



Planning Commission Staff Report

January 28, 2013

Agenda #: Consent Agenda - 1
Title: Mirasol Green House Homes Preliminary Development Plan
Applicant: Housing Authority of the City of Loveland
Request: **Preliminary Development Plan**
Location: Southeast corner of the intersection of South St. Louis Avenue and Bunting Place
Existing Zoning: Planned Unit Development
Proposed Use: Development of green house skilled nursing homes
Staff Planner: Kerri Burchett

Staff Recommendation

Subject to additional evidence presented at the public hearing, City staff recommends the following motions:

Recommended Motions:

1. *Move to make the findings listed in Section VIII of the Planning Commission staff report dated January 28, 2013 and, based on those findings, approve Resolution #13-02 thereby approving the Mirasol Green House Homes Preliminary Development Plan subject to the conditions listed in said report, as amended on the record.*

Summary of Analysis

This is a public hearing to consider a preliminary development plan (PDP) to construct skilled nursing homes within the Mirasol Community PUD. The PUD was developed by the Housing Authority of the City of Loveland and was designed as an affordable senior housing development. The PDP site is located at the southeast corner of South St. Louis Avenue and Bunting Place and represents the final phase of development within the PUD.

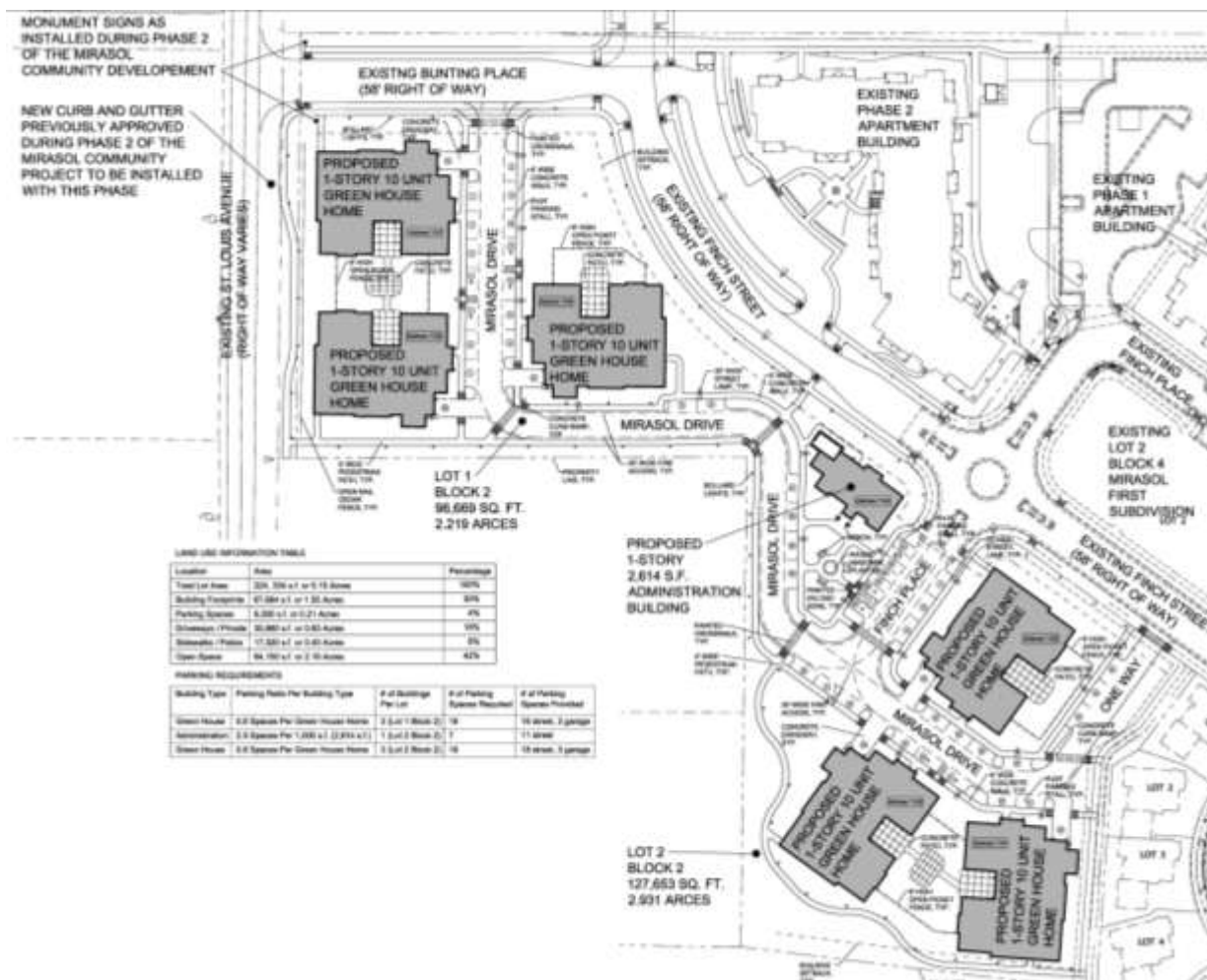
The PDP proposes the development of six one-story skilled nursing homes on 5.1 acres. The homes are called "green house homes" and are modeled after an innovative new approach to skilled nursing that creates a home environment for residents. Each building is approximately 7,900 square feet and contains 10 one-bedroom units, a central kitchen and living space, and a one-car garage to facilitate drop-off and pick-up of the residents. The PDP also proposes a 2,614 square foot administrative building located central to the homes and a pedestrian path around the perimeter of the site. The pedestrian path connects to the existing trail network in the PUD and completes the overall pedestrian circulation of the Mirasol development.

Staff believes that all key issues have been resolved based on City Code and standards contained in the PUD. Neighbors and residents attending the neighborhood meeting were supportive of the project and did not voice objections concerning the development proposal.

I. SUMMARY

This application is for a preliminary development plan in the Mirasol Community PUD. The property, which is approximately 5.1 acres, is located at the southeast corner of the intersection of South St. Louis Avenue and Bunting Place. The PUD was developed by the Housing Authority of the City of Loveland and was designed as an affordable senior housing community providing a variety of for-sale and for-rent single family, duplex and independent living apartments. Phase 1 of the development has been completed, which included a 48 unit apartment complex, 55 single family/duplex units and a centralized community building. Phase II, which consisted of a 60-unit independent living apartment complex, is currently under construction. The proposed PDP is the final phase of development in the Mirasol Community PUD.

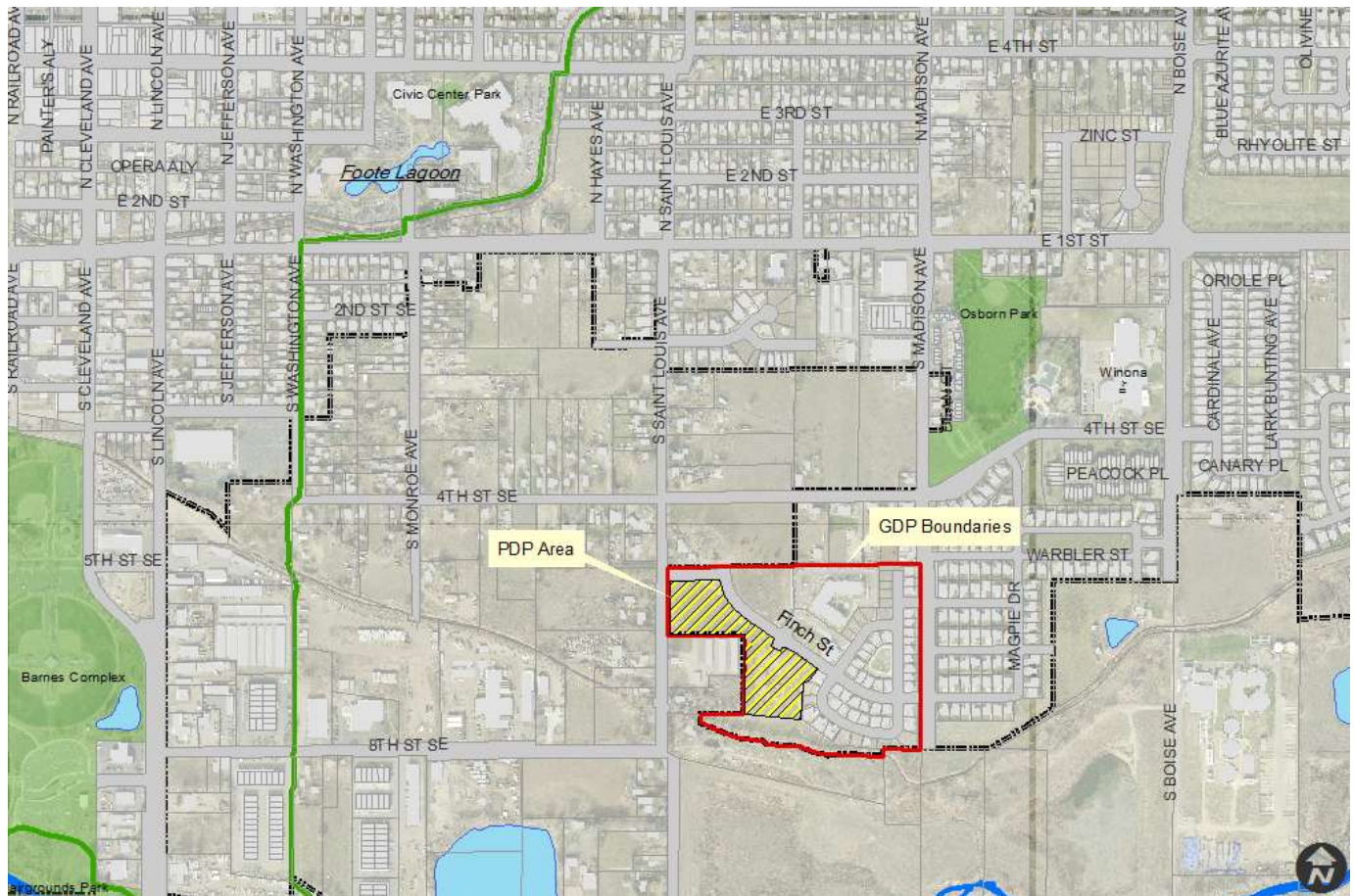
The PDP proposes the development of skilled homes on Lots 1 and 2, Block 2 of the Mirasol Second Subdivision. The skilled nursing homes are called "green house homes" and are modeled after an new, innovative approach that creates a home environment for residents. The project would consist of six separate one-story buildings of approximately 7,900 square feet. Each building would contain 10 one-bedroom rooms, a central kitchen and living space, and a one-car garage to facilitate drop-off and pick-up of the residents. The PDP also proposes a 2,614 square foot administrative building located in the center of the development and a pedestrian path along the perimeter of the PDP. The pedestrian path connects to the existing trail network and completes the pedestrian trail loop around the entire PUD.



II. ATTACHMENTS

1. Planning Commission Resolution
2. Applicant's narrative
3. Traffic Excerpts
4. Preliminary Development Plan

III. VICINITY MAP



IV. SITE DATA

ACREAGE OF PDP-GROSS	5.15 AC
MASTER PLAN DESIGNATION.....	MEDIUM DENSITY RESIDENTIAL
EXISTING ZONING.....	MIRASOL COMMUNITY PUD
EXISTING USE.....	VACANT
ACREAGE OF OPEN SPACE.....	2.16 AC (42% OF SITE)
NUMBER OF DWELLING UNITS PROPOSED	6 SKILLED NURSING HOMES, 60 BEDROOM UNITS
EXIST ADJ ZONING & USE - NORTH.....	COUNTY FA FARMING & DR DEVELOPING RESOURCE – RESIDENTIAL
EXIST ADJ ZONING & USE - SOUTH	COUNTY FA FARMING - VACANT
EXIST ADJ ZONING & USE - WEST	COUNTY FA FARMING – RES & MINI STORAGE
EXIST ADJ ZONING & USE - EAST	PUD / SF & MF RESIDENTIAL
UTILITY SERVICE – WATER, SEWER & ELECTRIC.....	CITY OF LOVELAND

V. KEY ISSUES

City staff believes that all key issues have been addressed in the development proposal. At the neighborhood meeting, residents were supportive of the project and did not identify any concerns.

VI. BACKGROUND

The following represents a timeline for the background of the development:

- | | |
|-------------------|--|
| April 5, 2005 | City Council approval of the annexation and zoning for the Mirasol Community PUD. The PUD established zoning for a maximum of 200 residential units. The GDP created development standards designed for a senior housing community for individuals 55 years of age or older and offered a variety of qualified affordable for-sale and for-rent single family, duplex and independent living apartments. |
| August 22, 2005 | Planning Commission approval of the Preliminary Development Plan and Plat for Mirasol First Subdivision (Phase I of the PUD). |
| February 17, 2006 | City approval of the Final Development Plan and Plat for Mirasol First Subdivision. Phase I of the development included forty-nine independent living apartment units, along with 11 single family homes and 44 duplex units. To date, the apartment units, community building and 37 of the single family/duplex homes have been constructed. |
| August 9, 2010 | Planning Commission approval of a Preliminary Development Plan for Phase II of the development, which permitted the construction of a 60 unit independent living apartment building. |
| September 7, 2010 | City Council approval of the first amendment to the GDP to increase the number of units, adjust parking ratios, modify building heights for Phase II of the development. |
| November 6, 2012 | City Council approval of the second GDP amendment to increase the number of units and adjust parking ratios for Phase III of the PUD. |

VII. STAFF, APPLICANT, AND NEIGHBORHOOD INTERACTION

- A. Notification:** An affidavit was received from Jeff Shera with Lantz-Boggio Architects certifying that written notice was mailed to all property owners within 500 feet of the property on January 11, 2013 and notices were posted in prominent locations on the perimeter on January 11, 2013. In addition, a notice was published in the Reporter Herald on January 12, 2013.
- B. Neighborhood Response:** A neighborhood meeting was held at 5:00 p.m. on November 29, 2012 in the Mirasol Community Room. The meeting was attended by 8 neighbors and residents of the development, along with the applicant, City staff and consultants. Generally, those attending the meeting were supportive of the request. Questions raised focused primarily on the details and costs of the care provided at the facility and construction timing.

