'-0"

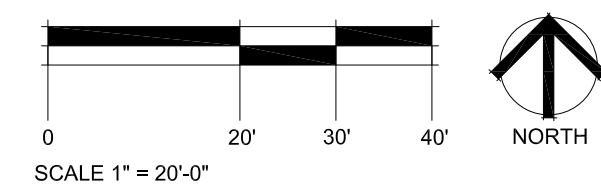


NOTES
 ALL EXISTING ON-SITE UTILITIES TO BE REMOVED OR RELOCATED (EXCEPT FOR FIBER OPTIC). SEE CONSTRUCTION PLANS FOR MORE INFORMATION.
 ◀ DENOTES ACCESSIBLE ENTRANCE

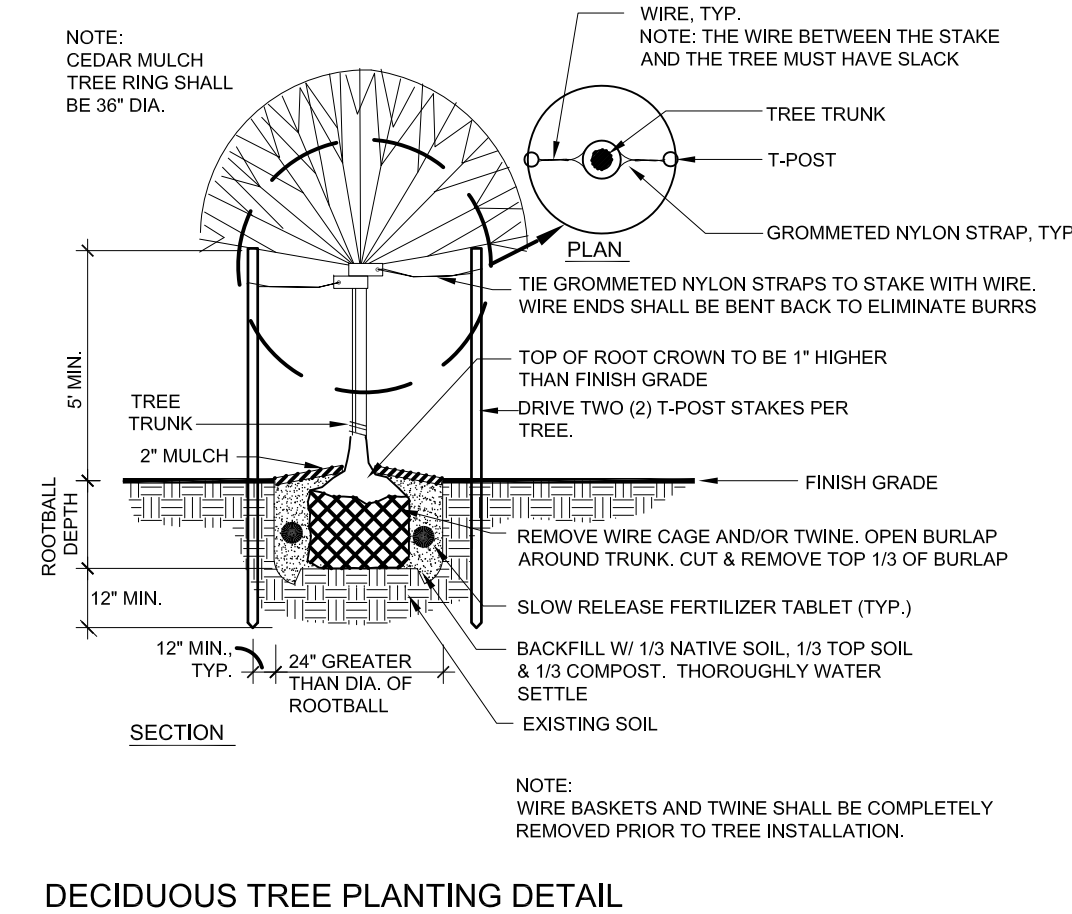
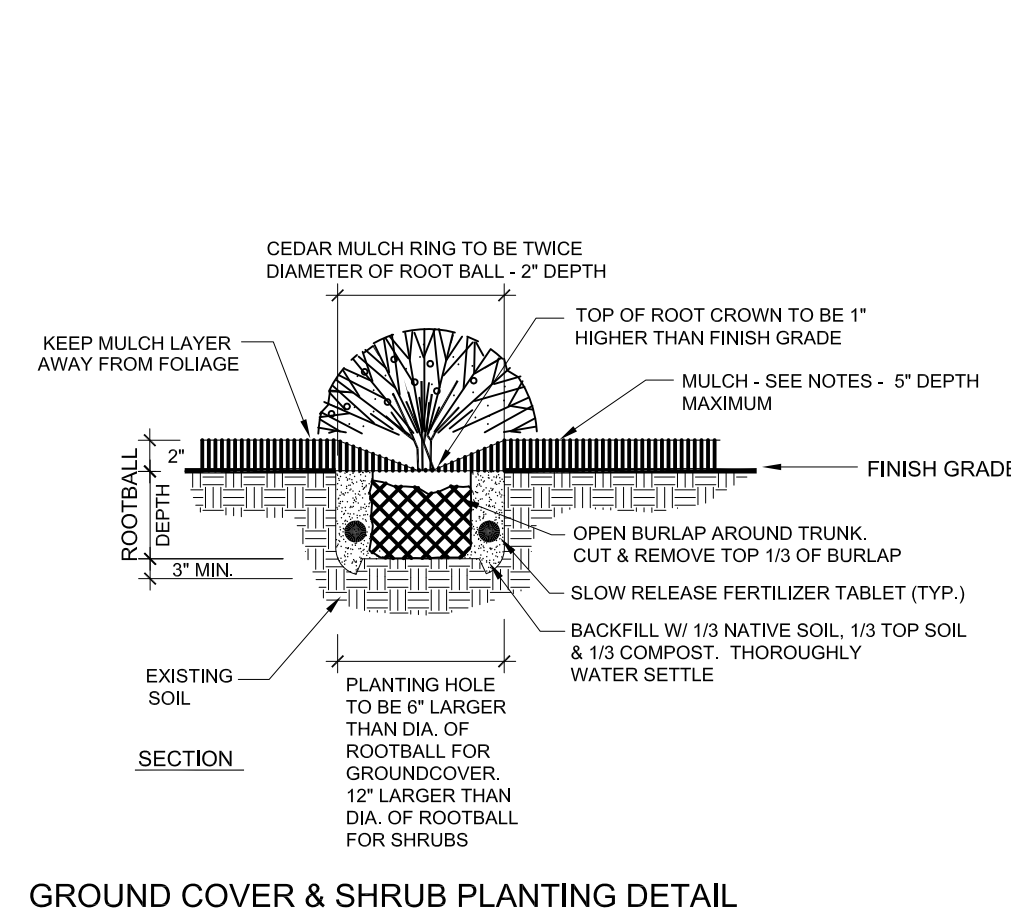
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Landscape Plan



Planting Details



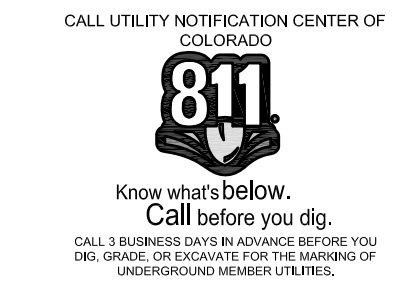
Irrigation Notes

- ENTIRE IRRIGATION SYSTEM WITH RAIN SENSOR TO BE DESIGNED FOR LANDSCAPE SHOWN ON PLAN AND BUILT BY CONTRACTOR UTILIZING EXISTING IRRIGATION SYSTEM. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM.
- ALL TREES, SHRUBS AND PERENNIALS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. IRRIGATION SYSTEM AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
- QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
- ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
- ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Plant List

KEY	QTY	RATIO	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	SIZE	INSTALLATION NOTES
SHADE / CANOPY TREES - 8								
AL	5	62.5%	LINDEN, REDMOND	Tilia americana	45'	25'	2" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
OE	3	37.5%	OAK, ENGLISH SKYMASTER	Quercus robur 'Skymaster'	45'	20'	2" cal. BB	BALANCED, WELL BRANCHED W/ STRAIGHT TRUNK & CENTRAL LEADER
EVERGREEN SHRUBS - 13								
	13	-	PINE, MUGO WHITE BUD	Pinus mugo 'White Bud'	2'	4'	5 Gallon	18" (H) FULL SPECIMEN, EVENLY AND WELL BRANCHED
PERENNIALS / GRASSES - 101								
	80 SF	-	DAY LILY, AUTUMN RED	Hemerocallis spp. 'Autumn Red'	30"	18"	4" Pots	WELL ROOTED AND ESTABLISHED
	19	-	GRASS, AVENA	Helictotrichon sempervirens	2'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
	29	-	GRASS, FEATHER REED	Calamagrostis acutiflora 'Karl Foerster'	4'	2'	1 Gallon	WELL ROOTED AND ESTABLISHED
	43	-	GRASS, RED SWITCH SHENANDOAH	Panicum virgatum 'Shenandoah'	3'	18"	1 Gallon	WELL ROOTED AND ESTABLISHED
See Plan	10	-	IVY, BOSTON	Parthenocissus tricuspidata 'Vetchi'	vine	vine	1 Gallon	WELL ROOTED AND ESTABLISHED

- 545 S.F. SHREDDED CEDAR MULCH
AREAS TO RECEIVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH OVER WEED BARRIER FABRIC
- 80 S.F. GROUNDCOVERS / FLOWERS
DAYLILY PLANTING BEDS: 4" Pots @ 12" O.C.
AREAS TO BE MULCHED WITH CEDAR MULCH



Landscape Notes

- STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER MAINS, FOUR (4) FEET FROM GAS, TELEPHONE AND ELECTRIC UTILITIES, AND TEN (10) FEET FROM ANY DRIVEWAY. SHRUBS SHALL BE PLANTED 4' FROM WATER AND SEWER MAINS.
- MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC), NO VEGETATION OTHER THAN TURF OR GROUND COVERS PLANTED IN FRONT OF FDC.
- IF TREES OR SHRUBS ARE LOCATED ON TOP OF FIELD VERIFIED UTILITIES, CONTRACTOR SHALL NOTIFY OWNER BEFORE ANY DIGGING HAS COMMENCED. VERIFY WITH OWNER IF AND WHICH SHRUBS/TREES SHALL BE TAKEN OUT OF PROJECT/CONTRACT.
- ALL LANDSCAPE AREAS SHALL BE MAINTAINED, INCLUDING MOWING, WATERING AND FERTILIZING BY CONTRACTOR, UP TO FINAL ACCEPTANCE. AT SUCH TIME OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE. LANDSCAPE AND IRRIGATION WILL BE WARRANTED FOR ONE (1) FULL YEAR AFTER FINAL ACCEPTANCE. TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- EXCAVATED MATERIAL TO BE USED AS FILL WILL HAVE ALL ROCKS, DEBRIS, WASTE MATERIAL, FROZEN MATERIAL, VEGETATION LARGER THAN 3" IN ANY DIMENSION REMOVED BEFORE PLACEMENT AND COMPACTION OF SOIL.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND WALL FOUNDATIONS AND A SMOOTH TRANSITION BETWEEN ALL ADJACENT EXISTING GRADES AND PROPOSED GRADES
- PRIOR TO FINE GRADING, SOD AREAS AND PLANTING BEDS, SHALL BE THOROUGHLY LOOSEND AND TILLE. REMOVE ALL UNSUITABLE TOPSOIL, INCLUDING ALL ROCKS LARGER THAN 3 INCHES IN ANY DIRECTION, ALL CONCRETE, TRASH, DEBRIS, WEEDS, ROOTS AND OTHER WASTE MATERIALS. THE SOIL IN ALL LANDSCAPE AREAS, INCLUDING PARKWAYS AND MEDIANS, SHALL BE THOROUGHLY LOOSEND TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES AND SOIL AMENDMENT SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL OF ALL LANDSCAPE AREAS TO A DEPTH OF AT LEAST SIX (6) INCHES BY TILLING, DISCING OR OTHER SUITABLE METHOD, AT A RATE OF AT LEAST THREE (3) CUBIC YARDS OF SOIL AMENDMENT PER ONE THOUSAND (1,000) SQUARE FEET OF LANDSCAPE AREA.
- UNIFORMLY COMPACT AND FINE GRADE THESE SOD / GRASS AREAS AND PLANTING BEDS TO A SMOOTH SURFACE, FREE FROM IRREGULAR SURFACE CHANGES. CUT OUT SOFT SPOTS, FILL IN LOW SPOTS AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED GRADE TOLERANCES.
- ONCE COMPACTED AND FINE GRADED ALL ROCKS, DEBRIS, WASTE MATERIAL AND VEGETATION MATERIAL LARGER THAN 1/2" WILL BE RAKED FROM THE SURFACE AND REMOVED FROM SITE.
- SOD TO BE 100% COLORADO GROWN BLUEGRASS BLEND SPECIFICALLY GROWN FOR LOW WATER AND HIGH TRAFFIC LAWN APPLICATIONS WITH MINIMUM THREE (3) IMPROVED VARIETIES, HAVING A HEALTHY VIGOROUS ROOT SYSTEM. ONCE TURF IS LAID IT SHALL BE PROPERLY ROLLED, COMPACTED AND PUSHED TOGETHER TO ELIMINATE ANY GAPS BETWEEN ROLL EDGES. APPLY FERTILIZER IN THESE AREAS PER SOD FARMS RECOMMENDATIONS.
- ALL TREES SHRUBS AND PERENNIAL SHRUB BEDS OUTSIDE OF IRRIGATED AREAS ARE TO BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM. PERENNIAL SHRUB BEDS SHALL BE IRRIGATED BY 6" POP-UP SPRAY HEADS. IRRIGATION SYSTEM TO BE DESIGNED AND BUILT BY CONTRACTOR.
- A PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY. THIS INCLUDES ZONES BETWEEN THE SIDEWALK AND CURB, MEDIANS AND OTHER CITY PROPERTY. THIS PERMIT SHALL APPROVE THE LOCATION AND SPECIES TO BE PLANTED. FAILURE TO OBTAIN THIS PERMIT MAY RESULT IN REPLACING OR RELOCATING TREES AND A HOLD ON CERTIFICATE OF OCCUPANCY.
- THE DEVELOPER SHALL CONTACT THE CITY FORESTER TO INSPECT ALL STREET TREE PLANTINGS AT THE COMPLETION OF EACH PHASE OF THE DEVELOPMENT. ALL TREES NEED TO HAVE BEEN INSTALLED AS SHOWN ON THE LANDSCAPE PLAN. APPROVAL OF STREET TREE PLANTING IS REQUIRED BEFORE FINAL APPROVAL OF EACH PHASE. FAILURE TO OBTAIN APPROVAL BY THE CITY FORESTER FOR STREET TREES IN A PHASE SHALL RESULT IN A HOLD ON CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES OF THE DEVELOPMENT.
- ALL PLANT MATERIALS ARE SIZED AND OUTLINED IN PLANT LIST. ALL PLANTS TO BE PLANTED IN AMENDED SOIL AND STAKED AS SHOWN IN DETAILS. ALL PLANTS SHALL BE A-GRADE OR NO. 1 GRADE, FREE OF ANY DEFECTS, OF NORMAL HEALTH, HEIGHT, LEAF DENSITY AND SPREAD APPROPRIATE TO THE SPECIES AS DEFINED BY AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- IF PLANTS ARE IN NEED OF REPLACEMENT DUE TO DECLINING HEALTH, DISEASE, OR DEATH, THE PLANTS SHALL BE PROMPTLY REPLACED BASED ON THE REQUIREMENTS OF THE FORT COLLINS LAND USE CODES AND REPLACED WITH THE ORIGINAL SPECIES UNLESS APPROVED BY THE CITY.
- CHANGES IN PLANT SPECIES OF PLANT LOCATIONS FROM WHAT IS LISTED ON THE LANDSCAPE PLAN WILL REQUIRE THE APPROVAL OF THE CITY PRIOR TO INSTALLATION OF REPLACEMENT. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH THE APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
- ALL TREES AND SHRUBS TO BE BALLED AND BURLAPPED, OR CONTAINERIZED.
- ALL SHRUB BEDS SHALL HAVE ALL WIRE, TWINE, BASKETS, BURLAP, AND ALL OTHER NON-BIODEGRADABLE CONTAINMENT MATERIAL REMOVED FROM THE TRUNK AND/OR ROOT BALL OF THE PLANT, PRIOR TO PLANTING.
- ALL SHRUB BEDS SHALL HAVE MINIMUM 5" DEPTH SHREDDED CEDAR MULCH - NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 4" STAPLES 4" O.C. IN ALL DIRECTIONS.
- EDGING BETWEEN GRASS TYPES AND SHRUB BEDS / ROCK COBBLE SHALL BE DURA-EDGE HEAVY DUTY STEEL EDGER MIN. 14 GA x 4" WITH ROLLED TOP AND SHALL BE SET LEVEL WITH THE TOP OF THE ADJACENT SOD. NO EDGING SHALL BE USED BETWEEN CEDAR MULCH / COBBLE TRANSITIONS.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH. ALL LANDSCAPING IN EACH PHASE SHALL EITHER BE INSTALLED OR THE INSTALLATION SHALL BE SECURED WITH A LETTER OF CREDIT, ESCROW OR PERFORMANCE BOND FOR ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE VALUE OF THE LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR FUTURE PHASES.
- HEALTHY, MATURE TREES THAT ARE REMOVED BY THE APPLICANT OR BY ANYONE ACTING ON BEHALF OF OR WITH THE APPROVAL OF THE APPLICANT SHALL BE REPLACED WITH NOT LESS THAN ONE (1) OR MORE THAN SIX (6) REPLACEMENT TREES SUFFICIENT TO MITIGATE THE LOSS OF VALUE OF THE REMOVED TREE, THE APPLICANT SHALL SELECT EITHER THE CITY FORESTER OR A QUALIFIED LANDSCAPE APPRAISER TO DETERMINE SUCH LOSS BASED UPON AN APPRAISAL OF THE REMOVED TREE.
- LANDSCAPING WITHIN THE R.O.W. IS RESTRICTED TO PLANTS THAT DO NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE STREET FLOWLINE (TREES EXCEPTED). IF THE LANDSCAPING WITHIN THE R.O.W. EXCEEDS THIS HEIGHT OR CREATES A SIGHT DISTANCE CONCERN THE PROPERTY OWNER SHALL BE REQUIRED TO TRIM THE LANDSCAPE MATERIAL.
- DEVELOPER SHALL ENSURE THAT SITE PLAN AND LANDSCAPE PLAN AND UTILITY PLANS ARE COORDINATED SO THAT THE GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPING ELEMENTS AS SHOWN ON THE APPROVED PLANS

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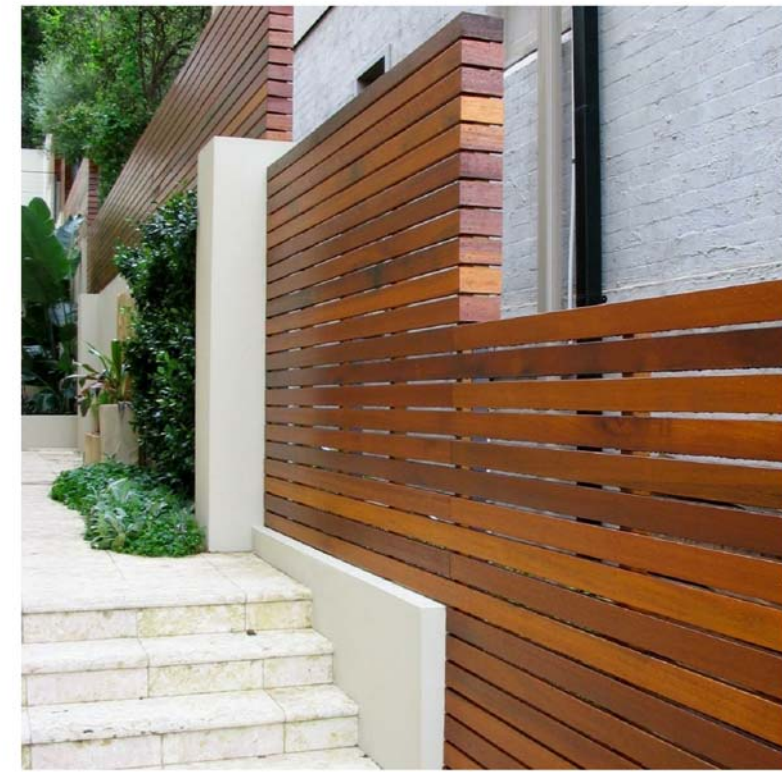
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Landscape Plan
SCALE: 1" = 20'-0"
SHEET NUMBER
SDP 3



A: GREENWALL



B: SCREEN WALL



1 SDP EAST ELEVATION
1/8" = 1'-0"

ELEVATION MATERIAL FLAGNOTES

DIVISION 3 - CONCRETE	3.4 CAST-IN-PLACE CONCRETE WALL 3.5 CAST-IN-PLACE CONCRETE COLUMN
DIVISION 4 - MASONRY	4.1 BRICK VENEER 4.2 CAST STONE CAP 4.3 COLORED, GROUND-FACE CONCRETE MASONRY
DIVISION 5 - METALS	5.1 METAL COPING 5.2 PAINTED STEEL LINTEL 5.3 PAINTED STEEL CANOPY 5.7 METAL GUARDRAIL 5.8 METAL FASCIA 5.9 GALVANIZED METAL LANDSCAPE GRID
DIVISION 6 - WOOD AND PLASTIC	6.5 WOOD SLAT SCREEN WALL 6.6 WOOD BEAM
DIVISION 7 - THERMAL & MOISTURE PROTECTION	7.1 FIBER-CEMENT PANEL SIDING 7.2 FIBER-CEMENT LAP SIDING 7.3 STUCCO 7.4 METAL PANEL
DIVISION 8 - OPENINGS	8.1 ALUMINUM STOREFRONT SYSTEM 8.2 VINYL WINDOW 8.3 VINYL SLIDING DOOR 8.8 OVERHEAD GARAGE DOOR
DIVISION 15 - MECHANICAL	15.1 ROOFTOP EQUIPMENT

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2 SDP NORTH ELEVATION
1/8" = 1'-0"

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SHEET TITLE:
EAST & NORTH ELEVATIONS

SCALE: 1/8" = 1'-0"
SHEET NUMBER

SDP 4

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SHEET TITLE:
WEST & SOUTH ELEVATIONS

SCALE: 1/8" = 1'-0"
SHEET NUMBER

SDP 5

ELEVATION MATERIAL FLAGNOTES

DIVISION 3 - CONCRETE	3.4 CAST-IN-PLACE CONCRETE WALL
	3.5 CAST-IN-PLACE CONCRETE COLUMN
DIVISION 4 - MASONRY	4.1 BRICK VENEER
	4.2 CAST STONE CAP
	4.3 COLORED, GROUND-FACE CONCRETE MASONRY
DIVISION 5 - METALS	5.1 METAL COPING
	5.2 PAINTED STEEL LINTEL
	5.3 PAINTED STEEL CANOPY
	5.7 METAL GUARDRAIL
	5.8 METAL FASCIA
	5.9 GALVANIZED METAL LANDSCAPE GRID
DIVISION 6 - WOOD AND PLASTIC	6.5 WOOD SLAT SCREEN WALL
	6.6 WOOD BEAM
DIVISION 7 - THERMAL & MOISTURE PROTECTION	7.1 FIBER-CEMENT PANEL SIDING
	7.2 FIBER-CEMENT LAP SIDING
	7.3 STUCCO
	7.4 METAL PANEL
DIVISION 8 - OPENINGS	8.1 ALUMINUM STOREFRONT SYSTEM
	8.2 VINYL WINDOW
	8.3 VINYL SLIDING DOOR
	8.8 OVERHEAD GARAGE DOOR
DIVISION 15 - MECHANICAL	15.1 ROOFTOP EQUIPMENT



1 SDP WEST ELEVATION
1/8" = 1'-0"



2 SDP SOUTH ELEVATION
1/8" = 1'-0"

ATTACHMENT 1

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SHEET TITLE:
VIEWS FROM STREET

SCALE:
SHEET NUMBER

SDP 6



2 VIEW FROM INTERSECTION OF LINCOLN AVE. & 7TH ST.



1 VIEW FROM INTERSECTION OF CLEVELAND AVE & 6TH ST.



4 VIEW FROM INTERSECTION OF LINCOLN & 5TH ST



3 VIEW FROM INTERSECTION OF JEFFERSON AVE & 6TH ST

ATTACHMENT 1

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Project # 12135

6TH & LINCOLN
LOVELAND, CO

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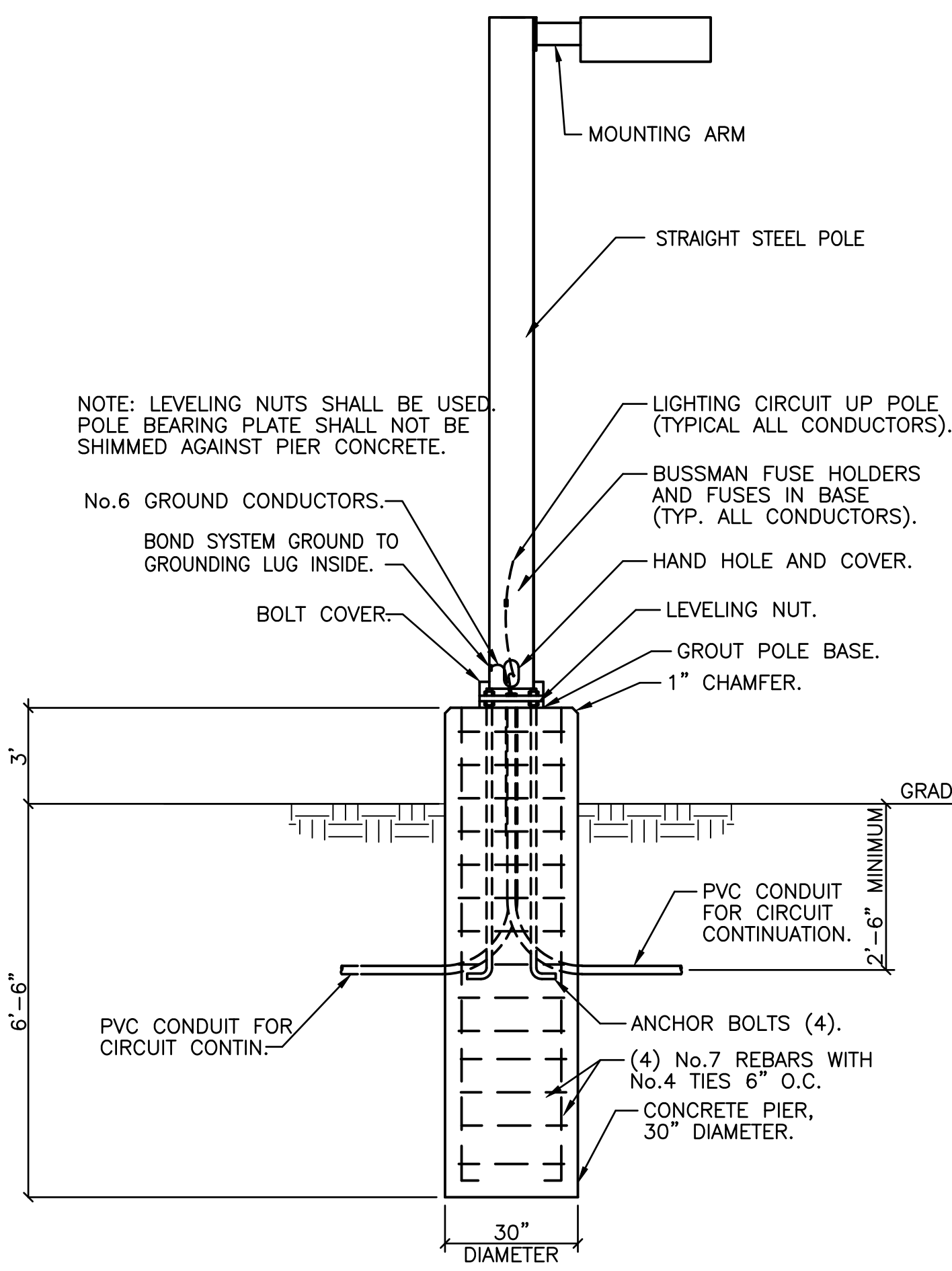
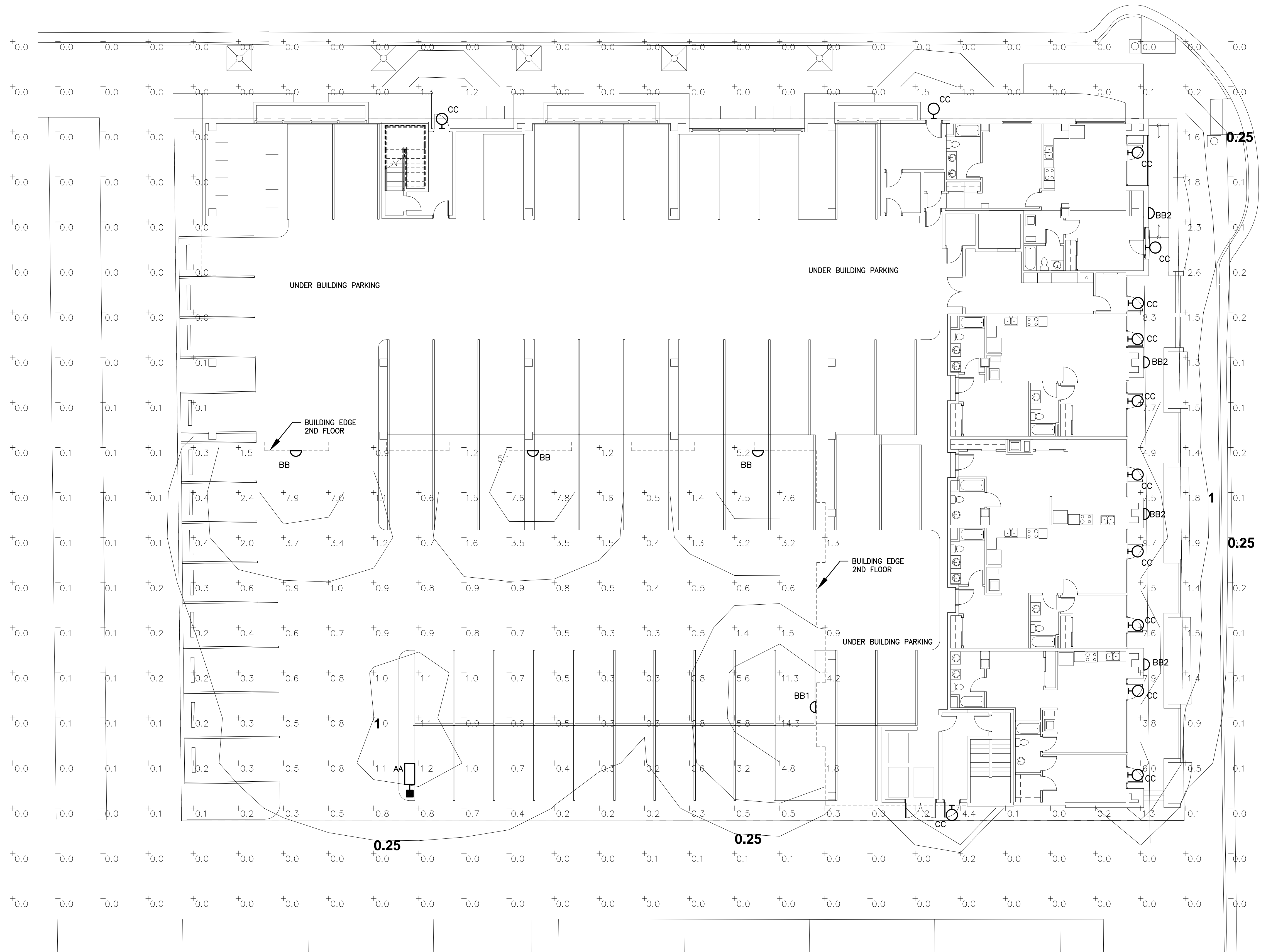
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SHEET TITLE:
PHOTOMETRIC
PLAN

SCALE:
SHEET NUMBER

SDP 7



NOTE: LEVELING NUTS SHALL BE USED.
POLE BEARING PLATE SHALL NOT BE
SHIMMED AGAINST PIER CONCRETE.

No. 6 GROUND CONDUCTORS.
BOND SYSTEM GROUND TO
GROUNDING LUG INSIDE.

BOLT COVER.

LIGHTING CIRCUIT UP POLE
(TYPICAL ALL CONDUCTORS).

BUSSMAN FUSE HOLDERS
AND FUSES IN BASE
(TYP. ALL CONDUCTORS).

HAND HOLE AND COVER.

LEVELING NUT.

GROUT POLE BASE.
1" CHAMFER.

PVC CONDUIT FOR CIRCUIT
CONTINUATION.

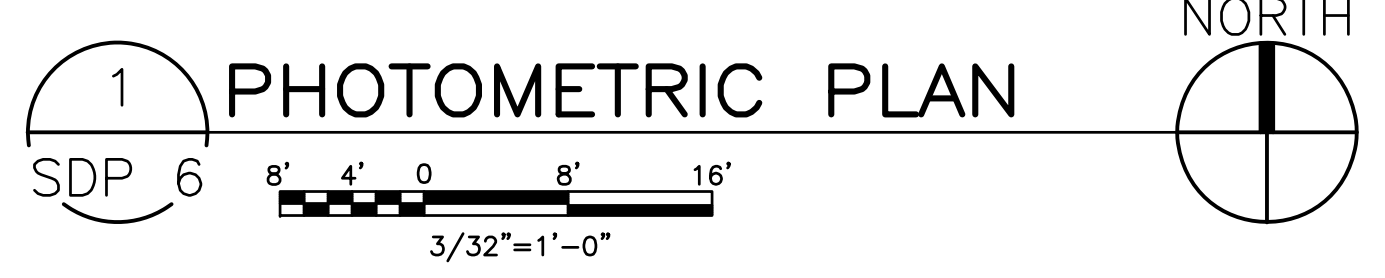
ANCHOR BOLTS (4).
(4) No. 7 REBARS WITH
No. 4 TIES 6" O.C.

CONCRETE PIER,
30" DIAMETER.