VIII. FINDINGS AND ANALYSIS

The chapters and sections cited below are from the Loveland Municipal Code pertaining to PUD Preliminary Development Plans. Applicable findings contained in the Municipal Code are specified in italic print followed by the staff analysis as to whether the findings are met by the submitted application.

A. Land Use

- 1. Section 18.41.050.E.2.a:** *The preliminary development plan conforms to the general development plan on file with the city where the property is being developed in phases.*

Current Planning: Staff believes that this finding can be met based on the following facts:

- Greenhouse/skilled nursing homes is a permitted use on the subject property, as established in the GDP.
- A GDP Amendment was approved in November of 2012 that granted the approval of the proposed density on these parcels and the number of units requested in the PDP. The GDP Amendment also reduced the required off-street parking ratio from 1.5 spaces per unit to 1.0 space per unit, which is consistent with the proposed number of parking spaces requested in the PDP.
- The architecture is consistent with the development standards contained in the GDP and will be compatible with the existing structures developed in the PUD.
- The PDP requests, and City staff supports, a 1 foot setback variation to the setbacks standards in the GDP. The PDP proposes a 14 foot setback from the Finch Street right-of-way which is needed for the corner of the northeastern most building. The GDP established a 15 foot setback requirement measured from property lines. The setback variation is necessary to provide adequate space for the perimeter pedestrian trail and landscape screening of the adjacent mini storage facility. With the setback variation requested, the building would be located approximately 25 feet from the edge of pavement on Finch Street. On Finch Street, there is approximately 11 feet of right-of-way located between the property line and the edge of the roadway that includes a detached sidewalk and treelawn. City staff believes that the proposed 14 foot setback meets the intent of the GDP standard and will provide safe sight distances. City staff therefore supports the variation requested.

- 2. Section 18.41.050.E.2.b** *The preliminary development plan meets the intent and objectives of Chapter 18.41 and the factors set forth in Section 18.41.050(D)(4)(b) and (c).*

A. Section 18.41.050.D.4(b): *Whether the proposed development will have a detrimental impact on property that is in sufficient proximity to the proposed development to be affected by it. If such impacts exist, the planning division shall recommend either disapproval or reasonable conditions designed to mitigate the negative impacts.*

Current Planning: Staff believes that this finding can be met based on the following facts:

- The PDP incorporates design standards, architecture and landscaping consistent and compatible with surrounding properties. The green house homes consist of a one-story residential design that will provide an attractive image as viewed from South St. Louis Avenue, Bunting Place and Finch Street. Landscape bufferyards have been incorporated along perimeter edges of the PDP in compliance with City standards.

- No concerns regarding the PDP proposal were voiced at the neighborhood meeting. Those in attendance were supportive of the land use, circulation and overall design of the site.

B. Section 18.41.050.D.4(c): *Whether the proposed development will be complementary to and in harmony with existing development and future development plans for the area in which the proposed development is to take place by:*

(i) Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use.

(ii) Incorporating site planning techniques that will foster the implementation of the city's master plans, and encourage a land use pattern that will support a balanced transportation system, including auto, bike, and pedestrian traffic, public or mass transit, and the cost effective delivery of other municipal services consistent with adopted plans, policies and regulations of the City.

(iii) Incorporating physical design features that will provide a transition between the project and adjacent land uses through the provisions of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures.

(iv) Incorporating identified environmentally sensitive areas, including but not limited to wetlands and wildlife corridors, into the project design.

(v) Incorporating elements of community-wide significance as identified in the town image map.

(vii) Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings and street furniture.

Current Planning: Staff believes that these findings can be met based on the following facts:

- *(finding i)* Passive and active open space is provided through-out the development, including walking trails and pedestrian benches connecting to surrounding streets and a centralized community clubhouse. A pedestrian path will be developed in conjunction with the PDP around the perimeter of the site, connecting to St. Louis Avenue and the existing trail network. The pedestrian trail will complete the perimeter trail network around the PUD. The PDP also designates approximately 42 percent of the site as open space.
- *(finding ii)* Specific site planning techniques have been incorporated into the PUD to promote safety for pedestrians in the senior community. This includes traffic calming devices and neck-downs to lessen the amount of pavement that a pedestrian must cross at an intersection. These techniques promote the philosophies of the City's master plan.
- *(finding iii)* The PDP incorporates design elements that will create attractive edges, including detached sidewalks with a treelawn, bufferyards, and open rail fence designs along South St. Louis Avenue. All landscaping is in compliance with or exceeds City bufferyard standards. The southern boundary of the PDP is located adjacent to a mini-storage use in Larimer County. The PDP provides landscaping along this edge to serve as a transition to the nonresidential use and for enhanced screening of the storage use for the residents of the development. The north and east edges of the PDP are located adjacent to other compatible senior living homes and apartments within the PUD.
- *(finding iv)* There are no environmentally sensitive areas within the PDP boundaries.
- *(finding v)* There are no elements of community-wide significance identified in the town image map within the PDP boundaries.

- (finding vii) Adjacent streets including South St. Louis Avenue, Bunting Place and Finch Street are existing. Improvements to St. Louis Avenue including the streetscape were approved with the previous PDP for the senior living apartments and conditioned to be installed with the green house homes PDP. The placement of buildings and architecture will create an attractive image of the project as viewed from the adjacent streets.

3. **Section 18.41.050.E.2.c:** *The PDP complies with applicable land use and development regulations in effect as of the date that the GDP was approved and any land use and development regulations adopted by the City after that date if the Planning Division and Planning Commission expressly find that compliance with such regulations is necessary to protect public health, safety, and welfare.*

Current Planning: Staff believes that this finding can be met based on the following fact:

- The PDP complies with applicable development regulations for land use and infrastructure provisions in effect when the GDP was established as well as existing City regulations. Please reference the analysis contained in Section B, below, provided by City reviewers for additional information.

B. City Utilities and Services

1. **Section 18.41.050.D.4.b:** *Development permitted by the PDP will not negatively impact traffic in the area or City utilities. If such impacts exist, Section 18.41.050.D.4(b) of the Loveland Municipal Code requires City staff to recommend either disapproval of the PDP or reasonable conditions designed to mitigate the negative impacts.*
2. **Section 18.41.050.D.4.c:** *Whether development permitted by the PDP will be complementary to and in harmony with existing development and future development plans for the area in which the PDP is located by incorporating public facilities or infrastructure, or cash-in-lieu, that are reasonably related to the proposed development so that the proposed development will not negatively impact the levels of service of the City's services and facilities.*

Transportation Engineering: Staff believes that these findings can be met based on the following facts:

- A Traffic Impact Study has been submitted with the Mirasol Green Houses PDP which demonstrates that the transportation system, incorporating the required roadway improvements, can adequately serve the land uses proposed.
- Primary access to the site will be from the existing full movement access to St. Louis Avenue. The project will be responsible for constructed the ultimate curb, gutter, and detached sidewalk along St. Louis Avenue adjacent to the property.
- The applicant's traffic engineer, Matt Delich, P.E., has submitted a Traffic Impact Study (TIS) that indicates that the traffic associated with the proposed development will meet the City's standards. The proposed Mirasol Green Houses PDP is estimated to generate approximately 120 daily trips, 10 weekday AM peak hour trips, and 13 weekday PM peak hour trips. Excerpts from the Traffic Impact Study are included in **Attachment 3**.
- The development of the subject property pursuant to any of the uses requested in the PDP will not adversely impact any existing City infrastructure when typical roadway improvements are constructed. A positive determination of adequacy for transportation facilities for the proposed PDP has been made.

Fire Prevention: Staff believes that these findings can be met based on the following facts:

- The development will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company (Station 1).
- The development will not negatively impact fire protection for the subject development or surrounding properties.

Water/Wastewater: Staff believes that these findings can be met based on the following facts:

- This development is situated within the boundaries of and accommodated by the City's water and wastewater master plans. It is also within the City's current service area for both water and wastewater;
- The PDP request is consistent with the Department's Water and Wastewater master plan and will not negatively impact City water and wastewater facilities;
- The proposed development is in harmony with existing and future development and incorporates public infrastructure designed so that the proposed development will not negatively impact the levels of service of the City utilities adjacent to the development.

Stormwater: Staff believes that these findings can be met based on the following facts:

- Proposed stormwater facilities will adequately detain and release stormwater runoff in a manner that will eliminate off-site impacts.
- When designed and constructed, the development will not negatively affect City storm drainage utilities.
- There are no irrigation ditches, natural drainage courses or open channels that traverse the site.

Power: Staff believes that these findings can be met based on the following facts:

- Three-phase 200-amp underground vaults are located at the northeast corner of the roundabout of Finch Street and Finch Place and the southeast corner of South St. Louis Avenue and Bunting Place. Three-phase power can be extended through the proposed development at the developer's expense from these two vaults, per City Municipal Code.
- The Mirasol development is a current customer of the City of Loveland electric system. Development of the property will require additional electric service. The cost for any upgrades or changes to the existing facilities as a result of additional load required will be the responsibility of the developer.

IX. RECOMMENDED CONDITIONS

The following conditions are recommended by City Staff.

Current Planning

1. Prior to the issuance of any building permit within the PDP boundaries, all landscaping in the public rights-of-way and associated irrigation water meters, irrigation water meter activation fees, and irrigation systems shall be installed by the Developer or financially secured with the City in an amount equal to 110% of the costs for installation.
2. Prior to the issuance of any certificate of occupancy within the PDP boundaries, all site landscaping, associated irrigation water meters and activation fees, irrigation systems, and common area amenities including pedestrian pathways, lighting, and benches as depicted in the PDP, shall be either installed by the Developer or financially secured with the City in an amount equal to 110% of the costs for installation.
3. Financial security for all landscape ground cover proposed to be seeded, shall remain in place with the City for two growing seasons to ensure proper germination and the establishment of a substantial weed free ground cover.
4. The lighting levels in the photometric plan shall comply with Section 3.09 in the Site Development Performance Standards. The number and arrangement of the light fixtures may need to be adjusted in the FDP to demonstrate compliance with the lighting level requirements.
5. Prior to the approval of a final development plan, all public easements necessary to accommodate utilities on the site shall be dedicated to the City either through a subdivision plat or a separate recorded deed of dedication.

Transportation Engineering

6. Notwithstanding any information presented in the Preliminary Development Plan (PDP) or accompanying construction plan documents (text or graphical depictions), all public improvements shall comply with the Larimer County Urban Area Street Standards (LCUASS) as amended, unless specific variances are requested and approved in writing.
7. Prior to the issuance of any building permits within the PDP; the Developer shall design and construct the ultimate curb, gutter, pavement widening, and detached sidewalk along St. Louis Avenue adjacent to the property per the criteria set forth in the LCUASS.
8. The Developer will be responsible for either removing the existing shrub at the northeast corner of St. Louis Avenue and Bunting Place or pruning the shrub to the right-of-way line for perpetuity in order to meet the LCUASS sight distance criteria.

RESOLUTION # 13-2

**A RESOLUTION APPROVING THE MIRASOL GREEN HOUSE HOMES
PRELIMINARY DEVELOPMENT PLAN, LOCATED WITHIN THE MIRASOL
COMMUNITY PUD (P# 87), CITY OF LOVELAND, LARIMER COUNTY,
COLORADO**

WHEREAS, a Preliminary Development Plan for the Mirasol Green House Homes, being a portion of the Mirasol Community PUD (# P-87) has been submitted to the Planning Commission for consideration, pursuant to Chapter 18.41 of the Loveland Municipal Code; and

WHEREAS, pursuant to section 18.41.050(E)(2) of the Loveland Municipal Code, the City of Loveland Planning Commission held a public hearing on January 28, 2013, regarding said Preliminary Development Plan; and

WHEREAS, at said hearing the recommendations of the Current Planning Division were received and duly considered by the Commission, as well as all necessary testimony by the applicant and public; and

WHEREAS, the Commission has considered the application in light of the intent and objectives of Chapter 18.41 of the Loveland Municipal Code, and more specifically the factors set forth in sections 18.41.050(E)(2)(a-c) and expressly including those set forth in sections 18.41.050(D)(4)(b) and (c), and has determined that pursuant to said factors the Preliminary Development Plan may be approved.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION
FOR THE CITY OF LOVELAND, COLORADO:**

Section 1. That the Mirasol Green House Homes Preliminary Development Plan for 5.15 acres, more or less, being a portion of the Mirasol Community Planned Unit General Development Plan (#P-87), which Preliminary Development Plan is on file in the office of the City of Loveland Current Planning Division, and is incorporated herein by this reference, is hereby conditionally approved, consistent with the recommendations of the Planning Staff Report dated January 28, 2013, as amended by the Planning Commission in public hearing on January 28, 2013.

The Mirasol Green House Homes Preliminary Development Plan for the Mirasol Community Planned Unit Development applies to the following described real property:

“Lot 1 and Lot 2, Block 2 of the Mirasol Second Subdivision being a replat of Outlot G, Outlot H, Mirasol First Subdivision, along with that strip of land dedicated as right-of-way within and

being a portion of said Mirasol First Subdivision, City of Loveland, County of Larimer, State of Colorado, located in part of the Southeast Quarter of the Northeast Quarter of Section 24, Township 5, Range 69 West of the 6th P.M.”

Section 2. This Resolution shall be recorded with the Clerk and Recorder for Larimer County, Colorado, as soon as is reasonably possible.

Resolved this 28th day of January 28, 2013.

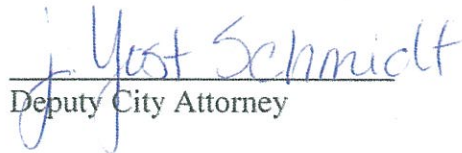
ATTEST:

PLANNING COMMISSION:

Planning Commission Secretary

Buddy Meyer, Chairperson
City of Loveland Planning Commission

APPROVED AS TO FORM:


Deputy City Attorney

PDP NARRATIVE

The purpose of the project is to provide Green House residences and services in the partial built out Mirasol Senior Living Community. This will be the final phase of this housing development. The proposed development is (6) Green House senior living buildings with (10) one-bedroom units in each building. Each Green House building is (1) story of approximately 7,900 SF. There will be (3) buildings located on Lot 1, Block 2 and (3) buildings located on Lot 2, Block 2. Additionally there will be (1) free-standing Administration building of approximately 2,600 SF. The total area of this phase of the development will be 50,000 SF.

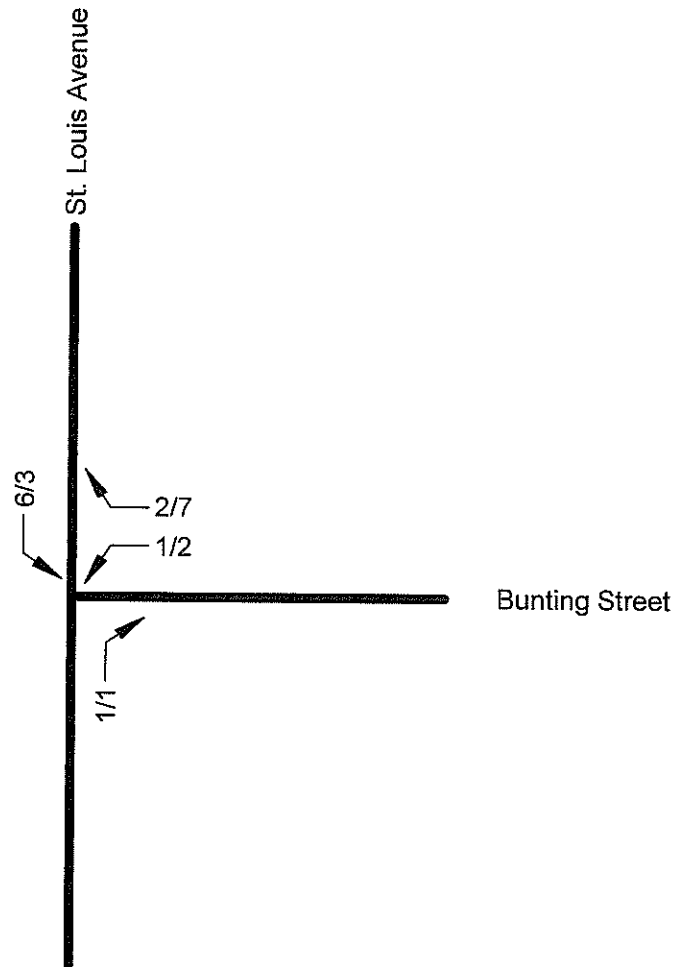
This method of providing skilled nursing housing and services is known as the Green House model, which is a de-institutionalization effort that restores individuals to a home in the community. It combines small homes with the full range of personal care and clinical services expected in high-quality nursing homes. The Green House model of elder care is a total re-envisioning of a skilled nursing home – it cannot be overlaid on an existing large facility. The program creates an intentional community to support the most positive elder hood and work life possible. To achieve these goals, the model changes the philosophy of care, staffing assumptions, organizational configuration and architecture.

The Green House home is a self-contained residence, designed like a private home, housing 10 elders, each with his/her own bedroom and full bathroom. The physical space is not meant to be “homelike”, but to be a home. Specially trained certified nursing assistants called “Shahbazim” staff each residence and provide a wide range of assistance, including: personal care, activities, meal preparation and service, light housekeeping, and laundry. Through this close partnership between staff and elders, personal relationships are formed that become the basis for person-directed care, which is the key to creating the culture inherent in the Green House concept. Each Green House home is supported by a clinical support team that includes nurses, social workers, activities experts, therapists, nutritionists, a medical director and a pharmacist.

TABLE 1 Current Peak Hour Operation			
Intersection	Movement	Level of Service	
		AM	PM
St. Louis/Bunting (stop sign)	WB LT/RT	A	A
	SB LT/T	A	A
	OVERALL	A	A

TABLE 2 Trip Generation per Mirasol Second Subdivision TIS												
Code	Use	Size	AWDTE		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	In	Rate	Out	Rate	In	Rate	Out
Parcel 2 – Total Community Care												
620	Nursing Home	60 Employees	6.55	390	0.32	19	0.13	8	0.19	11	0.40	24
N/A	Buses	6 Buses		30		6		0		0		6
Parcel 2 Subtotal				420		25		8		11		30
Parcel 3 – Senior Apartments												
252	Senior Attached	60 DU	3.48	210	0.05	3	0.08	5	0.10	6	0.06	4
Total				630		28		13		17		34

TABLE 3 Trip Generation (Mirasol Greenhouses)												
Code	Use	Size	AWDTE		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	In	Rate	Out	Rate	In	Rate	Out
620	Nursing Home	60 Beds	EQ.	120	0.12	7	0.05	3	0.07	4	0.15	9



SITE GENERATED
PEAK HOUR TRAFFIC

Figure 5

TABLE 4 Street Traffic Volume Summary Table								
Street Segment	Direction	Existing Traffic Volume (AM/PM)	Date Existing Volume Taken	Regional Growth and Traffic from Build-out of Other Proposed Development* (AM/PM)	Site Generated Traffic (2015) (AM/PM)	Total Traffic (2015) (AM/PM)	ACF Traffic Threshold	ACF Compliance (AM/PM)
1 St. Louis Avenue south of Bunting Street	NB	91/147	8/12	101/175	1/1	102/176	650	Y/Y
	SB	103/149	8/12	123/171	1/2	124/173	650	Y/Y
2 St. Louis Avenue north of Bunting Street	NB	88/154	8/12	107/169	2/7	109/176	650	Y/Y
	SB	106/149	8/12	118/176	6/3	124/179	650	Y/Y
3 Bunting Street east of St. Louis Avenue	EB	7/1	8/12	9/26	7/4	16/30	625	Y/Y
	WB	1/8	8/12	20/15	3/9	23/24	625	Y/Y
Mirasol Second Subdivision								
* Approved developments, not yet built;								
* Proposed developments, not yet approved;								
Notes/Comments								

TABLE 5 Short Range (2017) Background Peak Hour Operation			
Intersection	Movement	Level of Service	
		AM	PM
St. Louis/Bunting (stop sign)	WB LT/RT	A	B
	SB LT/T	A	A
	OVERALL	A	A

TABLE 6 Short Range (2017) Total Peak Hour Operation			
Intersection	Movement	Level of Service	
		AM	PM
St. Louis/Bunting (stop sign)	WB LT/RT	A	B
	SB LT/T	A	A
	OVERALL	A	A

MIRASOL GREEN HOUSE HOMES
MIRASOL THIRD SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN

A PORTION OF THE SE 1/4 OF SECTION 24, TOWNSHIP 5 NORTH,
RANGE 69 WEST OF THE 6TH P.M., COUNTY OF LARIMER, STATE
OF COLORADO

DEVELOPMENT PLAN NARRATIVE CONTINUED

5. PUBLIC FACILITIES PROVIDERS

a. GAS, CABLE TV AND TELEPHONE

SERVICES ARE AVAILABLE FOR THESE UTILITIES AND PLANS FOR INSTALLATION AND ROUTING WILL BE PROVIDED BY THE PROVIDERS.

b. PARKS AND OPEN SPACE

THIS DEVELOPMENT WILL INCORPORATE OPEN AREAS , GREEN SPACES, AND LANDSCAPE BUFFER AREAS. THESE AREAS WILL BE LINKED THROUGHOUT THE PROJECT WITH HARD SURFACED TRAILS AND WALKING PATH. THE OPEN SPACE WILL BE PASSIVE IN NATURE, WITH THE WALKING PATH SYSTEM CONNECTING SEATING AREAS AND GAZEBOs.

c. SCHOOLS

NO SCHOOL SITE IS INTENDED ON THIS SITE AS THE OVERALL PROJECT IS FOR HOUSING FACILITIES.

d. FIRE AND POLICE

THE DEVELOPMENT WILL BE SERVICED BY THE CITY OF LOVELAND POLICE AND FIRE DEPARTMENTS.

6. LANDSCAPING AND FENCING

A. OVERALL CONCEPT

LANDSCAPING WILL BE DESIGNED WITH A COMPLETE SITE THEME THAT WILL COMPLIMENT THE ARCHITECTURAL THEME AND FEATURES OF THE PROJECT. ENTRY AND IDENTITY FEATURES WILL COMPLEMENT THE OVERALL SITE DESIGN. COLLECTOR AND LOCAL STREETS WILL BE DESIGNED WITH DETACHED SIDEWALKS AND STREET TREES. OPEN AREAS SHALL BE PLANTED WITH VARIOUS SHADE TREES AND GRASSY AREAS. LANDSCAPING WILL PROVIDE SEASONAL COLOR AND INTEREST. PLANTS WILL BE SELECTED FOR THEIR XERIC PROPERTIES IN ORDER TO CREATE A WATER EFFICIENT LANDSCAPE.

B. EDGE TREATMENT

PERIMETER LANDSCAPING AND GRADING HAVE SEVERAL EDGE FUNCTIONS, INCLUDING SEPARATION OF USES, NOISE MITIGATION, AESTHETIC QUALITIES AND STORM DRAINAGE MANAGEMENT. PERIMETER LANDSCAPING WILL BE USED TO CREATE A VISUALLY INTERESTING STREETScape AND ENHANCED VIEWS FROM WITHIN THE SITE AND OF SITE LOOKING IN.

A PERIMETER FENCE ALONG THE WEST BOUNDARY WILL PROVIDE SEPARATION FROM THE ST. LOUIS STREETScape.

C. STREETScape

ALL STREETS AND LANES WITHIN THE DEVELOPMENT WILL BE DESIGNED WITH DETACHED SIDEWALKS, STREET TREES AND TREE LAWNS BETWEEN THE CURB AND SIDEWALK. THE OVERALL CONCEPT IS TO CREATE TREE-LINED ROADWAYS THAT ACCOMMODATE PEDESTRIAN ACTIVITIES IN A MANNER SIMILAR TO THE DESIGN OF TRADITIONAL COLORADO NEIGHBORHOODS.

7. ARCHITECTURAL STANDARDS

TO CREATE AND MAINTAIN A NEIGHBORHOOD WITH THE ARCHITECTURAL CHARACTERISTICS AND QUALITY OF DEVELOPMENT DESIRED FOR THIS COMMUNITY, THE FOLLOWING STANDARDS SHALL BE INCORPORATED INTO THE DESIGN OF ALL STRUCTURES:

a. A SLOPING ROOF WITH AT LEAST ONE BREAK IN THE ROOF LINE.

b. WINDOWS, EXTERIOR WINDOW TREATMENTS AND/OR OTHER SIMILAR ARCHITECTURAL FEATURES ON ALL ELEVATIONS OF THE BUILDINGS.

c. EXTERIOR WALLS SHALL CONTAIN OFFSETS AND PROTRUSIONS.

d. EXTERIOR MATERIALS (ROOFING, WALL FINISH MATERIALS AND COLORS, WINDOWS, DOORS) SHALL BE COORDINATED TO ACHIEVE A TOTAL ARCHITECTURAL EFFECT OF COMPATIBLE VARIETY.

e. ALL ROOFING MATERIALS TO BE A MINIMUM OF 20- TO 25-YEAR ASPHALT SHINGLES.

f. BUILDING TO HAVE STONE OR STUCCO ON AT LEAST 50% OF THE FIRST FLOOR ELEVATION, EXCLUDING DOORS AND WINDOWS.

g. ALL ROOF OVERHANG DIMENSIONS TO BE A MINIMUM OF 18".

h. VINYL AND ALUMINUM SIDING WILL NOT BE ALLOWED.

i. ROOFTOP MECHANICAL EQUIPMENT SUCH AS HVAC UNITS SHALL BE SCREENED AND NOT EXPOSED TO VIEW.

j. EXTERIOR BUILDING MATERIALS:
SIDING - STONE OR SYNTHETIC STONE, STUCCO OR SYNTHETIC STUCCO
ROOFING - ASPHALT SHINGLES

k. ARCHITECTURAL ELEMENTS SUCH AS ARCHED OPENINGS, SMALL DIAMOND ACCENT MEDALLIONS, AND REPETITIVE HORIZONTAL STUCCO REVEALS SHALL BE INCORPORATED INTO THE EXTERIOR DETAILING SIMILAR TO THE EXISTING PHASE 1 STRUCTURES.

l. THE COLOR PALLET FOR THE BUILDING SHALL INCORPORATE ONLY COLORS PREVIOUSLY USED ON THE PHASE 1 APARTMENT BUILDING, EVENT CENTER AND PAIRED HOMES.

THREE DIFFERENT COLOR SCHEMES WILL BE DEVELOPED SO THAT NO MORE THAN TWO GREEN HOUSE HOMES WILL BE THE SAME, AND NO TWO ADJACENT HOMES WILL HAVE THE SAME COLOR COMBINATIONS.

8. LAND USE INFORMATION

A. SETBACKS

THE FOLLOWING SHALL BE MINIMUM SETBACKS FROM PROPERTY LINES.

GREEN HOUSE HOMES:
FRONT: 15'-0"
SIDE: 10'-0"
REAR: 15'-0"

A SETBACK REDUCTION IS REQUESTED FOR A PORTION OF BLOCK 2, LOT 1 ALONG THE NORTHEAST SIDE OF PARCEL 'E'. A REDUCTION FROM 15'-0" SETBACK TO A 14'-0" SETBACK IS NEEDED ALONG FINCH STREET AT THE CORNER OF THE GREEN HOUSE HOME. THIS WILL ALLOW THE GREEN HOUSE HOME AND THE PRIVATE DRIVE TO MOVE NORTH TO ALLOW A EXTENSION OF THE PEDESTRIAN PATH ALONG THE SOUTH SIDE OF THE SITE, NORTH OF THE STORAGE FACILITY.