GRADE

2'-6" MINIMUM

LUMINAIRE SCHEDULE							
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF LAMPS	LAMP TYPE	REMARKS
AA	POLE	25' HEIGHT	LITHONIA KSF1-100M-R3-120-RP-04DA12P	120	1	100W MH	
BB	WALL	SCONCE	LITHONIA WSQ-100MH-FT-120	120	1	100W MH	
BB1	WALL	SCONCE	LITHONIA WSQ-175MH-FT-120	120	1	175W MH	
BB2	WALL	SCONCE	LITHONIA WSQ-50MH-WD-120	120	1	50W MH	
CC	WALL	SCONCE	INTENSE LIGHTING VT506MH-39-B-FL45	120	1	39W MH	



2 POLE DETAIL
SDP 6 N.T.S.

NSF - RENTABLE

NSF - RENTABLE			
Department	Name	Level	Area
RENTABLE	LOFT	LEVEL 5	657 SF
RENTABLE	2 BR C	LEVEL 5	919 SF
RENTABLE	2 BR B	LEVEL 5	892 SF
RENTABLE	2 BR A	LEVEL 5	912 SF
RENTABLE	2 BR A	LEVEL 5	892 SF
RENTABLE	2 BR A	LEVEL 5	907 SF
RENTABLE	1 BR A	LEVEL 5	606 SF
RENTABLE	1 BR A	LEVEL 5	600 SF
RENTABLE	1 BR A	LEVEL 5	602 SF
RENTABLE	1 BR A	LEVEL 5	603 SF
RENTABLE	1 BR A	LEVEL 5	608 SF
RENTABLE	1 BR A	LEVEL 5	600 SF
RENTABLE	1 BR A	LEVEL 5	605 SF
RENTABLE	1 BR A	LEVEL 5	605 SF
RENTABLE	1 BR A	LEVEL 5	603 SF
LEVEL 5: 15			10,610 SF
RENTABLE	STUDIO	LEVEL 4	657 SF
RENTABLE	2 BR C	LEVEL 4	917 SF
RENTABLE	2 BR B	LEVEL 4	891 SF
RENTABLE	2 BR A	LEVEL 4	902 SF
RENTABLE	2 BR A	LEVEL 4	905 SF
RENTABLE	2 BR A	LEVEL 4	893 SF
RENTABLE	2 BR A	LEVEL 4	903 SF
RENTABLE	2 BR A	LEVEL 4	901 SF
RENTABLE	1 BR A	LEVEL 4	603 SF
RENTABLE	1 BR A	LEVEL 4	601 SF
RENTABLE	1 BR A	LEVEL 4	602 SF
RENTABLE	1 BR A	LEVEL 4	602 SF
RENTABLE	1 BR A	LEVEL 4	601 SF
RENTABLE	1 BR A	LEVEL 4	601 SF
RENTABLE	1 BR A	LEVEL 4	602 SF
RENTABLE	1 BR A	LEVEL 4	601 SF
LEVEL 4: 17			12,385 SF
RENTABLE	STUDIO	LEVEL 3	656 SF
RENTABLE	2 BR C	LEVEL 3	917 SF
RENTABLE	2 BR B	LEVEL 3	891 SF
RENTABLE	2 BR A	LEVEL 3	902 SF
RENTABLE	2 BR A	LEVEL 3	901 SF
RENTABLE	2 BR A	LEVEL 3	893 SF
RENTABLE	2 BR A	LEVEL 3	903 SF
RENTABLE	2 BR A	LEVEL 3	901 SF
RENTABLE	1 BR A TYPE A	LEVEL 3	601 SF
RENTABLE	1 BR A	LEVEL 3	603 SF
RENTABLE	1 BR A	LEVEL 3	602 SF
RENTABLE	1 BR A	LEVEL 3	602 SF
RENTABLE	1 BR A	LEVEL 3	601 SF
RENTABLE	1 BR A	LEVEL 3	601 SF
RENTABLE	1 BR A	LEVEL 3	602 SF
RENTABLE	1 BR A	LEVEL 3	601 SF
LEVEL 3: 17			12,380 SF

NSF - RENTABLE			
Department	Name	Level	Area
RENTABLE	STUDIO	LEVEL 2	658 SF
RENTABLE	2 BR C	LEVEL 2	917 SF
RENTABLE	2 BR B	LEVEL 2	891 SF
RENTABLE	2 BR A	LEVEL 2	902 SF
RENTABLE	2 BR A	LEVEL 2	901 SF
RENTABLE	2 BR A	LEVEL 2	893 SF
RENTABLE	2 BR A	LEVEL 2	903 SF
RENTABLE	2 BR A	LEVEL 2	902 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	602 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	602 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
RENTABLE	1 BR A	LEVEL 2	603 SF
LEVEL 2: 17			12,393 SF
RENTABLE	LIVE/WORK UNIT C	LEVEL 1	927 SF
RENTABLE	LIVE/WORK UNIT B	LEVEL 1	965 SF
RENTABLE	LIVE/WORK UNIT B	LEVEL 1	959 SF
RENTABLE	LIVE/WORK UNIT A	LEVEL 1	1,098 SF
LEVEL 1: 4			3,950 SF
Grand total: 70			51,717 SF

GROSS SQUARE FOOTAGE

Area Schedule (Gross Building)		
Level	Area	
LEVEL 5	14,085 SF	
LEVEL 4	15,437 SF	
LEVEL 3	15,437 SF	
LEVEL 2	15,437 SF	
LEVEL 1	279 SF	
LEVEL 1	5,244 SF	
Grand total: 6		65,919 SF

NSF - NON-RENTABLE

NSF - NON-RENTABLE			
Department	Name	Level	Area
	UNI-SEX	LEVEL 5	53 SF
	TBD	LEVEL 5	34 SF
	TBD	LEVEL 5	35 SF
	STAIR 2	LEVEL 5	138 SF
	STAIR 1	LEVEL 5	138 SF
	SHAFT	LEVEL 5	9 SF
	MECH	LEVEL 5	18 SF
	LOBBY	LEVEL 5	152 SF
	FITNESS	LEVEL 5	696 SF
	CORRIDOR	LEVEL 5	676 SF
	CORRIDOR	LEVEL 5	423 SF
	3500# ELEV	LEVEL 5	58 SF
LEVEL 5: 12			2,430 SF
	TBD	LEVEL 4	84 SF
	TBD	LEVEL 4	34 SF
	TBD	LEVEL 4	35 SF
	TBD	LEVEL 4	28 SF
	STAIR 2	LEVEL 4	138 SF
	STAIR 1	LEVEL 4	138 SF
	LOBBY	LEVEL 4	153 SF
	CORRIDOR	LEVEL 4	789 SF
	CORRIDOR	LEVEL 4	434 SF
	3500# ELEV	LEVEL 4	58 SF
LEVEL 4: 10			1,891 SF
	TBD	LEVEL 3	84 SF
	TBD	LEVEL 3	34 SF
	TBD	LEVEL 3	35 SF
	TBD	LEVEL 3	28 SF
	STAIR 2	LEVEL 3	138 SF
	STAIR 1	LEVEL 3	138 SF
	SHAFT	LEVEL 3	9 SF
	LOBBY	LEVEL 3	154 SF
	CORRIDOR	LEVEL 3	790 SF
	CORRIDOR	LEVEL 3	438 SF
	3500# ELEV	LEVEL 3	58 SF
LEVEL 3: 11			1,905 SF

LOVELAND - UNIT & BEDROOM COUNT

	2 BR A	2 BR B/C	1 BR A	LOFT /	LIVE/WORK	TOTAL
level 5	3	2	9	1		15
level 4	5	2	9	1		17
level 3	5	2	9	1		17
level 2	5	2	9	1		17
level 1					4	4
TOTAL UNITS	18	8	36	4	4	70 UNITS
x Number of Bedrooms	2	2	1	1		
TOTAL BEDROOMS	36	16	36	4	9	101 BEDROOMS

TOTALS - BY UNIT TYPE		PERCENT OF TOTAL	
TOTAL 1 BR	40	57.1%	
TOTAL 2 BR	26	37.1%	
TOTAL LIVE/WORK	4	5.7%	
	70	100.0%	

PARKING STALLS	65
PARKING STALLS PER UNIT	0.93
PARKING STALLS PER BEDROOM	0.64

NSF - NON-RENTABLE			
Department	Name	Level	Area
	TBD	LEVEL 2	84 SF
	TBD	LEVEL 2	34 SF
	TBD	LEVEL 2	35 SF
	TBD	LEVEL 2	28 SF
	STAIR 2	LEVEL 2	138 SF
	STAIR 1	LEVEL 2	138 SF
	LOBBY	LEVEL 2	153 SF
	CORRIDOR	LEVEL 2	790 SF
	CORRIDOR	LEVEL 2	438 SF
	3500# ELEV	LEVEL 2	58 SF
LEVEL 2: 10			1,895 SF
	WATER ENTRY	LEVEL 1	145 SF
	VEST	LEVEL 1	65 SF
	STAIR 2	LEVEL 1	117 SF
	STAIR 1	LEVEL 1	118 SF
	LOBBY	LEVEL 1	282 SF
	EXIT PASSAGE	LEVEL 1	Not Enclosed
	EXIT PASSAGE	LEVEL 1	101 SF
	ELEV EQUIP	LEVEL 1	41 SF
	ELEV	LEVEL 1	58 SF
LEVEL 1: 9			926 SF
	SHAFT	Not Placed	Not Placed
	FIRE PUMP RM	Not Placed	Not Placed
Not Placed: 2			0 SF
Grand total: 54			9,046 SF



6TH & LINCOLN
LOVELAND, CO

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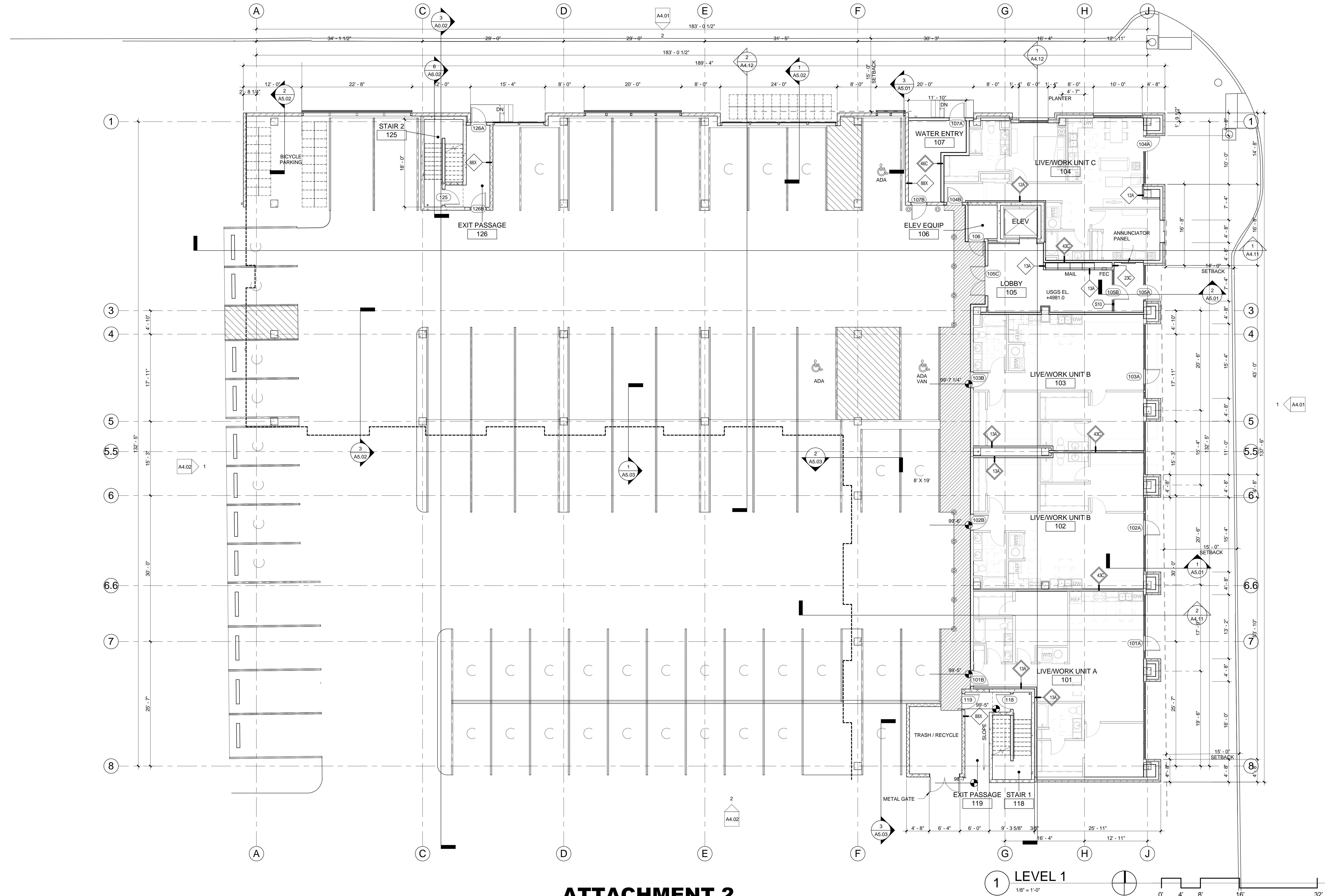
6TH & LINCOLN
ISSUED FOR:
100% DESIGN
DEVELOPMENT
SHEET TITLE:
NET/GROSS SQUARE
FOOTAGE
SCALE:
SHEET NUMBER

A1.03

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PROJECT FLAGNOTES	
NO.	KEYNOTE
3.1	CAST IN PLACE CONCRETE COLUMN
26.6	ELECTRIC METER, RE ELECTRICAL

- FLOOR PLAN NOTES**
- TOP OF CONCRETE FLOOR (LEVEL ONE) IS DEFINED AS PROJECT EL 105'0" (EQUATES TO USGS DATUM ELEVATION OF 4981.0').
 - FRAMING AT LEVEL 2 & ABOVE TO BE WOOD.
 - STUD FRAMING AT LEVEL 1 TO BE METAL (NON-COM). PARTITIONS ARE TYPE W24G, U.O.N. METAL STUD PARTITIONS ARE TYPE 23C U.O.N.
 - SEE SHEET A10.02 FOR PARTITION TYPES. WOOD STUD PARTITIONS ARE TYPE W24G, U.O.N. METAL STUD PARTITIONS ARE TYPE 23C U.O.N.
 - SEE CODE PLANS (A0.01 & A0.02) FOR WALL, FLOOR/CEILING & ROOF/CEILING ASSEMBLY RATINGS. MAINTAIN THE RATING OF THE ASSEMBLY AT ALL OPENINGS & PENETRATIONS. PROVIDE TIRE OR FIRE/SMOKE DAMPERS IN DUCTS AS REQUIRED.
 - INTERIOR DIMENSIONS ARE TO FACE OF GYP BD, COLUMN CENTERLINE, OR FACE OF CONCRETE/CMU U.O.N. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, OR FACE OF CONCRETE/CMU U.O.N. MAINTAIN DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD".
 - WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
 - PROVIDE BLOCKING IN WALLS & CEILINGS AS REQUIRED FOR ALL FIXTURES, CABINETS, DEVICES, EQUIPMENT, ETC.
 - THERE SHALL BE NO EXPOSED PIPE, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED, UNLESS NOTED AS EXPOSED CONSTRUCTION.
 - VERIFY ATTACHMENT OF FRAMING TO THE P.T. SLAB WITH STRUCTURAL.
 - SEE SHEETS A8.01 & A8.02 FOR DOOR & FRAME TYPES.
 - SEE SHEET A10.1 FOR MOUNTING HEIGHTS & BLOCKING DETAILS FOR FUTURE INSTALLATION OF GRAB BARS.
 - SEE SHEETS A2.21 - A2.23 FOR UNIT PLANS.



6TH & LINCOLN
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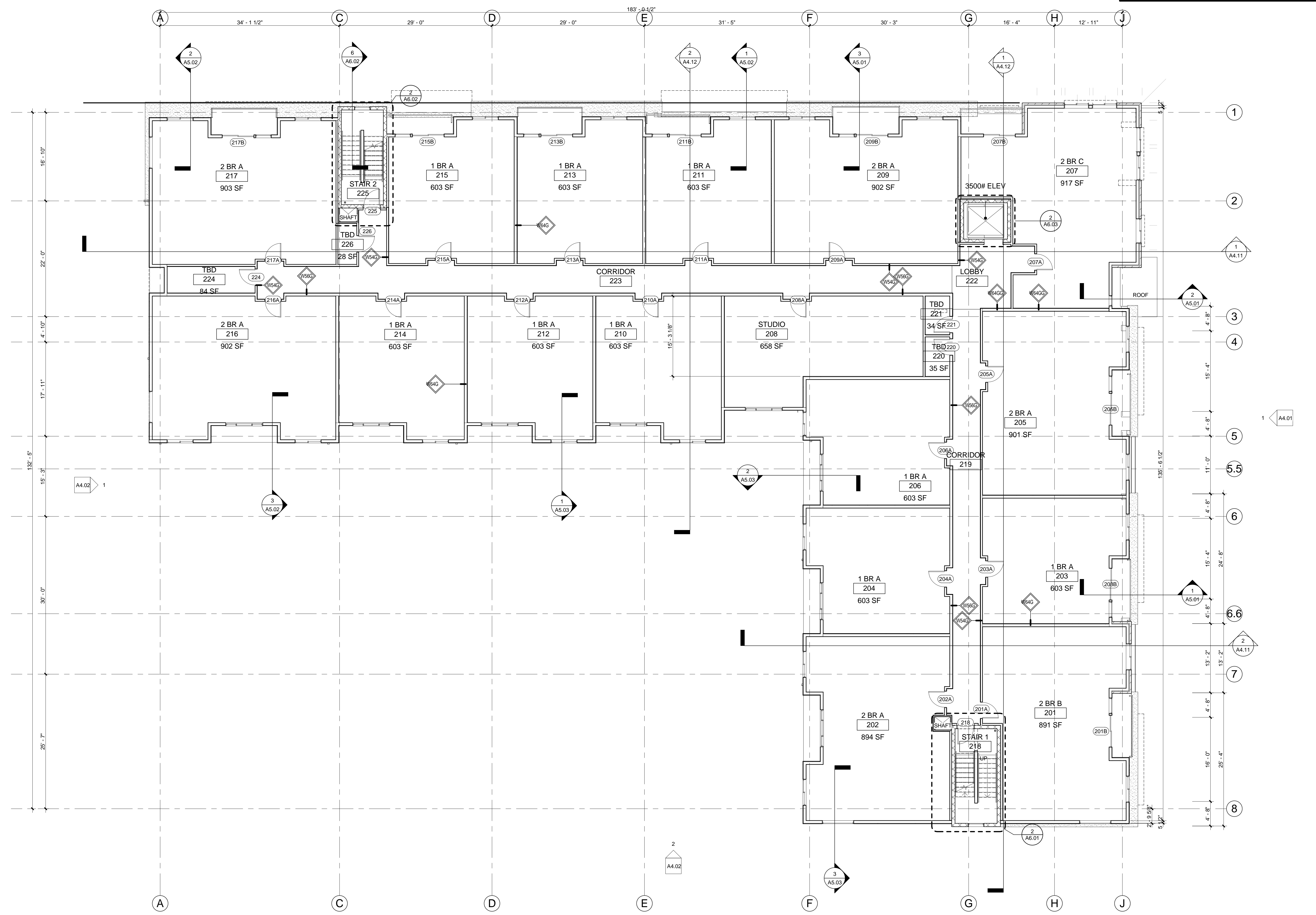
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ISSUED FOR:
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DEVELOPMENT
SHEET TITLE:
FLOOR PLAN LEVEL 1
SCALE: 1/8" = 1'-0"
SHEET NUMBER
A2.01

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FLOOR PLAN NOTES

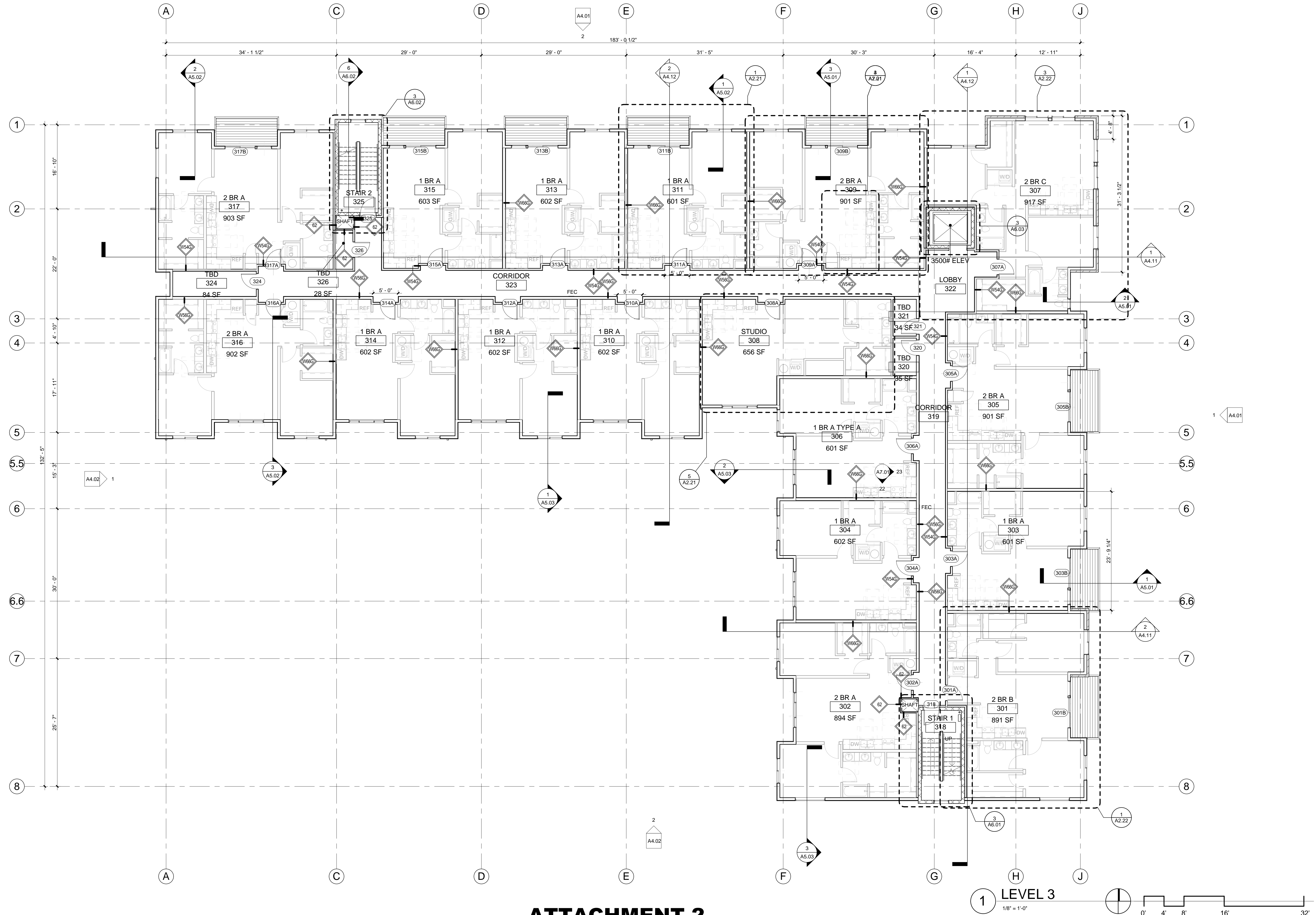
- TOP OF CONCRETE FLOOR (LEVEL ONE) IS DEFINED AS PROJECT EL. 100'-0" (EQUATES TO USGS DATUM ELEVATION OF 5891.0').
- STUD FRAMING AT LEVEL 1 TO BE METAL (NON-COM). FRAMING AT LEVEL 2 & ABOVE TO BE WOOD.
- SEE SHEET A10.02 FOR PARTITION TYPES. WOOD STUD PARTITIONS ARE TYPE W24G. U.O.N. METAL STUD PARTITIONS ARE TYPE 23C U.O.N.
- SEE CODE PLANS (A0.01 & A0.02) FOR WALL, FLOOR/CEILING & ROOF/CEILING ASSEMBLY RATINGS. MAINTAIN THE RATING OF THE ASSEMBLY AT ALL OPENINGS & PENETRATIONS. PROVIDE TIRE OR FIRE/SMOKE DAMPERS IN DUCTS AS REQUIRED.
- INTERIOR DIMENSIONS ARE TO FACE OF GYP. BD. COLUMN CENTERLINE, OR FACE OF CONCRETE/CMU U.O.N. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, OR FACE OF CONCRETE/CMU U.O.N. MAINTAIN DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD".
- WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
- PROVIDE BLOCKING IN WALLS & CEILINGS AS REQUIRED FOR ALL FIXTURES, CABINETS, DEVICES, EQUIPMENT, ETC. THERE SHALL BE NO EXPOSED PIPE, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED, UNLESS NOTED AS EXPOSED CONSTRUCTION.
- VERIFY ATTACHMENT OF FRAMING TO THE P.T. SLAB WITH STRUCTURAL.
- SEE SHEETS A6.01 & A6.02 FOR DOOR & FRAME TYPES.
- SEE SHEET A10.1 FOR MOUNTING HEIGHTS & BLOCKING DETAILS FOR FUTURE INSTALLATION OF GRAB BARS.
- SEE SHEETS A2.21 - A2.23 FOR UNIT PLANS.



1 LEVEL 2
1/8" = 1'-0"

FLOOR PLAN NOTES

- 1 TOP OF CONCRETE FLOOR LEVEL ONE IS DEFINED AS PROJECT EL. 100'-0" (EQUATES TO USGS DATUM ELEVATION OF 4981.0').
- 2 STUD FRAMING AT LEVEL 1 TO BE METAL (NON-COM). FRAMING AT LEVEL 2 & ABOVE TO BE WOOD.
- 3 SEE SHEET A10.02 FOR PARTITION TYPES. WOOD STUD PARTITIONS ARE TYPE W24G, U.O.N. METAL STUD PARTITIONS ARE TYPE 20C U.O.N.
- 4 SEE CODE PLANS (A0.01 & A0.02) FOR WALL, FLOOR/CEILING & ROOF/CEILING ASSEMBLY RATINGS. MAINTAIN THE RATING OF THE ASSEMBLY AT ALL OPENINGS & PENETRATIONS. PROVIDE FIRE OR FIRE/SMOKE DAMPERS IN DUCTS AS REQUIRED.
- 5 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD, COLUMN CENTERLINE, OR FACE OF CONCRETE/CMU U.O.N. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, OR FACE OF CONCRETE/CMU U.O.N. MAINTAIN DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD".
- 6 WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
- 7 PROVIDE BLOCKING IN WALLS & CEILINGS AS REQUIRED FOR ALL FIXTURES, CABINETS, DEVICES, EQUIPMENT, ETC.
- 8 THERE SHALL BE NO EXPOSED PIPE, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED, UNLESS NOTED AS EXPOSED CONSTRUCTION.
- 9 VERIFY ATTACHMENT OF FRAMING TO THE P.T. SLAB WITH STRUCTURAL.
- 10 SEE SHEETS A8.01 & A8.02 FOR DOOR & FRAME TYPES.
- 11 SEE SHEET A10.1 FOR MOUNTING HEIGHTS & BLOCKING DETAILS FOR FUTURE INSTALLATION OF GRAB BARS.
- 12 SEE SHEETS A2.21 - A2.23 FOR UNIT PLANS.



ATTACHMENT 2

LEVEL 3
1/8" = 1'-0"

- 1 TOP OF CONCRETE FLOOR (LEVEL ONE) IS DEFINED AS PROJECT EL. 100'-0" (EQUATES TO USGS DATUM ELEVATION OF 4981.0').
- 2 STUD FRAMING AT LEVEL 1 TO BE METAL (NON-COM). FRAMING AT LEVEL 2 & ABOVE TO BE WOOD.
- 3 SEE SHEET A10.02 FOR PARTITION TYPES. WOOD STUD PARTITIONS ARE TYPE W24G, U.O.N. METAL STUD PARTITIONS ARE TYPE 23C U.O.N.
- 4 SEE CODE PLANS (A0.01 & A0.02) FOR WALL, FLOOR/CEILING & ROOF/CEILING ASSEMBLY RATINGS. MAINTAIN THE RATING OF THE ASSEMBLY AT ALL OPENINGS & PENETRATIONS. PROVIDE FIRE OR FIRE/SMOKE DAMPERS IN DUCTS AS REQUIRED.
- 5 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD, COLUMN CENTERLINE, OR FACE OF CONCRETE/CMU U.O.N. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, OR FACE OF CONCRETE/CMU U.O.N. MAINTAIN DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD".
- 6 WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
- 7 PROVIDE BLOCKING IN WALLS & CEILINGS AS REQUIRED FOR ALL FIXTURES, CABINETS, DEVICES, EQUIPMENT, ETC.
- 8 THERE SHALL BE NO EXPOSED PIPE, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED, UNLESS NOTED AS EXPOSED CONSTRUCTION.
- 9 VERIFY ATTACHMENT OF FRAMING TO THE P.T. SLAB WITH STRUCTURAL.
- 10 SEE SHEETS A8.01 & A8.02 FOR DOOR & FRAME TYPES.
- 11 SEE SHEET A10.1 FOR MOUNTING HEIGHTS & BLOCKING DETAILS FOR FUTURE INSTALLATION OF GRAB BARS.
- 12 SEE SHEETS A2.21 - A2.23 FOR UNIT PLANS.



6TH & LINCOLN
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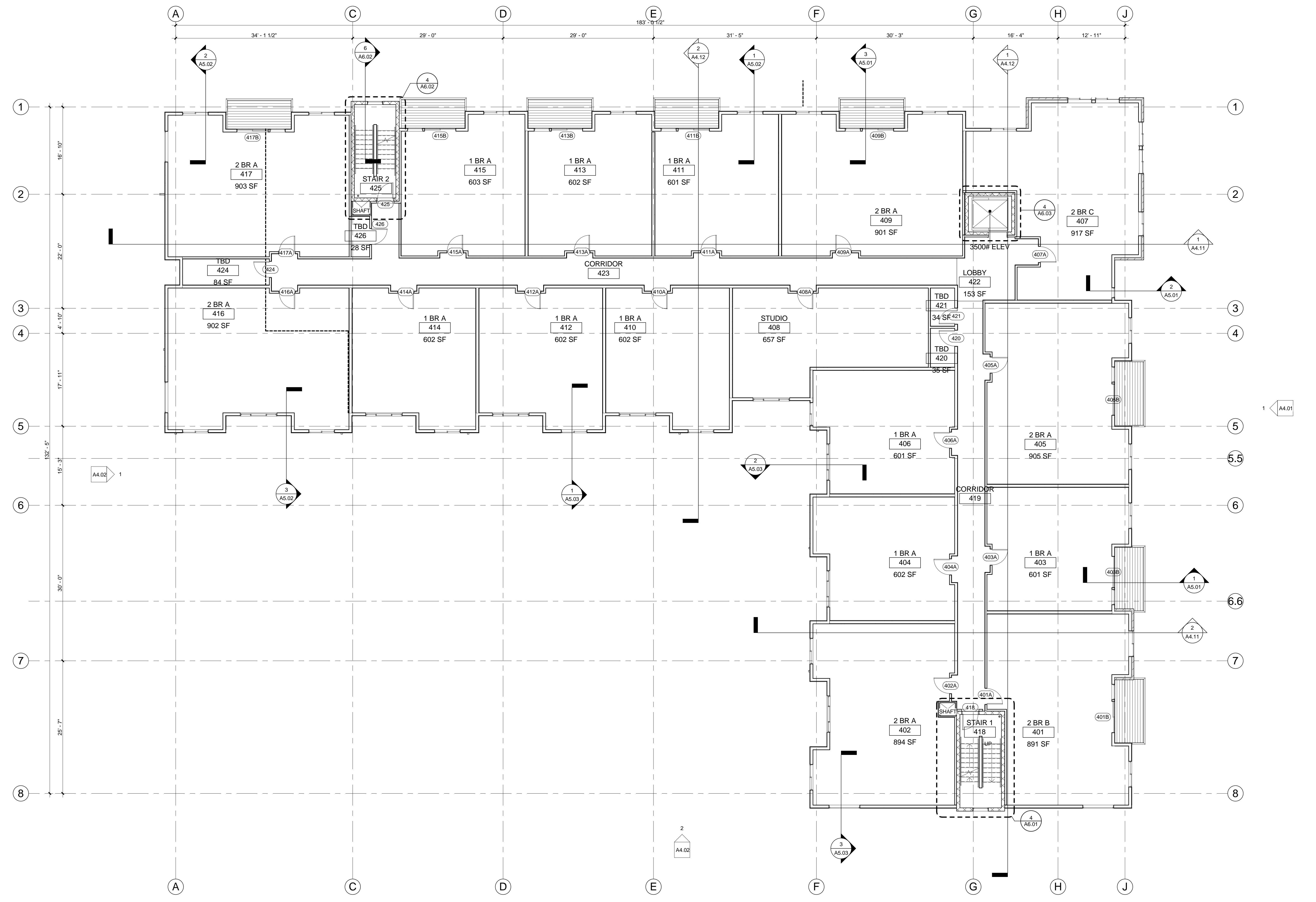
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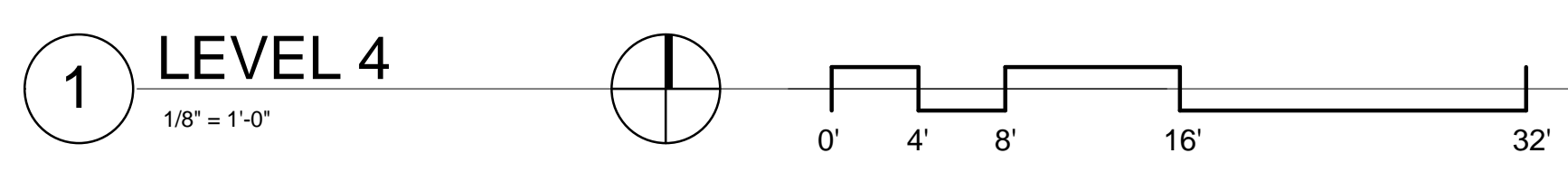
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FLOOR PLAN LEVEL 4

SCALE: 1/8" = 1'-0"
SHEET NUMBER

A2.04



ATTACHMENT 2

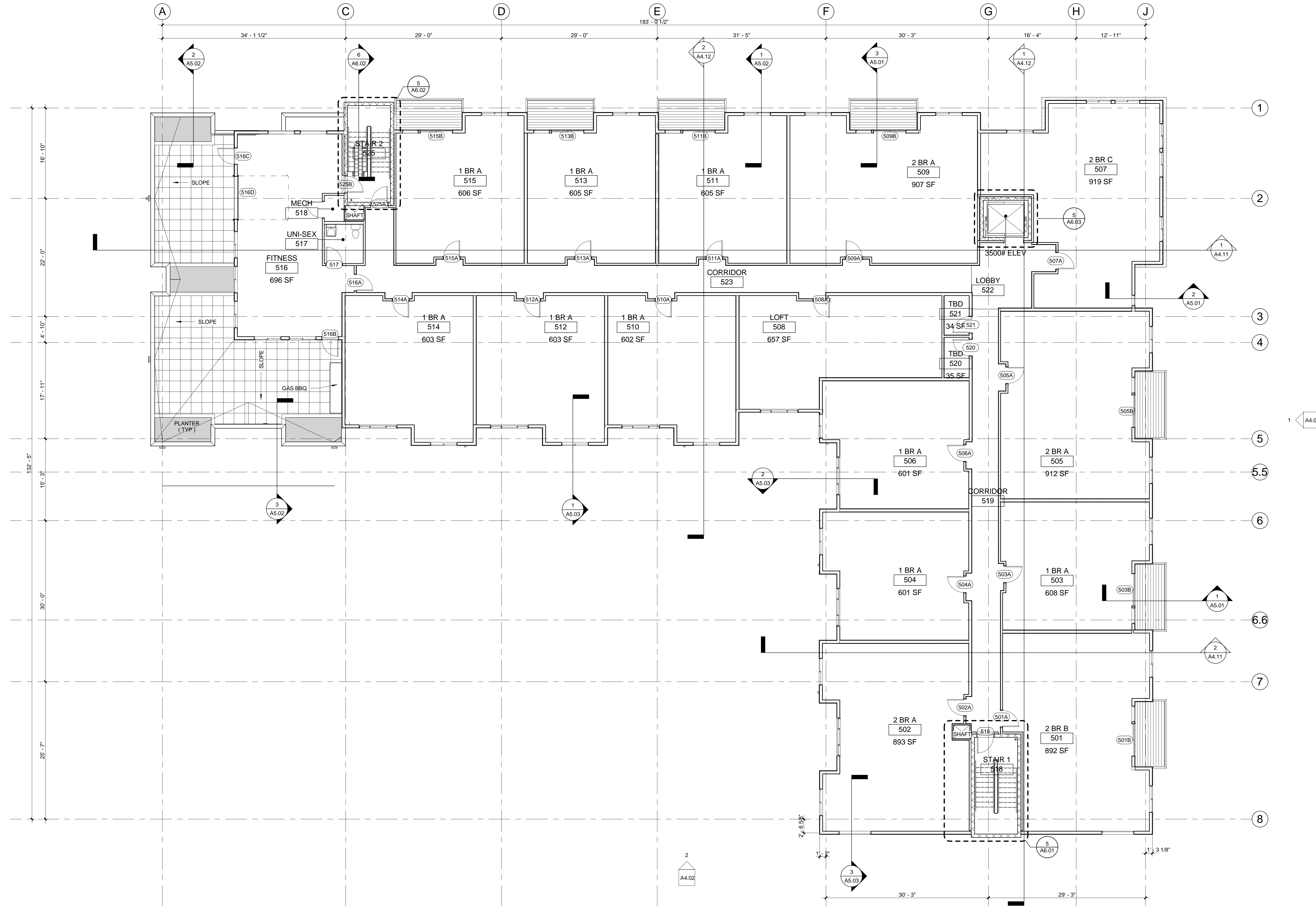


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- 1 TOP OF CONCRETE FLOOR LEVEL ONE) IS DEFINED AS PROJECT EL. 100'-0" (EQUATES TO USGS DATUM ELEVATION OF 4981.0').
- 2 STUD FRAMING AT LEVEL 1 TO BE METAL (NON-COM). FRAMING AT LEVEL 2 & ABOVE TO BE WOOD.
- 3 SEE SHEET A10.02 FOR PARTITION TYPES. WOOD STUD PARTITIONS ARE TYPE W24G, U.O.N. METAL STUD PARTITIONS ARE TYPE C25 U.O.N.
- 4 SEE CODE PLANS (A0.01 & A0.02) FOR WALL, FLOOR/CEILING & ROOF/CEILING ASSEMBLY RATINGS. MAINTAIN THE RATING OF THE ASSEMBLY AT ALL OPENINGS & PENETRATIONS. PROVIDE TIRE OR FIRE/SMOKE DAMPERS IN DUCTS AS REQUIRED.
- 5 INTERIOR DIMENSIONS ARE TO FACE OF GYP BD. COLUMN CENTERLINE, OR FACE OF CONCRETE/CMU U.O.N. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, OR FACE OF CONCRETE/CMU U.O.N. MAINTAIN DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD".
- 6 WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS.
- 7 PROVIDE BLOCKING IN WALLS & CEILINGS AS REQUIRED FOR ALL FIXTURES, CABINETS, DEVICES, EQUIPMENT, ETC.
- 8 THERE SHALL BE NO EXPOSED PIPE, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED, UNLESS NOTED AS EXPOSED CONSTRUCTION.
- 9 VERIFY ATTACHMENT OF FRAMING TO THE P.T. SLAB WITH STRUCTURAL.
- 10 SEE SHEETS A8.01 & A8.02 FOR DOOR & FRAME TYPES.
- 11 SEE SHEET A10.1 FOR MOUNTING HEIGHTS & BLOCKING DETAILS FOR FUTURE INSTALLATION OF GRAB BARS.
- 12 SEE SHEETS A2.21 - A2.23 FOR UNIT PLANS.



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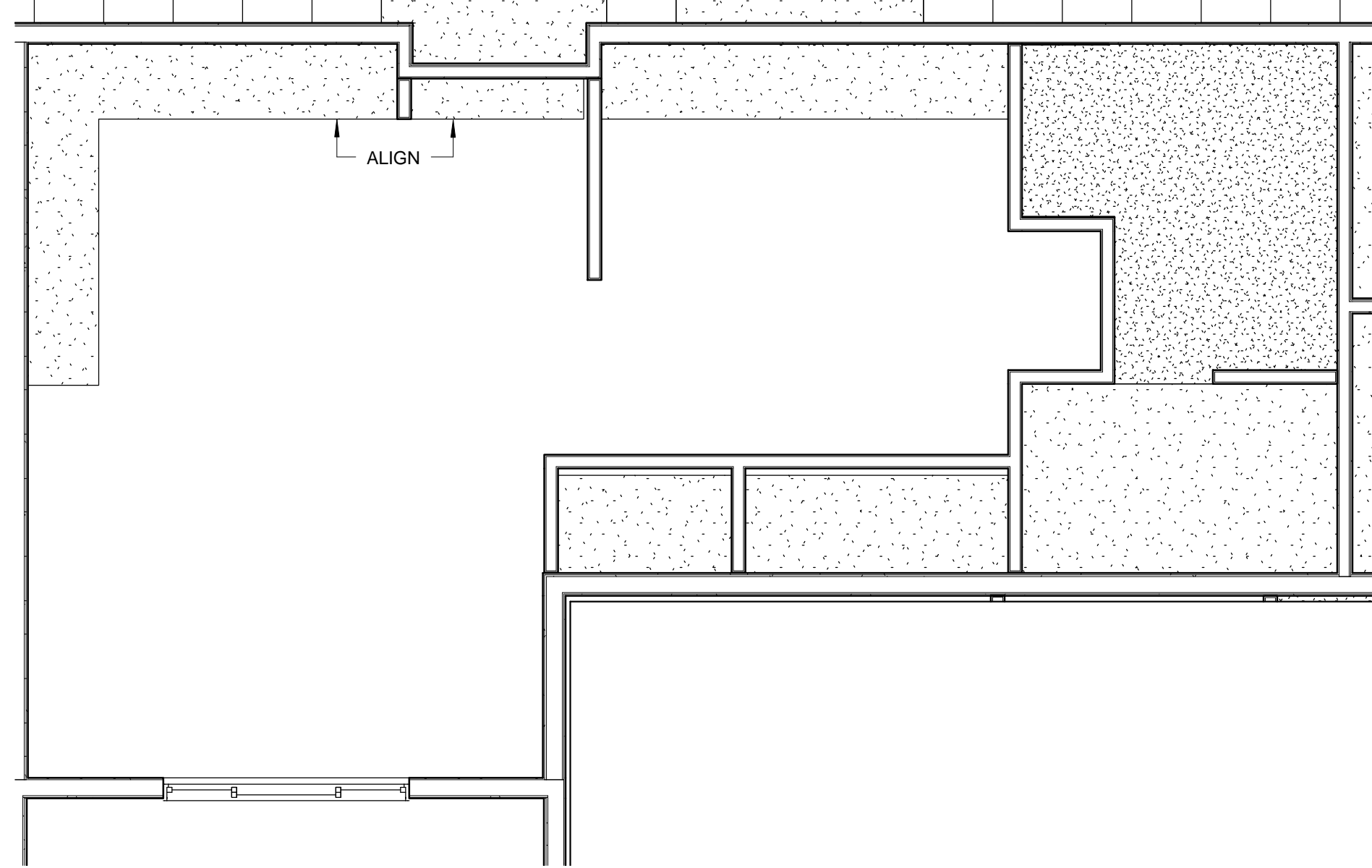
6TH & LINCOLN
ISSUED FOR:
100% DESIGN
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FLOOR PLAN LEVEL 5
SCALE: 1/8" = 1'-0"
SHEET NUMBER
A2.05

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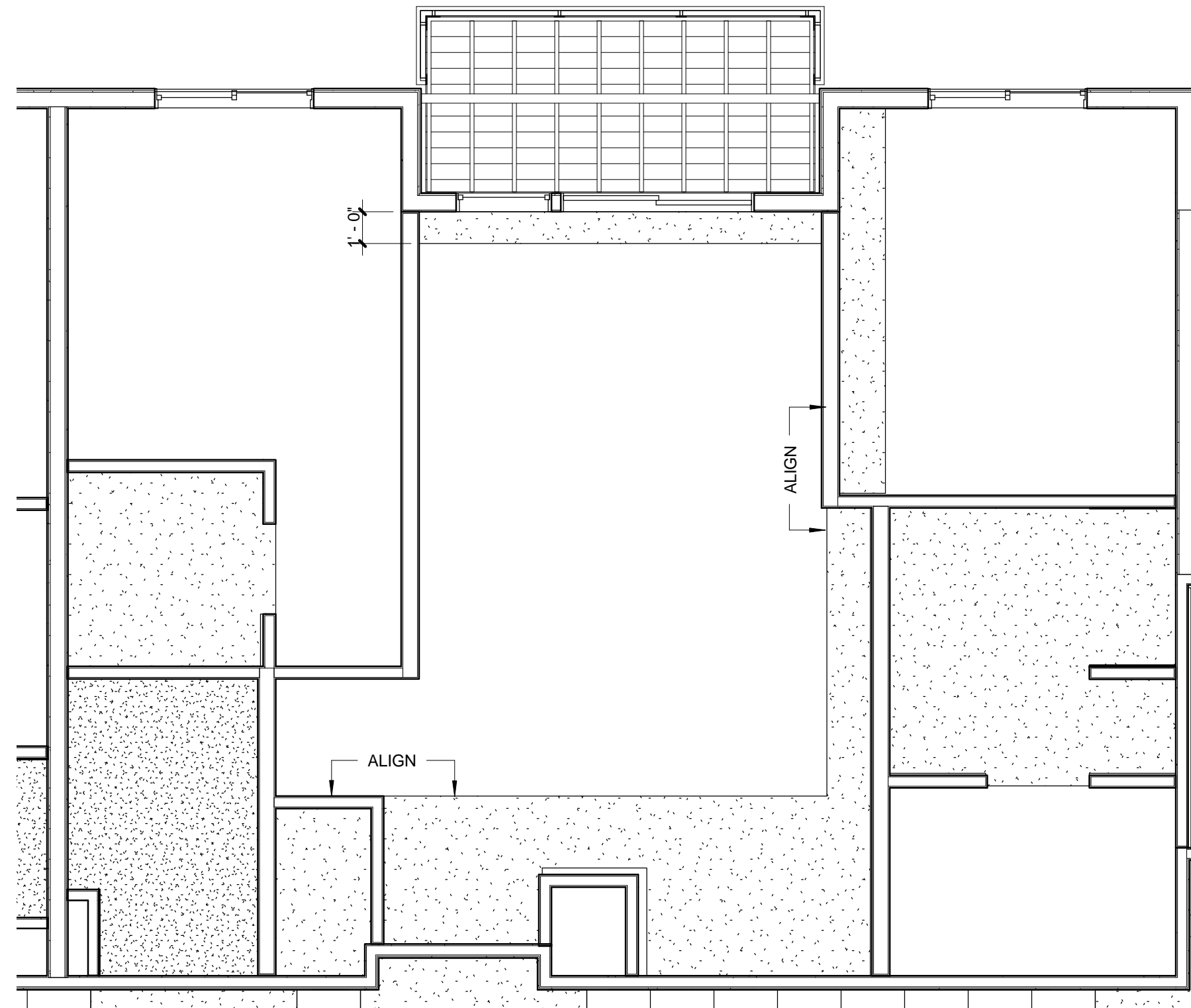
CEILING UNIT PLAN LEGEND	
	GYP BD CLG/SOFFIT AT 8'-0" ABOVE FLOOR
	GYP BD CLG/SOFFIT AT 7'-8" ABOVE FLOOR
	GYP BD CEILING ON STRUCTURE AT 9'-0" ABOVE FLOOR U.N.O.

- UNIT CEILING PLAN NOTES**
- SEE CEILING PLAN LEGEND FOR CEILING HEIGHT DESIGNATIONS
 - REFLECTED CEILING PLANS INDICATE LOCATIONS OF LIGHT FIXTURES, AND ASSOCIATED ITEMS. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFO ON ELECTRICAL, HVAC, SPRINKLER & LIFE SAFETY DEVICES
 - COORDINATE ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED.
 - ANY ACCESS HATCHES NOT SHOWN ON THE CEILING PLAN BUT REQUIRED BY PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEMS SHALL BE REVIEWED WITH ARCHITECT FOR LOCATION.
 - CONTRACTOR TO COORDINATE LOCATION OF FIRE SPRINKLER HEADS.
 - SEE SHEET A7.00 FOR FINISH SCHEDULE

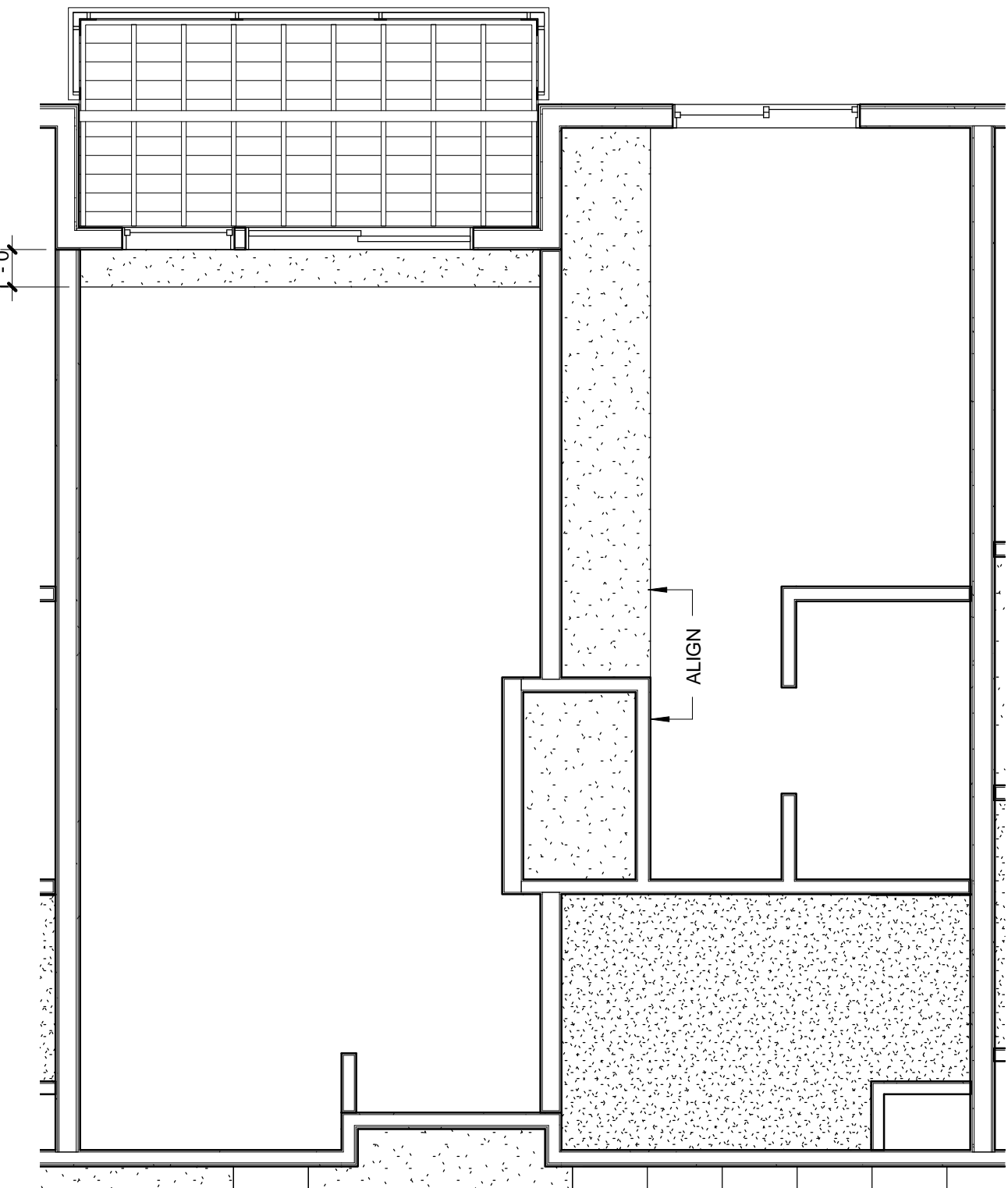
- UNIT PLAN GENERAL NOTES**
- ENLARGED UNIT PLANS MAY BE MIRROR/ROTATED TO BASE PLAN. SEE OVERALL PLANS FOR PROPER ORIENTATION AND LOCATION OF UNIT TYPE.
 - SEE SHEET A10.02 FOR PARTITION TYPES. TYPICAL PARTITION TYPE WITHIN UNITS FOR LEVELS 2-5 IS TYPE W2G (ACOUSTICAL) U.N.O. TYPICAL PARTITION TYPE FOR LEVEL 1 UNITS IS WALL TYPE 23G (ACOUSTICAL) U.N.O.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF GYP BD U.N.O.
 - SEE SHEET A7.01 FOR KITCHEN TYPES.
 - SEE SHEET A7.02 & A7.03 FOR BATHROOM TYPES.
 - SEE SHEET A7.00 FOR FINISH SCHEDULE.
 - SEE SHEET A8.01 FOR DOOR SCHEDULE.
 - SEE OVERALL FLOOR PLANS FOR PARTITION TYPES AT UNIT/UNIT DEMISING PARTITIONS AND UNIT/CORRIDOR PARTITIONS.
 - FLOORING TO BE CONTINUOUS UNDER APPLIANCES & REMOVABLE CABINETS AT TYPE A ACCESSIBLE UNITS.
 - FURNITURE IS NOT IN SCOPE AND IS SHOWN FOR LAYOUT PURPOSES ONLY.
 - GRAB BAR REINFORCEMENT IS REQUIRED IN ALL ACCESSIBLE BATHROOMS. SEE SHEET A10.01.
 - TYPE 'A' ACCESSIBLE UNITS TO MEET IBC 1107.6.2.1.1 & ICC/ANSI A117.1, SECTION 1003.
 - TYPE 'B' ACCESSIBLE UNITS TO MEET IBC 1107.6.2.1.2 & ICC/ANSI A117.1, SECTION 1004.
 - TYPE 'B' OPTION 'B' COMPLIANT BATHROOMS TO MEET ICC/ANSI A117.1, 1004-11.3.2
 - ACCESSIBLE BATHROOMS TO COMPLY WITH ICC/ANSI A117.1, 1003.11.
 - TYPE 'A' ACCESSIBLE KITCHENS TO COMPLY WITH ICC/ANSI A117.1, 1003.12.
 - TYPE 'B' ACCESSIBLE KITCHENS TO COMPLY WITH ICC/ANSI A117.1, 1004.12.



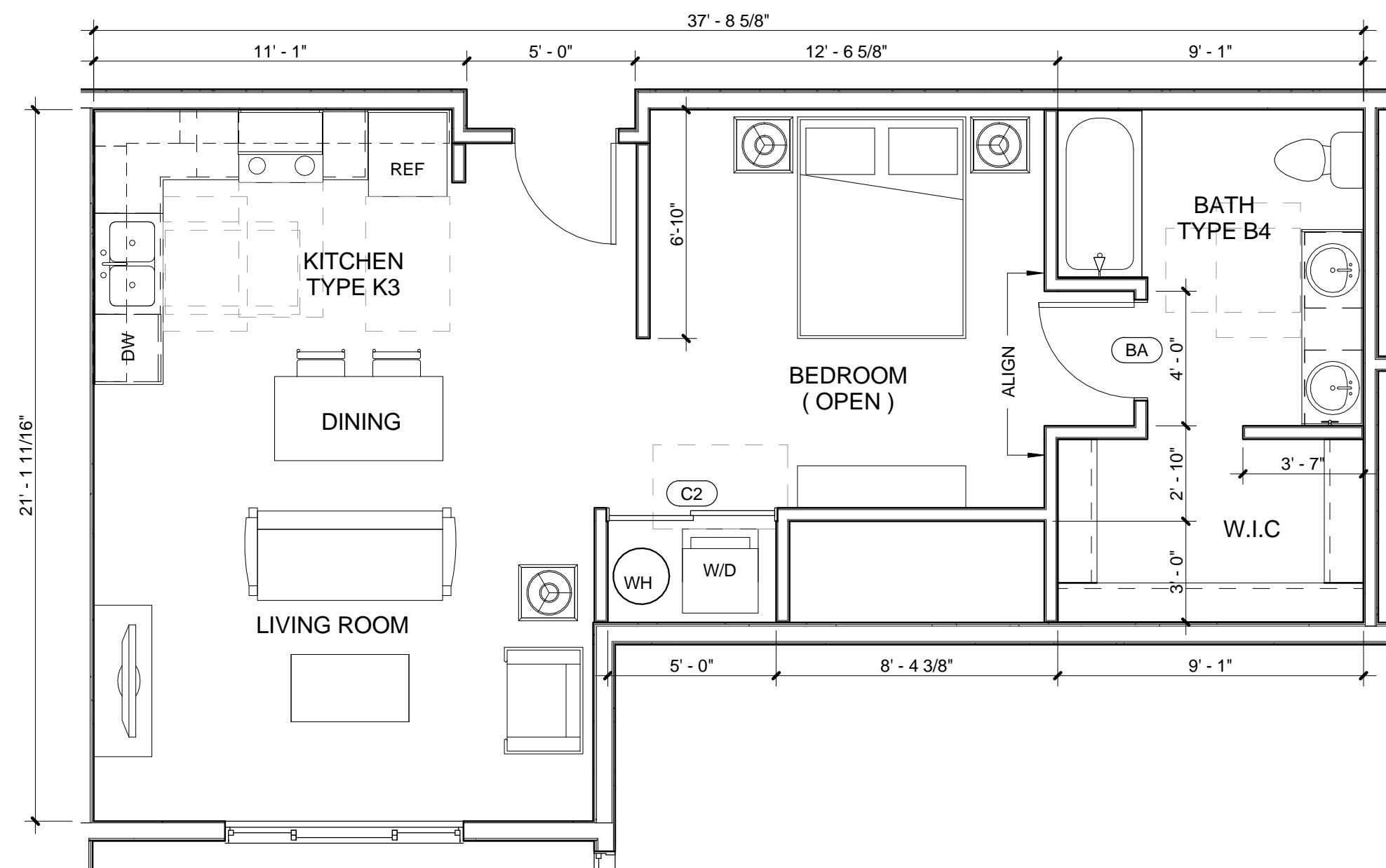
6 UNIT STUDIO A REFLECTED CEILING PLAN
1/4" = 1'-0"



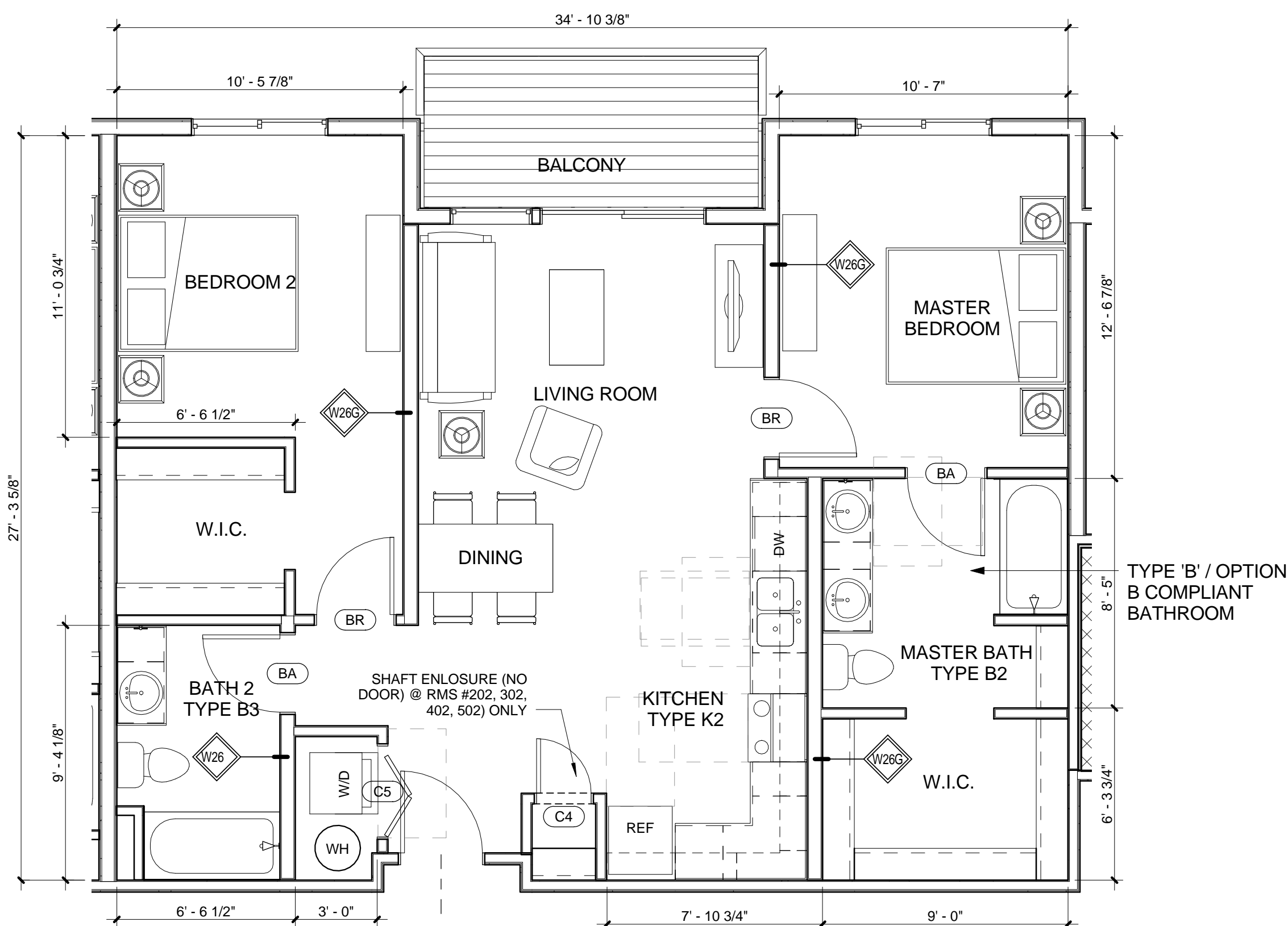
4 UNIT 2A REFLECTED CEILING PLAN
1/4" = 1'-0"



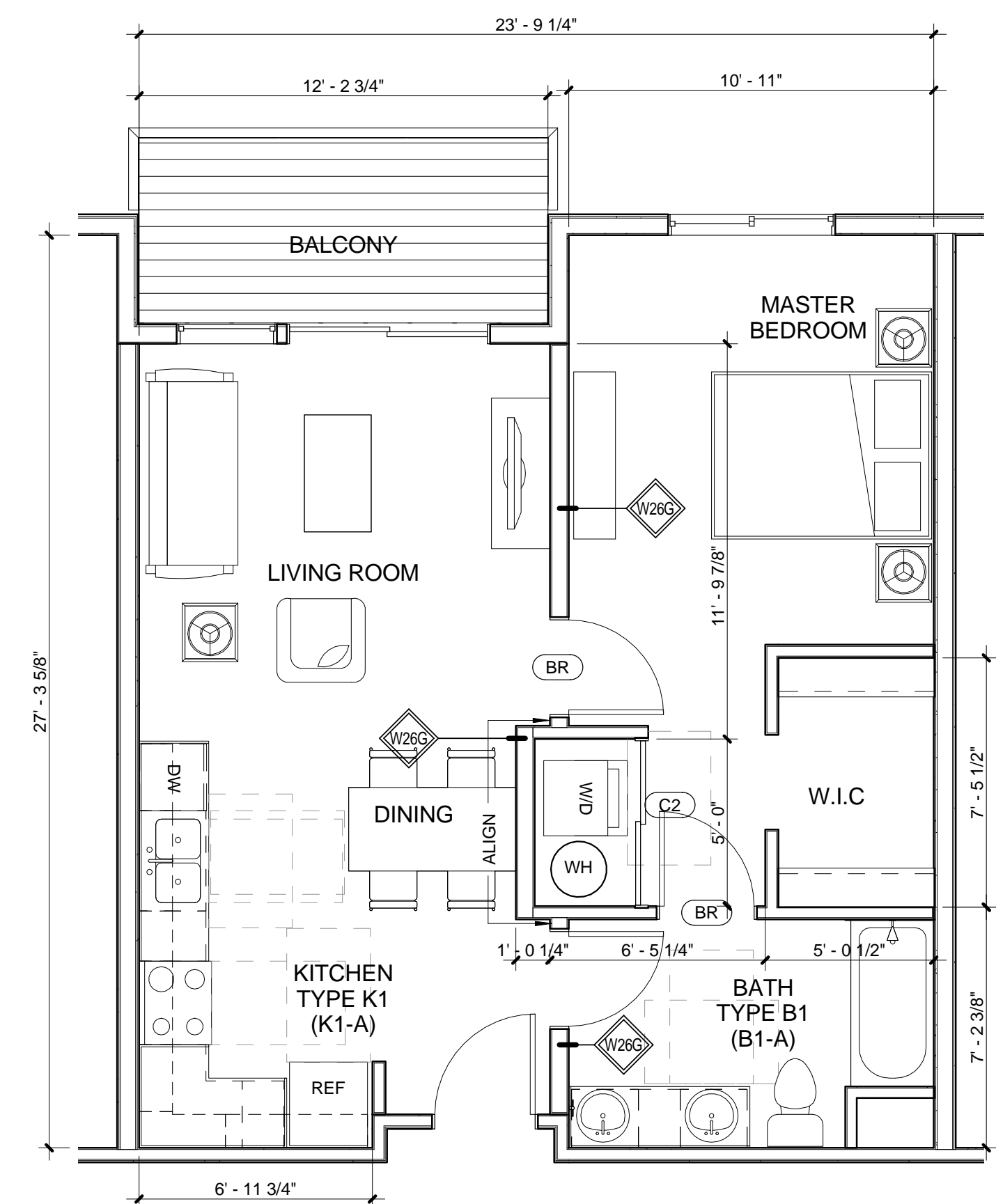
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1/4" = 1'-0"



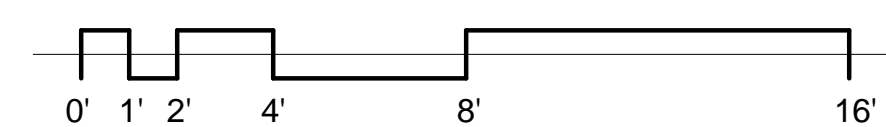
5 UNIT PLAN STUDIO A
1/4" = 1'-0" TYPE 'B' ACCESSIBLE UNIT



3 UNIT PLAN 2A
1/4" = 1'-0" TYPE 'B' ACCESSIBLE UNIT



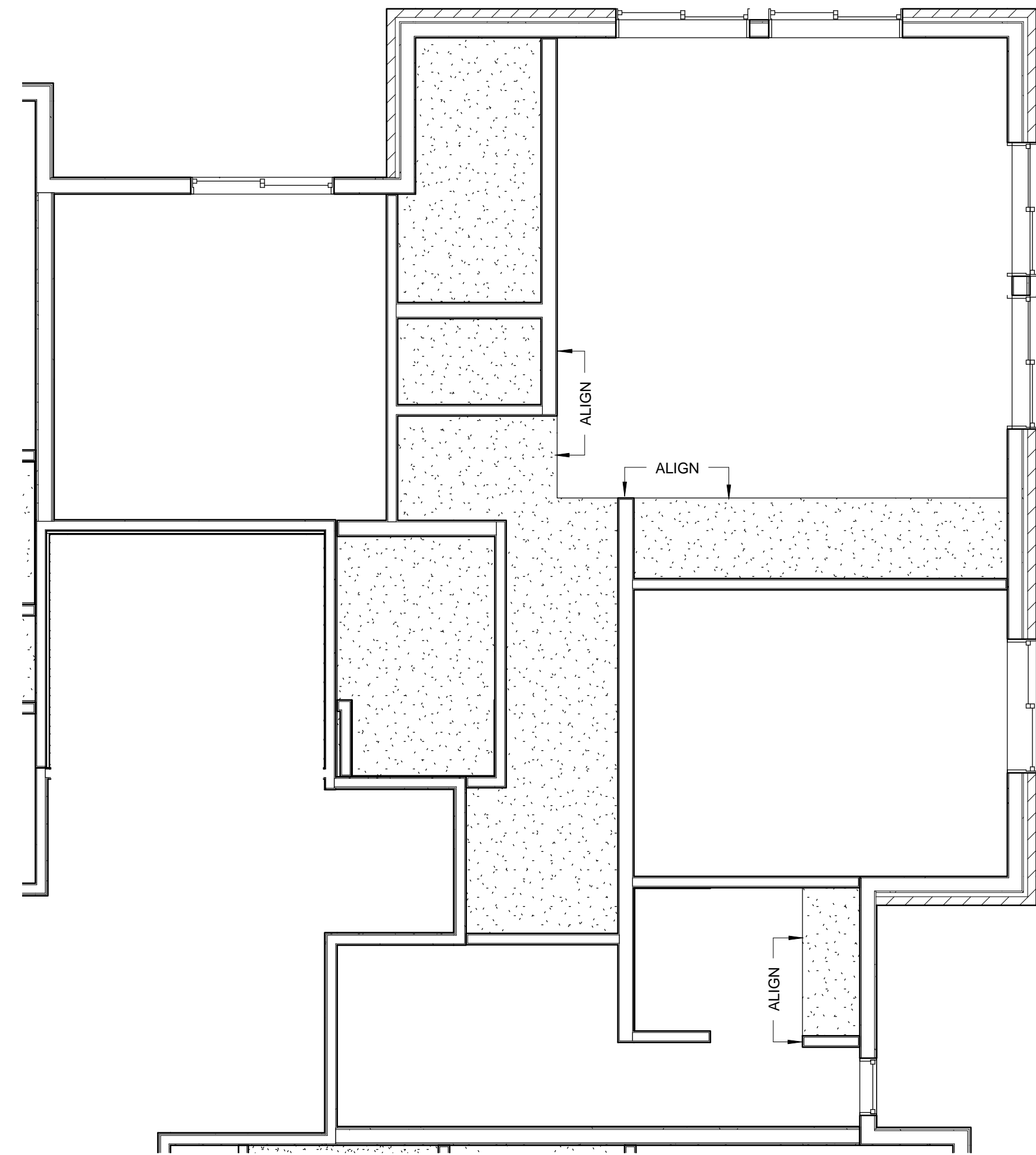
1 UNIT PLAN 1A
1/4" = 1'-0" UNIT 206 IS TYPE 'A' ACCESSIBLE. ALL OTHERS ARE TYPE 'B' ACCESSIBLE



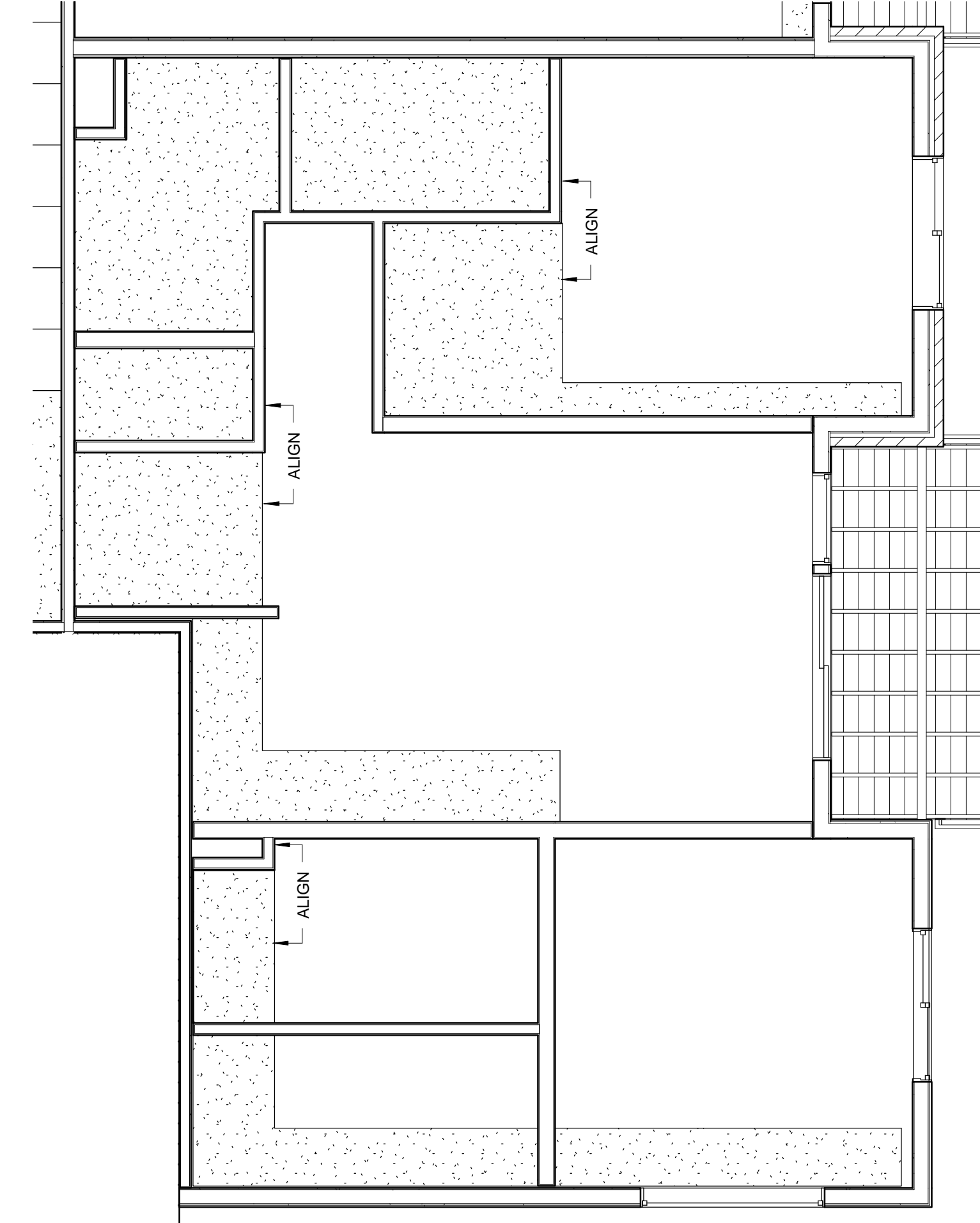
CEILING UNIT PLAN LEGEND	
	GYP BD CLG/SOFFIT AT 8'-0" +/- ABOVE FLOOR
	GYP BD CLG/SOFFIT AT 7'-0" +/- ABOVE FLOOR
	GYP BD CEILING ON STRUCTURE AT 9'-0" ABOVE FLOOR U.N.O.