PARKING LOTS: ALL PARKING LOTS SHALL BE SET BACK A MINIMUM DISTANCE OF 20'-0" FROM ANY PUBLIC RIGHT-OF-WAY AND SHALL BE SCREENED FROM SURROUNDING PUBLIC VIEWS BY A MINIMUM 3'-0" HIGH BERM AND LANDSCAPING IN COMPLIANCE WITH LOVELAND SITE DEVELOPMENT PERFORMANCE STANDARDS AND GUIDELINES.

b. HEIGHT LIMIT

NO BUILDING SHALL EXCEED 1 STORY AND 25'-0" IN HEIGHT AS MEASURED PER THE MUNICIPAL CODE. ARCHITECTURAL FEATURES SUCH AS CHIMNEYS AND SPIRES SHALL BE ALLOWED TO EXCEED THIS HEIGHT LIMIT.

c. PARKING

GREEN HOUSE HOMES: A MINIMUM OF 0.6 PARKING SPACES PER DWELLING UNIT. ADMINISTRATIVE OFFICES WILL COMPLY WITH THE STANDARDS INCLUDED IN THE LOVELAND MUNICIPAL CODE.

e. SIGNAGE

THE PURPOSE OF THESE REGULATIONS IS TO ENCOURAGE THE EFFECTIVE USE OF SIGNS IN THE DEVELOPMENT, TO IMPROVE PEDESTRIAN AND TRAFFIC SAFETY, TO MINIMIZE THE POTENTIAL FOR ADVERSE IMPACTS OF SIGNS ON PUBLIC AND PRIVATE PROPERTY, AND TO ENCOURAGE THE CREATIVE USE OF SIGNING AND ENVIRONMENTAL GRAPHICS AS A PART OF THE OVERALL DEVELOPMENT IMAGE. THE MONUMENT AND SUPPORT STRUCTURE ARE NOT INCLUDED IN THE SIGN FACE AREA CALCULATION.

PERMITTED SIGNS: SIGNS PERMITTED WITHIN THE MIRASOL COMMUNITY PDP SHALL INCLUDE THE FOLLOWING:

COMMUNITY IDENTIFICATION SIGNS: UP TO (2) SIGNS MAY BE LOCATED AT EACH MAIN ENTRY TO THE SITE. EACH SIGN SHALL NOT EXCEED 35 SQUARE FEET IN SIGN FACE AREA, AND EACH SIGN MAY HAVE TWO FACES (DOUBLE-SIDED SIGN).

(1) FREESTANDING MONUMENT SIGN FOR THIS PROJECT WILL BE PROVIDED ON THE SOUTHEAST CORNER OF ST. LOUIS AVENUE AND BUNTING PLACE THAT WILL BE CONSTRUCTED DURING PHASE 2 OF THE MIRASOL COMMUNITY. THE REMAINING SIGNAGE REQUESTED FOR THE GREEN HOUSE HOMES SITE ARE, STREET SIGNS, PEDESTRIAN CROSSING SIGNS, HANDICAP PARKING SIGNS, NO PARKING SIGNS, AND FIRE LANE SIGNS. THE SIGNAGE DESIGN WILL BE IN COMPLIANCE WITH THE MUNICIPAL CODE AND WILL BE INCLUDED WITH THE FDP.

9. LANDFORM MODIFICATION

THE SITE RECENTLY UNDERWENT GENERAL GRADING WITH THE DEVELOPMENT OF LOT 1, BLOCK 2 OF MIRASOL SECOND SUBDIVISION. THE SITE NOW GENERALLY SLOPES FROM THE NORTHWEST TO THE SOUTH EAST AT SLOPES OF ONE TO TWO PERCENT. NO MAJOR MODIFICATIONS TO THE SLOPES ARE PROPOSED WITH THIS DEVELOPMENT.

10. IMPLEMENTATION

a. OVERALL CONCEPT

THE FOLLOWING REGULATORY PROCEDURES SHALL APPLY TO ALL DEVELOPMENT WITHIN THE MIRASOL COMMUNITY PLANNED UNIT DEVELOPMENT, IN ACCORDANCE WITH CHAPTER 18.41 OF THE LOVELAND MUNICIPAL CODE. IT IS THE INTENT OF THIS PLAN TO PROVIDE A MECHANISM BY WHICH LAND CAN BE DEVELOPED IN A MANNER THAT ENCOURAGES FLEXIBILITY AND INNOVATIVE DESIGN OF A RESIDENTIAL COMMUNITY, IN COMPLIANCE WITH OTHER APPLICABLE LAND USE AND DEVELOPMENT REGULATIONS IN EFFECT AT THE TIME OF APPROVAL OF THIS PLAN.

b. COVENANTS

COVENANTS, RESTRICTIONS, AND DECLARATIONS WILL BE CREATED TO PROVIDE GOVERNANCE FOR THE HOMEOWNER'S ASSOCIATION AND ENSURE STANDARDS FOR DEVELOPMENT AND MAINTENANCE. COVENANTS SHALL INCLUDE THE FORMULATION OF AN ACC RESPONSIBLE FOR OVERSIGHT AND ADMINISTRATION. THE COVENANTS, RESTRICTIONS AND DECLARATIONS SHALL BE SUBMITTED WITH THE FDP.

c. FORMATION OF HOMEOWNERS ASSOCIATION/ARCHITECTURAL CONTROL BOARD

THE ENTIRE MIRASOL COMMUNITY WILL BE GOVERNED BY A HOME OWNER'S ASSOCIATION REPRESENTING EACH RESIDENT IN THE COMMUNITY. THE ASSOCIATION WILL BE RESPONSIBLE TO PROVIDE GENERAL MAINTENANCE OF THE GREENHOUSE COMPLEX.

d. MAINTENANCE OF COMMON AREAS

THE ASSOCIATION WILL ALSO BE RESPONSIBLE FOR THE GENERAL MAINTENANCE AND CAPITAL IMPROVEMENTS TO ALL EXTERIOR PORTIONS OF THE GREENHOUSE COMPLEX. EXTERIOR MAINTENANCE WILL INCLUDE ALL LANDSCAPE AND GROUNDS MAINTENANCE, SNOW REMOVAL, COMMON AREA AND COMMON FACILITIES MAINTENANCE, AND THE EXTERIOR MAINTENANCE OF ALL BUILDINGS INCLUDING DECKS, SIDING, ROOFS, WALKWAYS, DRIVEWAYS, AND THE IRRIGATION SYSTEM.

e. PROPOSED PHASING AND ESTIMATE BUILD-OUT TIME FRAME

THE BUILD-OUT FOR THIS PHASE WILL BE APPROXIMATELY 2 YEARS.

11. REGULATORY PROCEDURES

A. ALL PROPOSED DEVELOPMENT OF ANY TYPE WITHIN THE PLANNED UNIT DEVELOPMENT WILL BE PROCESSED IN ACCORDANCE WITH THE PROCEDURES CONTAINED IN CHAPTER 18.41 OF THE LOVELAND MUNICIPAL CODE, SECTION 18.41.40, PROCEDURES FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT, AND SHALL REQUIRE APPROVAL OF PRELIMINARY AND FINAL DEVELOPMENT PLANS IN ACCORDANCE WITH THE REQUIREMENTS THEREOF.

12. CONDITIONS OF APPROVAL



Lantz-Boggio Architects, P.C.

MIRASOL
COMMUNITY
LOVELAND, COLORADO

PRELIMINARY
DEVELOPMENT PLAN

OWNER:

CITY OF LOVELAND HOUSING AUTHORITY
375 W. 37TH STREET
LOVELAND, CO 80538
Ph: (970) 667-3232
Fax: (970) 278-9904

ARCHITECT:

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Fax: (303) 773-8709

CIVIL ENGINEER:

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Windsor, Colorado 80550
Ph: (970) 686-6939
Fax: (970) 686-1186

LANDSCAPE ARCHITECT:

CENTENNIAL DESIGN, LLC
601 S. 9th St.
Berthoud, Colorado 80513
Ph: (970) 217-4955

Table with 3 columns: No., Date, Description. Contains 2 rows of review comments.

Seals:

LBA Project Number:
2011.33

Date:
DECEMBER 17, 2012

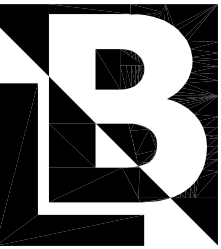
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PDP NARRATIVE -
SHEET 2

Sheet Number:

2 OF 16

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MIRASOL
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Sheet Title:
PDP SITE PLAN

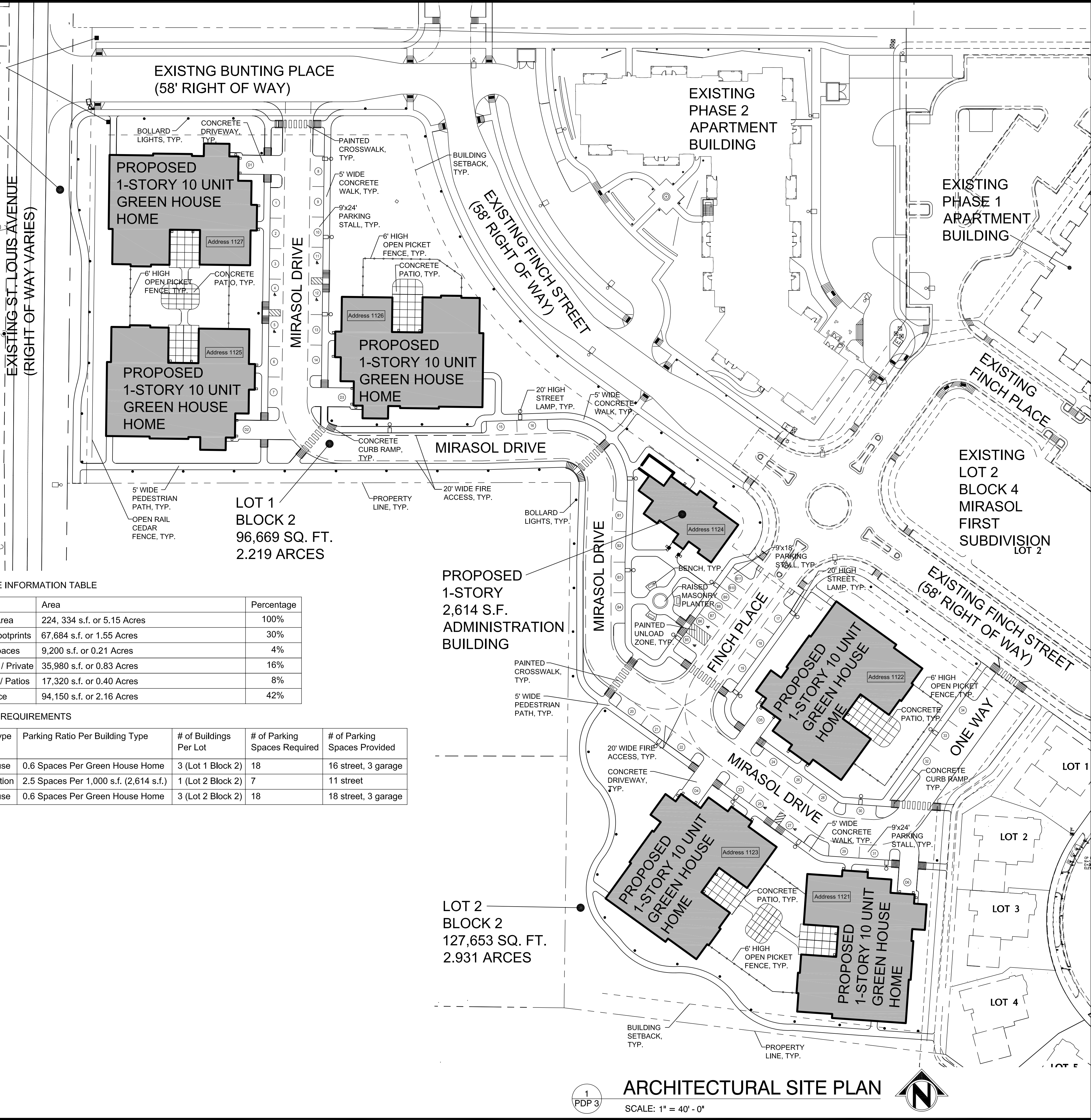
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3 OF 16

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MONUMENT SIGNS AS
INSTALLED DURING PHASE 2
OF THE MIRASOL
COMMUNITY DEVELOPEMENT

NEW CURB AND GUTTER
PREVIOUSLY APPROVED
DURING PHASE 2 OF THE
MIRASOL COMMUNITY
PROJECT TO BE INSTALLED
WITH THIS PHASE



LAND USE INFORMATION TABLE

Location	Area	Percentage
Total Lot Area	224, 334 s.f. or 5.15 Acres	100%
Building Footprints	67,684 s.f. or 1.55 Acres	30%
Parking Spaces	9,200 s.f. or 0.21 Acres	4%
Driveways / Private	35,980 s.f. or 0.83 Acres	16%
Sidewalks / Patios	17,320 s.f. or 0.40 Acres	8%
Open Space	94,150 s.f. or 2.16 Acres	42%

PARKING REQUIREMENTS

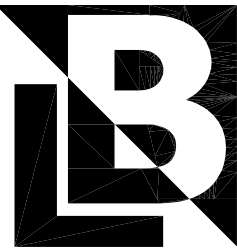
Building Type	Parking Ratio Per Building Type	# of Buildings Per Lot	# of Parking Spaces Required	# of Parking Spaces Provided
Green House	0.6 Spaces Per Green House Home	3 (Lot 1 Block 2)	18	16 street, 3 garage
Administration	2.5 Spaces Per 1,000 s.f. (2,614 s.f.)	1 (Lot 2 Block 2)	7	11 street
Green House	0.6 Spaces Per Green House Home	3 (Lot 2 Block 2)	18	18 street, 3 garage

1
PDP 3

ARCHITECTURAL SITE PLAN

SCALE: 1" = 40' - 0"





Lantz-Boggio Architects, P.C.