- UNIT CEILING PLAN NOTES**
- SEE CEILING PLAN LEGEND FOR CEILING HEIGHT DESIGNATIONS
 - REFLECTED CEILING PLANS INDICATE LOCATIONS OF LIGHT FIXTURES, AND ASSOCIATED ITEMS. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFO ON ELECTRICAL, HVAC, SPRINKLER & LIFE SAFETY DEVICES
 - COORDINATE ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED.
 - ANY ACCESS HATCHES NOT SHOWN ON THE CEILING PLAN BUT REQUIRED BY PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEMS SHALL BE REVIEWED WITH ARCHITECT FOR LOCATION.
 - CONTRACTOR TO COORDINATE LOCATION OF FIRE SPRINKLER HEADS.
 - SEE SHEET A7.00 FOR FINISH SCHEDULE

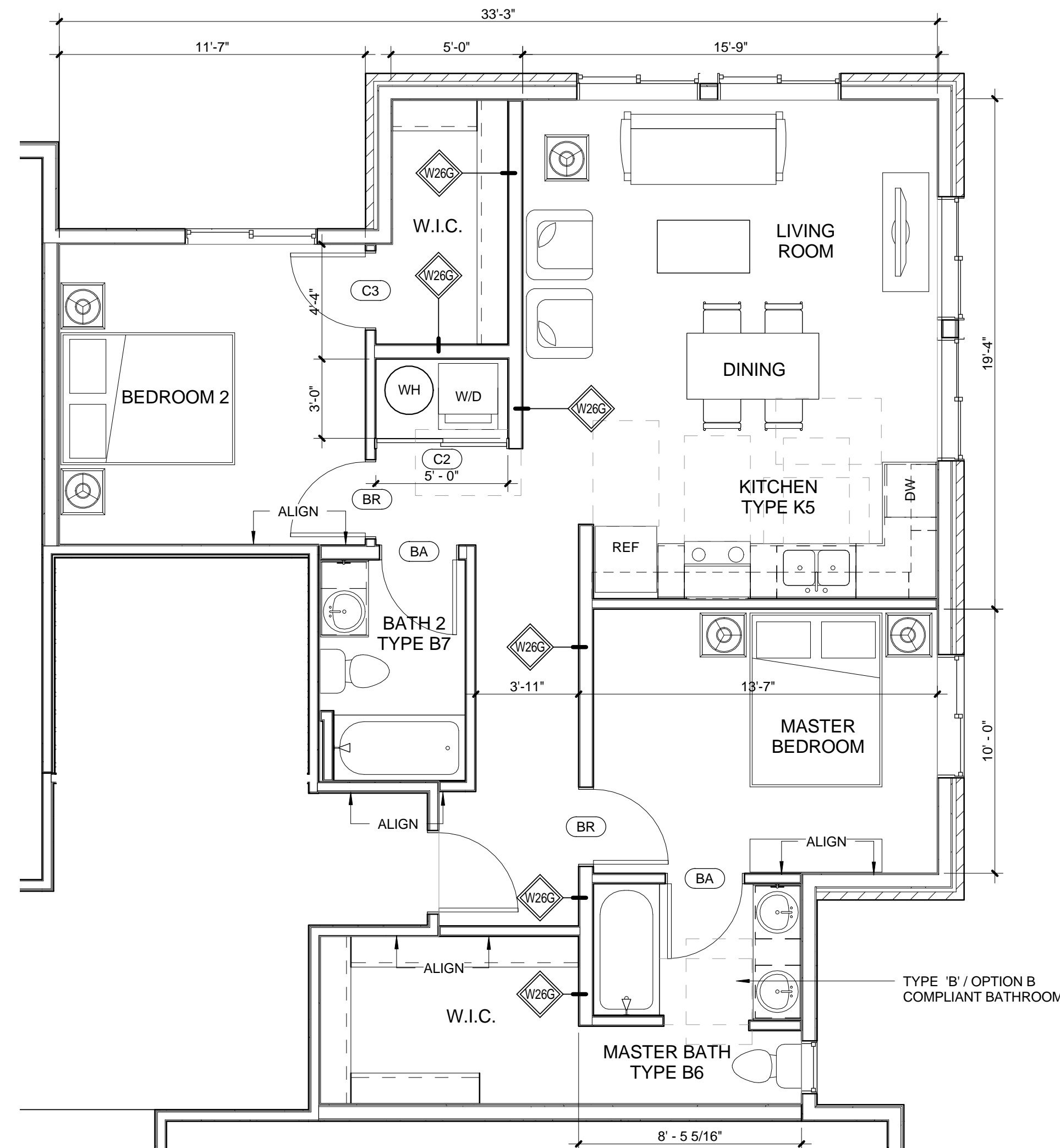
- UNIT PLAN GENERAL NOTES**
- ENLARGED UNIT PLANS MAY BE MIRROR/ROTATED TO BASE PLAN. SEE OVERALL PLANS FOR PROPER ORIENTATION AND LOCATION OF UNIT TYPE.
 - SEE SHEET A10.02 FOR PARTITION TYPES. TYPICAL PARTITION TYPE WITHIN UNITS FOR LEVELS 2-5 IS TYPE W24G (ACOUSTICAL) U.N.O. TYPICAL PARTITION TYPE FOR LEVEL 1 UNITS IS WALL TYPE 235 (ACOUSTICAL) U.N.O.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF GYP BD U.N.O.
 - SEE SHEET A7.01 FOR KITCHEN TYPES.
 - SEE SHEET A7.02 & A7.03 FOR BATHROOM TYPES.
 - SEE SHEET A7.00 FOR FINISH SCHEDULE.
 - SEE SHEET A8.01 FOR DOOR SCHEDULE.
 - SEE OVERALL FLOOR PLANS FOR PARTITION TYPES AT UNIT/UNIT DEMISING PARTITIONS AND UNIT/CORRIDOR PARTITIONS.
 - FLOORING TO BE CONTINUOUS UNDER APPLIANCES & REMOVABLE CABINETS AT TYPE A ACCESSIBLE UNITS.
 - FURNITURE IS NOT IN SCOPE AND IS SHOWN FOR LAYOUT PURPOSES ONLY.
 - GRAB BAR REINFORCEMENT IS REQUIRED IN ALL ACCESSIBLE BATHROOMS. SEE SHEET A10.01.
 - TYPE 'A' ACCESSIBLE UNITS TO MEET IBC 1107.6.2.1.1 & ICC/ANSI A117.1, SECTION 1003.
 - TYPE 'B' ACCESSIBLE UNITS TO MEET IBC 1107.6.2.1.2 & ICC/ANSI A117.1, SECTION 1004.
 - TYPE 'B' OPTION 'B' COMPLIANT BATHROOMS TO MEET ICC/ANSI A117.1, 1004-11.3.2
 - ACCESSIBLE BATHROOMS TO COMPLY WITH ICC/ANSI A117.1, 1003.11.
 - TYPE 'A' ACCESSIBLE KITCHENS TO COMPLY WITH ICC/ANSI A117.1, 1003.12.
 - TYPE 'B' ACCESSIBLE KITCHENS TO COMPLY WITH ICC/ANSI A117.1, 1004.12.



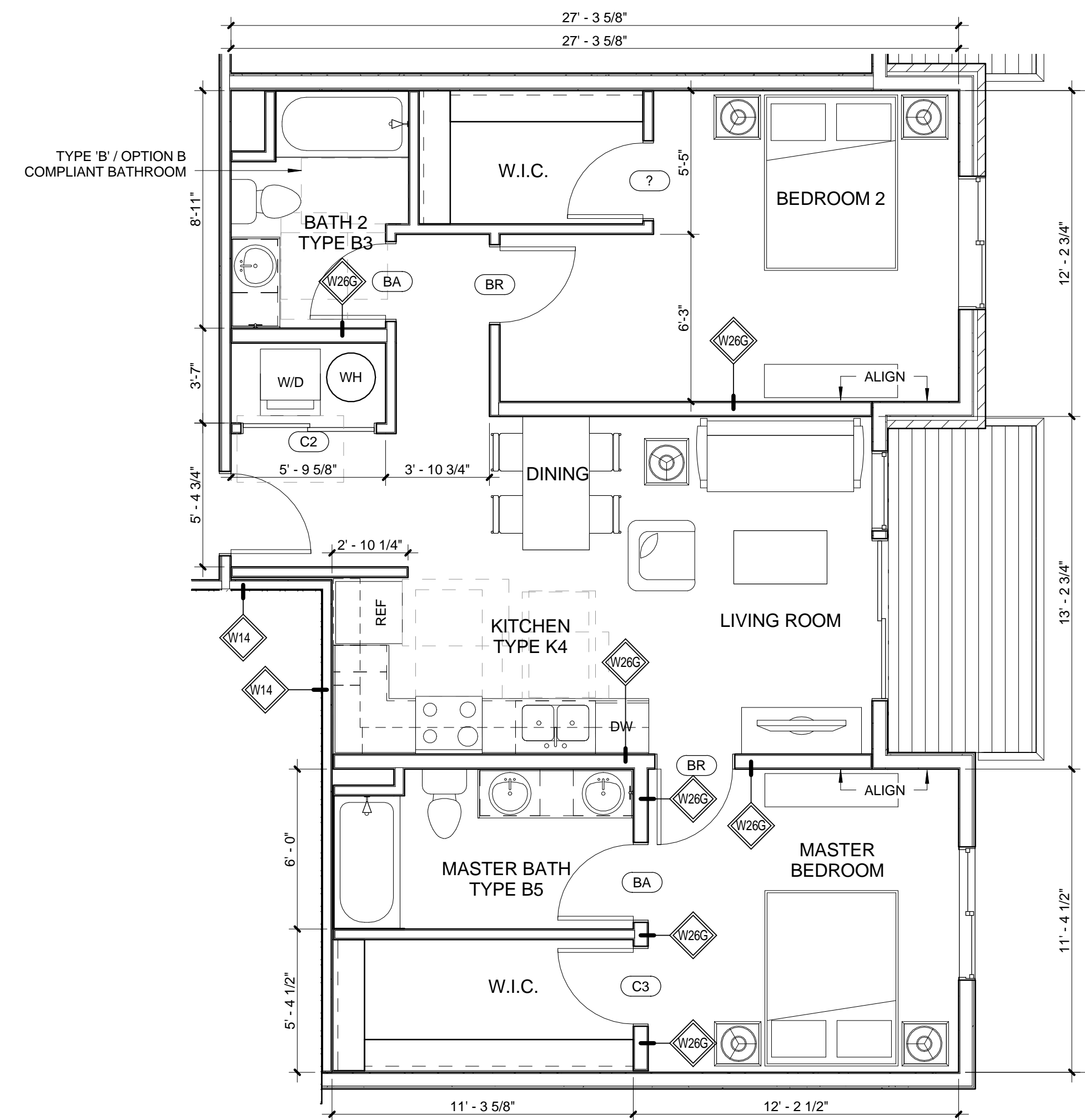
4 UNIT 2C REFLECTED CEILING PLAN
1/4" = 1'-0"



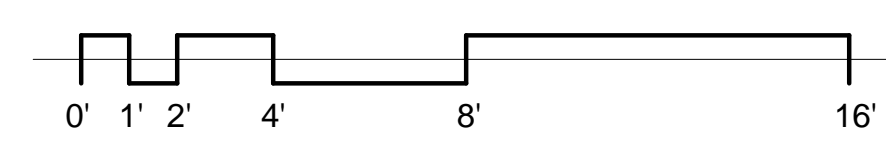
2 UNIT 2B REFLECTED CEILING PLAN
1/4" = 1'-0"



3 UNIT PLAN 2C
1/4" = 1'-0"
TYPE 'B' ACCESSIBLE UNIT



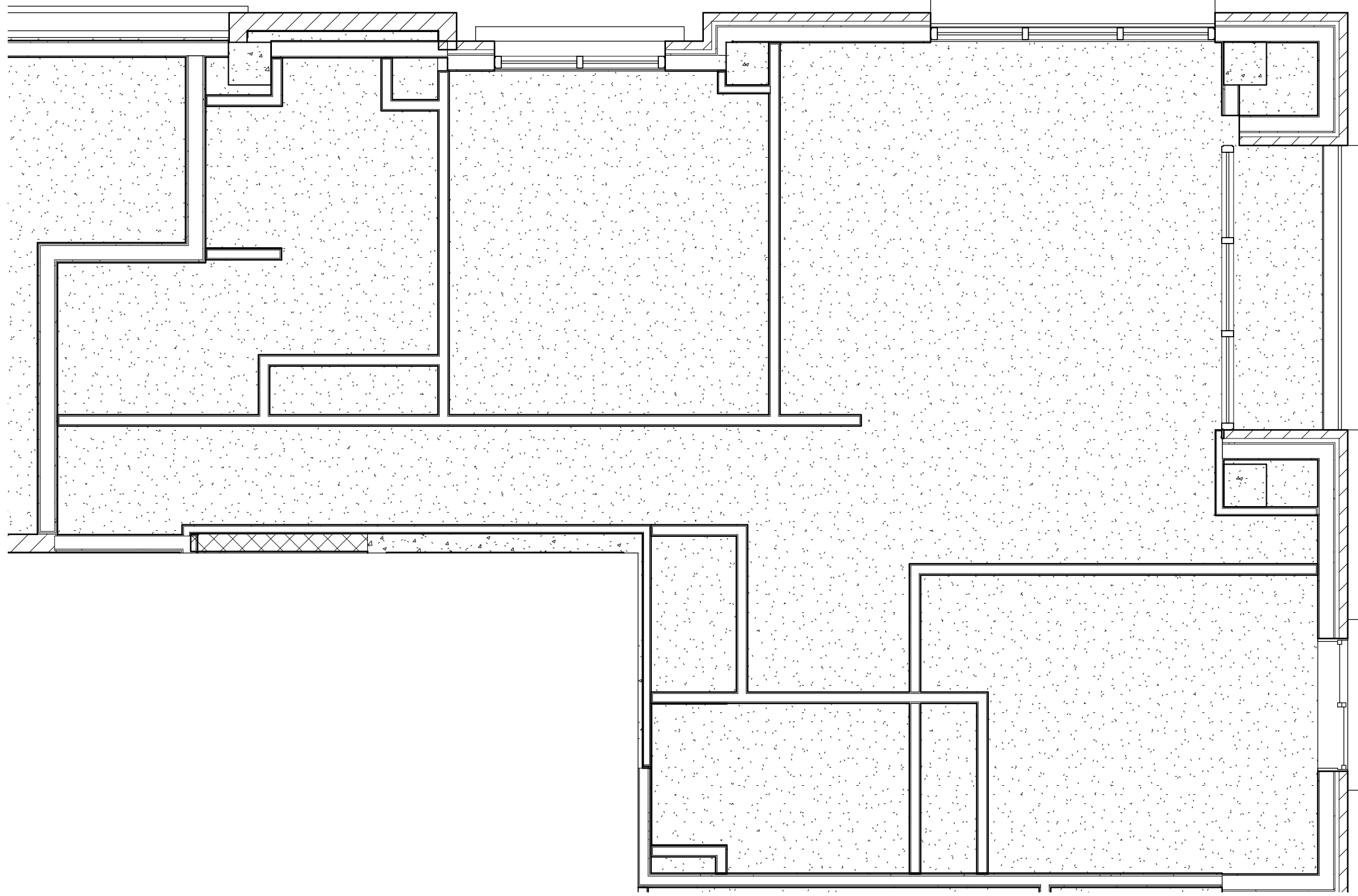
1 UNIT PLAN 2B
1/4" = 1'-0"
TYPE 'B' ACCESSIBLE UNIT



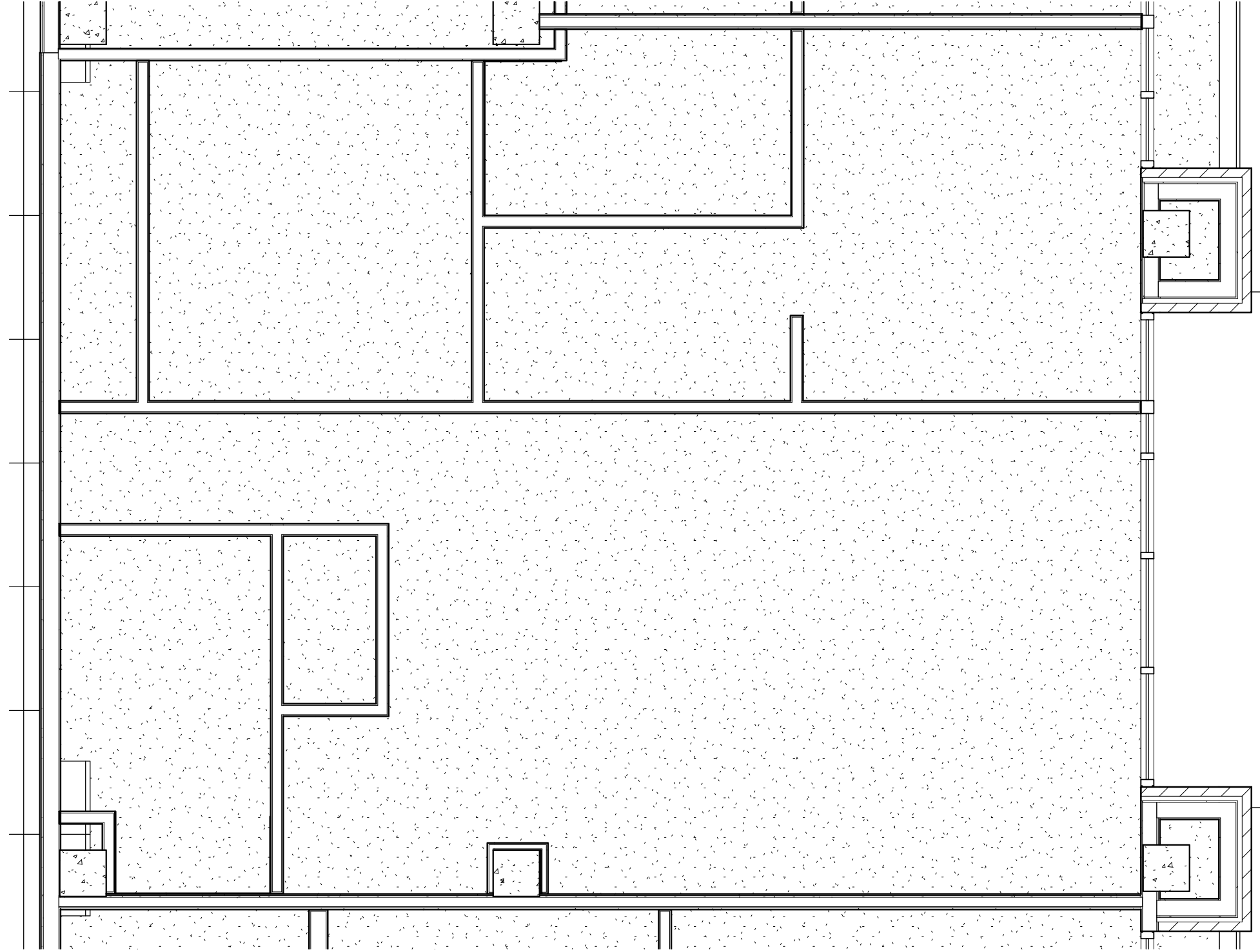
CEILING UNIT PLAN LEGEND	
	GYP BD CLG/SOFFIT AT 8'-0" +/- ABOVE FLOOR
	GYP BD CLG/SOFFIT AT 7'-5" +/- ABOVE FLOOR
	GYP BD CEILING ON STRUCTURE AT 9'-0" ABOVE FLOOR U.N.O.

- UNIT CEILING PLAN NOTES**
- SEE CEILING PLAN LEGEND FOR CEILING HEIGHT DESIGNATIONS
 - REFLECTED CEILING PLANS INDICATE LOCATIONS OF LIGHT FIXTURES, AND ASSOCIATED ITEMS. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFO ON ELECTRICAL, HVAC, SPRINKLER & LIFE SAFETY DEVICES
 - COORDINATE ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED.
 - ANY ACCESS HATCHES NOT SHOWN ON THE CEILING PLAN BUT REQUIRED BY PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEMS SHALL BE REVIEWED WITH ARCHITECT FOR LOCATION.
 - CONTRACTOR TO COORDINATE LOCATION OF FIRE SPRINKLER HEADS.
 - SEE SHEET A7.00 FOR FINISH SCHEDULE

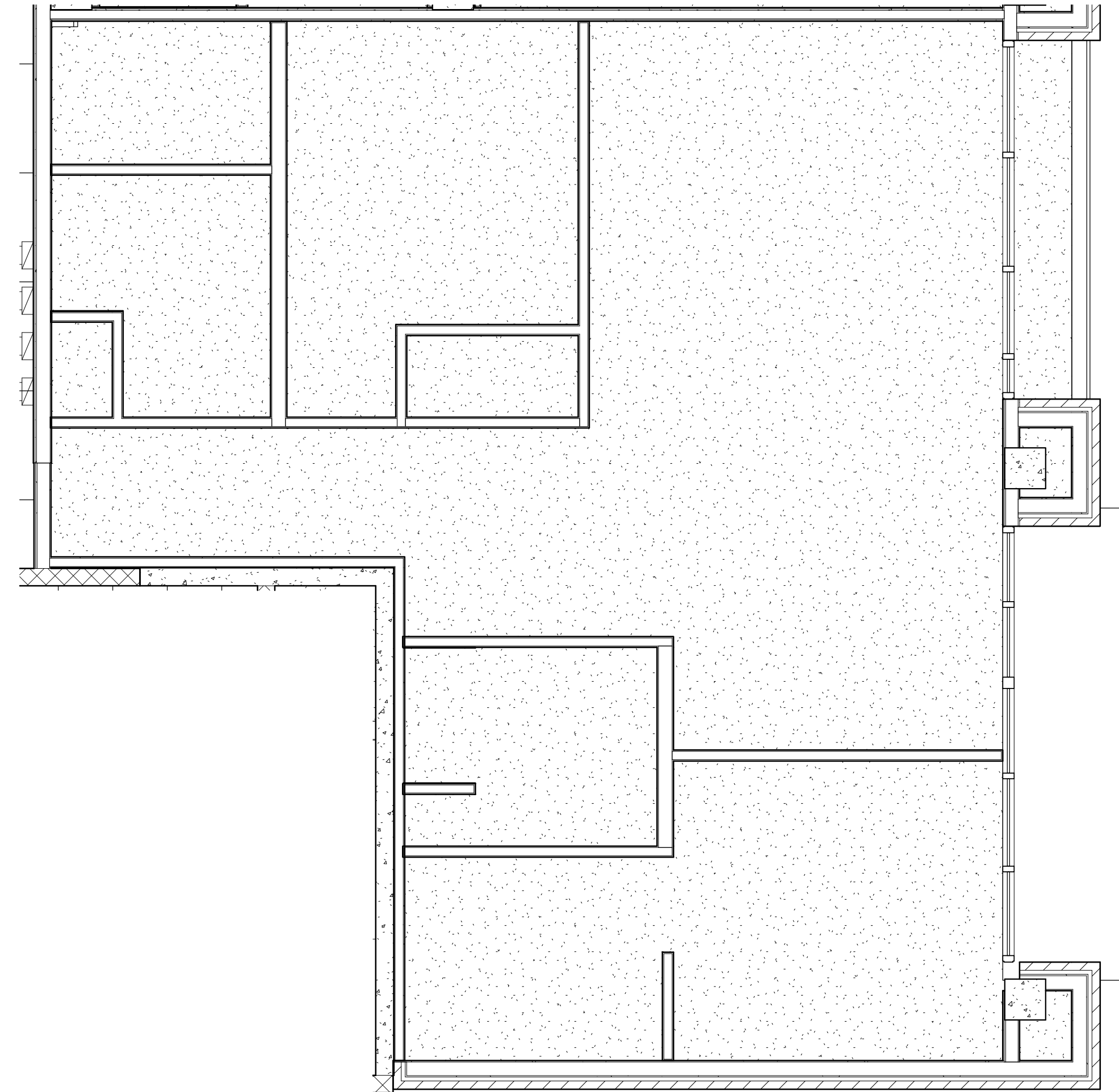
- UNIT PLAN GENERAL NOTES**
- ENLARGED UNIT PLANS MAY BE MIRROR/ROTATED TO BASE PLAN. SEE OVERALL PLANS FOR PROPER ORIENTATION AND LOCATION OF UNIT TYPE.
 - SEE SHEET A10.02 FOR PARTITION TYPES. TYPICAL PARTITION TYPE WITHIN UNITS FOR LEVELS 2-5 IS TYPE W24G (ACOUSTICAL) U.N.O. TYPICAL PARTITION TYPE FOR LEVEL 1 UNITS IS WALL TYPE 23G (ACOUSTICAL) U.N.O.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF GYP BD U.N.O.
 - SEE SHEET A7.01 FOR KITCHEN TYPES.
 - SEE SHEET A7.02 & A7.03 FOR BATHROOM TYPES.
 - SEE SHEET A7.00 FOR FINISH SCHEDULE.
 - SEE SHEET A8.01 FOR DOOR SCHEDULE.
 - SEE OVERALL FLOOR PLANS FOR PARTITION TYPES AT UNIT/UNIT DEMISING PARTITIONS AND UNIT/CORRIDOR PARTITIONS.
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 - TYPE 'B' ACCESSIBLE UNITS TO MEET IBC 1107.6.2.1.2 & ICC/ANSI A117.1, SECTION 1004.
 - TYPE 'B' OPTION 'B' COMPLIANT BATHROOMS TO MEET ICC/ANSI A117.1, 1004-11.3.2
 - ACCESSIBLE BATHROOMS TO COMPLY WITH ICC/ANSI A117.1, 1003.11.
 - TYPE 'A' ACCESSIBLE KITCHENS TO COMPLY WITH ICC/ANSI A117.1, 1003.12.
 - TYPE 'B' ACCESSIBLE KITCHENS TO COMPLY WITH ICC/ANSI A117.1, 1004.12.



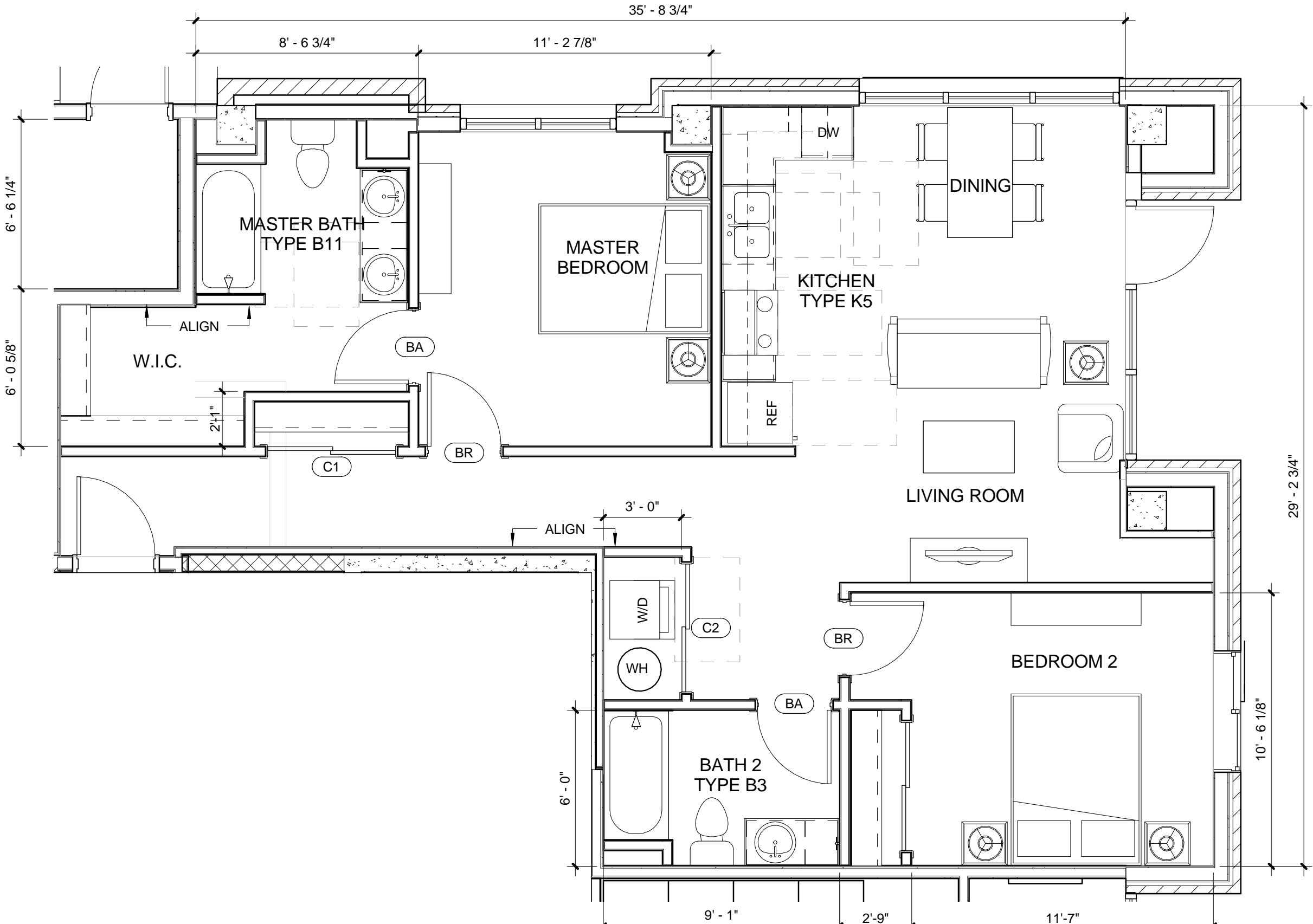
6 UNIT PLAN LIVE/WORK UNIT C REFLECTED CEILING PLAN
1/4" = 1'-0"



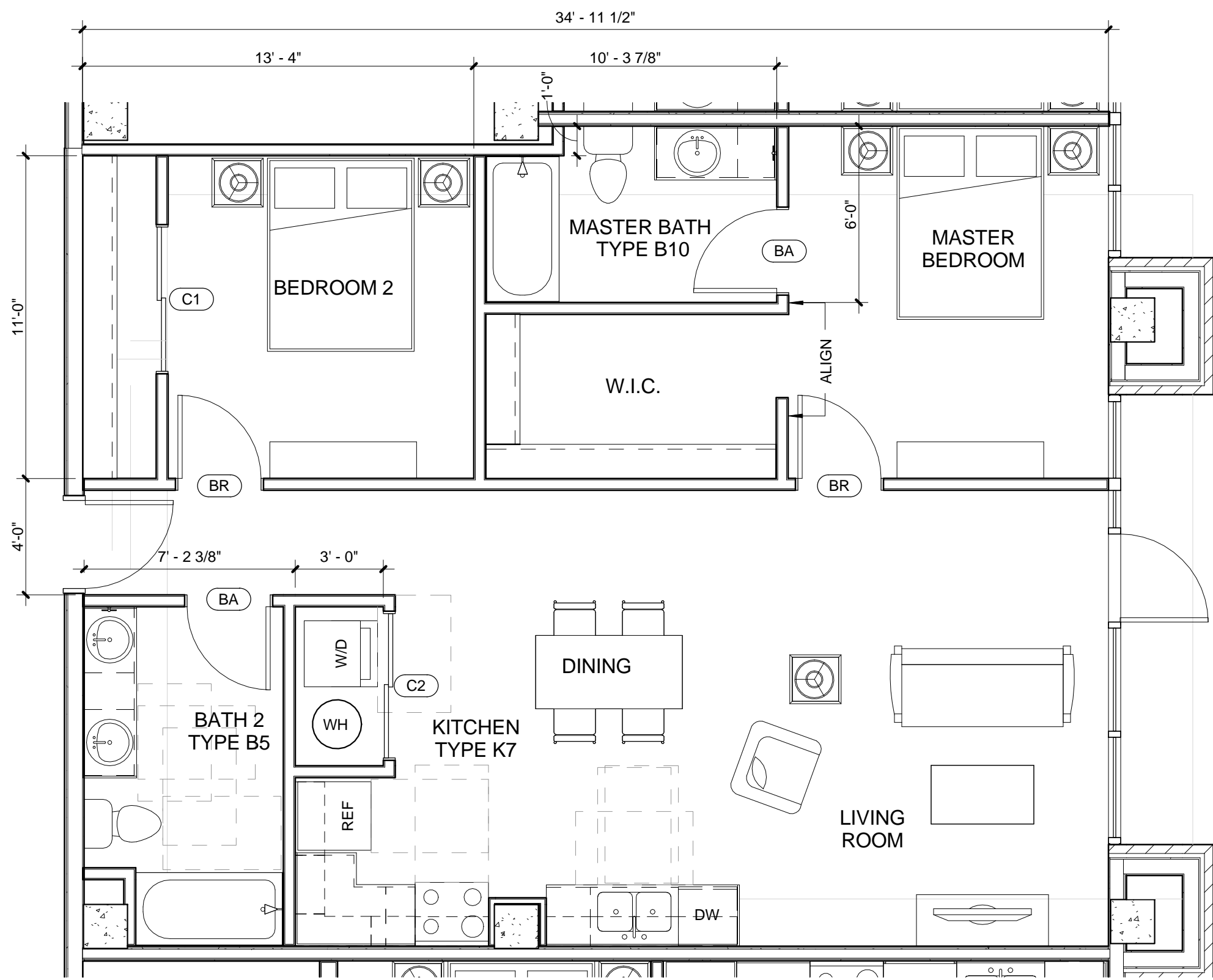
4 UNIT PLAN LIVE/WORK UNIT B REFLECTED CEILING PLAN
1/4" = 1'-0"



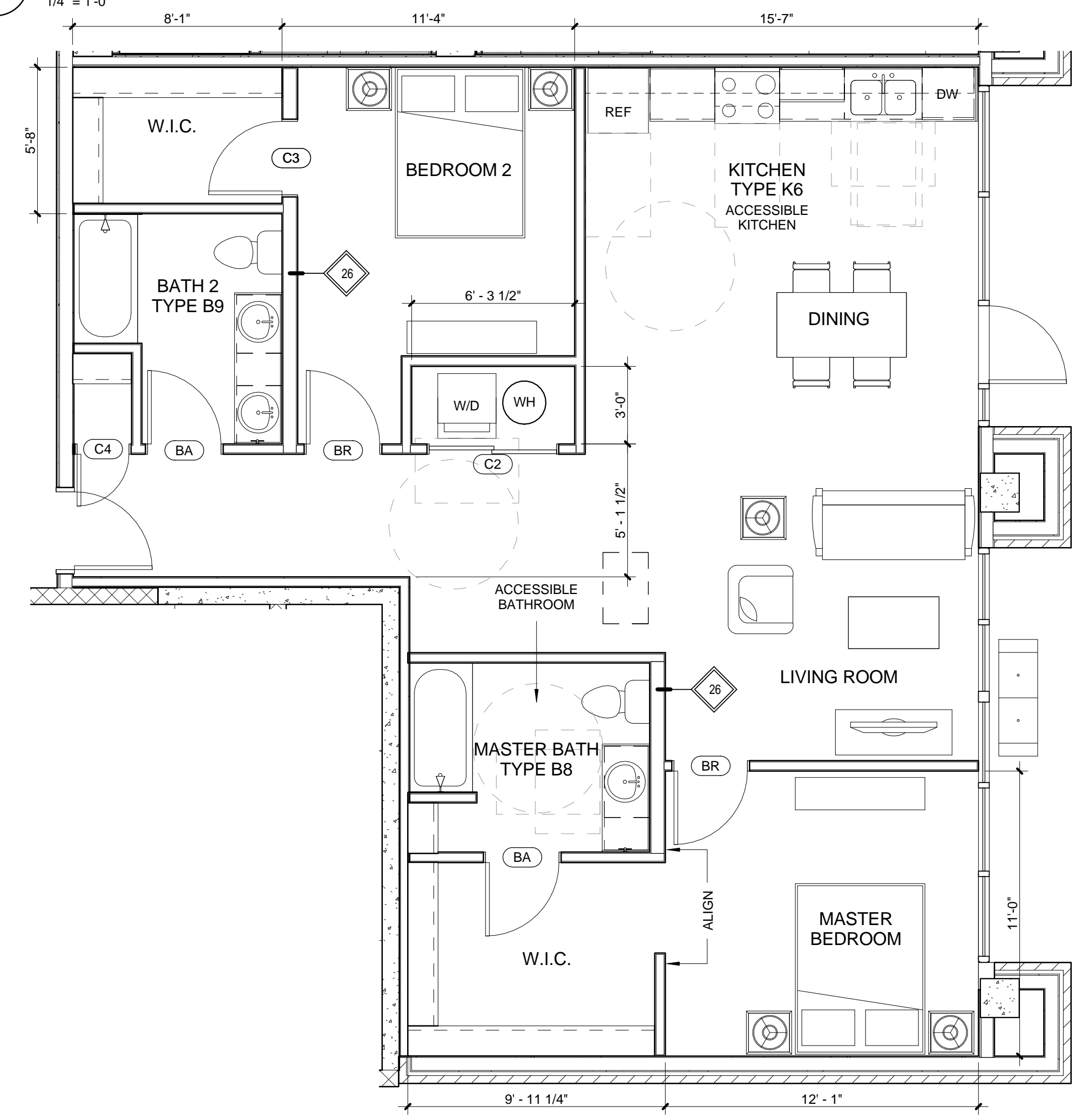
2 UNIT PLAN LIVE/WORK UNIT A REFLECTED CEILING PLAN
1/4" = 1'-0"



5 UNIT PLAN LIVE/WORK UNIT C
1/4" = 1'-0"
TYPE 'B' ACCESSIBLE UNIT



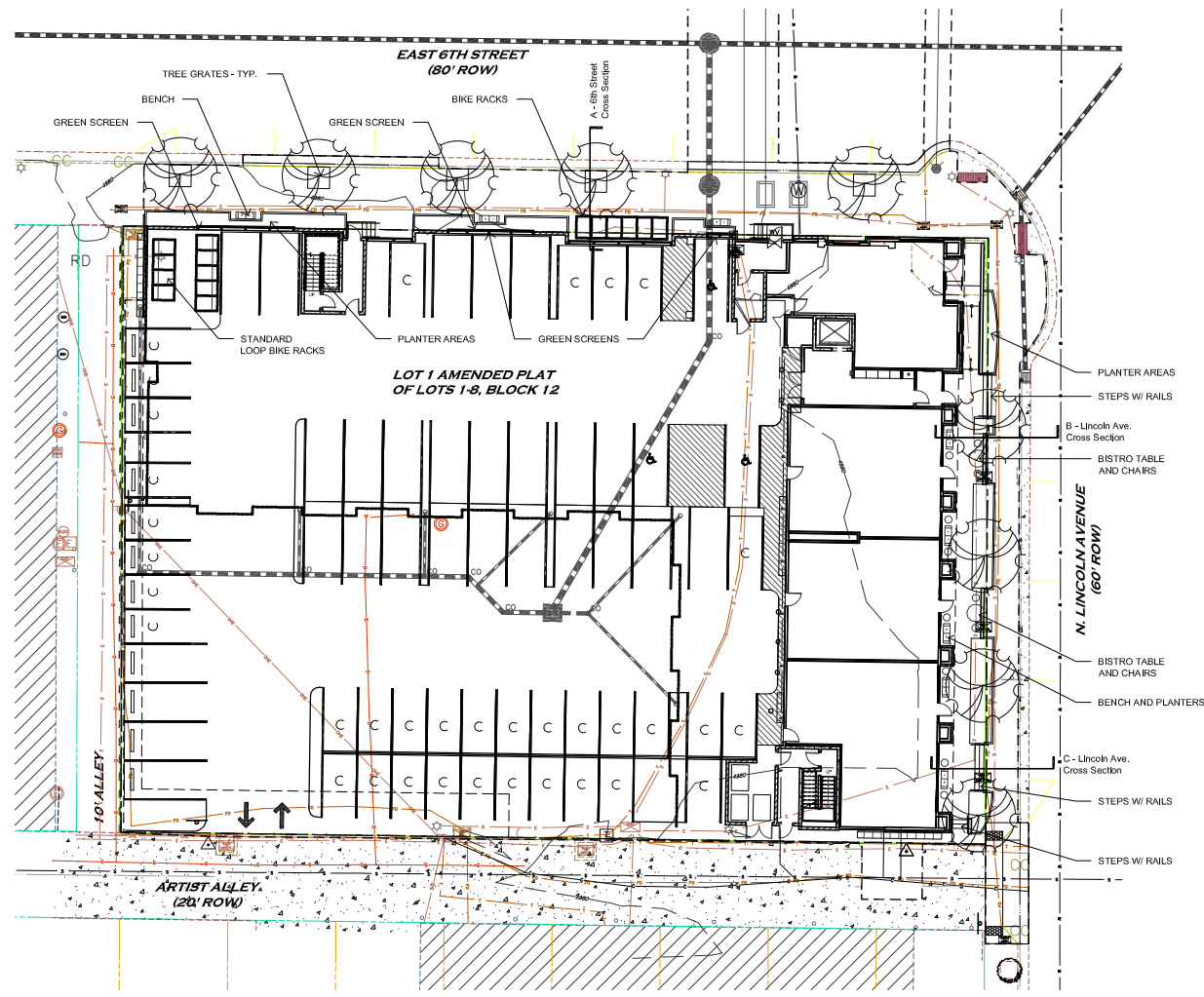
3 UNIT PLAN LIVE/WORK UNIT B
1/4" = 1'-0"
ATTACHMENT 2



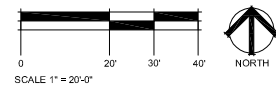
1 UNIT PLAN LIVE/WORK UNIT A
1/4" = 1'-0"
TYPE 'A' ACCESSIBLE UNIT

C:\revit\local files\112045.00_B_6th-and-Lincoln_A13\112045.00_B_6th-and-Lincoln_A13_bopaz(recovery).rvt

2/8/2013 2:26:46 PM



Streetscape Exhibit



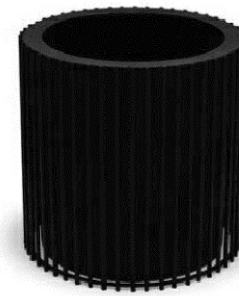
Bistro Table and Chairs
Silver - Lock and Cable Mounted



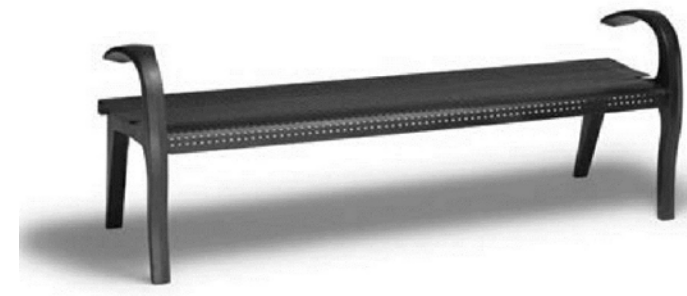
Bike Rack
Silver - Surface Mounted



5' Tree Grate
Cast Iron



24" Dia. Planter
Silver - Surface Mounted



6' Bench
Silver - Surface Mounted

Site Furnishings

OZ
ARCHITECTURE
1805 29th Street
Suite 2054
Boulder, Colorado 80301
phone 303.449.8900

TB GROUP
landscape architecture | planning | illustration
444 Mountain Ave. | TEL: 970.532.5891
Berkhead, CO 80513 | WWW: TBGroup.us

6TH & LINCOLN
LOVELAND, CO

PROJ. NO. 112045.00
DRAWN: MW
CHECKED: JB
APPROVED: TBG
DATE: 11/27/2012
REVISIONS
No. 1 02/06/2013
© OZ ARCHITECTURE

6TH & LINCOLN
ISSUED FOR:
SITE DEVELOPMENT PLAN
SHEET TITLE:
Streetscape Exhibit
SCALE: 1" = 20'-0"
SHEET NUMBER
Exhibit 1



A - 6th Street Cross Section



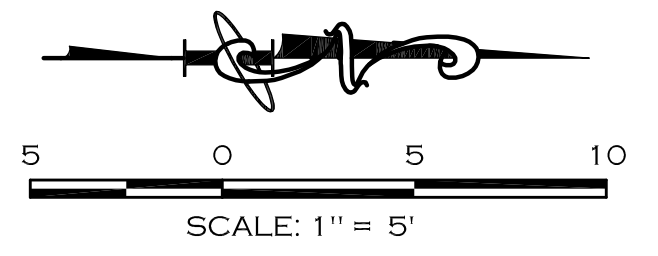
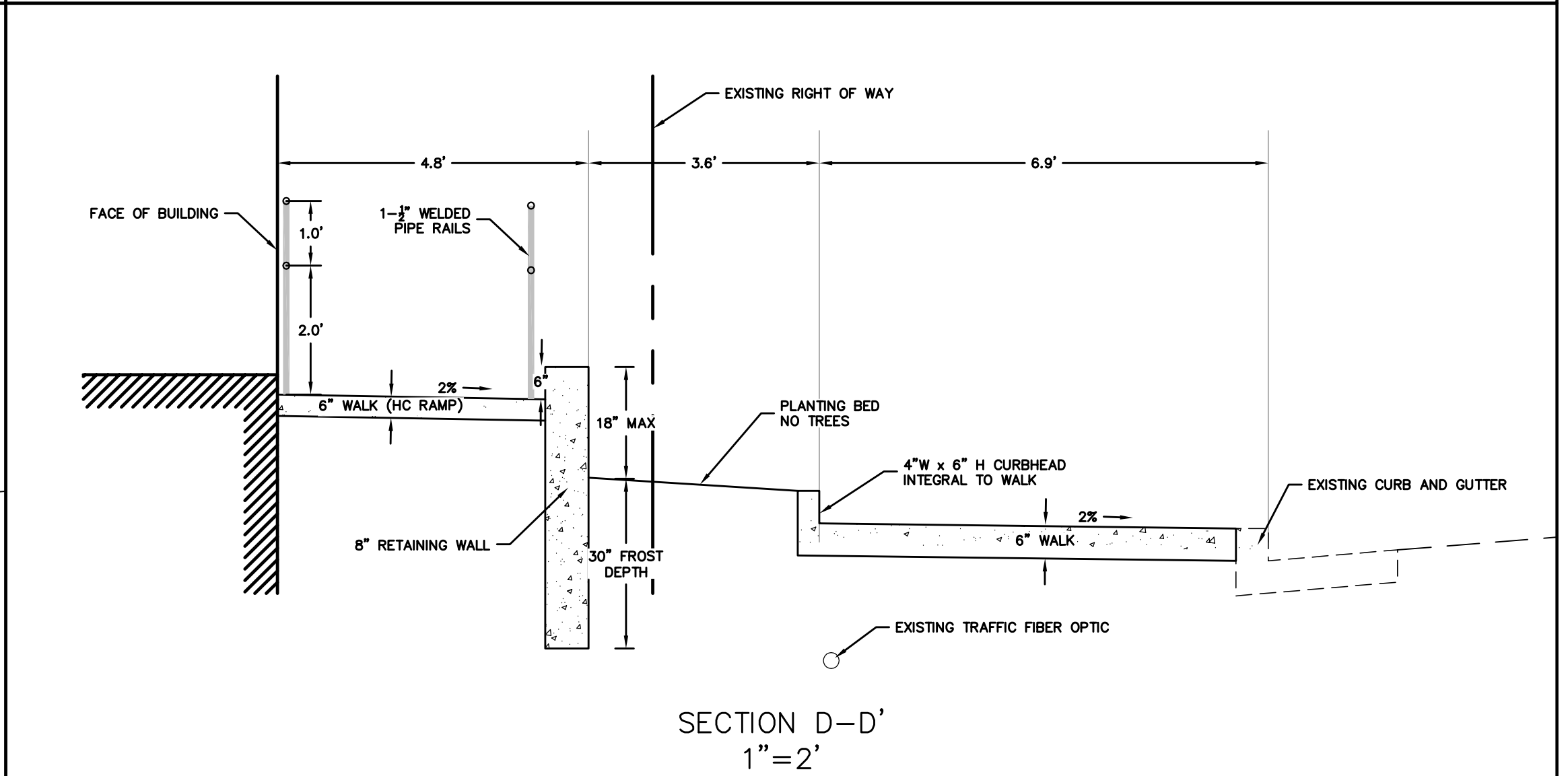
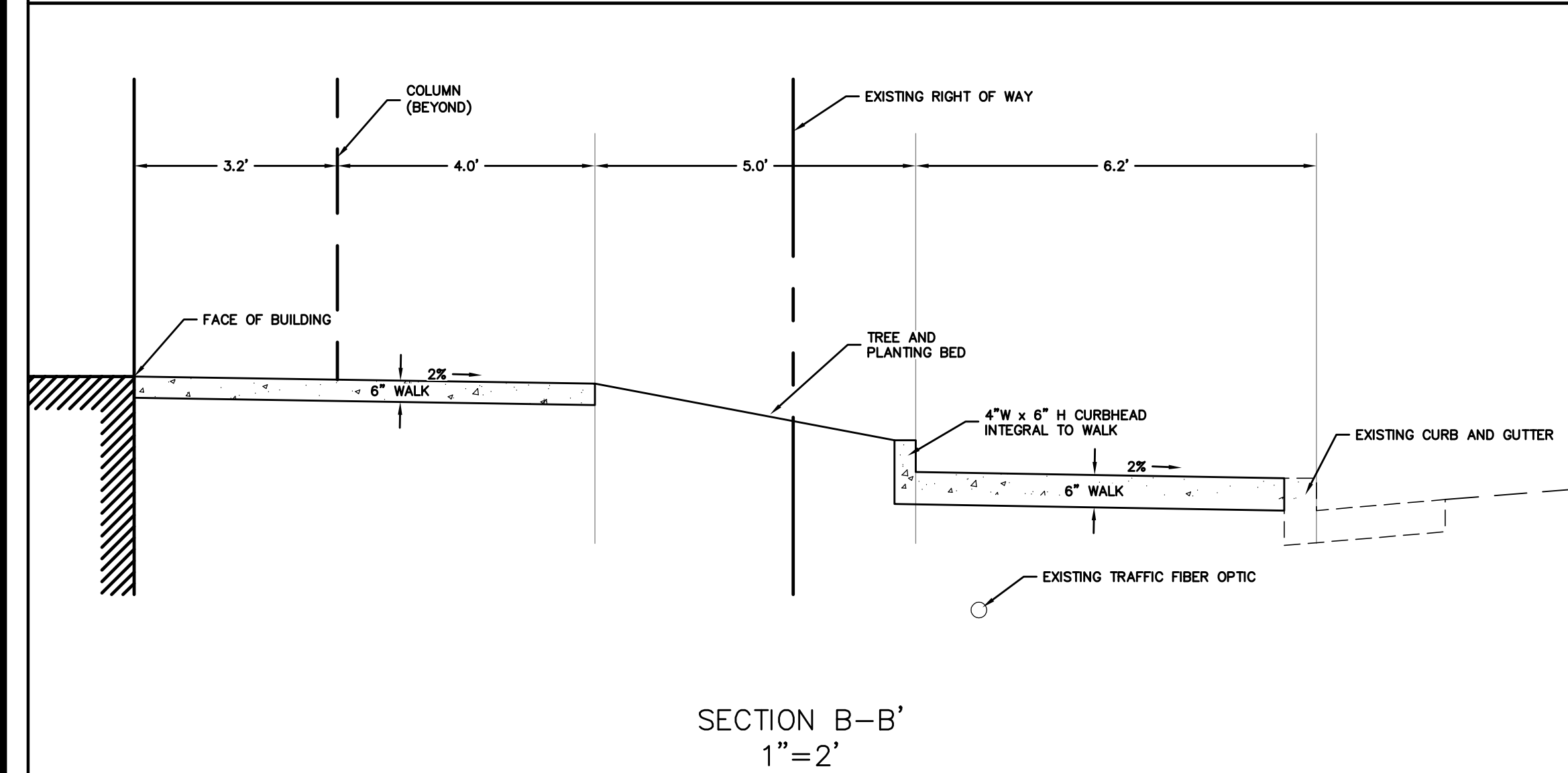
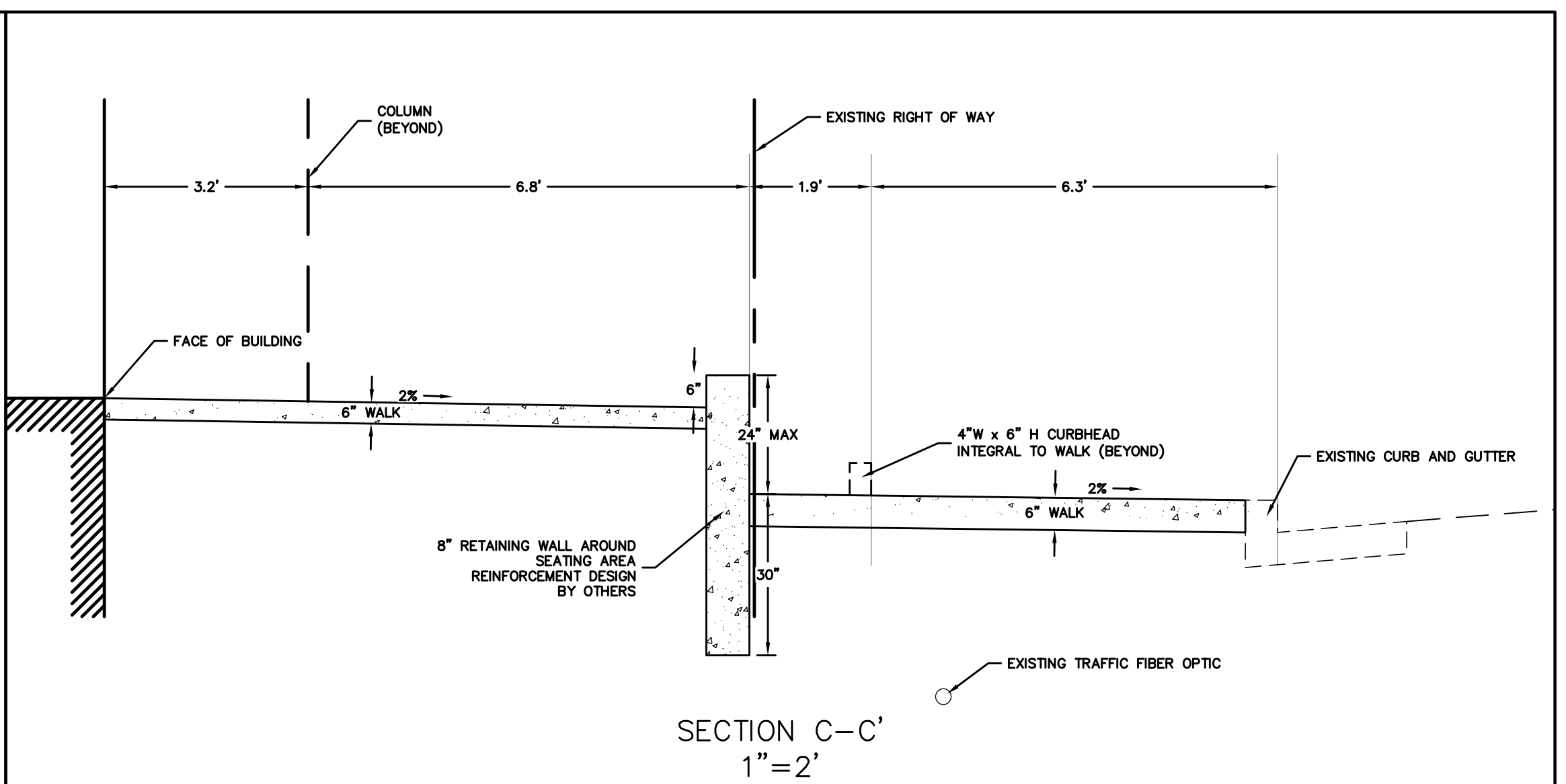
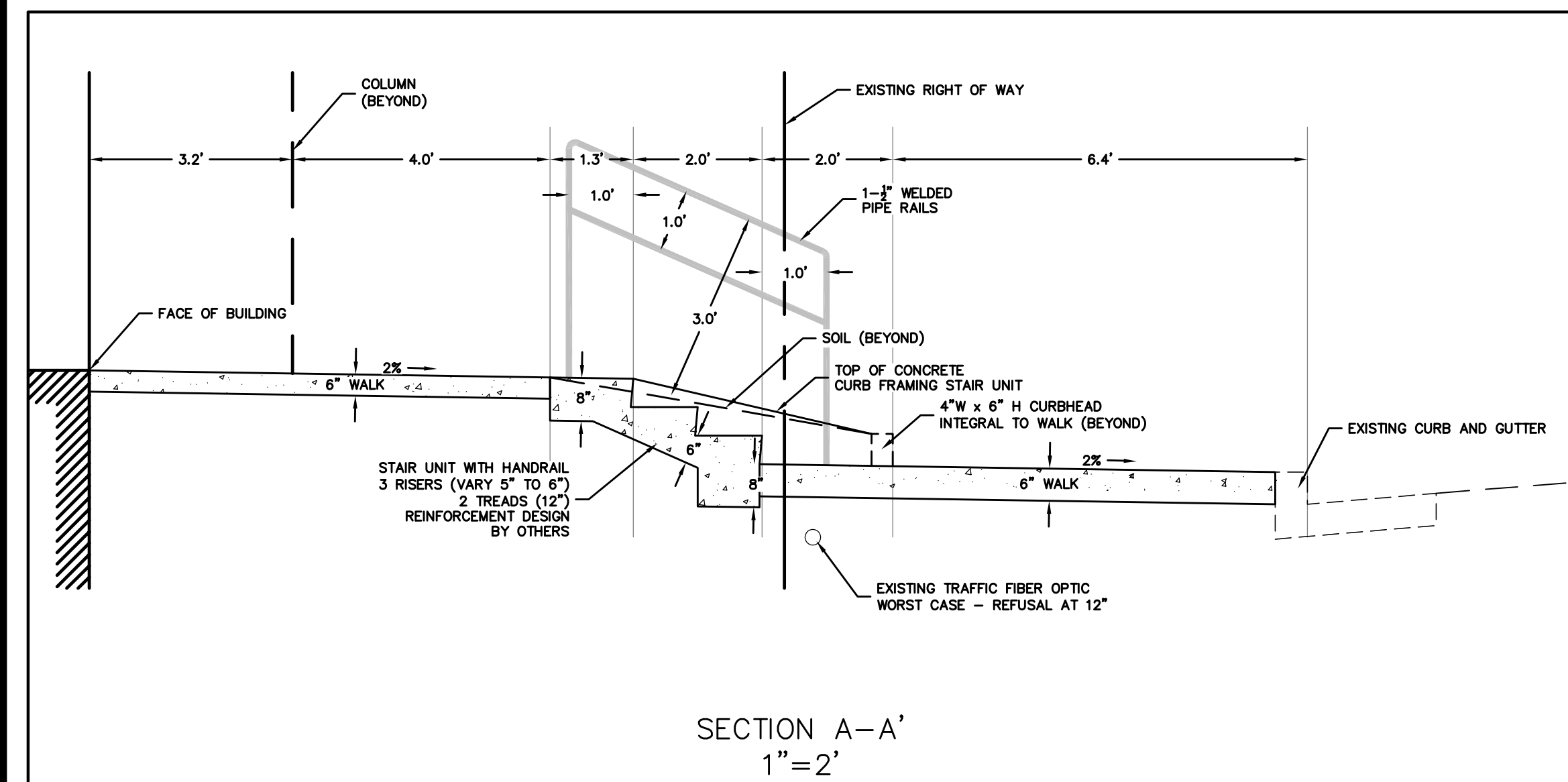
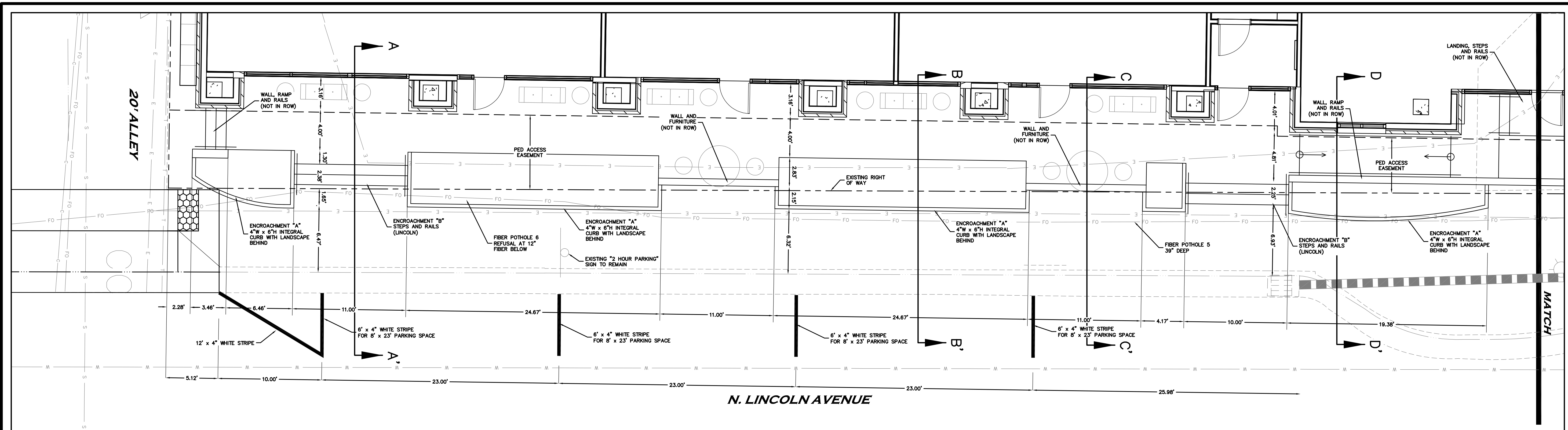
B - Lincoln Avenue Cross Section



C - Lincoln Avenue Cross Section

Streetscape Cross Sections

ATTACHMENT 3



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

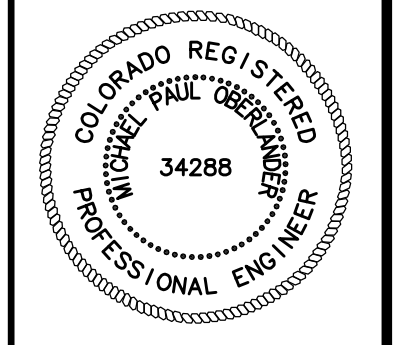
- NOTES:**
- CLEAR ADA WALKWAY WIDTH ON LINCOLN AVENUE IS 6' AND ON 6TH STREET IS 5'.
 - 6TH STREET BENCHES SHALL BE "URBANSAPES: AVILLA 6' BENCH - AV1411C"
 - 6TH STREET BIKE RACKS SHALL BE "CYCLOOPS: STAINLESS STEEL RIBBON BIKE RACK - 2170-11-E5"
 - 6TH STREET TREE WELLS SHALL BE "NEENAH: 60"x60" BOULEVARD COLLECTION TREE GRATE - R8713"
 - HAND RAILS ON STEPS AND HCAP RAMP WILL BE PER LCUASS DETAIL: 1101 EXCEPT THAT THERE WILL BE ONLY 2 HORIZONTAL MEMBERS (24" AND 36" ABOVE GRADE). ALL BUILDING AND ADA CODES SHALL APPLY.
 - PLANTING AREAS BEHIND INTEGRAL CURB (IN THE ROW) SHALL HAVE 2" OF TOPSOIL AND 4" OF MULCH PLACED FOR PLANT MATERIAL. ALL TREES SHALL BE 3' MINIMUM FROM THE EXISTING TRAFFIC FIBER OPTIC LINE.
 - ALL "PRIVATE" IMPROVEMENTS IN THE RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE CITY OF LOVELAND.