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LOVELAND, COLORADO

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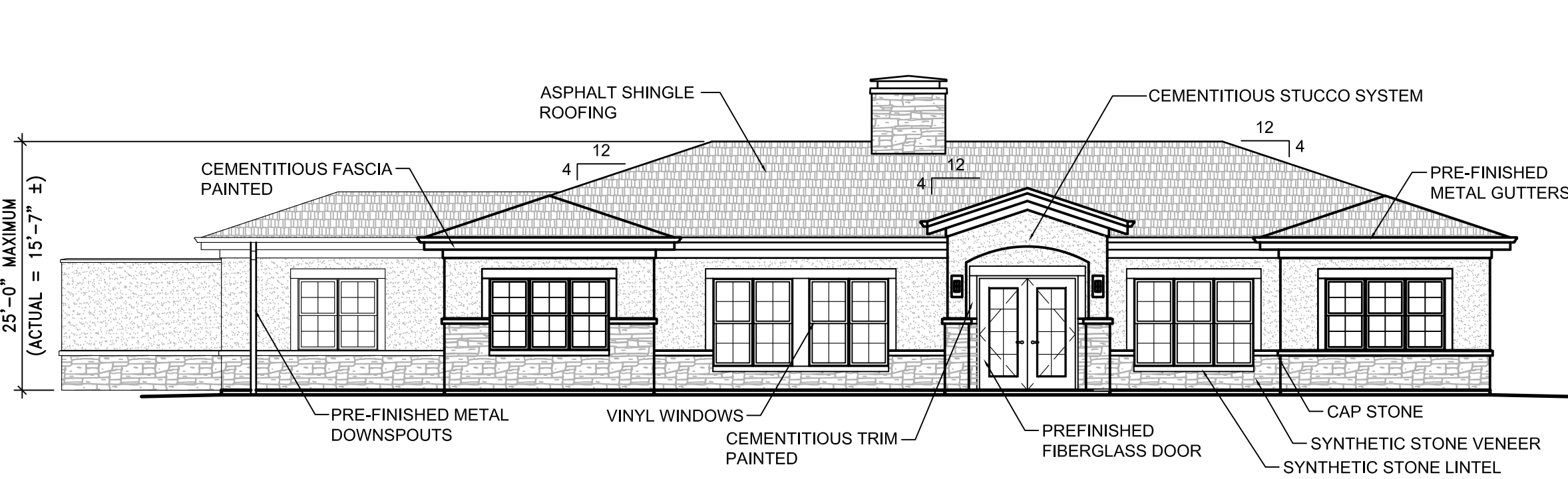
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PDP ELEVATIONS

Sheet Number:

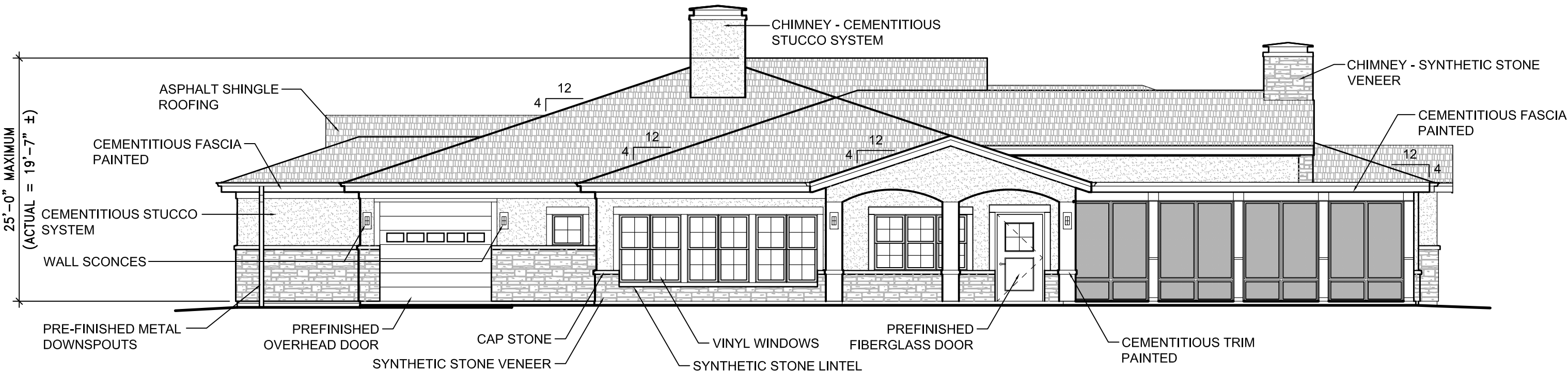
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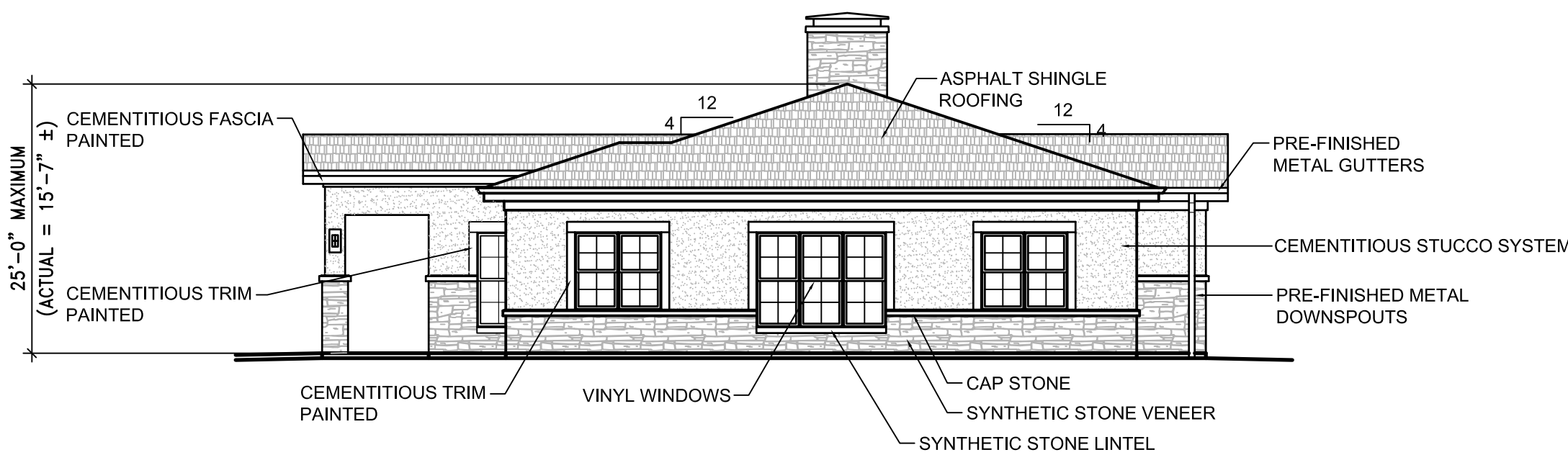
ADMINISTRATION BUILDING - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



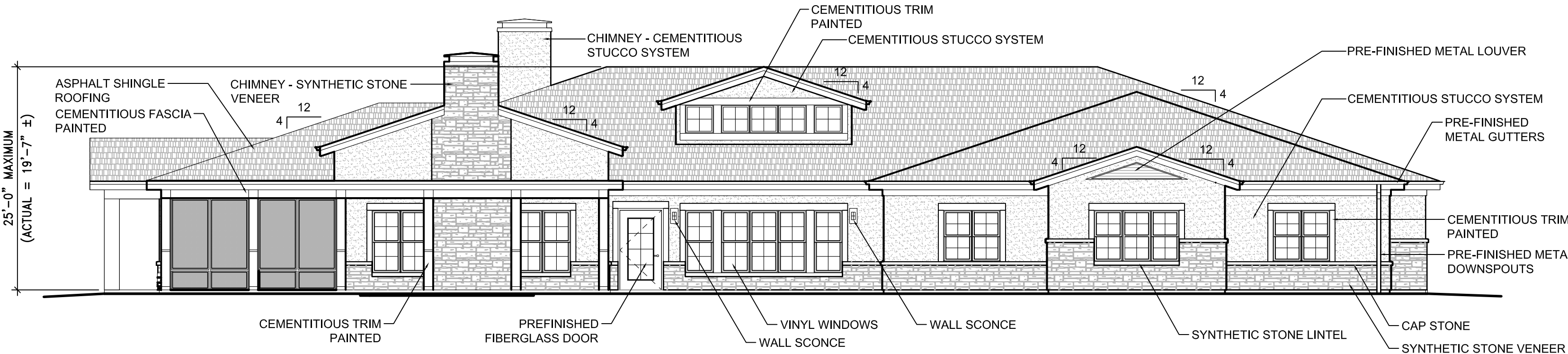
GREENHOUSE BUILDING - FRONT ELEVATION

SCALE: 1/8" = 1'-0"



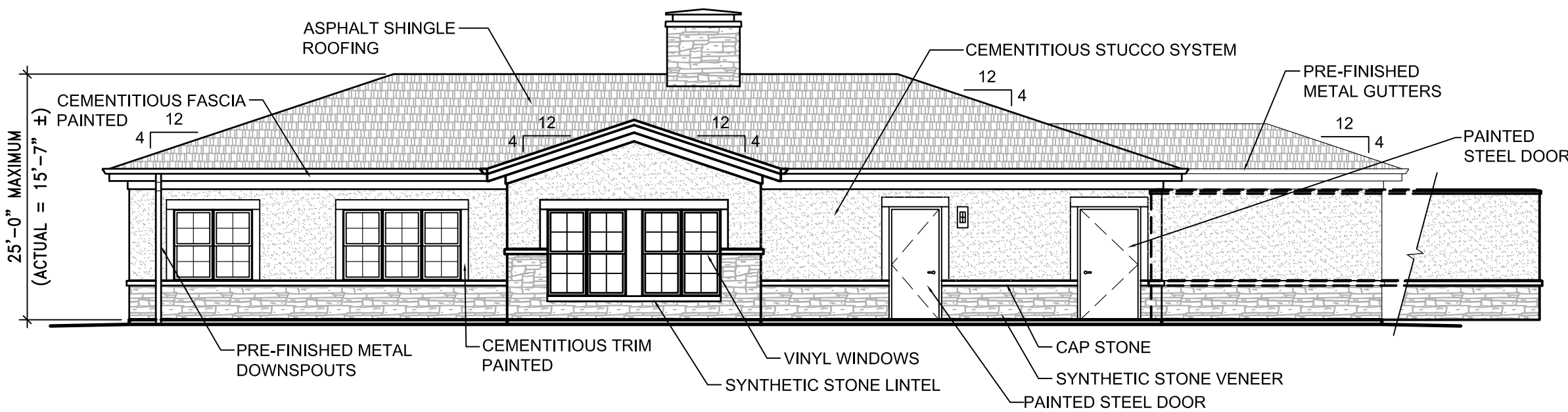
ADMINISTRATION BUILDING - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



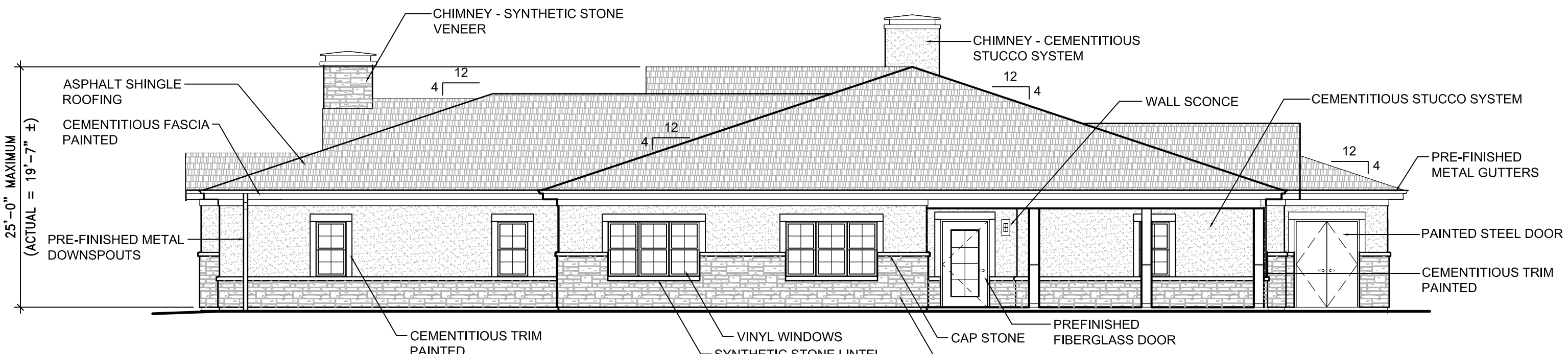
GREENHOUSE BUILDING - RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