1515 W. Ash, Suite C
Windsor, Colorado 80550
Phone: (970) 674-3300
Fax: (970) 674-3303
INTEREST CONSULTING GROUP

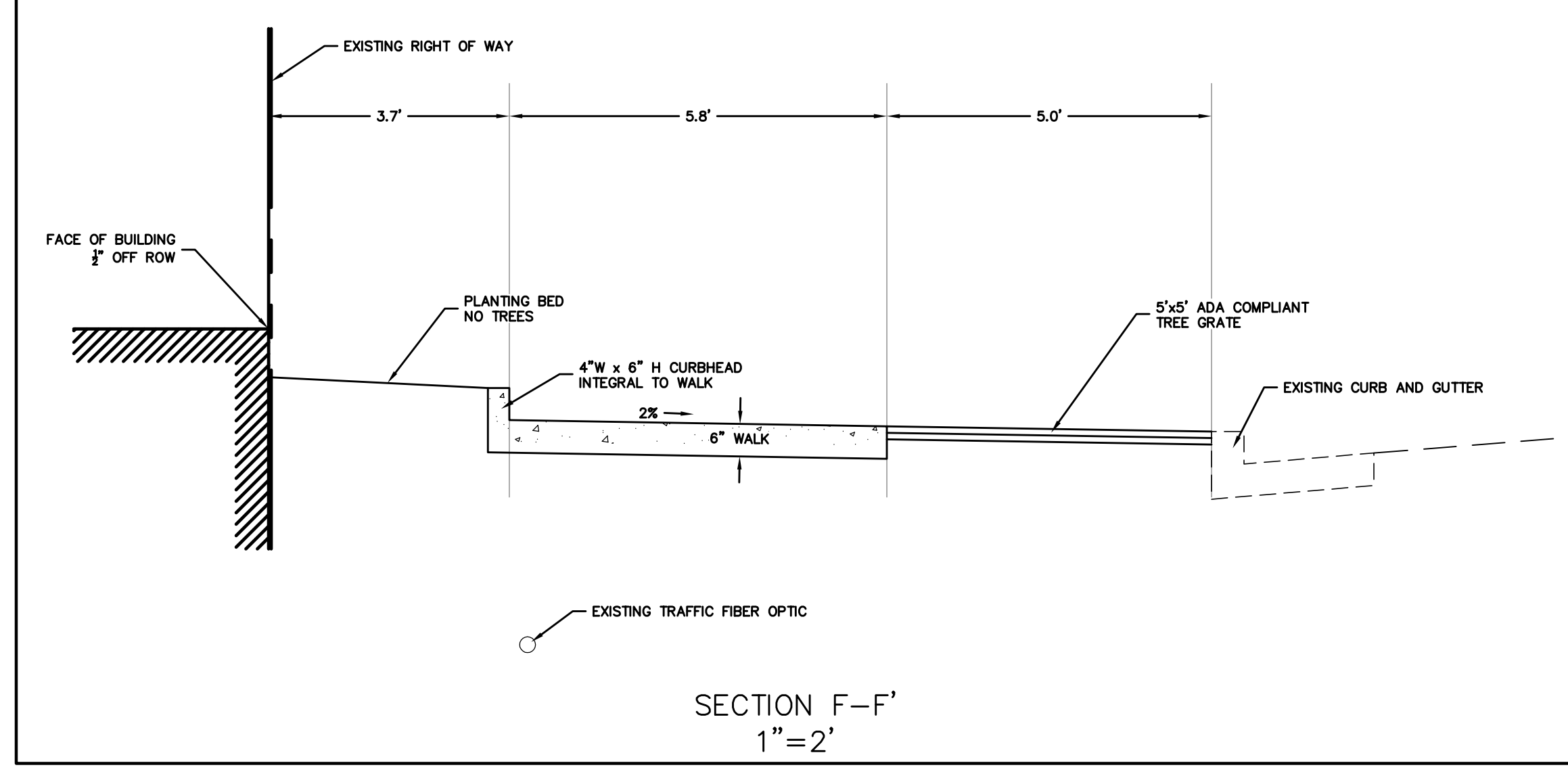
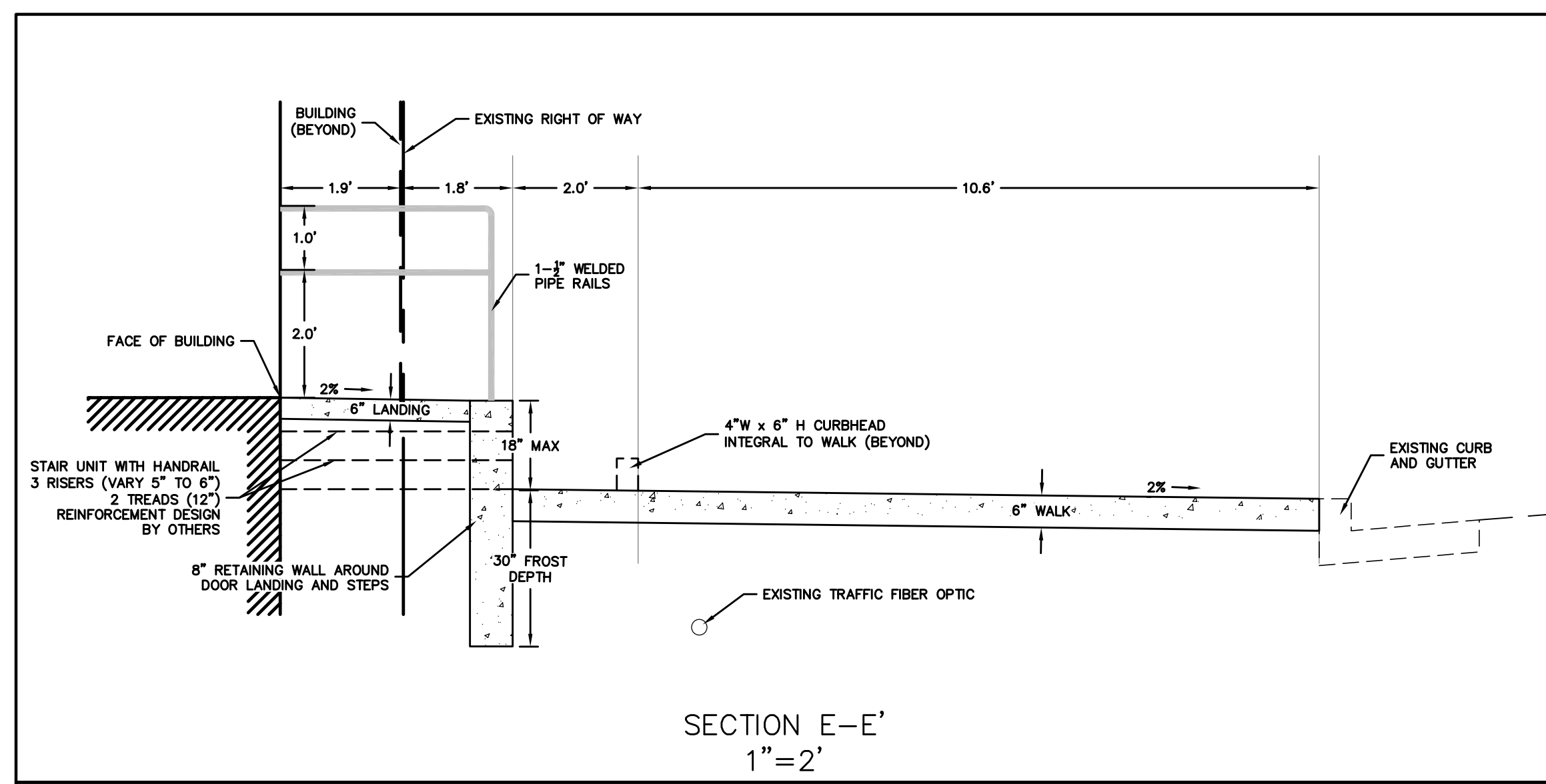
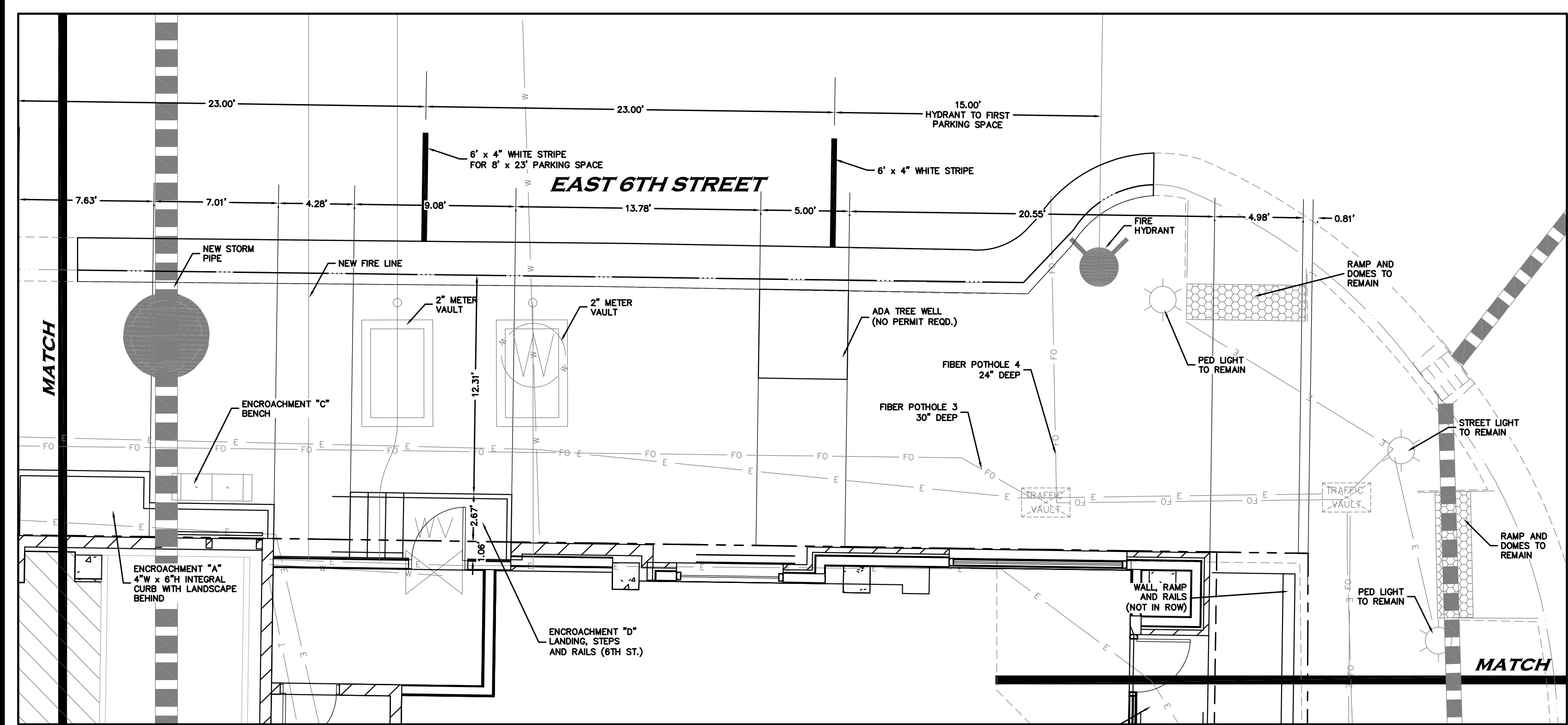
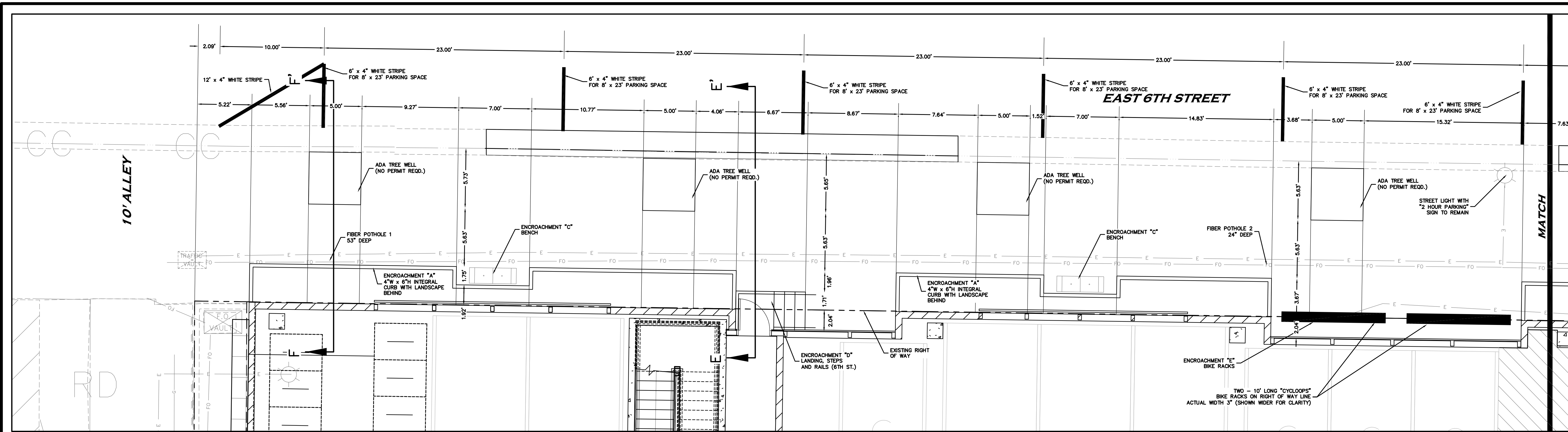
PREPARED FOR
541 NORTH LINCOLN LLC
3003 E. HARMONY RD. SUITE 300
FORT COLLINS, CO 80528
PHONE: 970-267-0954

6TH & LINCOLN
AMENDED PLAT OF LOTS 1-8, BLK 12, ORIGINAL LOVELAND
ROW IMPROVEMENT PLAN - LINCOLN AVENUE

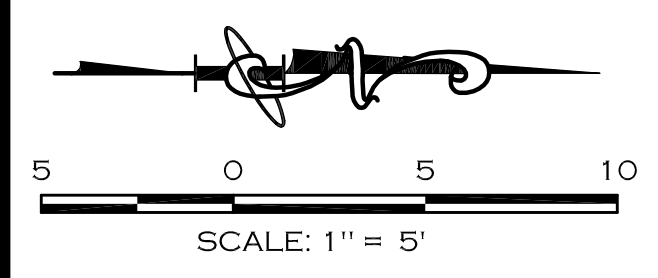
DATE: 2-5-13
SCALE (P): 1"=5'
SCALE (V): N/A
DESIGNED BY: MFO
CHECKED BY: MFO



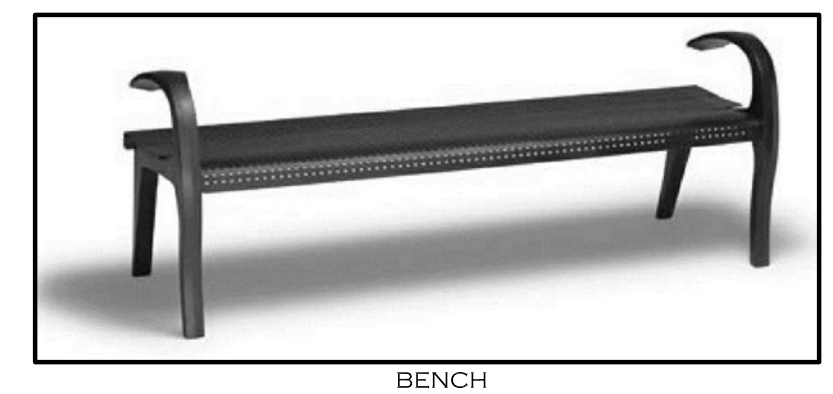
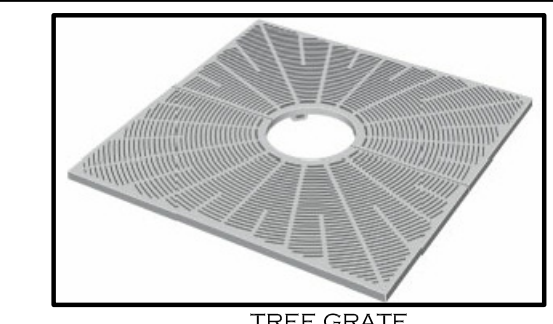
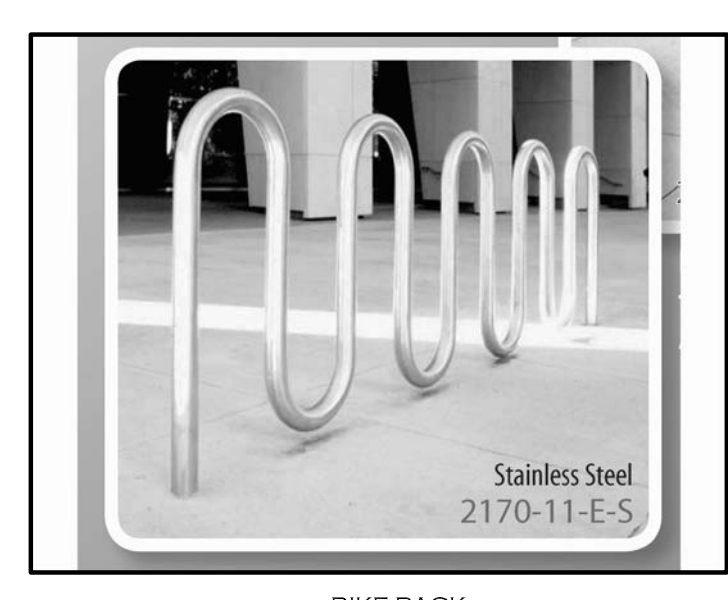
PROJ. NO. 1148-046-00



- NOTES:**
- CLEAR ADA WALKWAY WIDTH ON LINCOLN AVENUE IS 6' AND ON 6TH STREET IS 5'.
 - 6TH STREET BENCHES SHALL BE "URBANSAPES: AVILLA 6' BENCH - AV1411C" - SEE RIGHT.
 - 6TH STREET BIKE RACKS SHALL BE "CYCLOOPS: STAINLESS STEEL RIBBON BIKE RACK - 2170-11-E-S" - SEE RIGHT.
 - 6TH STREET TREE WELLS SHALL BE "NEENAH: 60"x60" BOULEVARD COLLECTION TREE GRATE - R-8713" - SEE RIGHT.
 - HAND RAILS ON STEPS AND HCAP RAMPS WILL BE PER LC4288 DETAIL 1101 EXCEPT THAT THERE WILL BE ONLY 2 HORIZONTAL MEMBERS (24" AND 36" ABOVE GRADE). ALL BUILDING AND ADA CODES SHALL APPLY.
 - PLANTING AREAS BEHIND INTEGRAL CURB (IN THE ROW) SHALL HAVE 2" OF TOPSOIL AND 4" OF MULCH PLACED FOR PLANT MATERIAL. ALL TREES SHALL BE 3' MINIMUM FROM THE EXISTING TRAFFIC FIBER OPTIC LINE.
 - ALL "PRIVATE" IMPROVEMENTS IN THE RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE CITY OF LOVELAND.



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INTEREST CONSULTING GROUP

PREPARED FOR
541 NORTH LINCOLN LLC
 3003 E. HARMONY RD. SUITE 300
 FORT COLLINS, CO 80528
 PHONE: 970-267-0954

6TH & LINCOLN
 AMENDED PLAT OF LOTS 1-8, BLK 12, ORIGINAL LOVELAND
ROW IMPROVEMENT PLAN - 6TH STREET

DATE: 2-5-13
 SCALE (PI): 1"=5'
 SCALE (V): N/A
 DESIGNED BY: MFO
 CHECKED BY: MFO



PROJ. NO. 1148-046-00

AMENDED PLAT OF LOTS 1 THROUGH 8, BLOCK 12 OF THE ORIGINAL PLAT OF LOVELAND

Being A Lot Merger Of Lots 1 Through 8, Block 12, Of The Original Plat Of Loveland,
Situate In The Southwest Quarter Of Section 13, Township 5 North, Range 69 West Of The 6th P.M.,
City Of Loveland, County Of Larimer, State Of Colorado

DATE:
11/26/2012

FILE NAME:
2012560SUB

SCALE:
1" = 30'

DRAWN BY:
CSK

CHECKED BY:
SAL

OWNER'S AND LIENHOLDER'S DEDICATION STATEMENT

KNOW ALL PERSONS BY THESE PRESENTS that the undersigned, 541 N. Lincoln, L.L.C., a Utah limited liability company, being all the owners and lienholders of the following described property, except any existing public streets, roads or highways, which property is located in the Southwest Quarter of Section Thirteen, Township Five North, Range Sixty-nine West of the 6th P.M., being more particularly described as follows:

Lots 1 Through 8, Block 12, of the Original Plat of Loveland as recorded, October 18, 1877, reception #5280, with the Larimer County Clerk's Office.

containing (0.643 acres) (28,028 square feet) more or less(±), and is subject to all easements and right-of-ways on record or existing, do hereby subdivide the same into lots, blocks, tracts, outlots, right-of-ways, and easements, as shown on this plat; and do hereby designate and dedicate: (i) all such rights-of-way and easements, other than utility easements and private easements, to and for public use, except where indicated otherwise on this plat; and (ii) all such utility easements to and for public use for the installation and maintenance of utility, irrigation and drainage facilities; and do hereby designate the same as AMENDED PLAT OF LOTS 1 THROUGH 8, BLOCK 12 OF THE ORIGINAL PLAT OF LOVELAND to the City of Loveland Colorado.

All expenses involving necessary improvements for water system, sanitary sewer system, storm sewer system, curb and gutters, sidewalks, street improvements, street signs, traffic control signs, alley grading and surfacing, gas service, electric system, grading and landscaping shall be paid by City of Loveland.

OWNER(S): 541 N. Lincoln L.L.C., a Utah limited liability company

By: _____ As: _____

STATE OF _____)
) ss
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20__.

by _____ as _____

Witness my hand and official seal.

My commission expires _____ (SEAL)

Notary Public

DIRECTOR OF DEVELOPMENT SERVICES

This plat is approved by the Director of Community Services of the City of Loveland, Larimer County,

Colorado, this _____ day of _____, 20__ for filing with the Clerk and Recorder of Larimer County and for conveyance to the City of the public dedications shown herein, which are accepted; subject to the provisions that approval in no way obligates the City of Loveland, for the financing or constructing of improvements on land, streets or easements dedicated to the public except as specifically agreed to by the Director of Development Services.

Director of Development Services

Witness my hand and seal of the City of Loveland

ATTEST:

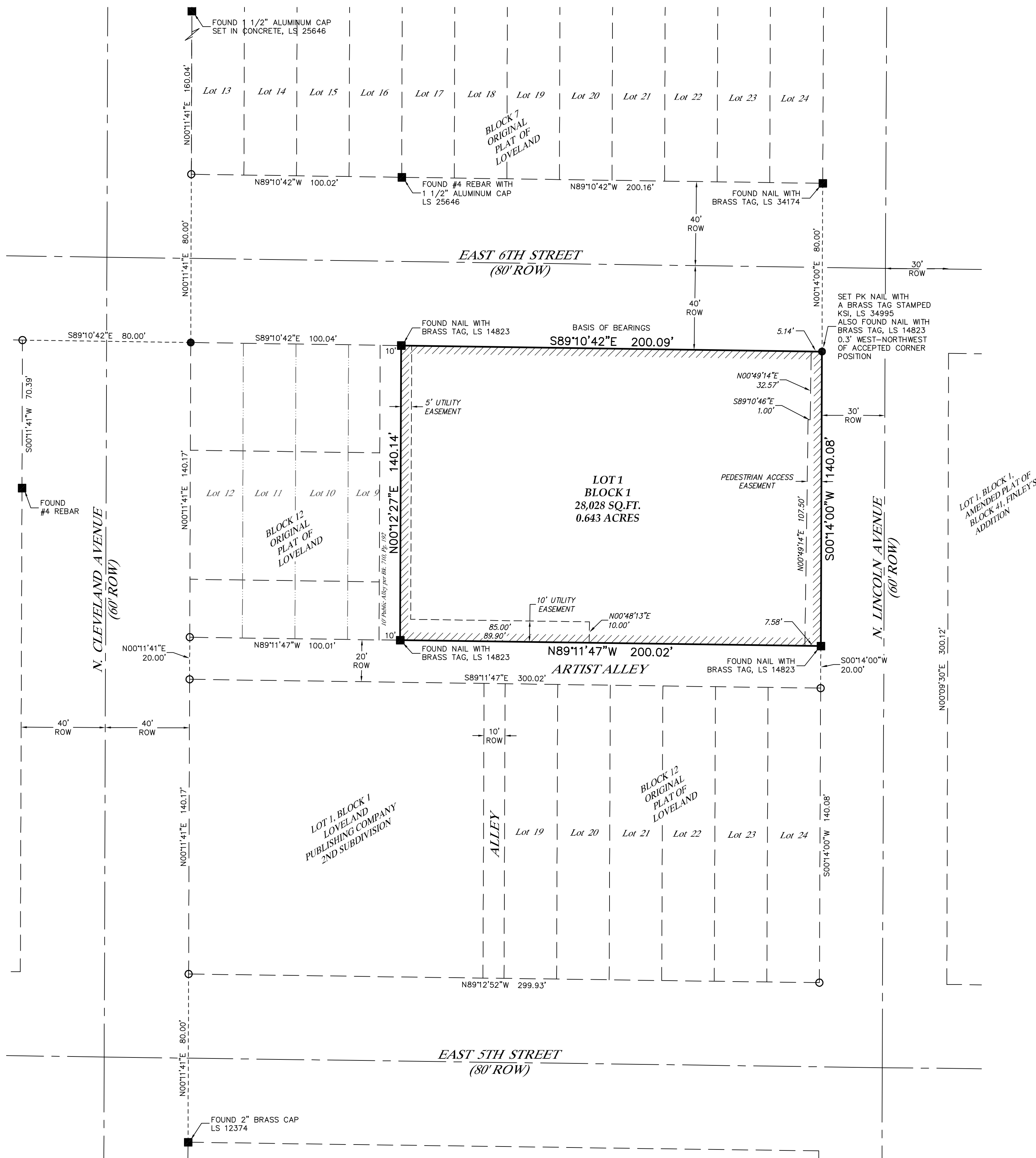
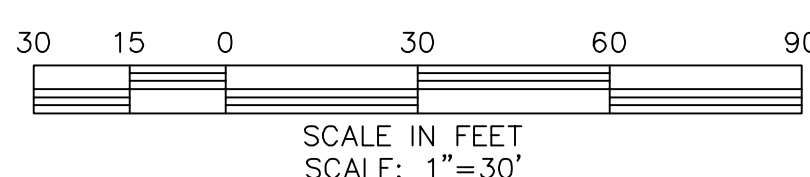
City Clerk

SURVEYOR'S STATEMENT

I, Steven A. Lund, a Colorado Registered Professional Land Surveyor, do hereby state that the survey of the Amended Plat of Lots 1 Through 8, Block 12 of the Original Plat of Loveland was prepared from an actual survey under my personal supervision, that the monumentation as indicated herein were found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information, belief, and in my professional opinion.

Dated this _____ day of _____, 20__

Steven A. Lund - On Behalf Of King Surveyors, Inc.,
Colorado Registered Professional
Land Surveyor #34995



TITLE COMMITMENT NOTE

This survey does not constitute a title search by King Surveyors Inc. to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors Inc. relied upon Title Commitment Number ?_____ dated ?_____ as prepared by ?_____ to delineate the aforesaid information.

IMPROVEMENT STATEMENT

All expenses involving necessary improvements for water system, sanitary sewer system, storm sewer system, curb and gutters, sidewalks, street improvements, street signs, traffic control signs, alley grading and surfacing, gas service, electric system, grading and landscaping shall be paid by 541 N. Lincoln L.L.C., a Utah limited liability company.

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the North line of the Block 12 as bearing South 89°10'42" East a distance of 300.13 feet with all other bearings contained herein relative thereto.

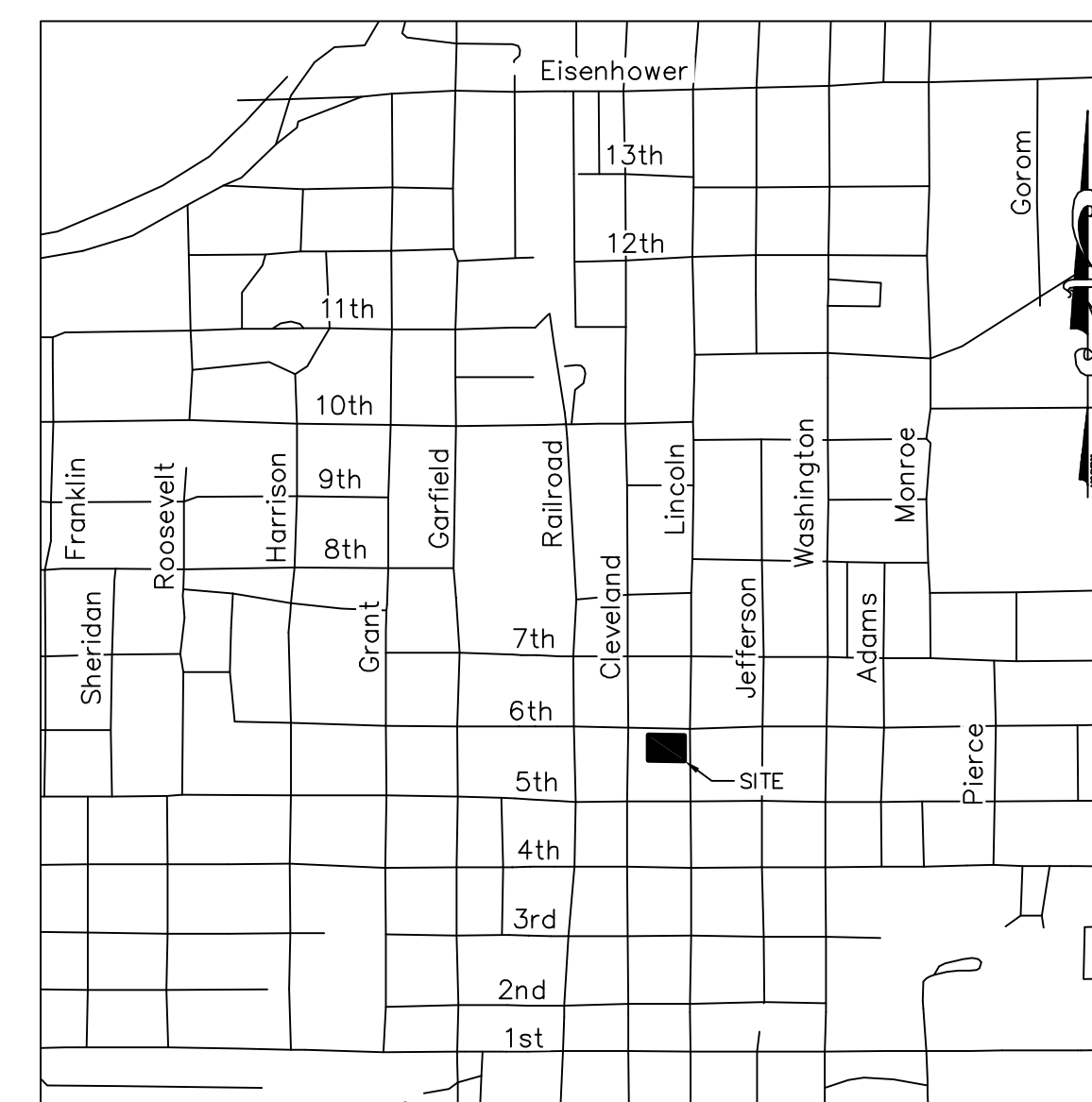
The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

NOTES

- 1) According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown herein. (13-80-105 C.R.S.)
- 2) Unless otherwise approved by the city, all unstated conditions of the approval for the original subdivision shall continue to apply to this property.
- 3) Total area in square feet of easements dedicated to the public or the city by this plat. Total area in square feet 2478. Total area in square feet of easements dedicated to the public or the city that is being vacated by this plat. Total area in square feet 0.

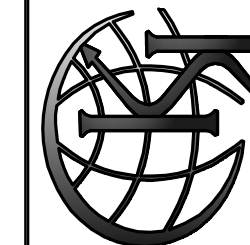
LEGEND

- - - - - CENTERLINE
- - - - - EASEMENT
- - - - - ADJACENT PROPERTY LINE
- — — — BOUNDARY LINE
- ROW RIGHT OF WAY
- FOUND MONUMENT AS DESCRIBED
- SET PK NAIL WITH A BRASS TAG STAMPED KSI, LS 34995
- CALCULATED POSITION



VICINITY MAP
(NOT TO SCALE)

KING SURVEYORS, INC.
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | fax: (970) 686-5821



REVISIONS:

REV.	REV. PER CITY PLAN CHK QMS.	CHK	DATE:
		CSK	1/27/13

Amended Plat of Lots 1 through 8,
Block 12, of the Original Plat of Loveland
FOR
INTEREST CONSULTING GROUP
1218 ASH STREET, SUITE C, WINDSOR, CO 80550

PROJECT #:
2012560

1

SHT 1 OF 1

Chapter 18.24

BE DISTRICT - ESTABLISHED BUSINESS DISTRICT

Sections:

- 18.24.010 Purpose.**
- 18.24.020 Uses permitted by right.**
- 18.24.030 Uses permitted by special review.**
- 18.24.040 BE zoned area on West Eisenhower Boulevard.**
- 18.24.050 Proposals requiring approval by planning commission.**
- 18.24.060 Standards applying to entire BE zoning district.**
- 18.24.070 Description of general, core, Fourth Street, and neighborhood transition character areas.**
- 18.24.080 General and core character areas urban design standards.**
- 18.24.090 Fourth Street character area urban design standards.**
- 18.24.100 Neighborhood transition character area urban design standards.**
- 18.24.110 Landscaping.**

18.24.010 Purpose.

The BE - Established Business District is intended to promote the development of a pedestrian-oriented downtown mixed-use business district in which a variety of retail, commercial, office, civic and residential uses are permitted. The district is also intended to:

- A. Encourage preservation of the architectural and historic character of the district;
- B. Foster redevelopment through the application of flexible development standards;
- C. Encourage a diverse mixture of land uses throughout the district including arts and technology related uses and mixed-use development;
- D. Encourage revitalization and redevelopment of the downtown in a manner that preserves and complements its existing unique character;
- E. Increase housing density to support vitality downtown;
- F. Increase employment density and opportunities;
- G. Encourage high-quality design that is context appropriate;
- H. Encourage redevelopment and increased density, while maintaining compatibility between the downtown BE district and surrounding residential neighborhoods;
- I. Support multi-modal transportation, including higher density surrounding transit nodes; and;
- J. Allow for development to respond to infill conditions by utilizing type 2 standards.