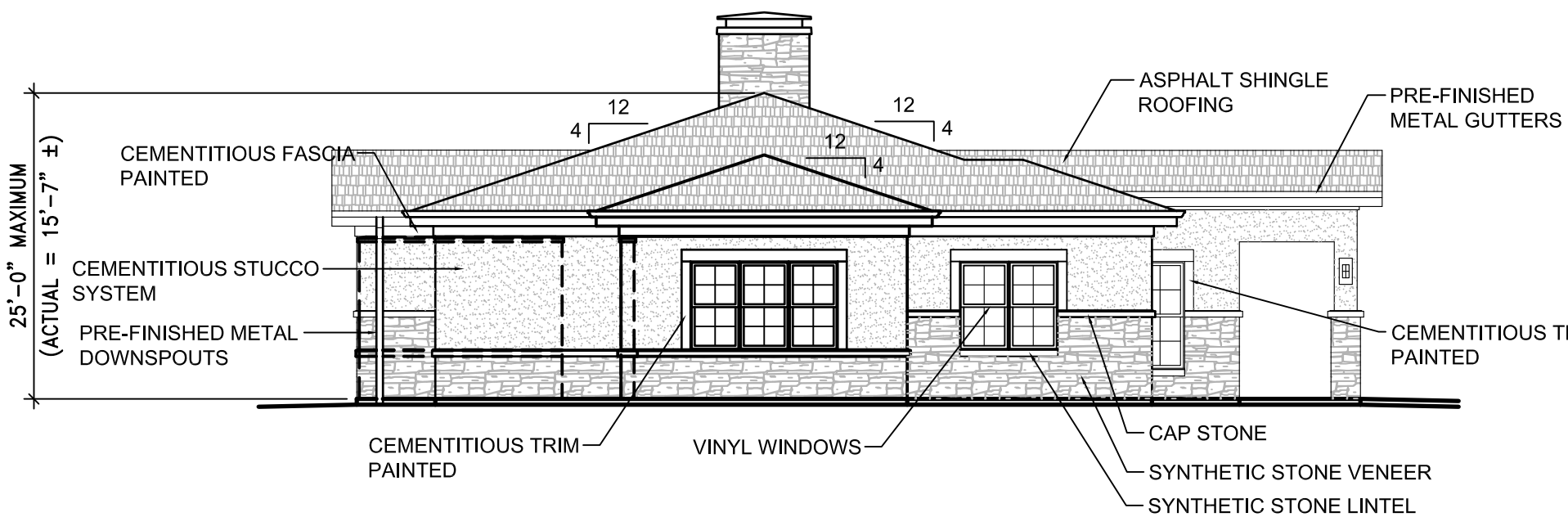
ADMINISTRATION BUILDING - REAR ELEVATION

SCALE: 1/8" = 1'-0"



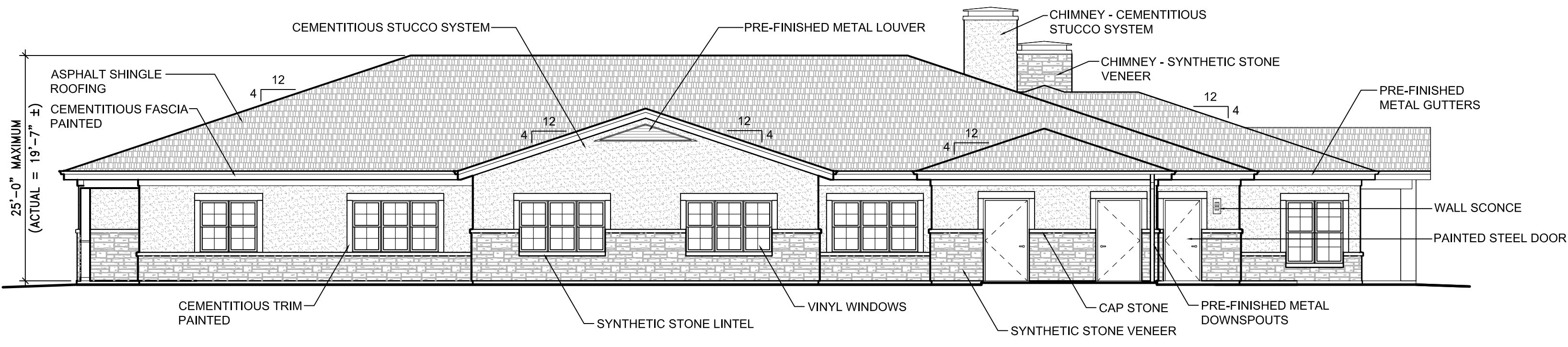
GREENHOUSE BUILDING - REAR ELEVATION

SCALE: 1/8" = 1'-0"



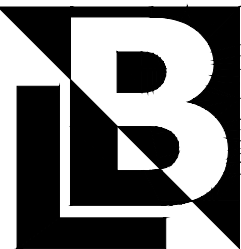
ADMINISTRATION BUILDING - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



GREENHOUSE BUILDING - LEFT ELEVATION

SCALE: 1/8" = 1'-0"



Lantz-Boggio Architects, P.C.

MIRASOL COMMUNITY LOVELAND, COLORADO

PRELIMINARY DEVELOPMENT PLAN

OWNER:

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Sheet Title:

LANDSCAPE COVER SHEET

Sheet Number:

5 of 16

DESIGN CONCEPT:

Landscaping has been designed to be in context with the Mirasol community. A unique plant palette has been chosen for the front entrance of each unit. Courtyard and patio landscaping has been arranged to create outdoor rooms and provide seasonal color and interest. Plant species have been selected for their xenc properties and overall hardness, and have been grouped according to water requirements, exposure and slope.

PLANT SEPARATION CRITERIA:

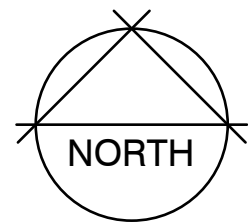
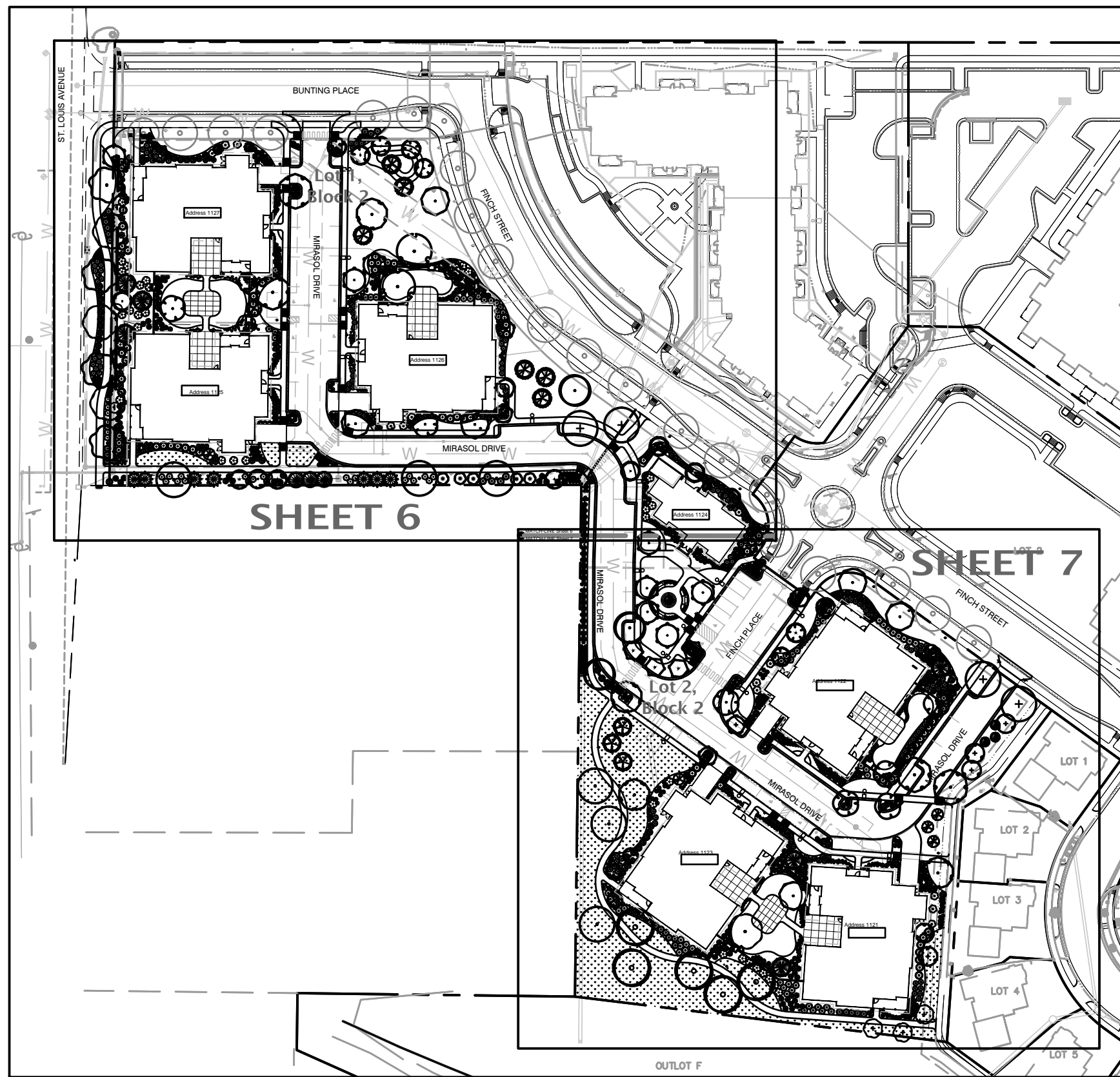
- Contact the Utility Notification Center of Colorado, at least (3) business days prior to construction. The contractor shall verify the location of all utilities in the field prior to excavation / digging.
- Street Lights: Canopy trees shall be planted no closer than (40) feet, and Ornamental Trees shall be planted no closer than (15) feet from street lights.
- Trees shall be planted no closer than (10) and Shrubs no closer than (5) feet from water and sewer mains.
- Trees shall be planted no closer than (4) feet from Gas, Electric and Telephone utilities. Trees shall not be planted beneath overhead power lines.
- No tree shall be planted where the distance between a curb and detached sidewalk is less than (4) feet.
- No tree shall be planted closer than (2.5) feet from the face of the curb.
- No plants that mature to a height of more than (6) inches shall be planted within (3) feet of a Fire Hydrant.
- No plant with a mature height of 24" or more shall be planted within a sight distance triangle. Deciduous trees branched to a height of 6 ft. above the curb line are permitted.
- Plant locations may be modified in the field to maintain separation criteria. Contractor shall notify the Owner of modifications prior to planting or eliminating plants from the contract.

GENERAL NOTES:

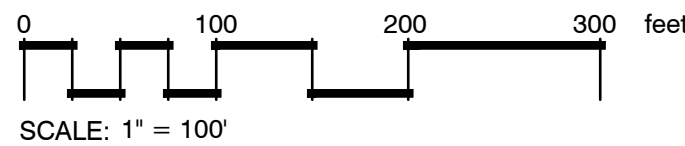
- All landscaping shall be irrigated with an automatic sprinkler system. Sod and seed areas shall receive pop-up spray or rotary sprinklers. Planting beds shall receive low volume drip irrigation. The irrigation system will be zoned to irrigate sod, seed and planting beds separately. RE: Irrigation Plan
- Soil Preparation: Prior to fine grading the soil in all landscaped areas shall be thoroughly loosened to a depth of 6in to 8 in. by ripping or tilling. Remove all unsuitable soil and debris (including rocks) that are 3 in. or larger in diameter. Till to incorporate soil amendments to a depth of 6 in. Soil amendments included compost that is appropriate for the plantings, site design and soil conditions. Soil amendments shall be applied at a minimum rate of 3 cu. yd. / 1,000 sq. ft.
- Fine grade shall maintain positive drainage away from structures, with smooth flowing land forms that are uniformly compacted for planting, and free of vegetation, surface debris, bumps, and/or depressions.
- Soil backfill for all plantings shall be amended with dairy compost (or approved equal) at a rate of 1/3 compost to 2/3 soil excavated from the planting pit.
- All plant material shall meet AAM standards for number one grade and shall be sized as specified on the Landscape Plan.
- Quantity, container type / size, and species of plant material shall be consistent with the approved landscape plan. In the event of conflict between plant quantities in the plant schedule and species illustrated, the species and quantities illustrated shall be provided.
- All landscaping shall be installed according to sound horticultural plantings in a manner to promote quick establishment and healthy growth. Landscape and irrigation shall be warranted for one (1) full year after final acceptance.
- All landscaping, including such in the R.O.W. shall be maintained by the Contractor up to final acceptance. Upon final acceptance the Owner will be responsible for all maintenance. Maintenance of the landscape and irrigation system shall include mowing, pruning, watering, fertilizing, irrigation system maintenance and weed control.
- Shrub bed areas shall be mulched with to a depth of 3 in. with 2 in-4 in tan river cobble installed over weed barrier fabric. Fabric seams to have a minimum overlap of 6 in. Install 3 in. depth of shredded redwood mulch over the root ball of each tree and shrub.
- All perennial and ornamental grass areas shall be mulched with a 4" depth of shredded redwood mulch.
- All shrub bed areas shall be edged with 4 in. green, rolled top, interlocking steel edging.
- The landscaping shall be either installed or escrow shall be provided for all landscaping and pedestrian amenities.

SEEDING NOTES:

- Seeding shall take place after soil preparation and final grade activities are complete.
- Seed with a Brillion style seeder in two perpendicular passes. In areas that are inaccessible by equipment, spread seed evenly with a broadcast spreader and cover lightly with 1/4" in. of soil.
- Water seed to maintain proper moisture for proper germination. Monitor irrigation application and frequency to prevent soil erosion.
- Adjust irrigation according to root system establishment. Mow for initial weed control after the grass is mature.
- During the warranty period. Provide weed control that is appropriate for the grass type and season.
- Dura Turf Plus Seed Mix - Seed Rate: 5 lbs / 1,000 sf
80% Tall Fescue Blend, Emerald III
10% Perennial Ryegrass, Palace
10% Kentucky Bluegrass
- Low Grow Mix - Seed Rate: 5 lbs / 1,000 sf
30% Euphorbia Cressled Wheatgrass
25% Sheep Fescue
20% Perennial Rye
15% Chewings Fescue
10% Kentucky Bluegrass



LANDSCAPE SHEET KEY



SYMBOL LEGEND

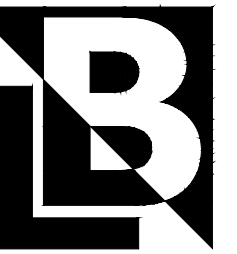
ANNUALS	COMMON NAME
	Mixed Annuals
PERENNIALS	COMMON NAME
	Mixed Perennials
	Mixed Perennials
	Mixed Perennials
	Mixed Perennials
	Mixed Perennials
	Mixed Perennials
SOD/SEED	COMMON NAME
	Drought Tolerant Turf Mix
	Arkansas Valley Low Grow Seed Mix

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
	Open rail cedar fence	5/B
	6" Steel open picket fence (typ)	4/B
	3" high landscape berm	
	Bench (1 of 3)	7/B
	Raised masonry planter	6/B
SYMBOL	DESCRIPTION	DETAIL
	3" cobble area (typical for building).	2"-4" local river cobble
	Existing treelawn, irrigation, and street trees to remain. Protect in place during construction.	