18.24.020 Uses permitted by right.

The following uses are permitted by right in the BE district:

- A. Accessory buildings and uses;
- B. Accessory dwelling units;
- C. Art gallery, studio and workshop including live/work studio and workshop. Such facilities may include the display, sale, fabrication or production of paintings, sculptures, ceramics and other art media. Limited outdoor fabrication of art work may be permitted subject to special review as provided in Chapter 18.40;

- D. Bar or tavern in general, core, and Fourth Street character areas;
- E. Bed and breakfast establishment;
- F. Boarding and rooming house;
- G. Clubs and lodges;
- H. Combined use (or mixed-use) development of permitted uses;
- I. Commercial day care center, licensed according to the statutes of the state;
- J. Community facility;
- K. Convention & conference center;
- L. Essential public utility uses, facilities, services, and structures (underground);
- M. Financial services;
- N. Food catering;
- O. Funeral home without crematorium;
- P. Garden supply center;
- Q. Government or semipublic use;
- R. Health care service facility;
- S. Hospital;
- T. Indoor entertainment facility & theater;
- U. Indoor recreation;
- V. Light industrial entirely within a building;
- W. Lodging establishment;
- X. Long term care facility;
- Y. Lumberyard in the general character area;
- Z. Medical, dental and professional clinic or office;
- AA. Micro-winery, micro-brewery, and micro-distillery;
- BB. Multiple-family dwelling for the elderly;
- CC. Multiple-family dwelling;
- DD. Nightclub in core and Fourth Street character areas;
- EE. Office, general administrative;
- FF. One-family (attached or detached) dwelling, including mixed-use dwellings;
- GG. Open-air farmers market;
- HH. Parking garage in the general and core character areas;
- II. Parks and recreation area;
- JJ. Parking lot in the general character area;
- KK. Personal service shop;
- LL. Place of worship or assembly;
- MM. Printing and newspaper office;
- NN. Public or private school;
- OO. Research laboratory;
- PP. Restaurant, fast food without drive-in;
- QQ. Restaurant standard, indoor or outdoor;
- RR. Retail laundry;
- SS. Retail store and wholesale store;

- TT. Shelters for victims of domestic violence;
- UU. Special trade contractor's shop (any outdoor storage shall be subject to special review as provided in Chapter 18.40.);
- VV. Veterinary clinic;
- WW. Two-family dwelling; and
- XX. Workshop and custom small industry uses if entirely enclosed within a building and provided there is no excessive odor, glare, smoke, heat, vibration, etc.; Limited outdoor fabrication of products may be permitted subject to special review as provided in Chapter 18.40.

18.24.030 Uses permitted by special review.

The following uses are permitted by special review subject to the provisions of Chapter 18.40:

- A. Attended recycling collection facility;
- B. Antennas, as defined in Section 18.55.020(A), located on an existing tower or structure as provided in Section 18.55.030 and Section 18.55.030 and meeting all other requirements of Chapter 18.55;
- C. Bar or tavern in the neighborhood transition character area;
- D. Combined-use (mixed-use) development containing one or more special review use(s);
- E. Congregate care facility;
- F. Contractor's storage yard in the general character area;
- G. Domestic animal day care facility;
- H. Essential public utility uses, facilities, services, & structures (above ground);
- I. Gas station with or without convenience goods or other services in the general character area subject to Section 18.52.060 and Section 18.50.135;
- J. Greenhouse;
- K. Group care facility;
- L. Nightclub in the general and neighborhood transition character areas;
- M. Off-track betting facility;
- N. Outdoor recreation facility;
- O. Outdoor storage as an accessory use;
- P. Parking garage in the Fourth Street and neighborhood transition character areas;
- Q. Parking lot in the core and neighborhood transition character areas;
- R. Personal wireless service facility as defined in Section 18.55.020(A), located on a new structure, meeting all requirements of Chapter 18.55;
- S. Unattended recycling collection facility;
- T. Vehicle minor and major repair, servicing and maintenance in the general and core character areas;
- U. Vehicle rental, cars, light trucks and light equipment in the general and core character areas;
- V. Vehicle sales and leasing of cars and light trucks in the general and core character areas; and
- W. Warehouse and distribution uses enclosed within a building.

18.24.040 BE zoned area on West Eisenhower Boulevard.

The area zoned BE and shown in Figure 18.24.040-1 shall not be governed by the allowances, standards and provisions of this Chapter 18.24, with the exception that the uses allowed in this area shall be subject to Sections 18.24.020 and 18.24.030. For the purposes of determining allowed uses, this area shall be considered to be in the general character area (see section 18.24.070 for a discussion of character areas). All development in this area shall otherwise comply with Chapter 18.28, Chapter 18.53, Chapter 18.42, Chapter 18.50, Chapter 18.54 and all other applicable City code regulations.

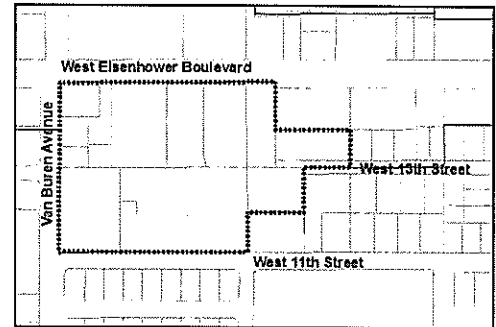


Figure 18.24.040-1

18.24.050 Proposals requiring approval by the planning commission.

- A. Structures, buildings or additions meeting the criteria listed in this section shall require approval by the planning commission at a public hearing noticed in accordance with Chapter 16.16.070. Uses listed in Section 18.24.030 as requiring a special review and meeting the thresholds listed in this section shall require approval by the planning commission at a public hearing in lieu of a special review.
 - 1. Any allowed uses located in the general, core or Fourth Street character areas containing more than 25,000 square feet of gross floor area construction.
 - 2. Any allowed uses located in the neighborhood transition character area containing more than 10,000 square feet of gross floor area construction.
 - 3. Any building or structure height above seventy (70) feet, exclusive of church spires, chimneys, ventilators, pipes, elevator shafts, or similar appurtenances.
- B. In evaluating proposals, the planning commissions shall make the findings included in this section.
 - 1. The proposed development complies with the standards of this chapter and any other applicable provisions of the Loveland Municipal Code.
 - 2. The proposed development is consistent with the goals of the document, *Destination Downtown: Heart Improvement Project Downtown Strategic Plan and Implementation Strategy*.
 - 3. The proposed development is compatible with surrounding properties while considering its location in an urban environment characterized by a diversity of uses and building types.

18.24.060 Standards applying to entire BE zoning district.

The following standards shall apply to all development within the BE zone district, except for that area described in Section 18.24.040 and depicted in Figure 18.24.040-1. The building envelopes depicted in this section are not intended to depict actual building forms. Building heights shall be defined and measured per Chapter 18.04.113.2. Therefore, portions of

a building including pitched or gabled roofs may extend outside of the building envelopes as depicted in this section.

A. Building height: Type 1 standards.

1. Building height for all structures, including primary and accessory uses, shall not exceed the maximum heights set forth in Figures 18.24.060-1, 18.24.060-2, and 18.24.060-3.

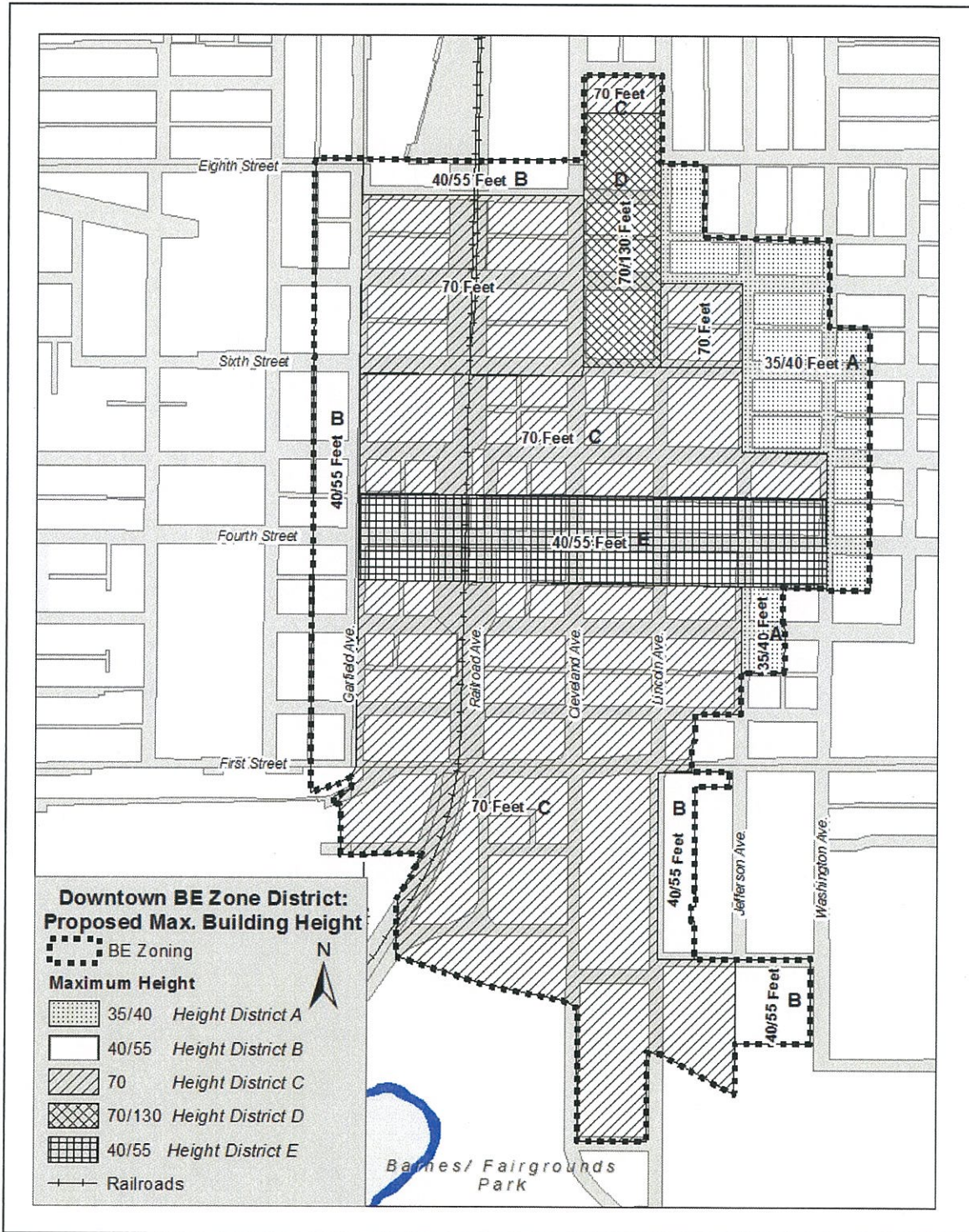


Figure 18.24.060-1: Downtown Area Height Limits



Figure 18.24.060-2
BE Eighth Street and Colorado Avenue Area
Height Limits

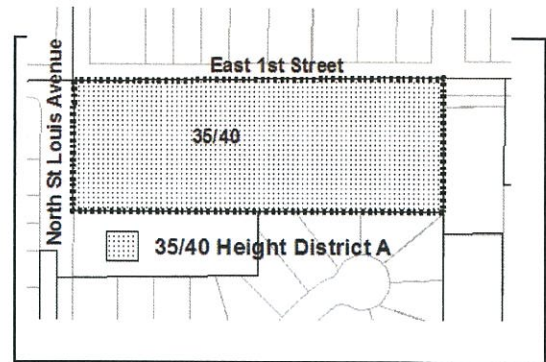


Figure 18.24.060-3
BE East First Street Area
Height Limits

2. Where Figures 18.24.060-1, 18.24.060-2, and 18.24.060-3 indicate two numbers, the lower of the two numbers shall be considered the standard allowable height.
3. Building heights up to the higher of the two numbers in Figures 18.24.060-1, 18.24.060-2, and 18.24.060-3 may be permitted as stipulated in the following height provisions:
 - a. Height district A - 35/40 residential buffer: These height limits are intended to maintain the existing character of the area and ensure compatibility with adjacent uses and residential zoning districts. Building heights in height district A are as specified below:
 - i. Buildings located in height district A shall have a standard allowable height of thirty five (35) feet.
 - ii. Buildings on property located adjacent to Colorado Avenue, Lincoln Avenue, Jefferson Avenue, Washington Avenue, First Street or West Eighth Street may have a maximum height of forty (40) feet.
 - b. Height district B - 40/55 residential buffer: These height limits are intended to protect the character of adjacent residential neighborhoods. The maximum building height of fifty five (55) feet is allowed except as specified below:
 - i. Structures on lots located directly adjacent to residential zoning districts or across public alleys from residential zoning districts shall be limited to forty (40) feet in height within sixty five (65) feet of the property line of the adjacent residentially zoned lot. This sixty-five (65) foot setback shall be measured from the property line of the adjoining residentially zoned lot and shall include any land within an alley right-of-way (see Figure 18.24.060-4).
 - ii. This provision shall not apply to lots separated from a residential zone district by a public street other than an alley.

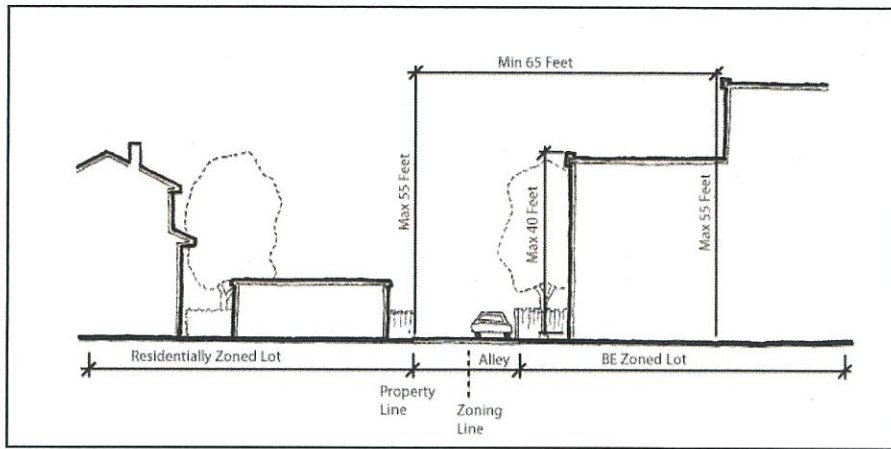


Figure 18.24.060-4
Setback from residential zone districts

- c. Height district D - 70/130 high rise zone: These height limits are intended to allow for the construction of tall buildings subject to standards designed to mitigate potential negative effects on adjacent properties. Buildings over seventy (70) feet in height must meet the following massing standards:

- i. Portions of a building greater than seventy (70) feet in height shall be set back from public streets, not including alleys, a minimum of 25% of the total building height. See Figure 18.24.060-5.

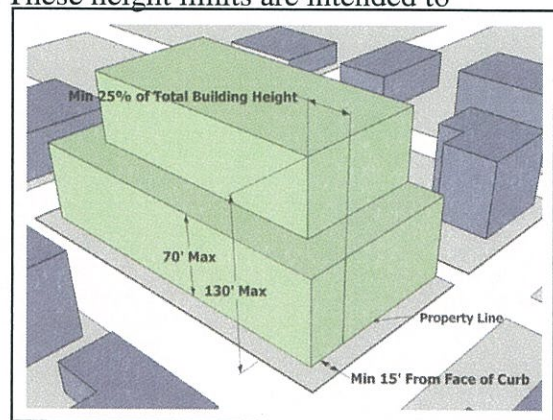


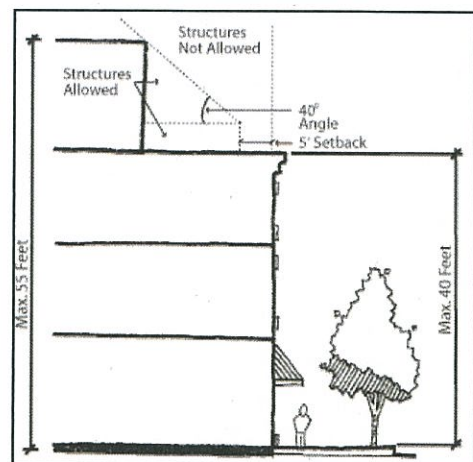
Figure 18.24.060-5

- d. Height district E – 40/55 Fourth Street character area: These height limits are intended to maintain a historic and pedestrian scale, and protect solar access to the north sidewalk of Fourth Street for the majority of the year. Building heights in height district E are as specified below:

- i. Facades fronting on Fourth Street or intersecting public street rights-of-way shall have a standard allowable height of forty (40) feet.

Figure 18.24.060-6

- ii. Structures may be allowed up to fifty five (55) feet in height provided those portions of buildings exceeding forty (40) feet in height shall be stepped back at an angle of 40 degrees from horizontal. Portions of buildings greater than forty (40) feet in height shall be stepped back a minimum of five (5) feet from the public right of way. See Figure 18.24.060-6.



- iii. Only those stories above the second story may be stepped back.
4. Building height adjacent to one-family residential uses: The maximum building height on properties located adjacent to a one-family residential use shall be limited to the height restrictions indicated in Figures 18.24.060-1, 18.24.060-2, and 18.24.060-3; except that on the lot line adjacent to the one-family residential use, portions of the structure greater than forty (40) feet in height shall be stepped back at an angle of 40 degrees from horizontal as depicted in Figure 18.24.060-7.

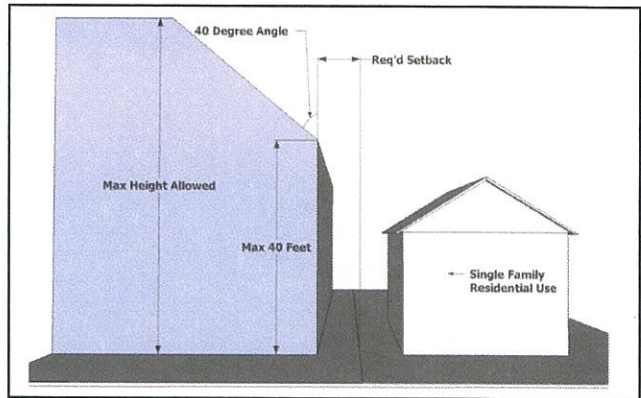


Figure 18.24.060-7

B. Off street parking: Type 2 standards.

1. Off-street parking shall be provided as set forth in Chapter 18.42.030 for all uses outside the boundaries of General Improvement District #1 (GID #1) with boundaries as established by city council, and for residential uses that are not part of a mixed-use development.
2. No off-street parking shall be required for non-residential or mixed use development located in GID #1.

C. Parking garages: Type 2 standards.

1. Exterior building elevations shall be compatible with the architecture found in the BE district in terms of style, mass, material, height, and other exterior elements.
2. Parking garages shall include a minimum of three (3) of the following elements on any facade facing a public street or plaza space: (i) window and door openings comprising a minimum of 25% of the ground floor facade; (ii) awnings; (iii) sill details; (iv) columns; (v) recessed horizontal panels or similar features to encourage pedestrian activity at the street level.
3. Along primary pedestrian streets, as defined in Section 18.24.080.C, commercial uses shall be provided along the ground level, where feasible, to create pedestrian activity.
4. Vehicle entrances shall be located to minimize pedestrian/auto conflicts.

D. Signs: Type 1 standards. All signs shall comply with Chapter 18.50 of this code.

E. Illumination: Type 2 standards. Section 3.09 of *the City of Loveland Site Development Performance Standards* shall apply to site lighting with the exception that unshielded, decorative lighting shall be permitted, provided the lights are not installed at a height exceeding twelve (12) feet and the light intensity does not cause glare as defined in said section.

F. Outdoor eating area: Type 1 standard. Restaurants may operate outdoor eating areas on public sidewalks, rooftops and balconies and in courtyards or other similar locations, provided that pedestrian circulation and access to building entrances is not impeded, and adequate clear space within the sidewalk is maintained to allow for pedestrian circulation and to meet any applicable City codes and regulations as well as the *Americans with*

Disabilities Act, as appropriate, and such outdoor eating areas comply with the following type 2 standards:

1. Planters, fences, or other removable enclosures shall be used to define the limits of the outdoor eating area.
 2. Adequate refuse containers shall be provided within the outdoor eating area.
 3. Tables, chairs, planters, extended awnings, canopies, umbrellas, trash receptacles and other street furniture shall be compatible with the architectural character of the building and surrounding area in terms of style, color, and materials.
 4. The area within and immediately adjacent to the outdoor eating area shall be maintained in a clean and well-kept condition.
- G. Outdoor storage: Type 1 standard. The storage area shall be screened from view from public rights-of-way and adjacent properties and shall comply with the following type 2 standards:
1. Such storage shall not be located within any required front yard.
 2. The preferred method of screening is a solid masonry wall no less than six (6) feet in height. A decorative fence, landscape screen, berm, or any combination thereof, may be approved by the current planning manager as a screening substitution provided it meets the intent of this section. Chain link fencing with slats shall not be allowed as a permitted screening alternative. Stored material shall not exceed the height of the screening wall, fence, or berm.
 3. Landscaping may be required to supplement the fence or wall where sufficient space is available to provide a planting area without unreasonably restricting space available for storage and where landscape as screening is more appropriate.
- H. Outdoor Display: Type 2 Standards. The limited outdoor display of merchandise for retail sale is allowed, provided such display is incidental to the primary retail use or activity within an enclosed building. Merchandise on display shall be of the same type or related to merchandise for sale within the primary retail building. Temporary displays, erected for not more than four days in duration, may be allowed within parking areas or buffer yards for special events, such as a farmers market, or a weekend or holiday sales event.
- I. Alley levels of service (LOS) standards: Where deemed appropriate, the City engineer may grant a variance to the adequate community facility ordinance for alley LOS in accordance with Section 1.9.4 of the *Larimer County Urban Area Street Standards*.
- J. Civic Structures: The historic pattern seen in traditional downtown areas is that civic structures such as churches and theaters were constructed in a manner that differentiated them from commercial or residential structures and announced their special functions to citizens. Typically, these differences were seen in aspects such as setback, materials, and openings such as windows and doors. Therefore, structures designed to be used either wholly or partially for civic use shall not be required to adhere to the standards included in this chapter regarding, materials, windows and openings. Additionally, civic structures shall not have any maximum setbacks.

18.24.070 Description of general, core, Fourth Street, and neighborhood transition character areas.

Character areas are established as depicted in Figure 18.24.070-1 and Figure 18.24.070-2.

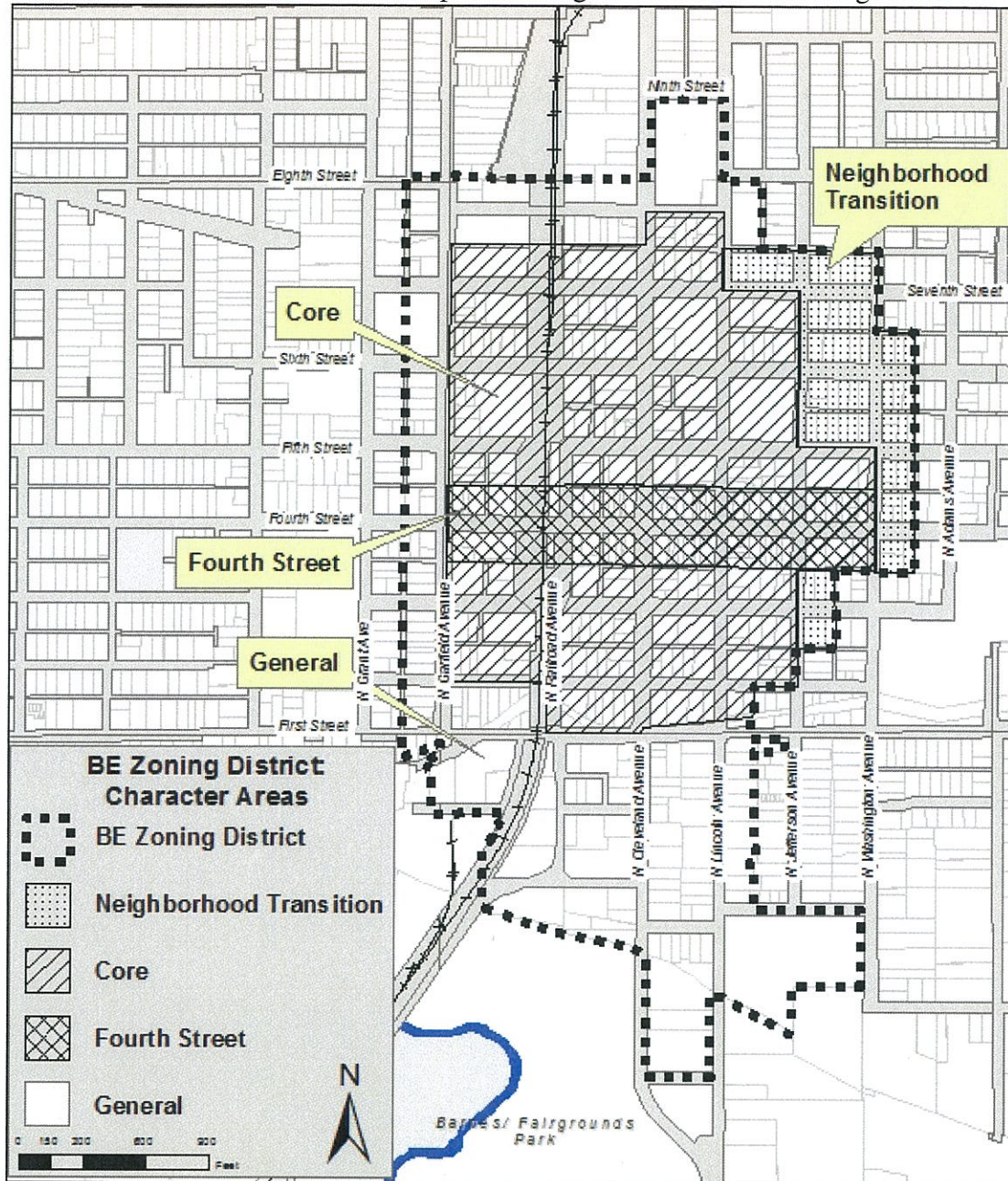


Figure 18.24.070-1: BE Zone District, Downtown Character Areas

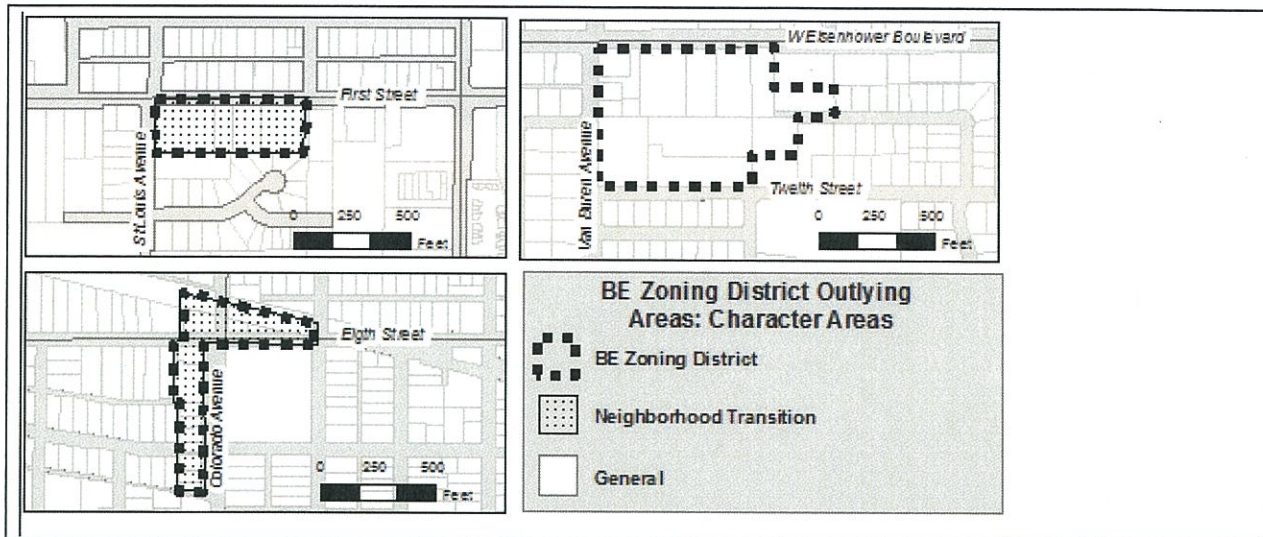


Figure 18.24.070-2: BE Zone District, Outlying Areas

Specific development standards are created for each character area. Development and redevelopment within each character area shall meet the standards set forth for that respective character area, as well as the standards set forth in Section 18.24.060.

18.24.080 General and core character areas urban design standards.

- A. Intent: The intent of these standards is to permit development and redevelopment in a manner that is consistent with the established character of the downtown BE district and the goals of promoting density of employment and residential uses through quality infill and redevelopment with a strong pedestrian orientation. These standards are intended to enhance the livability of residential areas, improve the appearance and attractiveness of land and buildings to customers, and enhance compatibility with adjacent uses.
- B. Applicability: The standards listed in this Section 18.24.080 are type 2 standards. These standards shall apply within the general and core character areas as depicted in Figures 18.24.070-1 and 18.24.070-2.
 - 1. New construction: These standards shall apply to new construction of buildings and structures, including additions to existing structures. These standards shall not apply to the existing portions of a structure to which an addition is being constructed, if there are no modifications proposed to the existing portion of the structure.
 - 2. Facade renovation: These standards shall apply to facade renovations. Standards shall apply only to the portion(s) of elevation(s) which are being renovated. (For example, an applicant proposing a renovation of the ground floor facade on one elevation would not be required to alter upper stories on that elevation, nor to alter other elevations.)
 - 3. Exemption for historic buildings: These standards shall not apply to designated historic structures altered or restored in compliance with a building alteration certificate authorized pursuant to Chapter 15.56 of the Loveland Municipal Code.
 - 4. These standards shall apply in lieu of Chapter 18.53 - Commercial and Industrial Architectural Standards.
- C. Primary pedestrian streets:
 - 1. Intent: The intent of this section is to ensure that primary pedestrian routes remain inviting to pedestrians; to maintain the established commercial architectural character along certain streets within the downtown; to maximize commercial activity by not

separating commercial areas with large areas of non-commercial facades; to facilitate comfortable pedestrian circulation between destinations; and to facilitate pedestrian circulation between parking areas and destinations to support “parking once” and walking to multiple destinations. Primary pedestrian streets are hereby established as shown in Figure 18.24.080-1.

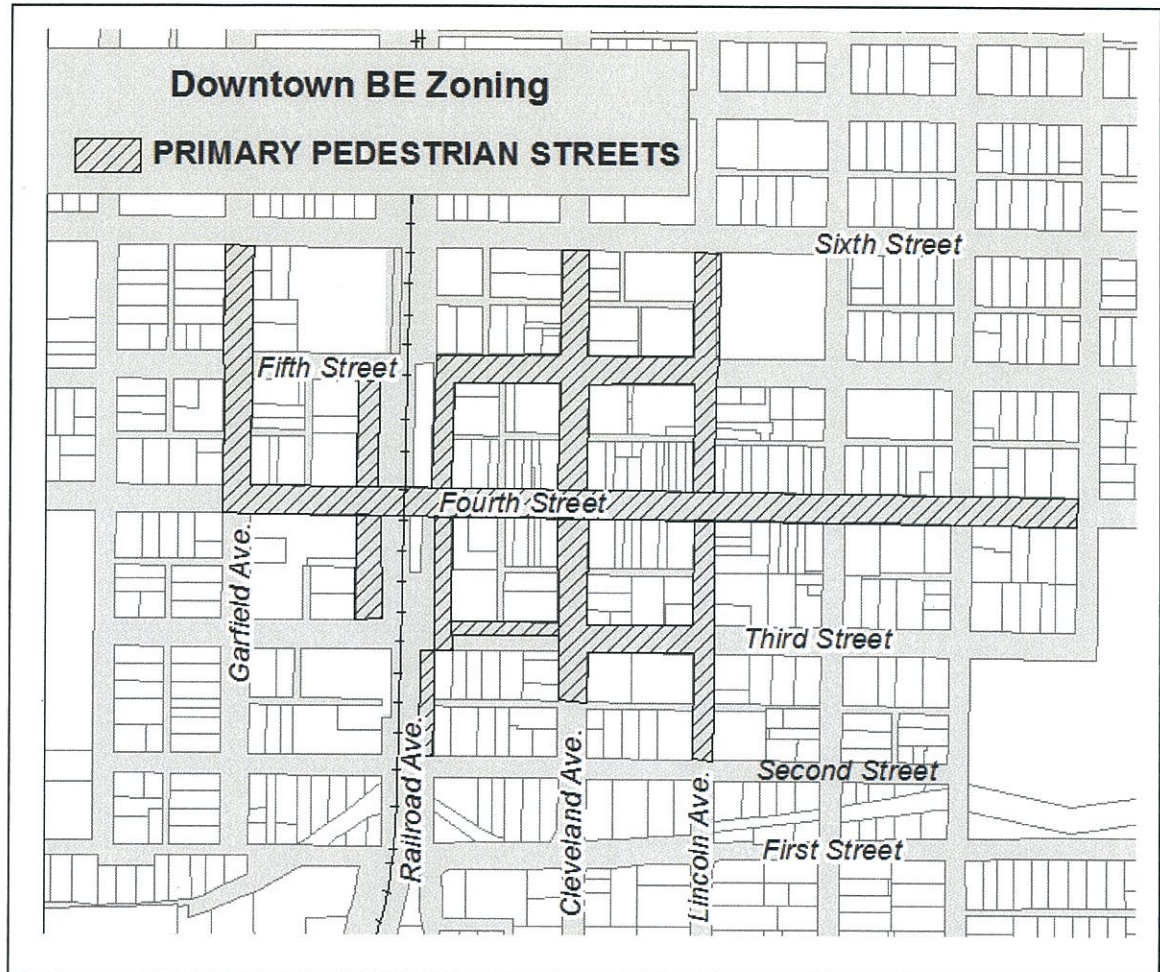


Figure 18.24.080-1: primary pedestrian streets

D. Primary and secondary elevations and lot frontage:

1. For buildings facing onto a public street right-of-way, the ground floor elevation facing onto said right-of-way shall be considered the primary elevation and the lot frontage on said right-of-way shall be considered the primary lot frontage.
 - a. For a building on a lot which is located on a street corner, one ground floor elevation and one lot frontage shall be determined to be the primary elevation and the primary lot frontage. If one of these public streets is designated as a primary pedestrian street per this section, then the ground floor elevation and lot frontage facing this primary pedestrian street shall be the primary elevation and lot frontage.
 - b. If the lot fronts onto two or more streets which are primary pedestrian streets then the application shall designate one ground floor elevation and lot frontage as the primary elevation and primary lot frontage.

- c. All other ground floor elevations and lot frontages are considered secondary elevations and lot frontages.

E. Dimensional standards: The standards set forth in this section and in Table 18.24.080-1 shall apply in the general and core character areas.

1. Dimensional standards

Table 18.24.080-1

Dimensional and Intensity Standards for General and Core Character Areas Only								
Use	minimum yard requirements^{1,3}					open space, and lot size		
	Front	Side, Lot Line⁴	Side, Right-of-way	Rear, Lot Line	Rear, Right-of-way	Useable Open Space	Min Lot Size	Min Lot Width
One-family detached	10	5	5	10	5	None	4,000	35
One-family attached⁴	10	5	0	10	5	None	1,600	17
Two-family	10	5	0	10	5	None	4,000	40
Accessory Bldg	25	5	0	5	5	None	N/A	N/A
Multi-Family	10	5	0	10	0	10% Gen	5,000	50
Non-res & mixed	0	5 Gen 0 Core	0	10	0	7.5% Gen 0% Core	None	None
Off-street parking lots and structures²	8	8	8	0	5	N/A	N/A	N/A

Notes:

1. Setbacks for garage doors fronting public alleys shall be either five (5) feet or less; or eighteen (18) feet or more. Setbacks for garage doors fronting a public street shall be at least twenty (20) feet.
2. Setbacks may be reduced for surface parking when a decorative masonry wall at least three (3) feet in height is provided along public rights-of-way at least six (6) feet in height when adjacent to any residential use).
3. Structures fifty (50) feet in height or taller shall be set back a minimum of fifteen (15) feet from the face of curb.
4. Attached one-family dwelling units shall be allowed to have a zero (0) foot sideyard setback where party walls are used.
5. See section 18.24.080.E.2.c for setbacks from public streets in the core character area.

- a. Setbacks adjacent to one-family residential uses: Setbacks on lot lines adjacent to one-family residential uses or residential zoning shall be one (1) foot for each five

(5) feet of building height with a minimum setback of five (5) feet or the required setback listed in Table 18.24.080-1, whichever is greater.

2. Core character area supplementary dimensional standards
 - a. Intent: Dimensional standards within the core character area are intended to preserve and enhance the unique character of the area and encourage the renovation of existing buildings in a manner that preserves that character. The core character area has a strong pedestrian orientation and is characterized by historic buildings with zero or minimal setbacks.
 - b. Applicability: These standards shall apply to any development located within the core character area as defined in Section 18.24.070 and meeting the applicability standards set forth in Section 18.24.080.B.
 - c. Setbacks: Buildings shall be located as near as possible to the edge of the public sidewalk to enhance pedestrian access and continue the existing pattern of development which is characterized by buildings located in close proximity to the sidewalk. The minimum distance between a building facade and face of curb shall be fifteen (15) feet on primary pedestrian streets as defined in Figure 18.24.080-1, and twelve (12) feet on all other streets except as stated below. Building facades shall be placed at these minimum distances, or up to a maximum of twenty (20) feet from the face of curb, for a minimum of 75% of the primary lot frontage and 50% of the secondary lot frontage. Pedestrian easements shall be dedicated in that area between the portion of the building facade meeting the 50% to 75% requirement outlined above and the property line. This area shall be paved so as to function as part of the public sidewalk. See Figure 18.24.080-2.
 - i. Table 18.24.080-2 contains minimum distance from building facade to face of curb that must be met for the required 50% to 75% of lot frontage per section 18.24.080.E.2.c for segments of Third, Fifth and Sixth Streets between Railroad Avenue and Lincoln Avenue. These requirements are pursuant to the document: *Destination Downtown: HIP Streets Master Plan*.

Table 18.24.080-2

Minimum Distances between facade and face of curb between Railroad Avenue and Lincoln Avenue	
Road Segment	Minimum Distance (in feet)
Third Street	
North Side	16.5
South Side	17
Fifth Street	
North Side	10
South Side	15
Sixth Street	
North Side	16.5
South Side	14.5

- ii. The following may also be used to satisfy the above 50% and 75% frontage requirements.
 - 1) For buildings with ground floor residential uses; a setback of up to thirty-five (35) feet from the face of curb, on that portion of the building facade containing the ground floor residential use, provided that the area greater

than a minimum of fifteen (15) feet from the face of curb consists of landscape or quality hardscape.

- 2) For buildings or developments with frontage along more than one street a public open space such as a plaza on a maximum of one of a building's street frontages.
- 3) An arcade at least six (6) feet deep.
- 4) A setback of up to twenty-five (25) feet from the face of curb to allow for outdoor dining for up to a maximum of 25% of the total lot frontage.

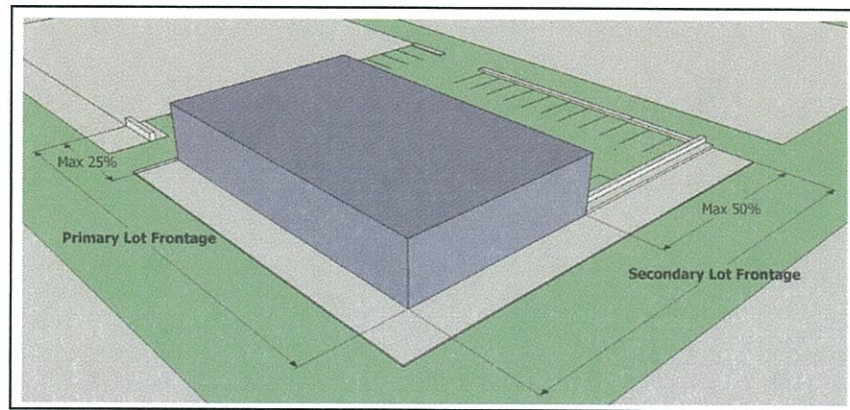


Figure 18.24.080-2

F. Architectural features: Traditional downtown buildings achieve quality appearance through the use of quality materials and proportions and architectural rhythm. Articulation of downtown buildings is often more subtle than articulation of typical suburban buildings.

1. Buildings shall incorporate a combination of the following features: columns, pilasters, window dormers, bay windows, corbels, balconies, porches, or other similar architectural features to add visual interest and diversity.
2. All elevations facing a public street right-of-way, public plaza or pedestrian space, or public parking lot shall contain a cornice parapet, capstone finish, eaves projecting at least twelve (12) inches, or other roof features.
3. All rooftop mechanical equipment shall be screened from view from public rights-of-way with screening materials comparable to the color, tone and texture of materials used on the building.
4. Each building fronting a public street shall have at least one primary entrance that shall be clearly defined and recessed or framed by elements such as awnings, porticos or other architectural features. Buildings fronting onto a primary pedestrian street shall place the primary entrance on the primary pedestrian street frontage.
5. Windows and doors shall comprise a minimum percentage of facades facing public streets rights-of-way, as set forth in Table 18.24.080-3.
6. No wall facing a plaza or public street shall extend more than twenty (20) horizontal linear feet on the ground floor without a window or other opening.

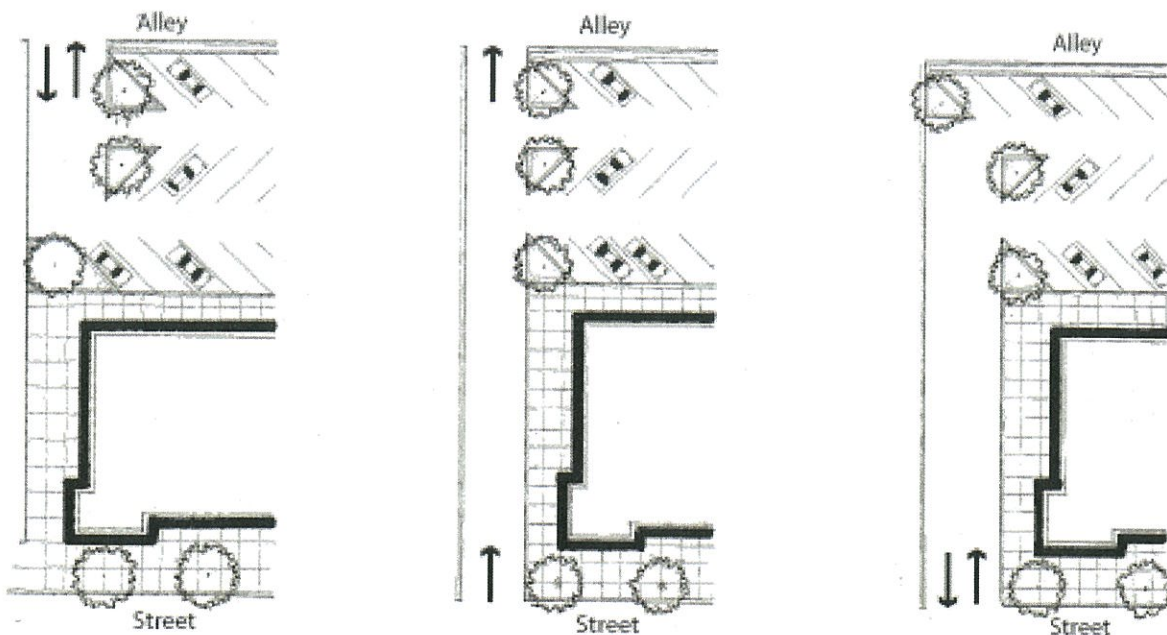
7. Facades greater than seventy-five (75) feet in length shall contain recesses or projections of a minimum depth of 3% of the facade length extending for a minimum of 20% of the length of the facade.
8. Facades visible from a public street, public plaza or public pedestrian space shall be finished with quality materials that reinforce the pedestrian character of the downtown. Minimum window and door openings shall be limited to the percentages indicated in Table 18.24.080-3.
 - a. At least 30% of facades shall consist of brick or stone or finish materials consistent with the historic character of the area. The area of windows and doors shall be excluded from the external wall area for this calculation.
 - b. The remainder of the facade not consisting of windows and doors shall consist of quality materials such as: brick, textured and/or ground face concrete block, textured architectural precast panels, masonry, natural and synthetic stone, exterior insulation finishing systems, stucco, and similar high quality materials as approved by the current planning manager.
 - c. Wood and metal are acceptable accent materials but should not account for more than 20% of any one facade.
 - d. No wall facing a plaza or public street shall extend more than twenty-five (25) horizontal linear feet without a window or other opening.
9. Historic compatibility: Facades in the core character area are not required to mimic historical architecture. However, certain areas of the core character area contain established patterns of historic building facades. Fifth Street between Railroad Avenue and Cleveland Avenue; or Lincoln Avenue between Fourth Street and Sixth Street are examples of this pattern. Where the surrounding block contains a pattern of historic buildings, new buildings should be designed to be compatible in scale, rhythm, materials, and mass with the historic buildings.

Table 18.24.080-3

Minimum Window and Door Percentage General and Core Character Areas				
Character Area	General		Core	
	Street Type		Street Type	
Facade Type / Location	Primary Pedestrian Street	Non-Primary Pedestrian Street	Primary Pedestrian Street	Non-Primary Pedestrian Street
Primary, Ground Floor	30%	30%	40%	40%
Secondary, Ground Floor	30%	20%	40%	30%
Residential, Ground Floor	20%	20%	20%	20%
Upper Floors, All Uses ¹	15%	15%	15%	15%

1. Upper floor surface area shall be measured excluding cornice or other roof features.

- G. Open space: Where sufficient site area is available, common open spaces shall be provided in the form of central courts and squares to provide a focal point for activity, instead of perimeter buffer yards.
- H. Parking: The intent of this section is to reduce the impact of parking lots on the pedestrian character of the downtown, by encouraging parking to be located to the rear or sides of buildings.
1. Vehicular access to parking lots shall be from alleys unless determined to be infeasible by the current planning manager. In those cases, it is preferable to have vehicle ingress from a public street and vehicle egress into the adjacent alley. The third preferable option is ingress and egress from the street. (See options A, B, and C in Figure 18.24.080-3).
 2. Parking or drive aisles shall not be located between the primary elevation and the public right-of-way.
 3. Parking lot frontage may not comprise more than 50% of any secondary lot frontage facing a public street right-of-way. This standard does not apply to lot frontage on an alley or on a lane that functions as an alley (see Figure 18.24.080-2).
 4. Parking lot frontage may not comprise more than 25% of the primary lot frontage, with the exception that a drive aisle and a single bay of parking perpendicular to the primary lot frontage is permitted where alley access is not utilized.
 5. Parking lots shall be appropriately screened per Section 3.04 of the *Loveland Site Development Performance Standards*, except that screening shall be provided for the entire length of the parking lot, exclusive of the driveway.
 6. Screening is not required adjacent to public alleys.



A.

B.

C.

Figure 18.24.080-3

- I. Pedestrian facilities: Pedestrian sidewalks, at least five feet in width, shall be provided along all internal drives. Sidewalks shall provide access to adjacent roads, public spaces, parks and adjacent developments, when feasible. Front ground floor entrances to residential units shall be connected by a porch and/or walkway to the public sidewalk.
- J. Other site amenities: Site amenities shall include ornamental street lighting, fencing, planters, benches, and feature landscaping at entries and within central open spaces consistent with the historic character of the downtown.
- K. Infill streets and drives: Vehicular lane widths shall be kept to the minimum required width to reduce speeds and facilitate pedestrian activity.

18.24.090 Fourth Street character area urban design standards.

- A. Intent: The intent of these standards is to preserve and enhance the historic character of the Fourth Street character area; to enhance the character of the retail district; and to maintain and enhance a pedestrian-friendly environment.
- B. Applicability:
 - 1. Fourth Street character area: These standards shall be applicable to properties within the Fourth Street character area as identified in Figure 18.24.070-1.
 - 2. The standards in this Section 18.24.090 are type 2 standards.
 - 3. New construction: These standards shall apply to new construction of buildings and structures.
 - 4. Facade renovation: Standards shall apply only to the portion(s) of elevation(s) which are being renovated. The current planning manager may waive the requirement for a facade being renovated to install a storefront as defined in section 18.24.090.F under the following conditions:
 - i. the structure was not originally constructed with a storefront or had not been renovated to have a storefront in the past;
 - ii. the installation of a storefront is not practicable based on the cost of such renovation being greater than 50% of the total building permit valuation for the work being performed on the structure, or;
 - iii. the proposed renovation is not materially changing the form of the facade.
 - 5. No change in existing setbacks shall be required under this section during a facade renovation.
 - 6. Lots located in the Fourth Street character area, but with no lot line adjacent to Fourth Street, shall comply with standards of Section 18.24.080.E.2.
- C. Front, side and rear setbacks in the Fourth Street character area shall be as shown in Table 18.24.090-1.

Table 18.24.090-1

Fourth Street Character Area Setbacks	
Fourth Street Lot Line ^{1,3}	0' Maximum
Rear Lot Line ²	0' Minimum
Side Lot Line	0' Minimum
Notes:	
1. Except for minor recesses and projections and recessed doorways	
2. Garage doors shall be set back five (5) feet or less or eighteen (18) feet or more from alley rights of way.	
3. Greater setbacks may be allowed in order to allow for the plaza spaces shown in the <i>Destination Downtown HIP Streets Master Plan</i>	

D. Building Unit: These provisions are intended to result in building forms that are compatible with the historic pattern of 25-foot wide lots and storefronts found in the Fourth Street character area (see Figure 18.24.090-1).

1. New buildings constructed along Fourth Street shall, at the ground floor, be segmented into storefronts of between twenty (20) feet and fifty (50) feet in width.
2. Each storefront shall have a separate entrance.
3. Each storefront shall be separated from the adjoining storefront by a solid vertical element or feature a minimum of eight (8) inches wide.

4. Buildings having Fourth Street frontage greater than seventy-five (75) feet shall be designed so as to appear to be multiple buildings. Changes in facade material, window design, Figure 18.24.090-1



five

facade height, cornice or decorative details are examples of techniques that may be used. There should be some slight variation in alignments between the facade elements such as window heights.

E. Corner Buildings: These provisions are intended to ensure that buildings that front onto two streets continue a pedestrian character on both streets through window and door openings, a characteristic common to the Fourth Street character area. This enhances pedestrian comfort and the walkability of the downtown (see Figures 18.24.190-2 and Figure 18.24.090-3).

1. Corner buildings are those that have a frontage on Fourth Street and frontage on an intersecting street including Garfield Avenue, Railroad Avenue, Cleveland Avenue, Lincoln Avenue, Jefferson Avenue, or Washington Avenue.
2. For lots located at the corner of Fourth Street and any intersecting street, storefronts shall be designed to appear to wrap around corners by including a corner entrance or large pane display window at least ten (10) feet in width along the side street facade.
3. Any corner building having more than seventy-five (75) feet of frontage on an intersecting street, shall have at least one storefront at ground level, as described in Section 18.24.090.F.3., facing the intersecting street and measuring at least twenty-five (25) feet in width.

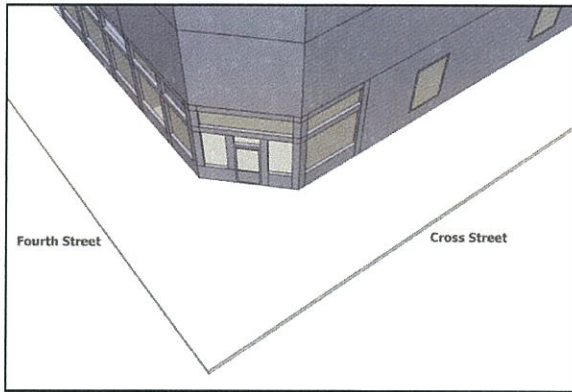


Figure 18.24.090-2

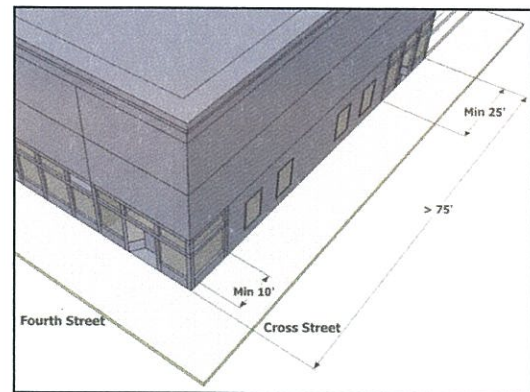


Figure 18.24.090-3

F. Architectural features: The provisions in this section are intended to lead to a building form that is compatible with the existing historic character of the Fourth Street character area; and that maintains or enhances the retail and pedestrian character of this area (see Figure 18.24.090-4).

1. Upper floors shall be designed with a pattern of vertically oriented windows with spacing between windows and the ratio of solid to void similar to surrounding historical facades.

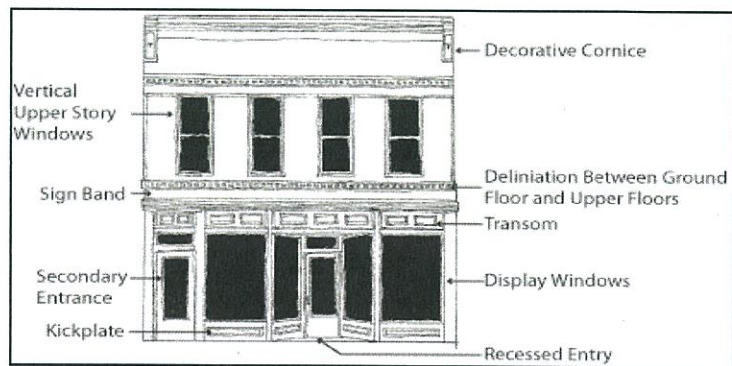


Figure 18.24.090-4

2. Floor-to-floor heights of the ground floor and upper floors shall be compatible with surrounding historic buildings;
3. Ground floor facades facing Fourth Street shall be designed as a typical storefront having the following features: large display windows with metal or wood frames; transom windows; kick plates of between one (1) foot and two and a half (2.5) feet in height and constructed of metal, tile, stone, brick, or other similar high quality material.
4. Ground floor storefront doorways shall be recessed a minimum of three (3) feet from the front of the building. The width of the recessed area shall not be more than 40% of the width of the individual storefront or twenty (20) feet.
5. A single building divided into more than one store-front need not recess every storefront doorway. Secondary doors and doors servicing upstairs uses need not be recessed unless required to open outwards by building or fire codes.
6. Ornamentation or a banding technique should be used to delineate the ground floor from the upper floors.
7. Excepting the recessed door and any upper-story setbacks, the facade should appear as predominantly flat, with any decorative elements and projecting or setback "articulations" appearing to be subordinate to the dominant building form.
8. The roof shall incorporate a parapet wall with a cornice treatment, capstone finish or similar feature facing public streets rights-of-way.

9. The traditional function of awnings was to protect pedestrians and shoppers from sun, rain and snow. Awnings should express the dimensions of the storefront framing and not obscure characteristic lines or details.
 10. Facades need not mimic historical buildings, but shall be of a style that is compatible in rhythm, massing, material and design with the historic character of Fourth Street. Thematic facade designs, such as “Swiss chalet”, should not be used.
- G. Materials: These provisions are intended to lead to construction with quality materials that will match existing character and historic precedent; that will be durable; and that will enhance the retail and pedestrian character of this area.
1. Facades facing Fourth Street shall consist of brick, stone, masonry, or similar high quality material.
 2. Facades facing Garfield Avenue, Railroad Avenue, Cleveland Avenue, Lincoln Avenue, Jefferson Avenue and Washington Avenue, or any identified pedestrian alley, shall consist of a minimum of 50% brick, stone, masonry, or similar high quality material.
 3. Non-party walls facing side lot lines shall consist of a minimum of 50% brick, stone, or masonry.
 4. These materials standards shall not apply to upper floors which are recessed in accordance with Section 18.24.060.A.3.d
- H. Windows and Doors: These provisions are intended to result in a permeable streetwall that matches existing character and historic precedent and enhances the pedestrian and retail character of this area.
1. Windows and doors shall comprise a minimum percentage of facades facing public streets rights-of-way, as indicated by Table 18.24.090-2.
 2. Any section of wall facing Garfield Avenue, Arthur Avenue, Railroad Avenue, Cleveland Avenue, Lincoln Avenue, or Jefferson Avenue may not exceed Twenty-five (25) feet without containing windows or doors on the first floor.
 3. Highly reflective or darkly tinted glass is inappropriate in first-floor storefront display windows.
 4. Existing buildings need not meet these window and door standards, unless these standards can be met by opening original windows or storefronts which were previously enclosed.
 5. During renovation of the facade of a building that has been evaluated as contributing to a downtown historic district in the *City of Loveland Historic Preservation Plan*, historic window openings that have been altered should be restored.

Table 18.24.090.-2

Facade Type / Location	Minimum Percentage of windows and doors
Ground Floor, Facing Fourth Street	50%
Ground floor, cross street	30%
Upper floors ¹	15%
Facing Alley	0%
1. Upper floor surface area shall be measured excluding cornice or other roof features.	

18.24.100 Neighborhood transition character area urban design standards.

A. Intent: Certain areas of the downtown BE zoning district maintain a largely consistent character of high-quality historic homes. Additionally, several pockets of BE zoning district areas lie within traditional residential neighborhoods. These neighborhoods are often characterized by mainly traditional one-family residential structures with pockets of other development; and tree-lined streets. The neighborhood transition character area is meant to protect the character of these areas when redevelopment or new development occurs, while allowing for a mix of uses appropriate to these areas and allowed by zoning. The neighborhood transition areas are also meant to transition to adjoining neighborhoods.

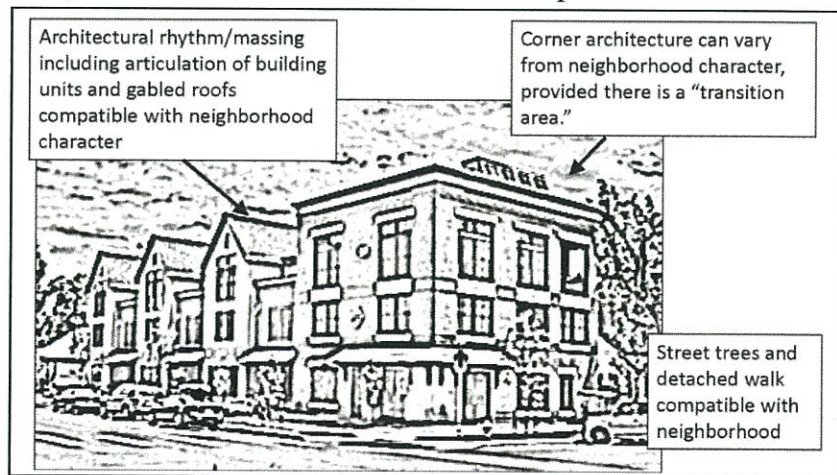
B. Applicability:

1. Neighborhood transition character area: These standards shall be applicable to properties within the neighborhood transition character area as identified in Figure 18.24.070-1 and Figure 18.24.070-2.
2. The standards in this Section 18.24.100 are type 2 standards.
3. New construction: These standards shall apply to new construction of buildings and structures, including additions.
4. Facade renovation: These standards shall apply only to those portion(s) of each elevation that is being renovated.
5. This section shall not require a change in existing setbacks during a facade renovation.
6. This section shall not require the modification of existing setbacks in cases of building expansion except that a building cannot be expanded, in such a manner that the setback of the new construction will not conform to Section 18.24.110.D below.
7. These standards, other than those pertaining to setbacks, shall not apply to one-family detached and two-family attached and detached residential uses.

C. Massing and architectural rhythm:

1. New buildings or additions should continue a massing pattern that is similar to the existing pattern of the block face as shown in Figure 18.24.100-1. For the purposes of this section, massing shall refer to height, width, bulk, roof form, or roof slope and direction of slope.

2. Compliance may be accomplished by creating independent building modules through articulation, roofline, or other distinguishing features.
3. New buildings shall pitched roofs



have

Figure 18.24.100-1

including hips or gables in order to match the residential character of the area. Buildings located on a lot with frontage on Washington Avenue, Jefferson Avenue, and Lincoln Avenue are not required to have a pitched roof but must meet the massing and setback standards set forth in Section 18.24.100.D.3.a.

4. Elevations facing a public street shall consist of at least 15% openings including windows and doors.
5. Materials: Structures shall be constructed of quality materials as defined in Section 18.24.080.E.b, but designers should consider the use of exterior cladding materials such as brick or siding commonly used on residential structures. Architectural metals such as bronze, copper, and wrought iron may not exceed 20% of any one facade.
6. Garage placement and design: Attached garages shall be setback from the front facade of a structure a minimum of six (6) feet. The width of the total elevation of garage doors facing a public street may be no more than eighteen (18) feet.
7. Each primary structure shall have at least one entrance facing a public street. This entrance shall have a direct pedestrian connection to the adjacent sidewalk.

D. Setbacks:

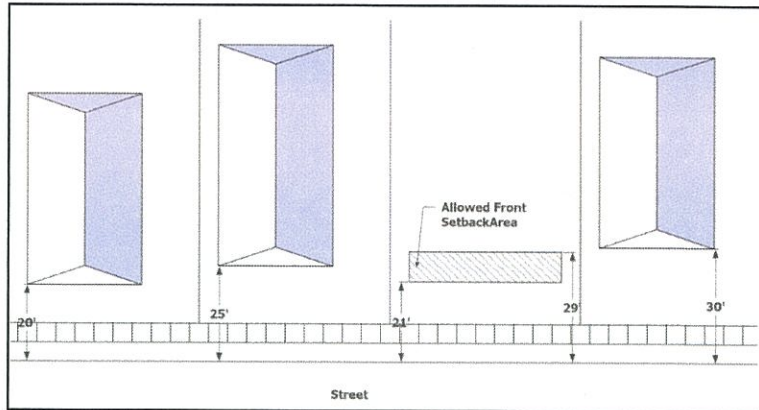
1. Building setbacks shall be in accordance with Table 18.24.100-1. Front setbacks shall be within four (4) feet of the average setback on the block face, provided that the resulting setback is in keeping with the character of the block. See Figure 18.24.110-2 for an example of how a front yard setback is determined.

Table 18.24.100-1

Setbacks in Neighborhood Transition Character Area ³					
	Front setback ¹	Side setback, adjoining lot	Side setback, right-of-way ¹	Rear setback, adjoining lot	Rear setback, alley
Principal Structure	Within 4' of the average setback on the block face	1' per 5' of height, not less than 5'	10'	10'	0'
Accessory structure ²	Not less than setback of principal structure	5'	10'	5'	0'

1. See Section 18.24.100.D.3 for setback requirements for lots with frontage on Washington Avenue, Jefferson Avenue and Lincoln Avenue.
 2. Garages must be set back less than five (5) or more than eighteen (18) feet from alley rights of way.
 3. No building shall be located closer than 15 feet from the face of curb.

2. For lots with frontage on Washington Avenue, Jefferson Avenue, and Lincoln Avenue; the setback for buildings may be reduced or buildings may be built to the back of the public sidewalk on all street frontages provided there is a transition



be
be

Figure 18.24.100-2

A transition may include:

- a. A front yard setback that meets the requirements of Section D.1 for a minimum width of twenty-five (25) feet combined with a building massing of at least twenty-five (25) feet in width that

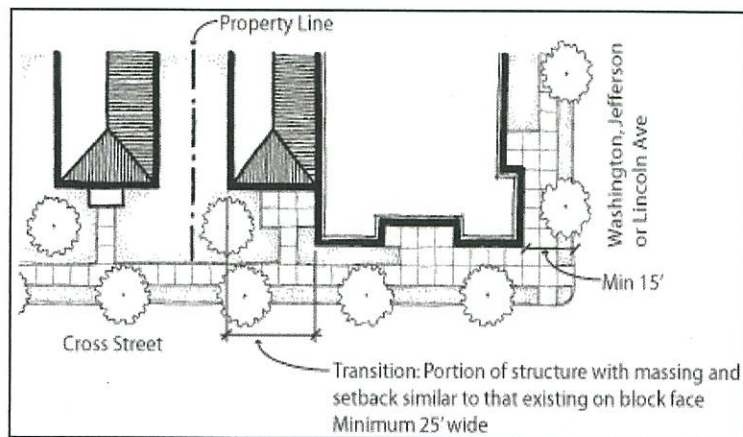


Figure 18.24.100-3

is similar to the massing pattern on the rest of the block face, is implemented for the entire length, front to back, of the structure and has at least two (2) of the following aspects: height, width, bulk, roof form, or roof slope and direction of slope similar to other structures on the block face (see Figure 18.24.100-3), or:

- b. An existing alleyway.
- E. Additions, expansions or modifications to existing buildings: The intent of this provision is to provide guidelines that maintain the character of the largely historically intact neighborhood transition character areas when existing structures are converted from residential to commercial use or are expanded.
1. When a residential structure is converted into a commercial use, the basic residential form of the building should remain.
 2. An existing front porch shall remain and shall not be enclosed.
 3. The existing window pattern on street-facing facades shall not be dramatically changed.
 4. The exterior cladding or material should remain that of a residential building and feature brick, siding or other appropriate material.
 5. Additions or expansions to existing structures shall not be in front of the front setback or side setback on corner lots unless the existing setback is more than three (3) feet back from the allowed setback on that block face. Additions or expansions of an existing structure shall

utilize a roof form with the same pitch as the existing roof and be constructed of similar material as the original structure.

6. The use of metal as anything other than an accent is prohibited.

F. Parking: The intent of these provisions is to minimize the impact of parking areas on the existing and desired character of the neighborhood transition character areas. These provisions shall not apply to one-family and two-family residential uses.

1. Parking shall not be allowed between the front façade and a public street or in the side yard setback adjacent to a public street on corner lots (see Figure 18.24.100-4).
2. Parking shall be screened from adjacent residentially zoned lots and residential uses by an opaque fence a minimum of six (6) feet tall. This fence shall not extend beyond the front yard setback. Parking shall be screened from public rights of way, not including alleys, and residential zoning or uses per Section 4.07.02.A of the *Site Development Performance Standards* except that the parking lot shall be screened per these standards for its entire length exclusive of driveways.
3. To the maximum extent possible, vehicular access to lots should be provided through the existing alleys. Where curb cuts from adjoining streets already exist or are required, the preferable design is to have vehicular ingress from the public street and egress into an alley.
4. In order to maintain a pedestrian friendly environment, vehicular access from public street rights of way shall be designed and constructed to be as narrow as possible. Whenever possible, new curb cuts shall be placed so as to not require the removal of existing street trees.
5. For lots where parking is the principle use, the parking lot shall be setback in accordance with Section 18.24.100.D.

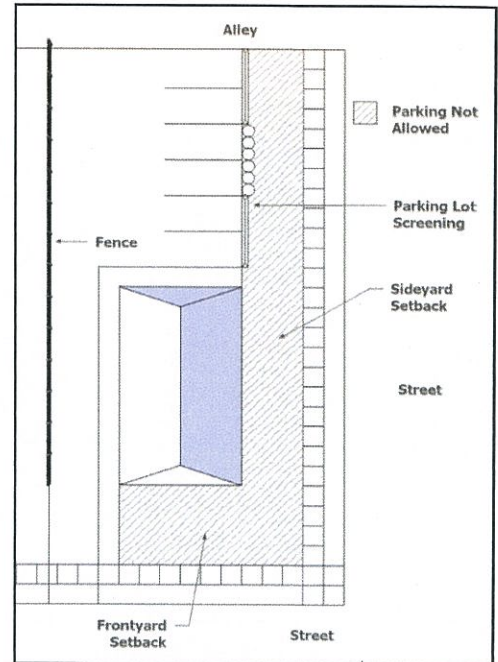


Figure 18.24.100-4

18.24.110 Landscaping.

- A. Purpose and Intent: The landscaping standards for the BE Zone District are intended to set a minimum landscape standard that emphasizes those elements most important to the creation of a pedestrian friendly environment that can support a variety of uses and building forms.
- B. Applicability:
 1. These standards shall apply in any areas between a building facade and a public street.
 2. These standards shall apply to plaza spaces constructed in accordance with Section 18.24.080.E.2.c.ii.2.
 3. Street trees and tree lawn landscaping improvements shall be required when: (i) there is new construction of primary structures, (ii) renovations of a value of greater than 25% of the assessed valuation of the building are undertaken; (iii) the footprint of an existing building is

- expanded by more than 25%; (iv) or the building changes from a residential use to a non-residential use.
4. Landscaping requirements shall not apply when building improvements or modifications do not increase the gross floor area such as in the case of facade renovations, the construction of external stairwells, porches, or the installation of awnings.
- C. Landscaping: Type 1 standard. The Landscaping standards included regarding street trees and parking lot landscaping and screening in Chapter 4 of the *Loveland Site Development Performance Standards* shall be applicable to all non-residential and multi-family residential uses.
- D. Street Trees: The following type 2 standards are applicable to all street trees in the BE district. The provision of street trees is essential for the creation of a pedestrian friendly downtown area. Street trees are generally located between the curb and the main pedestrian pathway. In this location, they provide shade for pedestrians and serve to buffer pedestrians from auto traffic.
1. Street trees shall be provided along all street frontages of a lot.
 2. Street trees shall be planted on thirty-five (35) foot centers, taking into account the location of public utilities and curb cuts. Diseased or dying trees shall be removed by the property owner and new trees must be replanted in accordance with these provisions.
 3. The location used for the installation of street trees shall be a minimum of ten (10) feet in width in situations associated with new construction of sidewalks. The current planning manager may reduce this width based on site constraints. The installation of trees should utilize design practices such as interconnecting tree soil from planting bed to planting bed.
 4. Street trees shall be of a species commonly considered to be canopy trees.
 5. A minimum sidewalk horizontal clearance of six (6) feet shall be maintained.
 6. In instances where a tree lawn is provided the ground cover in the tree lawn shall be low growing and durable so as not to prevent or interfere with people using curbside parking and exiting from vehicles onto the tree lawn. The use of rock or stone in the tree lawn shall not be allowed.
 7. Existing mature street trees should be maintained wherever feasible.
 8. All existing healthy and mature trees shall be preserved and incorporated into the site design for new off-street parking areas and buildings.
- E. Plazas: Type 2 standard. Landscaping in public plaza spaces built as allowed in Section 18.24.080.E.2.c.ii.2) should be designed with consideration given to the proposed use of the space. It is appropriate for onsite landscaping in the form of plazas or semi-public open space to employ the use of more softscape design elements than the landscape design in the public sidewalk areas, especially if they are attached to a residential use. (Ord. 5596 § 1, 2011)