PLANT SCHEDULE:

DECIDUOUS TREES			Quantity	Ratio	Botanical	Common	Size	Cont	Height ft	Spread ft	Water
CS		4	9%		Catalpa speciosa	Western Catalpa	2" Cal	888	30-40	40-50	Low
CO		6	14%		Celtis occidentalis	Western Hackberry	2" Cal	888	50-60	40-50	Low
FA		2	5%		Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	2" Cal	888	50-60	40-50	Medium
GI		3	7%		Gleditsia triacanthos 'Imperial'	Imperial Honeylocust	2" Cal	888	30-40	30-40	Low
GS		4	9%		Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	2" Cal	888	40-50	40-50	Low
GK		5	11%		Gymnocladus dioica	Kentucky Coffeetree	2" Cal	888	50-60	40-50	Low
QM		4	9%		Quercus muehlenbergii	Chinkapin Oak	2" Cal	888	40-50	40-50	Low
QR		4	9%		Quercus robur	English Oak	2" Cal	888	40-50	35-40	Medium
QT		6	14%		Quercus robur 'Fastigiata'	Pyramidal Littleleaf Oak	2" Cal	888	40-50	15-20	Medium
TG		6	14%		Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" Cal	888	30-40	20-25	Medium
Total			44								
EVERGREEN TREES			Quantity		Botanical	Common	Size	Cont	Height ft	Spread ft	Water
JCS		7	14%		Juniperus chinensis 'Spartan'	Spartan Juniper	#7	CNT	15-20	4-6	Low
PB		6	12%		Picea pungens glauca	Colorado Blue Spruce	6" Ht	888	50-60	20-30	Medium
PB2		5	10%		Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	6" Ht	888	50-60	10-15	Medium
PF2		4	8%		Picea pungens glauca 'Iseli Fastigiata'	Blue Spruce	6" Ht	888	15-20	5-6	Medium
PE		5	10%		Pinus edulis	Pinon Pine	6" Ht	888	20-30	10-20	Low
PB3		3	6%		Pinus aristata	Bristlecone Pine	6" Ht	888	20-40	10-20	Low
PF		7	14%		Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	6" Ht	888	30-40	15-20	Low
PH2		4	8%		Pinus heldreichii	Bosnian Pine	6" Ht	888	15-20	10-12	Low
PN		6	12%		Pinus nigra	Austrian Black Pine	6" Ht	888	50-60	30-40	Low
PP		3	6%		Pinus ponderosa	Ponderosa Pine	6" Ht	888	60-80	30-40	Low
Total			50								
ORNAMENTAL TREES			Quantity		Botanical	Common	Size	Cont	Height ft	Spread ft	Water
AG		5	9%		Acer ginnala 'Flame'	Flame Maple	1-1/2" Cal	888	15-20	15-20	Low
AH		8	14%		Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	1-1/2" Cal	888	15-20	15-20	Low
AG2		4	7%		Amerlancheir x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1-1/2" Cal	888	15-20	15-20	Low
CV		4	7%		Crataegus crus-galli inermis TM	Thornless Cockspur Hawthorn	1-1/2" Cal	888	10-12	15-20	Low
CV2		8	14%		Crataegus viridis 'Winter King'	Winter King Hawthorn	1-1/2" Cal	888	10-12	15-20	Low
MI		8	14%		Malus x 'Indian Magic'	Indian Magic Crab Apple	1-1/2" Cal	888	15-20	15-20	Medium
MS		5	9%		Malus x 'Spring Snow'	Spring Snow Crab Apple	1-1/2" Cal	888	20-25	20-25	Medium
PC		7	12%		Pyrus calleryana 'Chanticleer'	Chanticleer Pear	1-1/2" Cal	888	20-30	15-20	Medium
PC2		8	14%		Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	1-1/2" Cal	888	20-30	15-20	Medium
Total			57								
DECIDUOUS SHRUBS			Quantity		Botanical	Common	Size	Cont	Height ft	Spread ft	Water
AA		14	2%		Amelanchier alnifolia 'Regent'	Saskatoon Serviceberry	#5	CNT	6-8	6-8	Low
AT		15	2%		Artemisia tridentata	Big Sagebrush	#5	CNT	3-12	3-6	Very Low
CD		59	9%		Caryopteris x clandonensis 'Dark Knight'	Dark Knight Spirea	#5	CNT	3-4	2-4	Low
CI		25	4%		Cornus sericea 'Isanti'	Isanti Dogwood	#5	CNT	4-5	4-5	Medium
OK		48	7%		Cornus sericea 'Kelsey'	Kelsey Dogwood	#5	CNT	2-3	2-3	Medium
EC		37	6%		Euonymus alatus 'Compactus'	Compact Burning Bush	#5	CNT	6-8	6-8	Medium
PPB		28	4%		Prunus besseyi 'Pawnee Buttes'	Sand Cherry	#5	CNT	1.5-2.5	4-6	Low
RA		12	2%		Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	#5	CNT	1-1.5	5-6	Low
RF		34	5%		Rosa shrub 'Sea Foam TM'	Sea Foam Rose	#5	CNT	2-3	4-6	Low
RR		80	13%		Rosa x 'Knockout' TM	Knockout Red Shrub Rose	#5	CNT	2-3	2-3	Medium
SW		58	9%		Spiraea japonica 'Anthony Waterer'	Japanese Spirea	#5	CNT	2-3	2-4	Medium
SS		78	12%		Spiraea japonica 'Little Princess'	Little Princess Japanese Spirea	#5	CNT	1-1.5	2-3	Medium
SO		15	2%		Symphoricarpos orbiculatus	Red Coralberry	#5	CNT	3-6	3-6	Low
ST		37	6%		Syringa patula 'Tinkerbell'	Tinkerbell Lilac	#5	CNT	5-6	4-6	Low
SJ		34	5%		Syringa x prestoniae 'James MacFarlane'	James MacFarlane Lilac	#5	CNT	8-10	6-8	Low
VM		28	4%		Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood	#5	CNT	3-6	3-4	Medium
WR		50	8%		Weigela florida 'Rumba'	Rumba Weigela	#5	CNT	2-3	3-4	Medium
Total			665								
EVERGREEN SHRUBS			Quantity		Botanical	Common	Size	Cont	Height ft	Spread ft	Water
JH		84	56%		Juniperus horizontalis 'Hughes'	Hughes Juniper	#5	CNT	1-2	4-6	Low
JW		18	12%		Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	#5	CNT	0.5-1	5-6	Low
JS		49	32%		Juniperus sabina 'Scandia'	Scandia Juniper	#5	CNT	1-2	4-6	Low
Total			151								
GRASSES			Quantity		Botanical	Common	Size	Cont	Height ft	Spread ft	Water
BB		72	6%		Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Grama Grass	#1	CNT	2-3	1.5-2	Very Low
CAK		165	13%		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1	CNT	4-6	1.5-3	Low
CL		146	12%		Chasmanthium latifolium	Northern Sea Oats	#1	CNT	2-3	1.5-2	Medium
HS		133	11%		Helictotrichon sempervirens	Blue Oat Grass	#1	CNT	2-3	1.5-2	Low
IR		98	8%		Imperata cylindrica 'Red Baron'	Japanese Blood Grass	#1	CNT	1-1.5	1.5-2	Medium
MG		153	12%		Miscanthus sinensis 'Gracillimus'	Maiden Grass	#1	CNT	4-5	4-5	Medium
MP		144	12%		Miscanthus sinensis 'Purpureusens'	Flame Grass	#1	CNT	3-4	2-3	Medium
PH		153	12%		Pennisetum alopecuroides 'Hamelin'	Hamelin Dwarf Fountain Grass	#1	CNT	1-2	1-1.5	Medium
SL		173	14%		Schizachyrium scoparium	Little Bluestem Grass	#1	CNT	3-4	2-3	Low
Total			1237								
VINES			Quantity		Botanical	Common	Size	Cont	Height ft	Spread ft	Water
PQ		14	100%		Parthenocissus quinquefolia	Virginia Creeper	#1	CNT	Vine	Vine	Medium
Total			14								
ANNUALS			Quantity	Ratio	Botanical	Common	Size	Cont	Height ft	Spread ft	Water
AM		662	100%		Annual Mix	Mixed Annuals	2-1/4" Pots @ 10" oc	F32	0.5-1	0.5-1	High
Total			662								
PERENNIALS			Quantity		Botanical	Common	Height ft	Spread ft	Water		
PM1		615	62%		Perennial Mix 1	Mixed Perennials	4" Pots @ 24" oc	F15	Varies	Varies	Low
					Agastache rupestris	Sunset Hyssop	4" Pot	2'-3"	2'-3"	Low	
					Iberis sempervirens	Evergreen Candytuft	4" Pot	8"-12"	18"-24"	Low	
					Lavandula angustifolia 'Munstead'	Munstead Lavander	4" Pot	12"-18"	12"-18"	Low	
					Penstemon x mexicali 'Red Rocks'	Red Rocks Penstemon	4" Pot	12"-15"	8"-12"	Low	
					Oenothera macrocarpa	Missouri Evening Primrose	4" Pot	6"-12"	12"-18"	Low	
					Rudbeckia fulgida 'Goldstrum'	Black Eyed Susan	4" Pot	18"-24"	18"-24"	Low	
PM2		114	12%		Perennial Mix 2	Mixed Perennials	4" Pots @ 18" oc	F15	Varies	Varies	Low
					Ceratostigma plumbaginoides	Dwarf Plumbago	4" Pot	8"-12"	18"-24"	Low	
					Coreopsis grandiflora 'Sunray'	Dwarf double Coreopsis	4" Pot	12"-18"	12"-18"	Low	
					Iris pallida 'Variegata'	Sweet Variegated Iris	4" Pot	2-3'	12"-18"	Low	
					Nepeta x faassenii 'Walkers Low'	Walker's Low Catmint	4" Pot	18"-24"	2-3'	Low	
					Penstemon digitalis 'Husker Red'	Husker Red Penstemon	4" Pot	2-3'	18"-24"	Low	
					Salvia nemerosa 'Rose Queen'	Rose Salvia	4" Pot	18"-24"	12"-18"	Low	
PM3		135	14%		Perennial Mix 3	Mixed Perennials	4" Pots @ 18" oc	F15	Varies	Varies	Low
					Achillea ageratfolia	Greek Yarrow	4" Pot	6"-10"	18"-24"	Low	
					Agastache coronado Red	Red Coronado Hyssop	4" Pot	15"-18"	12"-15"	Low	
					Heuchera sanguinea 'Splendens'	Red Coral Bells	4" Pot	12"-18"	12"-18"	Medium	
					Lavandula angustifolia 'Hidcote'	Hidcote Lavander	4" Pot	8"-12"	12"-18"	Low	
					Penstemon pinifolius	Pineleaf Penstemon	4" Pot	6"-8"	12"-15"	Low	
					Solidago rugosa 'Fireworks'	Fireworks Goldenrod	4" Pot	2-3'	18"-24"	Low	
PM4		124	13%		Perennial Mix 4	Mixed Perennials	4" Pots @ 18" oc	F15	Varies	Varies	Low
					Achillea 'Moonshine'	Moonshine Yarrow	4" Pot	24"-30"	18"-24"	Low	
					Dianthus deltoideus 'Zing Rose'	Zing Rose Maiden Pink	4" Pot	6"-8"	8"-12"	Low	
					Echinacea purpurea 'Ruby Star'	Ruby Star Coneflower	4" Pot	2-3'	18"-24"	Low	
					Marrubium rotundifolium	Silvery Horehound	4" Pot	6"-8"	12"-18"	Low	
					Osterospermum 'Avalanche'	Avalanche White Sun Daisy	4" Pot	10"-12"	12"-15"	Low	
					Salvia nemerosa 'May Night'	May Night Salvia	4" Pot			Low	
Total			988								
TURF			Quantity		Botanical	Common		Cont	Height ft	Spread ft	Water
TB		41012 SF			DuraTurf Seed/Sod	Drought Tolerant Turf Mix		Seed	Varies	Varies	Medium
TL		18995 SF			Turf Seed Low Grow Mix	Kansas Valley Low Grow Seed		Seed	Varies	Varies	Low



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MIRASOL
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LOVELAND, COLORADO

PRELIMINARY
DEVELOPMENT PLAN

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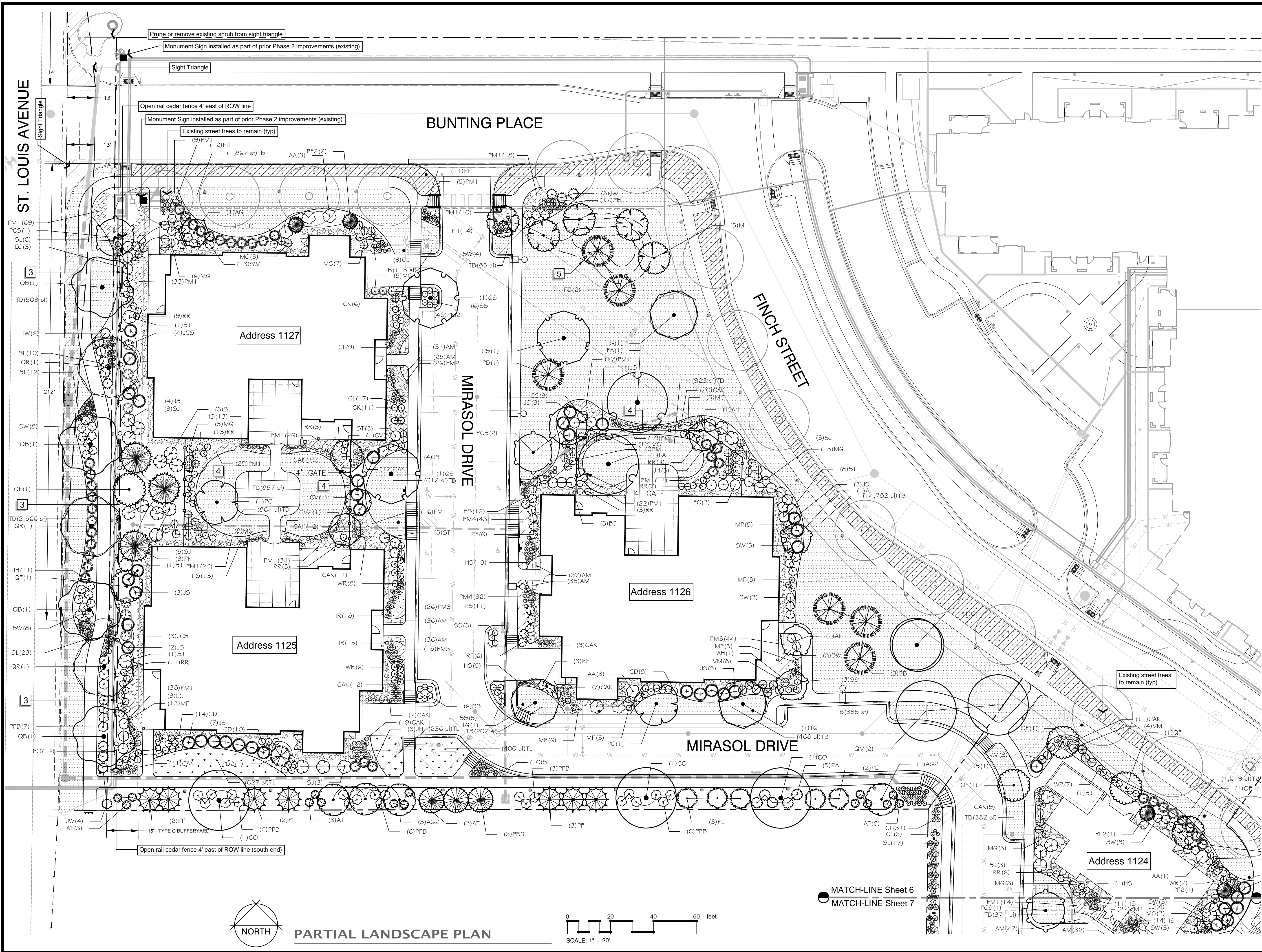
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PARTIAL LANDSCAPE
PLAN

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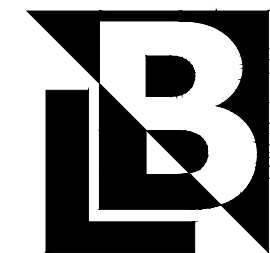
6 of 16



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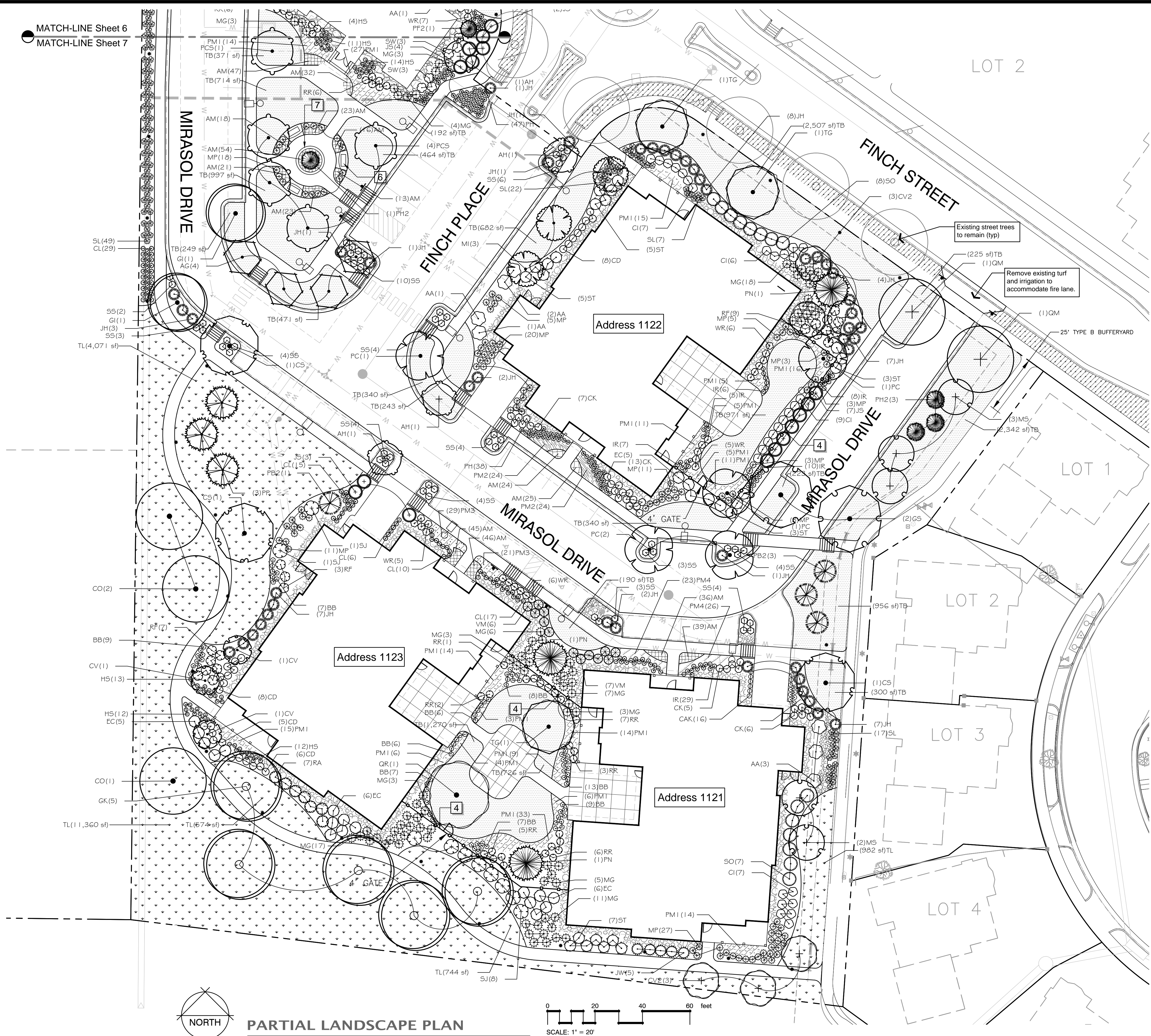
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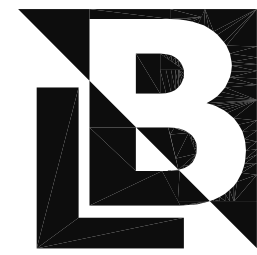
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7 of 16





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Sheet Title:
SITE ELECTRICAL
PHOTOMETRIC PLAN

Sheet Number:

15 of 16

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF	Description
AA	15	AA	SINGLE	14000	9017	1.000	APG-R19-HR111-175FSMH-1
AA-5	2	AA-5	SINGLE	14000	8969	1.000	APG-R19-HR111-175FSMH-1
BB1	70	BB1	SINGLE	8500	1882	1.000	DBAS-TR-100MH
CC	36	CC	SINGLE	1200	366	1.000	BRASS LTG COLLECTION STUDIO LANTERN 7

PARKING AND DRIVES

Illuminance (Fc)
Average = 1.59
Maximum = 3.9
Minimum = 0.3
Avg/Min Ratio = 5.30
Max/Min Ratio = 13.00

1 SITE PLAN
SCALE: 1" = 40'

Diagram showing the specifications and ordering information for the Type "BB" Bollard (Existing) and Type "BB1" (New). The diagram includes a cross-section view of the bollard, showing the internal components and the mounting plate. The specifications section lists the materials, dimensions, and performance characteristics. The ordering information section provides a table for selecting the appropriate options for the bollard.

Diagram showing the specifications and ordering information for the Type "AA" Pole and Lamp Luminaire with Full Cut Off Lighting Reflector Option. The diagram includes a cross-section view of the luminaire, showing the internal components and the mounting plate. The specifications section lists the materials, dimensions, and performance characteristics. The ordering information section provides a table for selecting the appropriate options for the luminaire.

Diagram showing the specifications and ordering information for the Type "AA" Pole and Lamp Luminaire with Full Cut Off Lighting Reflector Option. The diagram includes a cross-section view of the luminaire, showing the internal components and the mounting plate. The specifications section lists the materials, dimensions, and performance characteristics. The ordering information section provides a table for selecting the appropriate options for the luminaire.

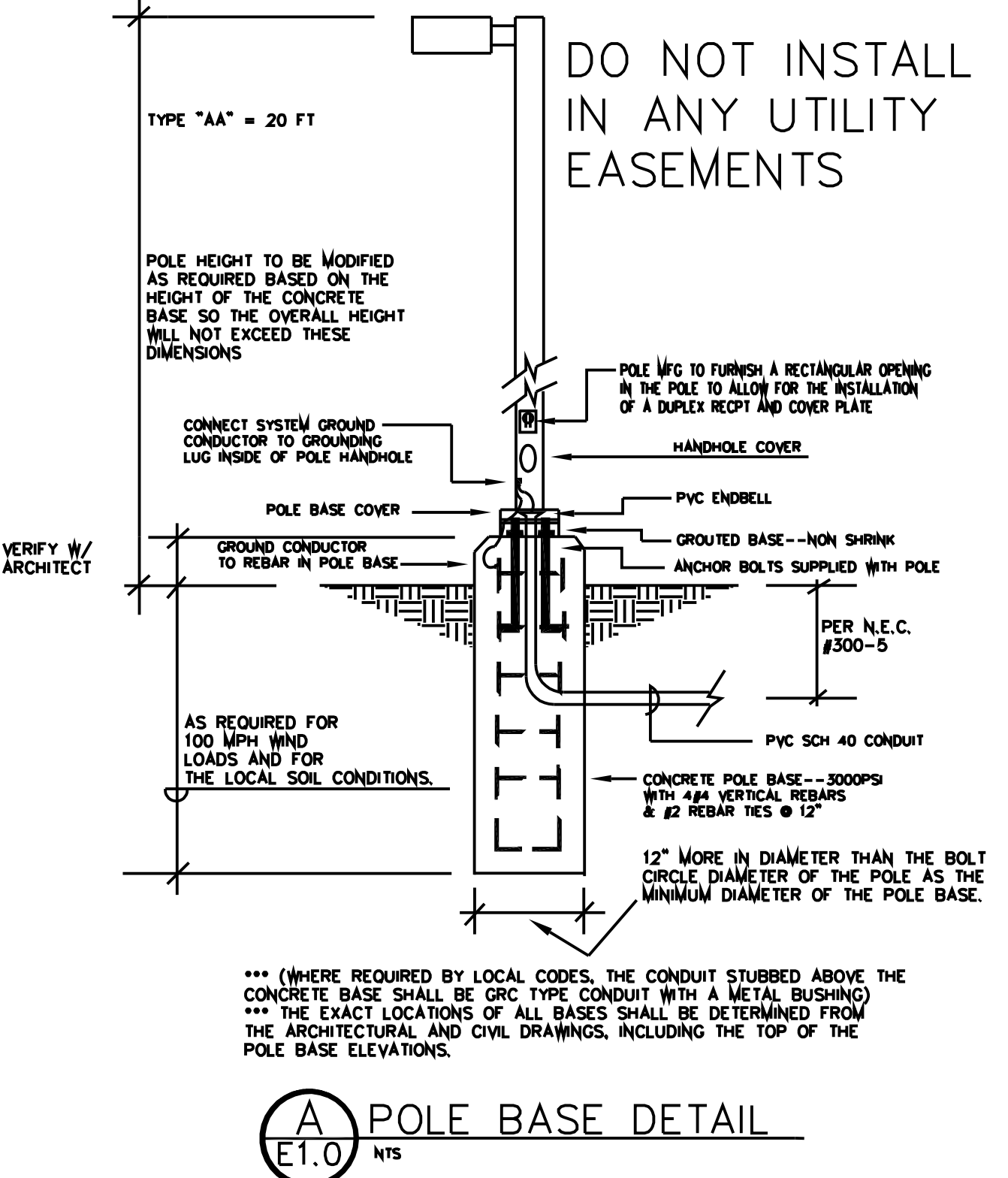
Diagram showing the specifications and ordering information for the Type "AA" Pole and Lamp Luminaire with Full Cut Off Lighting Reflector Option. The diagram includes a cross-section view of the luminaire, showing the internal components and the mounting plate. The specifications section lists the materials, dimensions, and performance characteristics. The ordering information section provides a table for selecting the appropriate options for the luminaire.

TYPE "BB" BOLLARD (EXISTING)
EXISTING AND TYPE "BB1" (NEW)

TYPE "AA" POLE AND LAMP LUMINAIRE WITH FULL CUT OFF
LIGHTING REFLECTOR OPTION



TYPE "CC" WALL MOUNTED LIGHT



POLE BASE DETAIL

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**PHOTOMETRIC
DETAILS**

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